



CITY COUNCIL AGENDA ITEM

Date: December 27, 2011

To: John Szerlag, City Manager

From: Mark F. Miller, Director of Economic & Community Development
R. Brent Savidant, Planning Director

Subject: SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 391) – Proposed Kroger Retail Fuel Center D-464, Southwest Corner of South Boulevard and Crooks (2105 W. South Blvd), Section 5, Currently Zoned NN (Neighborhood Node) District (Controlled by Consent Judgment)

Background

The applicant, Landplan Engineering, proposes a Kroger Retail Fuel Center in the northeast corner of the subject parcel, which is presently a paved parking area. A commercial development, including a Kroger grocery store, presently sits on the property.

The site is controlled by consent judgment; therefore the Planning Commission is a recommending body only. City Council is responsible for Preliminary Site Plan Approval and Special Use Approval.

The attached report prepared by Carlisle/Wortman Associates, Inc. summarizes the application.

The Planning Commission held a public hearing on this item at the August 9, 2011 Regular meeting and recommended approval of the Kroger Retail Fuel Center, with the following conditions:

1. If fire suppression is required, demonstrate that the fire protection devices under the canopy are architecturally screened so that the tanks are not directly visible from the street.
2. Demonstrate compliance with light levels along the South Boulevard and Crooks Road rights-of-way.

The site plan was revised to address the Planning Commission recommendation conditions, as follows:

1. The Troy Fire Department determined that fire suppression was not required for the canopy area. A note was added to Sheet A201 stating same.
2. Sheet C-201 was revised to show clearly that light levels at the South Boulevard and Crooks Road rights-of-way will be 0.0 foot candles, as per the City of Troy Zoning Ordinance.



CITY COUNCIL AGENDA ITEM

Recommendation

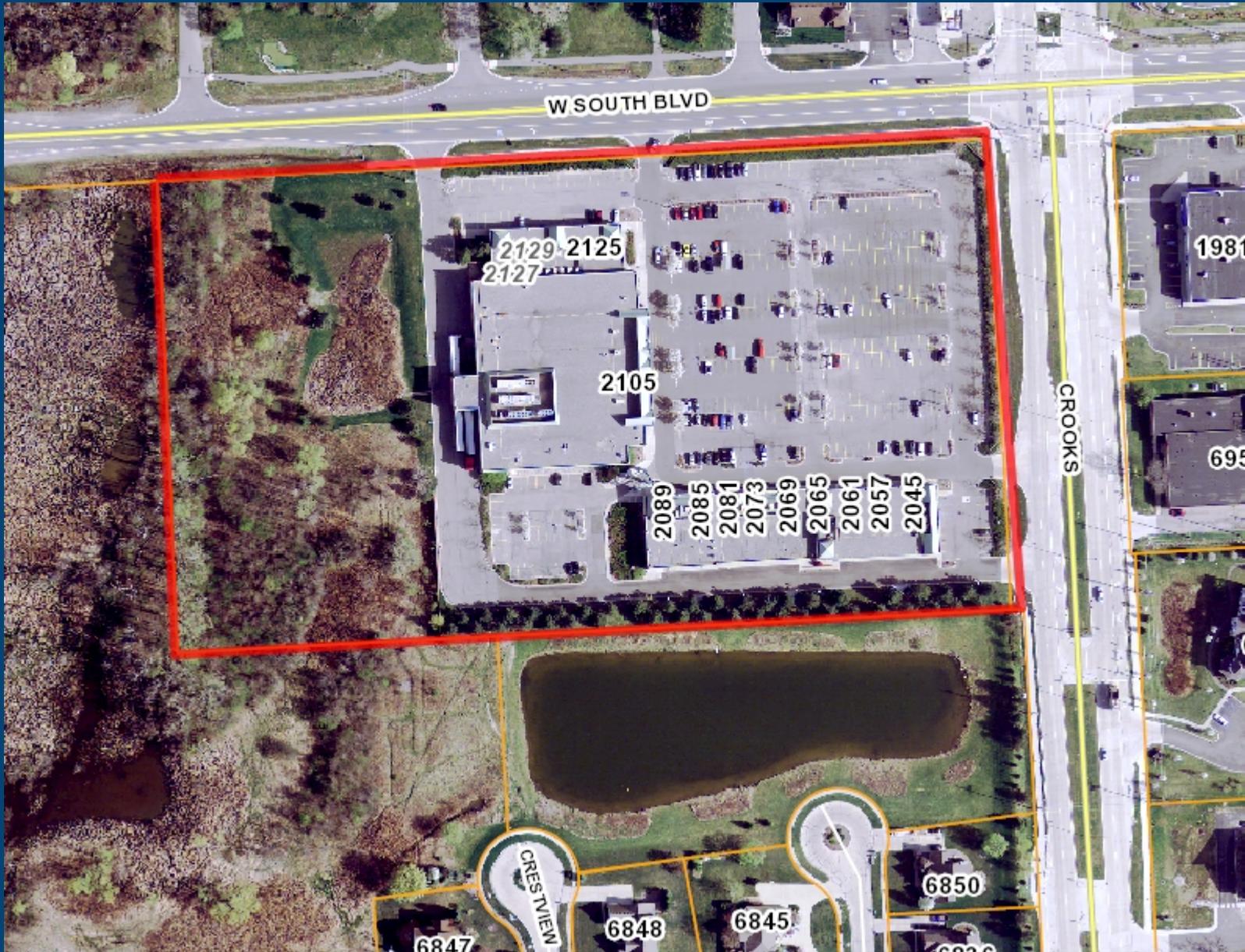
City Management recommends approval of the Preliminary Site Plan, the Special Use application and the Second Order Amending Consent Judgment for the proposed Kroger Retail Fuel Center.

City Attorney's Review as to Form and Legality

Date

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from August 9, 2011 Planning Commission Regular meeting (excerpt)
4. Letters of opposition
5. Second Order Amending Consent Judgment



Legend

- Road Centerline**
- Major Road
 - Industrial Road
 - Local Road

■ Ponds and Basins

— Streams and Creeks

Parcels

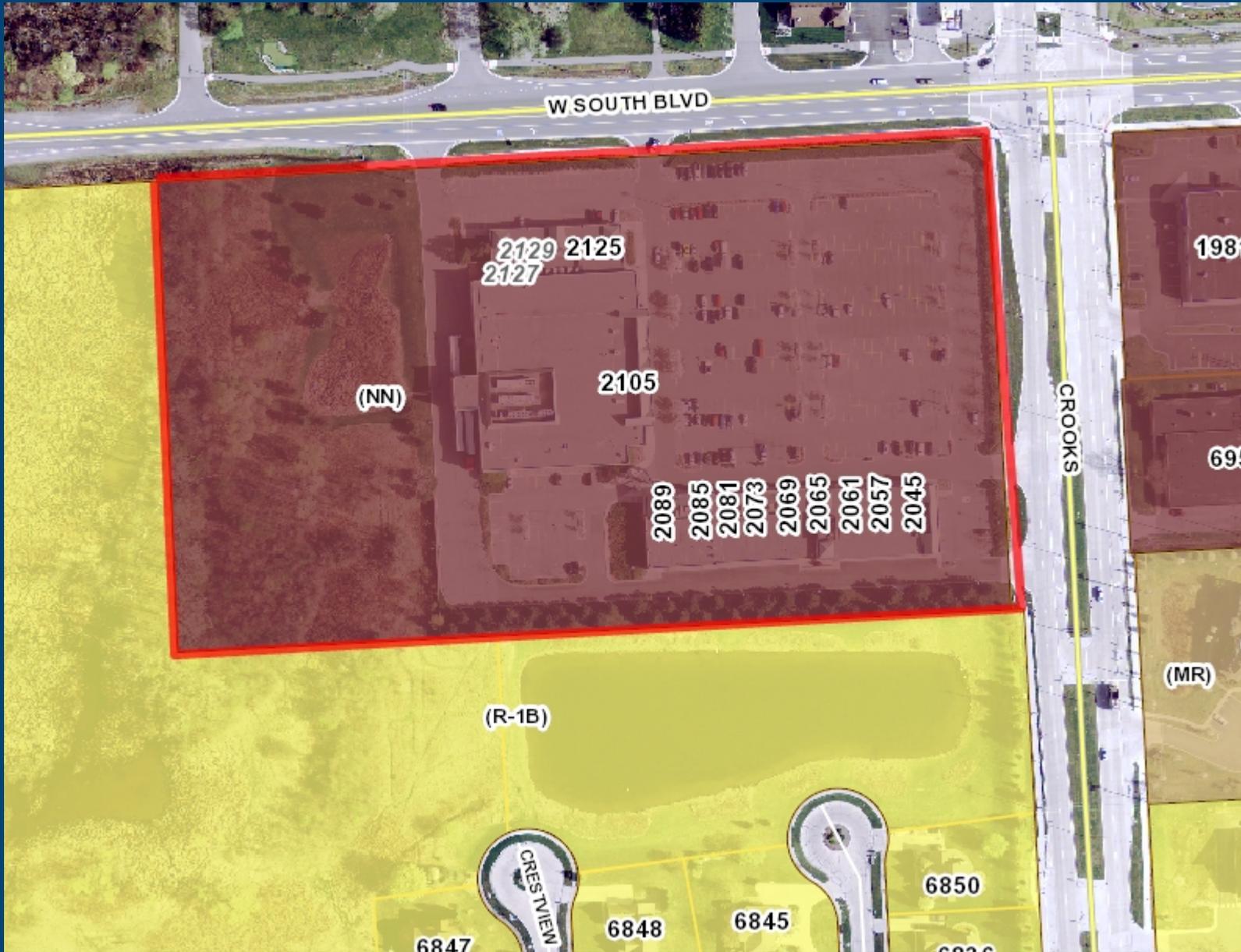
Aerial Photos - 2010

- Red:Band_1
- Green:Band_2
- Blue:Band_3

356 0 178 356Feet

Scale 1: 2,136





Legend

Road Centerline

- Major Road
- Industrial Road
- Local Road

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MRF) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MR) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

■ Ponds and Basins

— Streams and Creeks

▭ Parcels

Aerial Photos - 2010

- Red:Band_1
- Green:Band_2
- Blue:Band_3

356 0 178 356Feet

Scale 1: 2,136





CARLISLE/WORTMAN ASSOCIATES, INC.

Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

MEMORANDUM

TO: Brent Savidant
FROM: Zachary Branigan
DATE: August 5, 2011
RE: Kroger Vehicle Fueling Station

We are in receipt of a submittal for an amendment to a consent judgment to allow the addition of a vehicle fueling/multi-use station in a new outlot located within the existing parking lot of the Northfield Commons retail center at 2105 West South Boulevard at the southwest corner of South Boulevard and Crooks Road. Given the nature of the project as one regulated by consent judgment, we are providing a more focused review in a memorandum format. The Planning Commission is a recommending body to the City Council for this application.

The existing retail center is controlled by consent judgment, but has the underlying zoning classification of Neighborhood Node (NN) District and is located with Node U. In the Neighborhood Node Form-Based District, vehicle fueling/multi-use stations are permitted in Use Group 6 under special use permit when the site is classified as Site Type A, Street Type A. Consequently, this use would be permitted under conventional zoning after going through the special use process.

As a single-story building within a new permanent outlot of an existing larger retail center, the project would be regulated as a "Building Form A." Building Form A is permitted by right in NN District sites that are classified Site Type A, Street Type A, regardless of whether they are stand-alone or are within an outlot of a larger development (unlike the MR and BB Districts where Building Form A is permitted only when secondary to Forms D, E, or F on major sites like this one). However, the project would be required to adhere to the form-based regulations of the Ordinance. Given the status of this project as a part of a consent judgment, the Planning Commission is only obligated to make a recommendation to City Council with regard to the project and variations from the conventional underlying zoning are possible, including dimensional, form-based code variations.

We have reviewed the plan with regard to the circulation, parking, landscaping, lighting, general site design, and the general provisions of the Ordinance. We have also reviewed the proposed use against the specific use provisions that would traditionally be applied to vehicle refueling stations. The applicant has utilized, for purposes of comparison, the dimensional regulations for

the GB District, given the former underlying zoning category of this center and the language of the consent judgment, which predates the new Ordinance and relied on the underlying commercial zoning category present at the time of the original approval. Given the flexibility of interpretation and the status of this project as an amendment to that consent judgment, we have no objection to the approach of referencing the GB regulations for comparative purposes.

Circulation and Parking

No new curb cuts are proposed as part of this project. The new facility will be located in a visible spot at the extreme corner of the site, but will not have new exclusive curb cuts. The access to the facility will be provided solely by the existing maneuvering lanes for the main shopping center. We accept and support this approach as it puts no new access management burden on the intersection while still providing sufficient safe access to the facility, especially for the shopping center patrons. The facility is designed with a north-south orientation and relies on three main points of access from the parking area. The area containing the proposed facility is contained by two landscape islands that separate the main parking area from the facility and direct traffic flow. Customers will be able to access the refueling center from the southeast or two spots along the west boundary of the proposed improvement area. The location and arrangement of these access drives is suitable to permit efficient access to the four pump stations and the kiosk.

Parking for the retail center is required at a rate of one space for every 300 square feet of gross floor area. This center is 76,512 square feet, requiring 255 spaces (the cover sheet mistakenly states that 256 would be required, however, fractions of less than 0.5 spaces are rounded down, in accordance with Section 13.06.D.4). The refueling facility would require 16 spaces for the pump islands and 2 for the 125 square feet of retail area within the kiosk. Consequently, a total of 273 spaces are required for the site overall after the addition of the refueling facility. There are currently 465 spaces on site, and 54 would be lost to the new facility. The remaining 411 spaces exceed minimum requirements. While the remaining parking would exceed required parking by more than 20 percent, a condition prohibited without special consideration by Section 13.06.F.3, this is an existing condition and is part of a consent judgment. The reduction in spaces and increase in intensity actually brings the number of excess spaces down, and thereby closer to conformance with the Ordinance.

Vehicle Refueling Station Standards

Section 6.28 establishes a series of requirements for all vehicle refueling facilities. It requires the following:

A. The minimum lot area shall be one (1) acre. *The site is 8.74 acres in area. The specific area set aside for the refueling center is not defined as a separate parcel, but it is integrated with the overall project, does not have its own exclusive access, and relies on its relationship with the overall site. This criterion is met.*

The following minimum setbacks shall apply to canopies and pump facilities constructed in conjunction with Fueling / Multi-Use: *The applicant has provided setback calculation from the*

GB District and for this set of regulations, and has also provided calculations for the project from the outer boundary of the entire retail facility. Given that this project is part of the overall center and integrated with the center, this is an acceptable approach. We have included the required and provided setbacks in the following table:

Setback	Canopy Support Required	Canopy Support Provided	Pump Islands Required	Pump Islands Provided	Canopy Edge Required	Canopy Edge Provided
Front	35 feet	59.5 feet (South Blvd.) and 86.02 feet (Crooks)	30 feet	63 feet (South Blvd.) and 85.52 feet (Crooks)	25 feet	53.5 feet (South Blvd.) and 75.02 feet (Crooks)
Side	20 feet	489.14 feet	20 feet	487.64 feet	10 feet	478.14 feet
Rear	30 feet	491.5 feet	20 feet	495 feet	20 feet	485.5 feet

The kiosk building, which will serve walk-up customers but will not have interior retail space, is wholly under the canopy and meets all dimensional requirements. Dimensional requirements are satisfied.

1. All fueling areas shall be arranged so that motor vehicles do not park on or extend over abutting landscaped areas, sidewalks, streets, buildings, or adjoining property while being served. *Satisfied.*
- B. Canopy structures shall be designed and constructed in a manner which is architecturally compatible with the principal building. The canopy structure shall be attached to and made an integral part of the principal building unless can be demonstrated that the design of the building and canopy in combination would be more functional and aesthetically pleasing if the canopy was not physically attached to the principal building. *The canopy covers the kiosk and essentially is the main building proposed for this site. Proposed materials appear to be brick for the canopy support sand kiosk building. Materials and colors for the canopy edges have been provided on Sheet A201 and appear to be common materials and colors for other similar structures.*

Required fire protection devices under the canopy shall be architecturally screened so that the tanks are not directly visible from the street. The screens shall be compatible with the design and color of the canopy. *This condition appears to be satisfied, however the limited information provided on the façade elevations do not make it clear. It does appear on Sheet A201 that the canopy edge does provide screening, but it is unclear what equipment will be mounted and how large the equipment will be. The applicant should be prepared to demonstrate compliance with this issue.*

- C. Pedestrian Circulation. *Given the isolated nature of this station with regard to vehicular and pedestrian circulation, we do not perceive there to be any new conflicts created by this project. Existing pedestrian access to the site and around the site is not impacted, and there is no need for additional pedestrian access to this new facility beyond that from the*

customers of the refueling center itself to the kiosk, which is suitable and typical for a center of this type.

1. Vehicle Fueling / multi-use stations shall be designed in a manner which promotes pedestrian and vehicular safety. *Satisfied.*
 2. The parking and circulation system within each development shall accommodate the safe movement of vehicles, bicycles, pedestrians and refueling activities throughout the proposed development and to and from surrounding areas in a safe and convenient manner. *Satisfied.*
- D. Where repair and servicing of vehicles is performed, all repair and maintenance shall be performed entirely within an enclosed building. Dismantled, wrecked, or immobile vehicles shall not be permitted to be stored on site. *Not applicable.*
- E. If a vehicle wash is proposed, it must comply with the standards set forth in Section 6.29. *Not applicable.*

Landscaping and Lighting

Existing perimeter shrubs and trees are not proposed for removal. Five trees, 9 shrubs, and 39 ornamentals will be relocated around the revised site, and places in new landscape islands and bumpouts. The site itself is currently screened by a grade separation (the refueling station area is three feet below the level of the sidewalk) and existing shrubs along both frontages. There are also mature street trees along Crooks Road and a pedestrian plaza that is located at the corner. These features will not be altered by this project and will continue to adequately screen and landscape the frontage. On site landscaping is being preserved and overall site landscaping area for the retail site as a whole is not being affected. Any existing nonconformities with regard to overall site landscaping that would have been created by the new Zoning Ordinance are previously existing legal nonconformities. Also, the status of this project as one regulated by consent judgment permits the existing condition to continue. Regardless, the new project does not significantly alter landscaping requirements, given its small impact on the site as a whole, and we are satisfied that the existing grade change and landscaping are satisfactory for screening.

The provided photometric plan shows proposed light levels that exceed those permitted under the new Ordinance for light poles, although we recognize that these proposed levels are beneath a canopy. Section 13.05.C.2.a limits light levels to no more than 20 footcandles during business hours and 10 after hours. The proposed lighting levels are close to meeting this requirement; the brightest spots are between 22 and 26 footcandles, although most of the under-canopy area would be between approximately 18 and 22 footcandles. We recommend that the proposed lighting levels be reduced to 20 footcandles or less throughout the majority of the under-canopy area.

We cannot make a final determination with regard to encroachment of light levels off-site, given that the property boundary is not shown on the photometric plan, however, light levels at the project limits are, in most cases around 1-3 footcandles, with some exceptions. We have no

concern with regard to the levels to the south and west, into the adjacent parking area. Levels in these locations are acceptable and are within the 20 footcandle requirement. We also suspect that the levels at the property boundary will be impacted by the grade changes there. We suggest the applicant provide additional information showing that proposed levels will not exceed 1 footcandle at the property boundary along the South Boulevard and Crooks Road rights-of-way.

Recommendation

We support the proposed vehicle refueling station at this location. It has been designed with minimal impact with regard to access management conflicts, makes use of an underutilized parking area, respects existing development, and would be permissible under conventional zoning with consideration given to the special use process. We recommend the Planning Commission recommend to the City Council that the proposed amendment to the consent judgment be approved to allow the vehicle refueling station, provided the following conditions are satisfied prior to final approval:

1. Demonstrate that the required fire protection devices under the canopy are architecturally screened so that the tanks are not directly visible from the street.
2. Demonstrate compliance with light levels along the South Boulevard and Crooks Road rights-of-way.

Please do not hesitate to contact us with any questions, comments, or concerns.

Sincerely,



CARLISLE/WORTMAN ASSOCIATES, INC.
Zachary G. Branigan, LEED AP, AICP
Associate

SPECIAL USE REQUESTS

6. **PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 391)** – Proposed Kroger Retail Fuel Center D-464, Southwest Corner of South Boulevard and Crooks (2105 W. South Boulevard), Section 5, Currently Zoned NN (Neighborhood Node) District (Controlled by Consent Judgment)

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED**Resolution # PC-2011-08-051**

Moved by: Edmunds

Seconded by: Krent

RESOLVED, The Planning Commission hereby recommends to City Council that Special Use Approval and Preliminary Site Plan Approval for the proposed Kroger Retail Fuel Center, located at the southwest corner of South Boulevard and Crooks Road, Section 5, within the NN (Neighborhood Node) zoning district, controlled by Consent Judgment, be granted, subject to the following:

1. If fire suppression is required, demonstrate that the fire protection devices under the canopy are architecturally screened so that the tanks are not directly visible from the street.
2. Demonstrate compliance with light levels along the South Boulevard and Crooks Road rights-of-way.

Yes: All present (7)

Absent: Hutson, Schultz

MOTION CARRIED

From: [chester.coccia](#)
To: [Planning](#)
Subject: Allowing gas pumps at the southwest corner of crooks and south blvd.
Date: Tuesday, November 08, 2011 9:51:34 AM

Sir: I am adamantly opposed to the placement of gas pumps at this shopping center at the request of Krogers.. It just doesn't make any sense. A new Shell gas station will be opening on the northwest corner of crooks and south blvd. Krogers already has a deal with Shell with their gas bonus points. Please do not allow this to happen. The corner looks good and the current merchants have maintained this corner.

Thank you Dr. Chester T. Coccia

From: [Kathe Ross](#)
To: [Planning](#)
Subject: RE: Kroger gas station @ Crooks/South Blvd
Date: Friday, December 02, 2011 12:03:28 PM

City Council Members,

I remember back when the board members of Crescent Ridge/Parc Homeowner's Association and concerned neighbors met with Troy city planners to protest the corner strip mall. We were assured that the development would be an asset to the neighborhood with its decorative clock tower, beautifully landscaped berms to separate the congestion from our residential area and additional landscaping at the corner signage and adjacent to the main roads. Up to now, I think the corner has been convenient and well-kempt with the exception of blowing paper trash and dumped shopping carts in to the retaining pond. These problems are a nuisance and additional expense to our homeowners as our landscapers charge us for their removal: discarded errant shopping carts is a frequent occurrence.

With the addition of the gas station (or the sugar-coated Retail Fuel Center), the corner appearance to Troy will suffer in appearance. Will additional entrances cut through the present landscaped areas? At busy times, the congestion of cars turning into the parking area impedes traffic flow especially on South. Turning into this entrance is dangerous at times due to the 'shared' turn lane for cars turning north into the wine store and now the re-opened gas station on the NW corner. Using the Crooks U-turn directly south of South Blvd. is a problem presently with traffic not yielding to right-turns from South Blvd. Drivers do not know which car has the right-of-way and I personally have narrowly avoided an accident there. Adding to the congestion and confusion with perhaps another entrance will not help matters. During busy hours, the portion of the parking lot east of the 'landscape pods' is used, albeit only 4-6 spaces eastward. BUT those spaces will become more necessary with the full occupancy of the vacant stores as the economy improves. More trash will be strewn about the area.

We as a subdivision/board succumbed and approved the shopping center as a strip of up-scale and convenient stores for our residents. This corner stands as a WELCOME to Troy from our northern edge. The neighborhood will not be improved by yet another gas station. There are handfuls of options to fuel our cars without constructing yet another unsightly fueling tankyard in our backyard.

PLEASE reconsider your approval of this proposed eyesore. I believe that it is NOT in our subdivision's nor our community's best interest.

Sincerely,
Kathe Ross, Lot #347 of Crescent Ridge/Parc Homeowner's Association
Secretary of the Board

STATE OF MICHIGAN
IN THE CIRCUIT COURT FOR THE COUNTY OF OAKLAND

NORTHFIELD COMMONS ASSOCIATES
L.L.C., a Michigan limited liability company,
as Successor –In-Interest to CROOKS ROAD
JOINT VENTURE, a Michigan partnership,
which was previously Successor-In-Interest to
MCDONALD-HALLIDAY ENTERPRISES #2,
a Washinton Corporation,

Plaintiffs,

v

Case No. 1990-389364-NZ

HON. Colleen A. O'Brien

CITY OF TROY, a Michigan
Municipal Corporation,

Defendant.

Mark D. Rubenfire (P40460)
Attorney for Plaintiffs
27777 Franklin Rd., Ste 2500
Southfield, MI 48034
(248) 351-3000
mrubenfire@jaffelaw.com

City of Troy City Attorney's Office
Lori Grigg Bluhm (P46908)
Allan T. Motzny (P37580)
Attorneys for Defendant City of Troy
500 W. Big Beaver Road
Troy, MI 48084
motznyat@troymi.gov

SECOND ORDER AMENDING CONSENT JUDGMENT

At a session of said Court held in the
Courthouse in the City of Troy,
Oakland County, Michigan
on _____, 2011

PRESENT: HONORABLE COLLEEN A. O'BRIEN, CIRCUIT COURT JUDGE

The parties to this action have stipulated to the entry of this Second Order Amending the Consent Judgment entered in this action on April 2, 1993 to allow for the construction of a retail fuel center on the subject property described as:

A parcel of land located in the Northeast ¼ of Section 5, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Beginning at the Northeast corner of said Section 5 and extending South 3 degrees 01 minutes 10 seconds East 623.00 feet along the East section line in Crooks Road; thence South 87 degrees 01 minutes 30 seconds West 1063.69 feet; thence North 2 degrees 27 minutes 25 seconds West 623.00 feet to the North section line; thence North 87 degrees 01 minutes 30 seconds East 1063.69 feet along the North section line in South Boulevard to the point of beginning. 20-05-200-005.

NOW THEREFORE,

IT IS ORDERED that the consent judgment entered on April 2, 1993 (original consent judgment) is amended and the caption changed to reflect the substitution of “Northfield Commons Associates, L.L.C., a Michigan limited liability company as Successor-In-Interest to Crooks Road Joint Venture, a Michigan partnership, which was previously Successor-In-Interest to McDonald-Halliday Enterprises #2, a Washington Corporation” as Plaintiffs in this case.

IT IS FURTHER ORDERED that the original consent judgment is amended to modify paragraphs 2, 3A, 3D, and by adding new paragraphs 21, 22, 23, 24, and 25 to read as follows:

2. That portion of the land depicted as Parcel B in the parcel Map legally described in Exhibit E attached to the original consent judgment may be developed, used and occupied for the purposes set forth in Article XXI, “B-2” (Community Business District) within the meaning of Chapter 39, Section 21.00.00, *et seq.*

of Troy's zoning ordinance that was in effect at the time of the entry of the original consent judgment and/or for purposes allowed for properties in the "NN" (Neighborhood Node) classification located in Node U and as regulated under the City of Troy zoning ordinance in effect at the time of entry of this Second Order Amending Consent Judgment.

3A. The maximum gross floor area of commercial building space shall not exceed 80,100 square feet, excluding the canopy for the retail fuel center as depicted in the site plan referenced below in paragraph 21.

3D. The buildings on Parcel B shall be set back a minimum of 67 feet from the south property line of Parcel B and 53.5 feet from the new Crooks Road right-of-way line and 52 feet from the new South Boulevard right-of-way line after the conveyances set forth in paragraph 10 of the original consent judgment.

21. Special Use Approval and Preliminary Site Plan Approval for a Retail Fuel Center as depicted in the site plan recommended for approval by the City of Troy Planning Commission at its meeting on August 9, 2011 (new site plan) is deemed granted and the Plaintiffs, their successors and assigns hereby have the right to construct the improvements set forth in said site plan, a copy of which is attached as Exhibit K, and complying to the elevation

plans, attached as Exhibit L, subject to obtaining all applicable building and engineering permits required for such construction.

22. The new site plan attached hereto as Exhibit K supersedes and replaces that portion of the original site plan attached to the original consent judgment to which the new site plan applies. The original site plan shall remain in full force and effect as amended by the new site plan and to the extent there is any inconsistency between the original and the new site plan, the new site plan shall control.
23. Except as herein expressly amended, the original consent judgment as amended by the First Order Amending Judgment is hereby ratified and confirmed, and continues in full force and effect.
24. A certified copy of this Second Order Amending Consent Judgment shall be recorded in the office of the Oakland County Register of Deeds with respect to the property, and the Oakland County Register of Deeds is directed to accept the same for recordation.
25. This Court shall retain jurisdiction in all matters concerning the development and use of the property and the implementation of the orders of this Court related to such property and such matters covered by the original consent judgment, the first order amending judgment, and this Second Order Amending Consent Judgment.

Circuit Court Judge

[Signatures Follow on Next Page]

The Undersigned hereby approve and to stipulate to entry of the above Second Order Amending Consent Judgment.

Plaintiffs Northfield Commons Associates, L.L.C., a Michigan Limited liability company as Successor-In- Interest to Crooks Road Joint Venture, a Michigan Partnership, which was previously Successor-In-Interest to McDonald-Halliday Enterprises #2, a Washington Corporation,

By _____
David Robert Nelson
Its President

Mark D. Rubenfire (P40460)
Attorney for Plaintiffs
2777 Franklin Rd., Ste 2500
Southfield, MI 48034
(248)351-3100
mrubenfire@jaffelaw.com

Defendant, City of Troy, a Michigan municipal corporation

By _____
Janice L. Daniels, Mayor

By _____
Aileen Bittner, Deputy Clerk/Acting
City Clerk

Lori Grigg Bluhm (P46908)
Allan T. Motzny (P37580)
Attorneys for Defendant City of Troy
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motznyat@troymi.gov

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DESIGN CRITERIA:

ZONING ORDINANCE REVIEW:

ZONING ORDINANCE: CITY OF TROY, MICHIGAN ZONING ORDINANCE, EFFECTIVE DATE: APRIL 28, 2011

ZONING MAP: CITY OF TROY, MICHIGAN ZONING MAP ADOPTED DATE: APRIL 18, 2011

SITE ZONING: CJ-23: CONTROLLED BY CONSENT JUDGMENT (UTILIZING GB - GENERAL BUSINESS DISTRICT (SECTION 4.14))

PERMITTED USE: CONTROLLED BY CONSENT JUDGMENT.

BULK REGULATIONS:

LOT AREA: MINIMUM: NOT APPLICABLE (SECTION 4.14) 380,531 SF (8.74 ACRES)

LOT WIDTH: MINIMUM: NOT APPLICABLE (SECTION 4.14) 673.16 FEET

LOT DEPTH: MINIMUM: NOT APPLICABLE (SECTION 4.14) 562.99 FEET

LOT COVERAGE: EXISTING: GROSS AREA: 380,531 SF BUILDINGS: 79,512 SF PAVEMENT: 250,180 SF NET AREA: 50,839 SF (LANDSCAPE AREA) EXISTING LOT COVERAGE: 87%

PROPOSED: GROSS AREA: 380,531 SF BUILDINGS: 79,512 SF DISPENSER MAT: 2,994 SF PAVEMENT: 245,275 SF NET AREA: 52,750 SF (LANDSCAPE AREA) PROPOSED LOT COVERAGE: 86%

BUILDING HEIGHT: MAXIMUM: 5 STORY: 75.00' (SECTION 4.14C) ACTUAL: 1 STORY: 19.00'

BUILDING AREA: MINIMUM: 500 SF ACTUAL: 131 SF TRANSACTION KIOSK 2,880 SF DISPENSER CANOPY

SETBACKS:

FRONT: MINIMUM: 10.00' (SECTION 4.14C) ACTUAL: 63.00' (W. SOUTH BLVD.) 132.13' (CROOKS ROAD)

MINIMUM: 10.00' (SECTION 4.14C) ACTUAL: 535.22'

MINIMUM: 10.00' (SECTION 4.14C) ACTUAL: 472.58'

CANOPY EDGE: FRONT: MINIMUM: 25.00' (SECTION 6.28A) ACTUAL: 53.50' (W. SOUTH BLVD.) 75.02' (CROOKS ROAD)

MINIMUM: 10.00' (SECTION 6.28A) ACTUAL: 478.14'

MINIMUM: 20.00' (SECTION 6.28A) ACTUAL: 485.50'

CANOPY SUPPORT: FRONT: MINIMUM: 35.00' (SECTION 6.28A) ACTUAL: 59.50' (W. SOUTH BLVD.) 86.02' (CROOKS ROAD)

MINIMUM: 20.00' (SECTION 6.28A) ACTUAL: 489.14'

MINIMUM: 30.00' (SECTION 6.28A) ACTUAL: 491.50'

DISPENSER ISLAND: FRONT: MINIMUM: 30.00' (SECTION 6.28A) ACTUAL: 63.00' (W. SOUTH BLVD.) 85.52' (CROOKS ROAD)

MINIMUM: 20.00' (SECTION 6.28A) ACTUAL: 487.64'

MINIMUM: 20.00' (SECTION 6.28A) ACTUAL: 495.00'

OFF-STREET PARKING:

PARKING DIMENSIONS: MINIMUM: 9.50' STALL WIDTH x 19.00' STALL LENGTH x 24.00' DRIVE AISLE WIDTH (TABLE 13.06-B) 9.50' STALL WIDTH x 19.00' STALL LENGTH x 24.00' DRIVE AISLE

PARKING REQUIRED: RETAIL: 256; 76,512 SF / 300 SF = 255.04 (TABLE 13.06-A) 16; 2 / FUEL POSITION = 2 x 8 = 16 (TABLE 13.06-A) 2; 1 / 125 SF = 198 SF / 125 SF = 1.58 274 PARKING STALLS REQUIRED

ACCESSIBLE: 7; PER MBC (TABLE 1106.1)

PARKING PROVIDED: EXISTING: 465 PARKING STALLS (15 ACCESSIBLE) PROPOSED: 411 PARKING STALLS (15 ACCESSIBLE) 54 PARKING STALL LOSS

SIGNAGE:

FREESTANDING: SITE ID SIGN: NO FUEL CENTER FREESTANDING SITE ID SIGN IS BEING PROPOSED.

WALL SIGNAGE: CANOPY: NORTH: LOGO SIGN: 6.70 SF LETTER SIGN: 10.32 SF PRICE SIGN: 45.50 SF SOUTH: LOGO SIGN: 6.70 SF LETTER SIGN: 10.32 SF EAST: PRICE SIGN: 45.50 SF WEST: PRICE SIGN: 45.50 SF KIOSK: NORTH: LOGO SIGN: 6.70 SF SOUTH: LOGO SIGN: 6.70 SF EAST: LOGO SIGN: 0.00 SF WEST: LOGO SIGN: 0.00 SF

BUILDING CODE REVIEW:

ACCESSIBILITY CODE: ANSI/ICC A117.1 - 2003

BUILDING CODE: MICHIGAN BUILDING CODE (MBC) - 2009

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE (NEC) - 2008

MICHIGAN ELECTRICAL CODE (MEC), PART 8 - 2008

ENERGY CODE: MICHIGAN UNIFORM ENERGY CODE (MUEC) - 2009

MECHANICAL CODE: MICHIGAN MECHANICAL CODE (MMC) - 2009

PLUMBING CODE: MICHIGAN PLUMBING CODE (MPC) - 2009



Kroger D-464: Retail Fuel Center
2105 West South Blvd., Troy, Michigan 48098

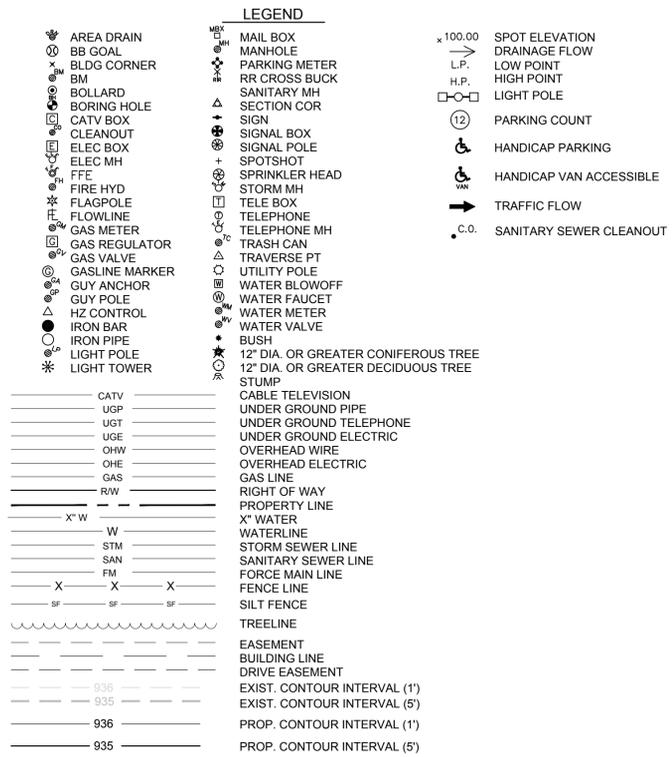
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SCOPE OF WORK:

CONSTRUCTION OF A RETAIL FUEL CENTER CONSISTING OF ONE (1) FUEL DISPENSER CANOPY, ONE (1) 131 S.F. KIOSK, AND FOUR (4) DISPENSER ISLANDS WITHIN AN EXISTING COMMERCIAL DEVELOPMENT.



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**SITE PLAN REVIEW
NOT FOR CONSTRUCTION**

NOTE:
ALL INFORMATION RELATED TO THIS SITE HAS BEEN TAKEN FROM ALTA/ACSM SURVEY PREPARED BY DAVID C. ADAMS & SON NOVEMBER 1, 2011.

Civil Engineering
Landscape Architecture
Community Planning
Surveying

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**KROGER D-464
RETAIL FUEL CENTER
2105 W. SOUTH BLVD. at CROOKS ROAD
TROY, MI 48098
COVER SHEET**

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
2	11.08.2011	PLAN COMM./L COMMENTS
3	11.15.2011	PLAN COMM./L COMMENTS

STATE OF MICHIGAN
LICENSED PROFESSIONAL ENGINEER
JOHN G. DAMRATH III
ENGINEER
No. 38510

DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
G-001

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KNOW ALL OBSERVABLE CONDITIONS AND TO CONFORM TO ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY NECESSARY OR APPROPRIATE QUESTIONS OR CLARIFICATIONS. THE GENERAL CONTRACTOR SHALL INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND STANDARDS, INCLUDING FEDERAL ADA REQUIREMENTS.
- THE DRAWINGS AND PROJECT MANUAL (INCLUDING ASSOCIATED STUDIES, DRAWINGS, SHOP DRAWINGS AND SIMILAR INSTRUMENTS AS APPLICABLE) CONSTITUTE THE GUIDELINES FOR THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE AFOREMENTIONED ENTIRE BODY OF PROJECT INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COMPLETE INFORMATION TO ALL JURISDICTIONAL AUTHORITIES, SUBCONTRACTORS, ALLIED CONSULTANTS, HIRES, AND ASSIGNS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE DRAWINGS, PROJECT MANUAL, CODES AND STANDARDS OF THE JURISDICTIONAL AUTHORITY OR AUTHORITIES. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. IN CASE OF DISCREPANCIES, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A GENERAL "A" LICENSE WITH HAZ MAT CERTIFICATION FROM THE CONTRACTOR'S STATE LICENSE BOARD AND/OR OTHER JURISDICTIONAL AUTHORITY.
- THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND DURING THE INVESTIGATION OF EXISTING UTILITIES AND TOPOGRAPHY AND/OR DURING THE CONSTRUCTION PHASE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES AND LICENSE FEES. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE ALL TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AGENCY OR AGENCIES HAVING JURISDICTION. GRADING, PAVING, AND MATERIALS SHALL COMPLY WITH THE JURISDICTIONAL ROADWAY AUTHORITY OR AUTHORITIES (E.G., DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, ATTAIN CLARIFICATION FROM THE OWNER'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR SHALL ENSURE ALL SITE INSPECTIONS REQUIRED BY CITY AND/OR STATE AGENCIES, AND/OR OTHER JURISDICTIONAL AUTHORITY ARE TO BE SCHEDULED A MINIMUM OF FIVE WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE DRAWINGS, PROJECT MANUAL AND/OR FIELD CONDITIONS SO THAT APPROPRIATE ADJUSTMENTS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN THE DRAWINGS AND PROJECT MANUAL SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
- MATERIAL TESTING SHALL BE SUPPLIED BY THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TESTING FIRM. ALL RE-TESTING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SOIL SAMPLES MAY BE REQUIRED TO BE TAKEN FOR TESTING AT THE DIRECTION OF HAZ MAT, OTHER JURISDICTIONAL AUTHORITY, OR THE OWNER'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA. TRASH AND WASTE MATERIALS SHALL BE COLLECTED AT A SAFE POINT, AWAY FROM FLAMES OR OTHER FIRE SOURCES. THE GENERAL CONTRACTOR SHALL PREVENT ANY LEAKS OR DRIPS OF HYDRAULIC FLUID, MOTOR OIL, MOTOR FUELS, SOLVENTS, AND OTHER HYDROCARBONS FROM CONTAMINATING THE GROUND. SUCH SPILLS SHALL BE IMMEDIATELY COVERED WITH AN OIL ABSORBING MEDIUM (E.G. "OIL DRY") AND REMOVED FROM THE SITE IN A LEGAL AND ENVIRONMENTALLY SOUND MANNER. TRASH SHALL BE PROPERLY DISPOSED OF DAILY, UNLESS A COVERED DUMPSTER IS PROVIDED AND ITS LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, OTHER OPENINGS, AND HAZARDOUS AREAS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND FOR WATERING TO OCCUR ON ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. DEWATERING SHALL NOT DISCHARGE TO ANY SANITARY SEWER SYSTEM OR BE PUMPED ONTO ANY PUBLIC ROADWAY.
- PROMPTLY REMOVE ALL DEMOLITIONS, PROJECT DISCARDS, RUBBISH, AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND/OR EFFECTIVE PROJECT LIMITS, AND DISPOSE IN A LEGAL MANNER.
- ALL EQUIPMENT TO BE INSTALLED SHALL BE UL APPROVED.
- THE GENERAL CONTRACTOR SHALL PROVIDE A TRAFFIC SEQUENCING AND SCHEDULING PLAN AT THE ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVES AND APPLICABLE LANDLORD'S REPRESENTATIVE(S).
- THE GENERAL CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
- ALL CONSTRUCTION SHALL BE CONDUCTED TO CAUSE MINIMAL INTERFERENCE WITH STREETS, DRIVES OR WALKS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND SHALL NOT CAUSE THE CLOSURE OR OBSTRUCTION OF STREETS, DRIVES, WALKS OR USER FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE.
- THE GENERAL CONTRACTOR SHALL PHASE CONSTRUCTION IN SUCH A WAY AS TO MAINTAIN AN ACCESS ROUTE FROM AN ENTRANCE DRIVE TO TRUCK DOCKS AND/OR LOADING AREA(S) AT ALL TIMES.
- CONTRACTOR SHALL KEEP EXISTING STREETS, ROADS AND DRIVES CLEAR OF DIRT, DEBRIS AND EQUIPMENT.
- THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE FOR PARKING AND STORAGE OF EQUIPMENT. THIS AREA, AS WELL AS THE JOB SITE, SHALL BE ENCLOSED IN CHAIN LINK FENCING. A TRAFFIC LANE SHALL BE DESIGNATED FOR INGRESS AND EGRESS FROM THE WORK AREA. IF REQUIRED, FLAG MEN SHALL BE PROVIDED TO PROVIDE FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES. NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE. THE OWNER'S REPRESENTATIVE WILL SECURE APPROVAL FOR SUCH CHANGES, IF APPLICABLE.
- NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.

- FOR THE DURATION OF CONSTRUCTION OPERATIONS, EMPLOYEE(S) WILL PARK IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
- PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREON EXPRESSLY INDICATED OTHERWISE.
- WRITTEN DIMENSIONS SHALL PREVAIL. NO DIMENSION MAY BE SCALED. REFER ANY UNCLEAR ITEMS TO THE OWNER'S REPRESENTATIVE FOR INTERPRETATION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED DIMENSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS, UTILITY SERVICE POINT CONNECTIONS, ETC., AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- COORDINATES AND/OR DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, OR CENTER OF STRUCTURE OR SIGN UNLESS NOTED OTHERWISE.
- ANY BEARINGS USED HEREON ARE FOR THE PURPOSE OF ANGULAR MEASUREMENT ONLY AND ARE NOT NECESSARILY REFERENCED TO TRUE OR MAGNETIC NORTH.
- UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE BEFORE ANY DIGGING.
- THE GENERAL CONTRACTOR AT ALL TIMES SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD LINES. IF THE GENERAL CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO UNDERGROUND AND/OR OVERHEAD ELECTRIC LINES, CONTACT THE AFFECTED UTILITY COMPANY AND MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS, PRIOR TO OPERATION.
- THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- IN ALL CASES THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS ASSUMED TO BE APPROXIMATE. LOCATIONS ARE BASED ON THE BEST AVAILABLE REFERENCE PLANS AND AN ACTUAL FIELD SURVEY OF VISIBLE STRUCTURES. CONTACT THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE BEFORE DIGGING.
- THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES AND/OR SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER, LANDLORD, OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE AFFECTED OWNER, LANDLORD, JURISDICTIONAL AUTHORITY, AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- ELECTRICAL WORK IN OR AFFECTING THE MAIN STORE TO OCCUR AFTER BUSINESS HOURS AND AFTER STORE EMPLOYEES HAVE LEFT THE BUILDING.
- THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALLIED CONSULTANTS THROUGHOUT THE CONSTRUCTION PROCESS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION PROJECT TO BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPERATIONAL CONDITION.
- UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE AN ELECTRICIAN AVAILABLE DURING THE OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMENT.
- AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT, MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PARKING STRIPES OR STAINED PAVEMENT SHALL BE REFINISHED TO ITS ORIGINAL CONDITION BY THE GENERAL CONTRACTOR.
- SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCHING OPERATIONS. SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
- SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1' BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
- REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED GRADES.
- PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS.
- ALL PAVEMENTS ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS AND RAILINGS AS NECESSARY. SEE DETAIL 3/C-500.
- WHENEVER REQUIRED OR APPROPRIATE, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND JURISDICTIONAL AUTHORITY OR AUTHORITIES, AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FABRICATION AND/OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW AND APPROVAL.
- THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STAIRWAYS, ETC.

- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
- IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE. STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EXERCISE CARE TO AVOID INSTALLATION OF CONFLICTING SIGNS AND MARKINGS.
- AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGATE SIEVE ANALYSES AND A JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND PROJECT MANUAL.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPLIES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

BID NOTES:

- THE GENERAL CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT, PROJECT No. _____, DATED _____, PREPARED BY _____.
- THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES.

DISCLAIMERS:

- THIS SET OF DRAWINGS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE TO BE USED IN CONJUNCTION WITH THE PROJECT MANUAL AND/OR SUPPLEMENTAL DATA TO BE PROVIDED BY THE OWNER'S REPRESENTATIVE. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING FEDERAL A.D.A. REQUIREMENTS.
- EXISTING SITE INFORMATION HEREON IS PROVIDED BY THE OWNER, SURVEYOR, PLANS PREPARED BY OTHERS, AND/OR FIELD SURFACE EVIDENCE. ALL LOCATIONS ARE PRESUMED TO BE APPROXIMATE. LANDPLAN ENGINEERING, P.A. ASSUMES NO LIABILITY FOR INFORMATION REPRESENTING EXISTING CONDITIONS HEREON. IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO THOROUGHLY REVIEW THESE DRAWINGS AND SUPPLEMENTAL OWNER PROVIDED DATA WITH ACTUAL SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTE ANY DISCREPANCIES IN THE DRAWINGS AND ACTUAL SITE CONDITIONS, WHETHER SHOWN ON THE PLANS OR NOT, WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING AND CONSTRUCTION.
- THE DRAWINGS AND PROJECT MANUAL ASSUME THERE ARE NO UNUSUAL SOIL CONDITIONS, UNKNOWN UNDERGROUND STRUCTURES OR IMPEDIMENTS, WIND LOADS, AND/OR SIMILAR UNFORESEEN CIRCUMSTANCES. UNUSUAL CONDITIONS DETECTED BY THE GENERAL CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AND MAY REQUIRE SIGNIFICANT CHANGES TO THESE DRAWINGS.
- THE DRAWINGS AND PROJECT MANUAL ARE AND SHALL REMAIN THE PROPERTY OF THE KROGER CO. REPRODUCTION OR ALTERATION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE KROGER CO. IS PROHIBITED. (NOT PUBLISHED: ALL RIGHTS RESERVED).

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**KROGER D-464
RETAIL FUEL CENTER
2105 W. SOUTH BLVD. & CROOKS ROAD
TROY, MI 48098
GENERAL NOTES**

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
2	11.08.2011	PLAN CORN/ALL COMMENTS
3	11.15.2011	PLAN CORN/ALL COMMENTS

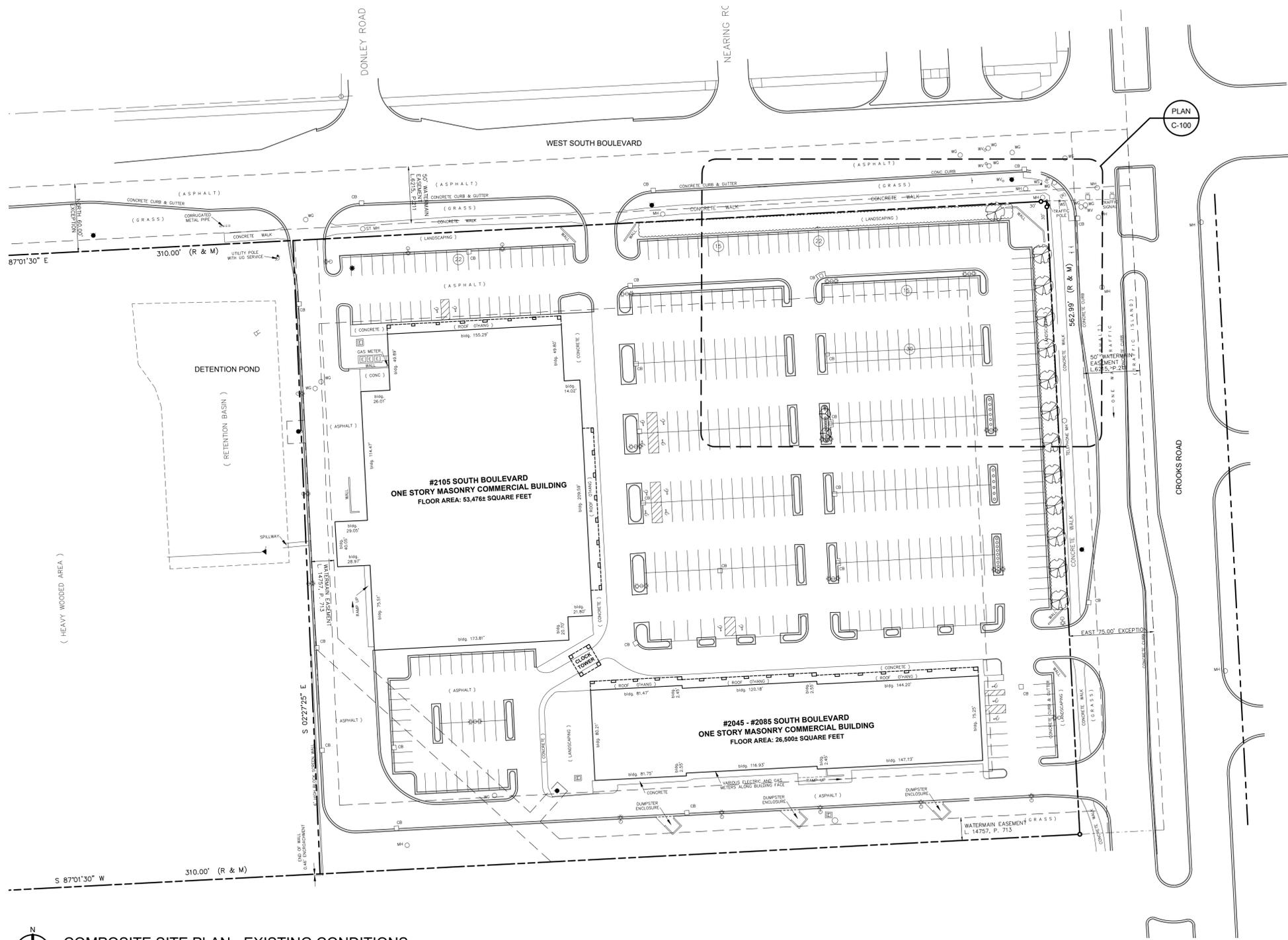
STATE OF MICHIGAN
LICENSED PROFESSIONAL ENGINEER
JOHN G. DAMRATH III
ENGINEER
No. 38510

DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
G-002

NOTE:
ALL INFORMATION RELATED TO THIS SITE HAS BEEN TAKEN FROM ALTA/ACSM SURVEY PREPARED BY DAVID C. ADAMS & SON NOVEMBER 1, 2011.

**SITE PLAN REVIEW
NOT FOR CONSTRUCTION**



COMPOSITE SITE PLAN - EXISTING CONDITIONS
SCALE: 1" = 50'-0"

PROPERTY DESCRIPTION:

SHOPPING CENTER PARCEL

PART OF THE NORTHEAST 1/4 OF SECTION 5, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E., AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 75.00 FEET TO A POINT; THENCE SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF INTERSECTION OF THE SOUTH LINE OF SOUTH BOULEVARD (120 FEET WIDE) WITH THE WEST LINE OF CROOKS ROAD (WIDTH VARIES), SAID POINT BEING ALSO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, ALONG THE WEST LINE OF SAID CROOKS ROAD, SAID LINE BEING 75.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EAST LINE OF SAID SECTION 5, A DISTANCE OF 562.97 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 678.89 FEET TO A POINT; THENCE NORTH 02 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 563.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTH BOULEVARD; THENCE NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SOUTH BOULEVARD, SAID LINE BEING 60.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 673.16 FEET TO THE POINT OF BEGINNING, CONTAINING 8.736 ACRES, MORE OR LESS, OF LAND IN AREA.

FUELING CENTER PARCEL

PART OF THE NORTHEAST 1/4 OF SECTION 5, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E., AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 131.00 FEET TO A POINT; THENCE SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 74.00 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 130.00 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 156.00 FEET TO A POINT; THENCE NORTH 03 DEGREES 01 MINUTE 10 SECONDS WEST, A DISTANCE OF 110.00 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 22.00 FEET TO A POINT; THENCE NORTH 03 DEGREES 01 MINUTE 10 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT; THENCE NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, A DISTANCE OF 178.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.476 ACRES, MORE OR LESS, OF LAND IN AREA.

REMAINDER SHOPPING CENTER PARCEL

PART OF THE NORTHEAST 1/4 OF SECTION 5, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E., AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 75.00 FEET TO A POINT; THENCE SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF INTERSECTION OF THE SOUTH LINE OF SOUTH BOULEVARD (120 FEET WIDE) WITH THE WEST LINE OF CROOKS ROAD (WIDTH VARIES), SAID POINT BEING ALSO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, ALONG THE WEST LINE OF SAID CROOKS ROAD, SAID LINE BEING 75.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EAST LINE OF SAID SECTION 5, A DISTANCE OF 562.97 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 678.89 FEET TO A POINT; THENCE NORTH 02 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 563.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTH BOULEVARD; THENCE NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SOUTH BOULEVARD, SAID LINE BEING 60.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 673.16 FEET TO THE POINT OF BEGINNING, EXCEPT THE FOLLOWING DESCRIBED PARCEL OF LAND, COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E., AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 131.00 FEET TO A POINT; THENCE SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 74.00 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 130.00 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 156.00 FEET TO A POINT; THENCE NORTH 03 DEGREES 01 MINUTE 10 SECONDS WEST, A DISTANCE OF 110.00 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 22.00 FEET TO A POINT; THENCE NORTH 03 DEGREES 01 MINUTE 10 SECONDS WEST, A DISTANCE OF 20.00 FEET TO A POINT; THENCE NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, A DISTANCE OF 178.00 FEET TO THE POINT OF BEGINNING, CONTAINING 8.260 ACRES, MORE OR LESS, OF LAND IN AREA.

RETENTION BASIN PARCEL

PART OF THE NORTHEAST 1/4 OF SECTION 5, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E., AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 1057.57 FEET TO A POINT; THENCE SOUTH 02 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 60.00 FEET TO THE POINT ON THE SOUTH LINE OF SOUTH BOULEVARD (120 FEET WIDE), SAID POINT BEING ALSO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SOUTH BOULEVARD, SAID LINE BEING 60.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 5, A MEASURED DISTANCE OF 310.00 FEET TO A POINT; THENCE SOUTH 02 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 563.00 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 310.00 FEET TO A POINT; THENCE NORTH 02 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 563.00 FEET TO THE POINT OF BEGINNING, CONTAINING 4.006 ACRES, MORE OR LESS, OF LAND IN AREA.

LOCATION MAP:



PROJECT DESCRIPTION:

DEVELOPMENT NAME: KROGER D-464 - RETAIL FUEL CENTER
DEVELOPER: THE KROGER CO. OF MICHIGAN
 40399 GRAND RIVER AVENUE, SUITE 110
 NOVI, MICHIGAN 48375
OWNER: NORTHFIELD COMMONS ASSOCIATES, LLC
 6960 ORCHARD LAKE ROAD, SUITE 307
 WEST BLOOMFIELD, MI 48332

Civil Engineering
 Landscape Architecture
 Community Planning
 Surveying



Landplan Engineering, P.A.
 Lawrence, KS • Kansas City, MO • Columbus, OH
 The Woodlands, TX • Farmington Hills, MI

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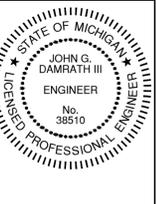
**KROGER D-464
 RETAIL FUEL CENTER
 2105 W. SOUTH BLVD. & CROOKS ROAD
 TROY, MI 48098
 COMPOSITE SITE PLAN - EXISTING CONDITIONS**

**SITE PLAN REVIEW
 NOT FOR CONSTRUCTION**

NOTES TO GENERAL CONTRACTOR:

- UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE A MINIMUM OF THREE (3) WORKING DAYS BEFORE ANY DIGGING.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
- SEE SHEET G-002 FOR OTHER IMPORTANT GENERAL NOTES.

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
2	11.09.2011	PLAN CORN/ALL COMMENTS
3	11.15.2011	PLAN CORN/ALL COMMENTS

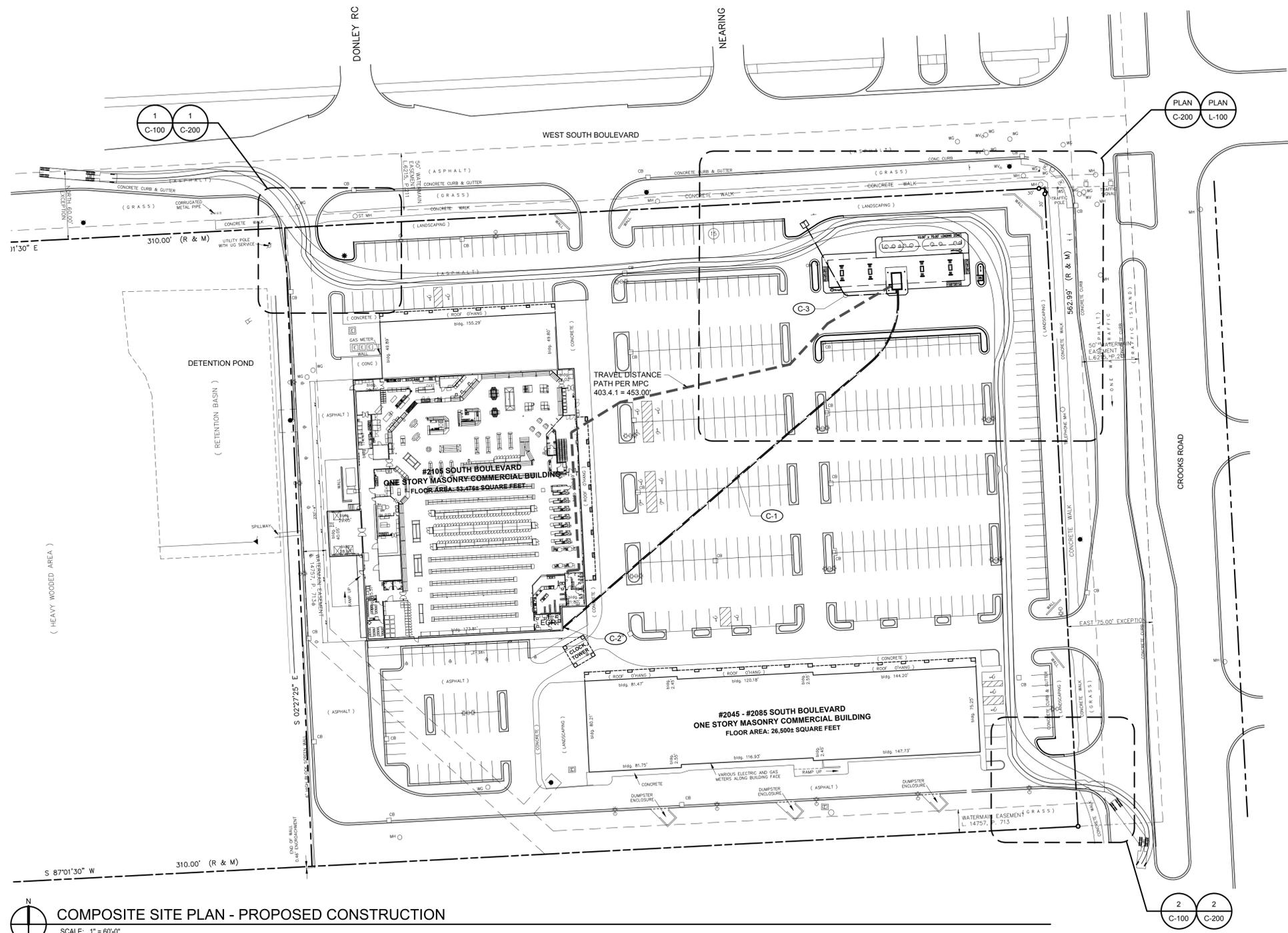


DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
C-001

NOTE:
 ALL INFORMATION RELATED TO THIS SITE HAS BEEN TAKEN FROM ALTA/ACSM SURVEY PREPARED BY DAVID C. ADAMS & SON NOVEMBER 1, 2011.

FILE NAME: C:\Documents and Settings\Mikev\Desktop\20101174\CAD\Const_Docs\Site\C-002_Comp_Site_Plan_Prop_Conditions.dwg LAST SAVED BY: Mike Vanderbeke SAVED DATE: 11/16/2011 2:53 PM PLOTTED: 11/16/2011 2:54 PM



COMPOSITE SITE PLAN - PROPOSED CONSTRUCTION
SCALE: 1" = 60'-0"

- SCOPE OF WORK:**
- (C-1) INSTALL COMMUNICATION CONDUITS FROM KROGER STORE TO FUEL CENTER KIOSK. SAWCUT, REMOVE AND DISPOSE OF SITE PAVEMENT ONLY AS REQUIRED TO ALLOW FOR DIRECTIONAL BORING TO KROGER STORE. REPLACE SIDEWALK, PAVED AND UNPAVED AREAS TO MATCH EXISTING ADJACENT GROUND UNLESS EXPRESSLY STATED OTHERWISE IN PLANS. REVIEW AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING. SEE UTILITY PLAN, SHEET C-400.
 - (C-2) ROUTE COMMUNICATION CONDUITS UP EXTERIOR FACE OF KROGER STORE AS REQUIRED TO PENETRATE WALL ABOVE FINISHED CEILING. PROVIDE AND INSTALL WEATHERPROOF JUNCTION BOXES AS REQUIRED BY CODE. PAINT ALL EXPOSED CONDUITS AND JUNCTION BOXES TO MATCH EXISTING ADJACENT SURFACES.
 - (C-3) INSTALL ELECTRICAL CONDUITS FROM FUEL CENTER KIOSK TO TRANSFORMER. SEE UTILITY PLAN, SHEET C-400.

PROPERTY DESCRIPTION:
SHOPPING CENTER PARCEL

PART OF THE NORTHEAST 1/4 OF SECTION 5, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E. AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 75.00 FEET TO A POINT; THENCE SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF INTERSECTION OF THE SOUTH LINE OF SOUTH BOULEVARD (120 FEET WIDE) WITH THE WEST LINE OF CROOKS ROAD (WIDTH VARIES), SAID POINT BEING ALSO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING SOUTH 03 DEGREES 01 MINUTE 10 SECONDS EAST, ALONG THE WEST LINE OF SAID CROOKS ROAD, SAID LINE BEING 75.00 FEET WEST OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE EAST LINE OF SAID SECTION 5, A DISTANCE OF 562.97 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 678.69 FEET TO A POINT; THENCE NORTH 02 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 563.00 FEET TO A POINT ON THE SOUTH LINE OF SAID SOUTH BOULEVARD; THENCE NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SOUTH BOULEVARD, SAID LINE BEING 60.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 673.16 FEET TO THE POINT OF BEGINNING. CONTAINING 8.736 ACRES, MORE OR LESS, OF LAND IN AREA.

FUELING CENTER PARCEL

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PART OF THE NORTHEAST 1/4 OF SECTION 5, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 5, T. 2 N., R. 11 E. AND RUNNING THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, ALONG THE NORTH LINE OF SAID SECTION 5, A DISTANCE OF 107.57 FEET TO A POINT; THENCE SOUTH 02 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 60.00 FEET TO THE POINT ON THE SOUTH LINE OF SOUTH BOULEVARD (120 FEET WIDE), SAID POINT BEING ALSO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN BEING DESCRIBED; PROCEEDING THENCE FROM SAID POINT OF BEGINNING NORTH 87 DEGREES 01 MINUTE 30 SECONDS EAST, ALONG THE SOUTH LINE OF SAID SOUTH BOULEVARD, SAID LINE BEING 60.00 FEET SOUTH OF, AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE NORTH LINE OF SAID SECTION 5, A MEASURED DISTANCE OF 310.00 FEET TO A POINT; THENCE SOUTH 02 DEGREES 27 MINUTES 25 SECONDS EAST, A DISTANCE OF 563.00 FEET TO A POINT; THENCE SOUTH 87 DEGREES 01 MINUTE 30 SECONDS WEST, A DISTANCE OF 310.00 FEET TO A POINT; THENCE NORTH 02 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 563.00 FEET TO THE POINT OF BEGINNING. CONTAINING 4.006 ACRES, MORE OR LESS, OF LAND IN AREA.



PROJECT NARRATIVE:
CONSTRUCTION OF A RETAIL FUEL CENTER CONSISTING OF ONE (1) CANOPY, ONE (1) 198 S.F. TRANSACTION KIOSK, AND FOUR (4) DISPENSER ISLANDS WITHIN AN EXISTING COMMERCIAL DEVELOPMENT.

PROJECT DESCRIPTION:

DEVELOPER NAME: KROGER D-464 - RETAIL FUEL CENTER

DEVELOPER: THE KROGER CO. OF MICHIGAN
40399 GRAND RIVER AVENUE, SUITE 110
NOVI, MICHIGAN 48375

OWNER: NORTHFIELD COMMONS ASSOCIATES, LLC
6960 ORCHARD LAKE ROAD, SUITE 307
WEST BLOOMFIELD, MI 48332

- NOTES TO GENERAL CONTRACTOR:**
1. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE A MINIMUM OF THREE (3) WORKING DAYS BEFORE ANY DIGGING.
 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
 3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
 4. SEE SHEET G-002 FOR OTHER IMPORTANT GENERAL NOTES.

NOTE:
ALL INFORMATION RELATED TO THIS SITE HAS BEEN TAKEN FROM ALTA/ACSM SURVEY PREPARED BY DAVID C. ADAMS & SONS NOVEMBER 1, 2011.

**SITE PLAN REVIEW
NOT FOR CONSTRUCTION**

Civil Engineering
Landscape Architecture
Community Planning
Surveying

37740 Hills Tech. Dr.
Lawrence, KS 66044
Tel: (785) 843-7411
Email: info@landplan.com
Web: www.landplan.com

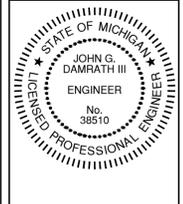
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Lawrence, KS • Kansas City, MO • Columbus, OH
The Woodlands, TX • Farmington Hills, MI

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**KROGER D-464
RETAIL FUEL CENTER
2105 W. SOUTH BLVD. at CROOKS ROAD
TROY, MI 48098
COMPOSITE SITE PLAN PROPOSED CONSTRU.**

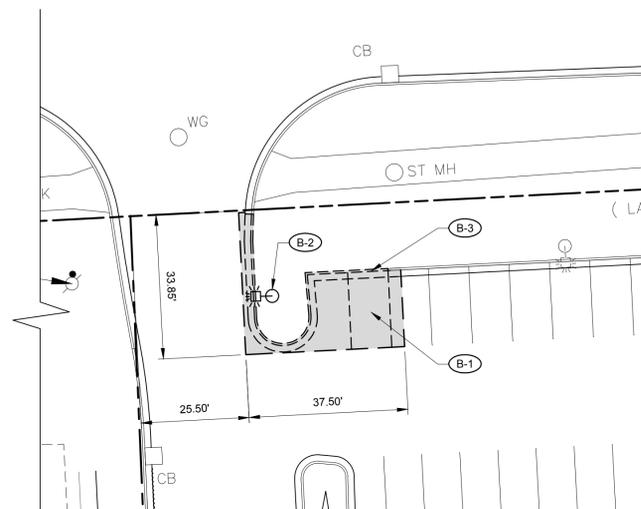
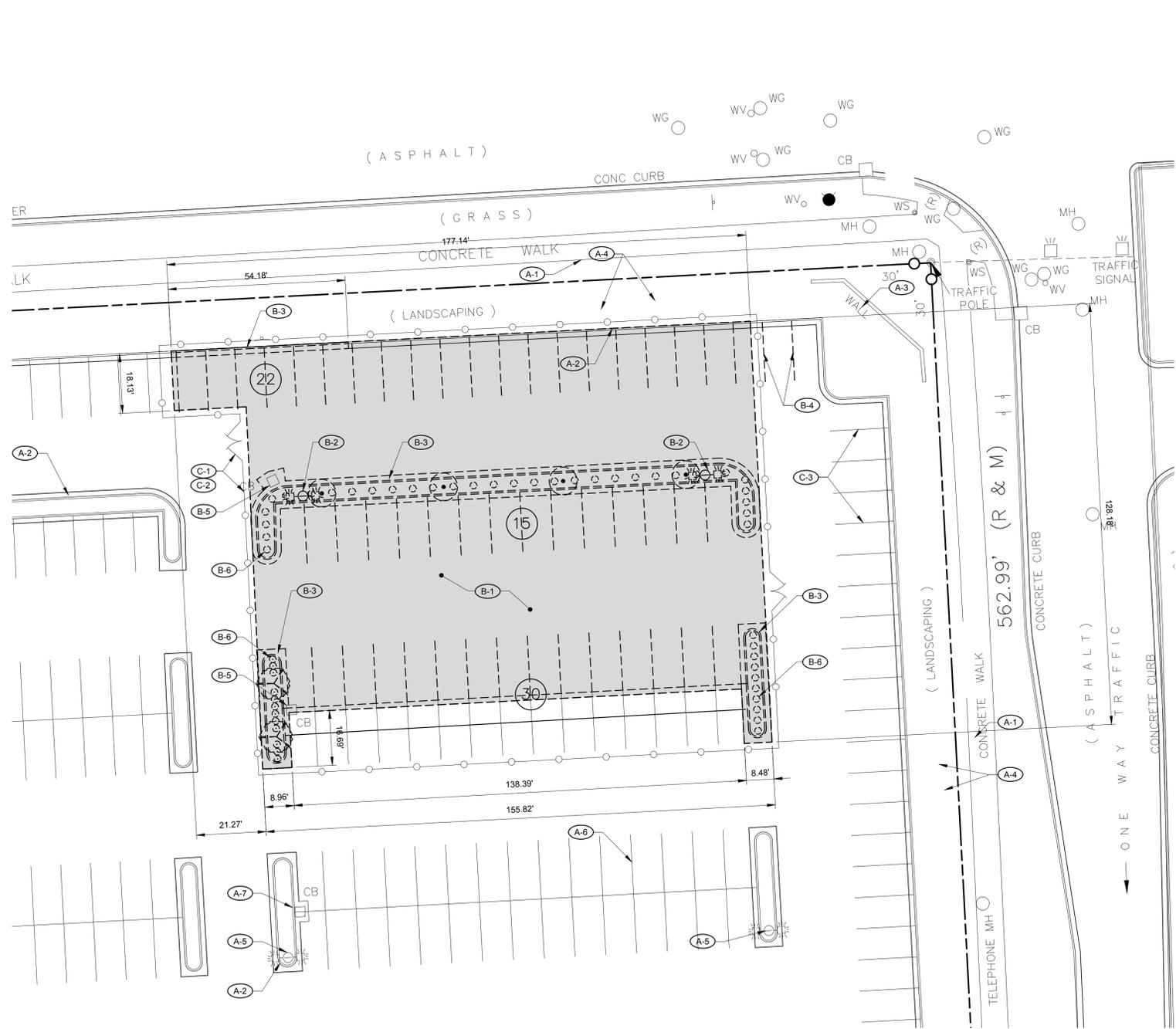
REV	DATE	DESCRIPTION
0	05/18/2011	OWNER REVIEW
1	07/11/2011	SITE PLAN REVIEW
2	11/09/2011	PLAN COR./ALL COMMENTS
3	11/15/2011	PLAN COR./ALL COMMENTS



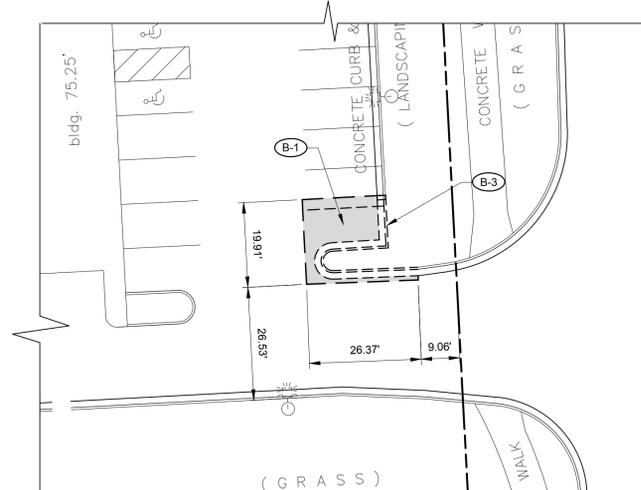
DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
C-002

FILE NAME: C:\Documents and Settings\Mikev\Desktop\20101174\CAD\Const_Docs\Site\Site\C-100 Demo & Erosion Control Plan.dwg LAST SAVED BY: Mike Vanderbeke SAVED DATE: 11/16/2011 1:50 PM



1 DEMOLITION PLAN AT NORTHWEST APPROACH
SCALE: 1" = 20'-0"



2 DEMOLITION PLAN AT NORTHWEST APPROACH
SCALE: 1" = 20'-0"

DEMOLITION NOTES:

1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE DEMOLITION, EXCAVATION OR GRADING.
2. PERFORM CLEARING, STRUCTURE REMOVAL, PAVEMENT REMOVAL AND APPLICABLE STOCKPILING IN ACCORDANCE WITH THE PROJECT DRAWINGS AND PROJECT MANUAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, ORGANIC MATERIAL, ETC.
3. NO ATTEMPT IS MADE TO STIPULATE EACH ITEM TO BE REMOVED AND/OR DEMOLISHED, EITHER ON THE DRAWINGS OR IN THE PROJECT MANUAL. THE CONTRACTOR MUST VISIT THE SITE TO ASSESS EXISTING PHYSICAL CONDITIONS, AS WELL AS REVIEW THE DRAWINGS, AND ULTIMATELY DETERMINE WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DRAWINGS AND PROJECT MANUAL.
4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER RESTORATION OPERATIONS SUCH AS, BUT NOT LIMITED TO, CONSTRUCTION SIGNAGE, STREET SWEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. RESTORATION WORK SHALL BE PERFORMED WITHIN FIVE (5) WORKING DAYS AFTER COMPLETION OF FINAL GRADING.
5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH TO PROVIDE A SMOOTH JOINT WITH PROPOSED PAVEMENT.
6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
7. IF APPROPRIATE, RETAIN SOIL SPOILS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).

NOTE:
AREA OF DEMOLITION: 17,782 SQUARE FEET.

DEMOLITION AND EROSION CONTROL PLAN
SCALE: 1" = 20'-0"

SCOPE OF WORK:

- | | | |
|---|---|---|
| <p>A - EXISTING SITE FEATURES TO REMAIN:</p> <ul style="list-style-type: none"> (A-1) CONCRETE SIDEWALK (A-2) CONCRETE CURB AND GUTTER (A-3) SHOPPING CENTER I.D. SIGN (A-4) LANDSCAPING (A-5) SITE LIGHTING (A-6) PARKING STRIPE (A-7) CATCH BASIN | <p>B - SITE FEATURES TO BE REMOVED: (ALSO SEE DEMOLITION PLAN)</p> <ul style="list-style-type: none"> (B-1) SAWCUT, REMOVE AND DISPOSE OF SITE PAVEMENT AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION. (B-2) DISCONNECT AND REMOVE INDICATED SITE LIGHTING AND FOUNDATION(S). DISPOSE OR RE-USE AS DIRECTED IN PLANS AND/OR BY OWNER'S REPRESENTATIVE. REROUTE AND/OR TERMINATE EXISTING UTILITIES AS REQUIRED BY CODE TO MAINTAIN OPERATION OF REMAINING LOT LIGHTS. (B-3) SAWCUT, REMOVE AND DISPOSE OF CONCRETE CURB AS REQUIRED TO ALLOW FOR NEW CONSTRUCTION. PRIOR TO DEMOLITION, REMOVE AND RELOCATE TREES AND/OR SHRUBS. SEE LANDSCAPE PLAN, SHEET L-100. (B-4) EXISTING PARKING LOT STRIPING TO BE COATED AS INDICATED TO OBSCURE VISIBILITY. | <p>C - NEW SITE FEATURES</p> <ul style="list-style-type: none"> (C-1) INSTALL CONSTRUCTION FENCE. CONTRACTOR TO FIELD VERIFY AND COORDINATE LOCATION(S) OF CONSTRUCTION ACCESS GATE(S) WITH OWNER'S REPRESENTATIVE. (C-2) INSTALL SILT FENCE. SEE DETAIL 7, SHEET C-500. (C-3) TEMPORARY CONSTRUCTION CREWS PARKING AREA. |
| <p>B-5 SAWCUT, REMOVE, AND DISPOSE OF CATCH BASIN. PROTECT EXISTING STORM PIPE FROM SILT AND DEBRIS RUNOFF AND MAKE READY FOR REUSE IN NEW CONSTRUCTION.</p> | <p>B-6 REMOVE, STORE, AND RELOCATE LANDSCAPE PLANT MATERIAL PER LANDSCAPE PLAN ON SHEET L-100.</p> | |

**SITE PLAN REVIEW
NOT FOR CONSTRUCTION**

NOTES TO GENERAL CONTRACTOR:

1. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE A MINIMUM OF THREE (3) WORKING DAYS BEFORE ANY DIGGING.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
4. SEE SHEET G-002 FOR OTHER IMPORTANT GENERAL NOTES.

NOTE:
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DEMOLITION AND EROSION CONTROL PLAN

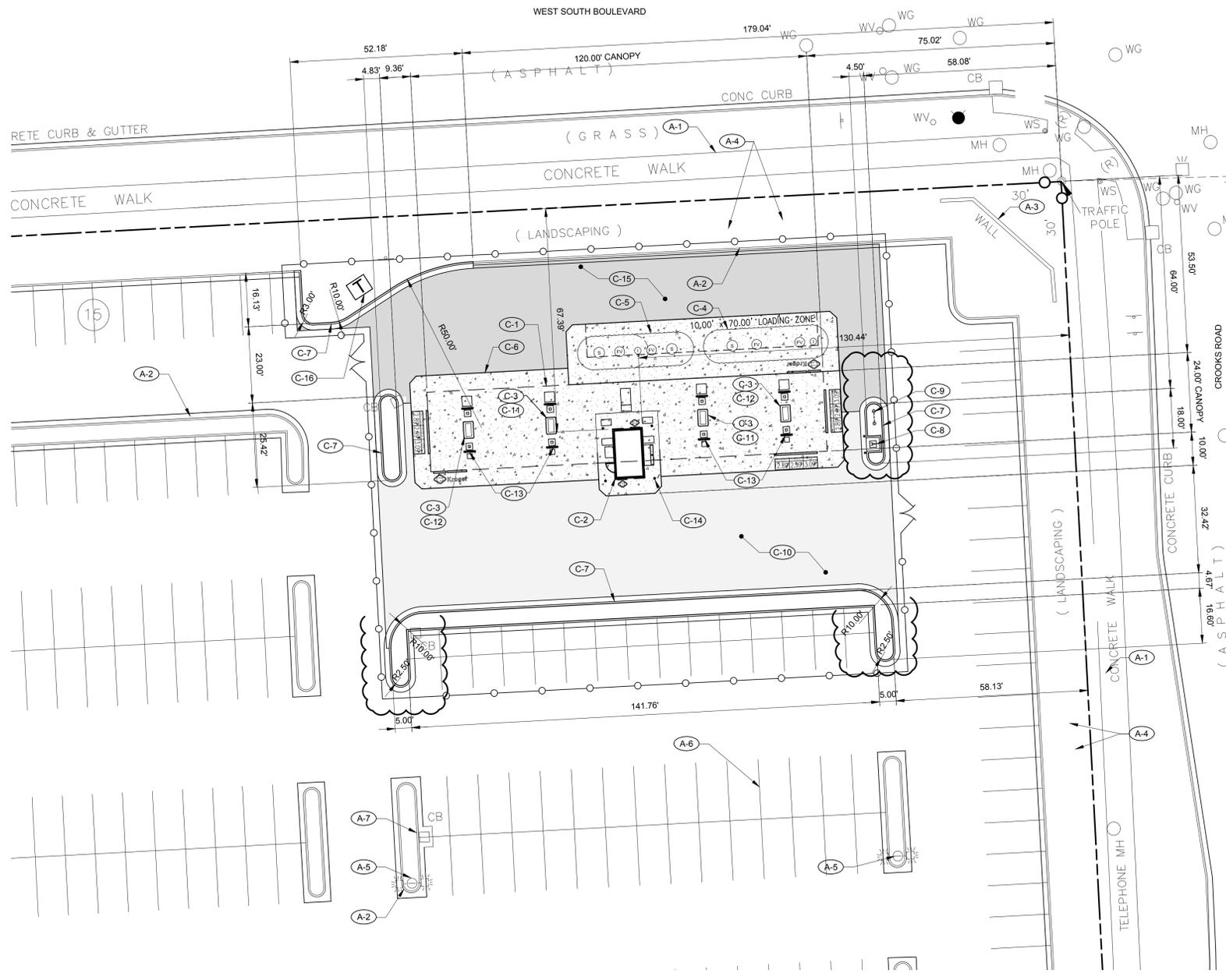
REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
2	11.08.2011	PLAN CORR./ALL COMMENTS
3	11.15.2011	PLAN CORR./ALL COMMENTS

STATE OF MICHIGAN
ENGINEER
JOHN G. DAMRATH III
No. 38510

DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
C-100

FILE NAME: C:\Documents and Settings\Mikev\Desktop\20101174\CAD\Const Docs\Site\C-200 Site Plan.dwg LAST SAVED BY: Mike Vanderbeke SAVED DATE: 11/16/2011 1:52 PM PLOTTED: 11/16/2011 2:59



DIMENSION CONTROL SITE PLAN
SCALE: 1" = 20'-0"

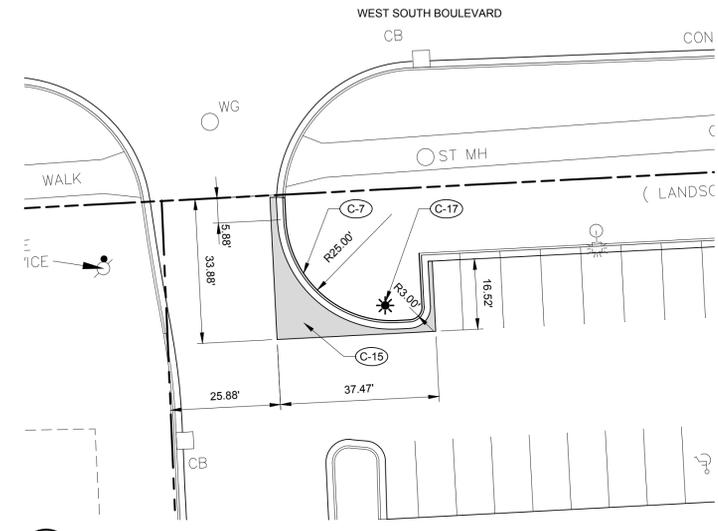
SCOPE OF WORK:

- A - EXISTING SITE FEATURES TO REMAIN:**
- A-1 CONCRETE SIDEWALK
 - A-2 CONCRETE CURB AND GUTTER
 - A-3 SHOPPING CENTER I.D. SIGN
 - A-4 LANDSCAPING
 - A-5 SITE LIGHTING
 - A-6 PARKING STRIPE
 - A-7 CATCH BASIN

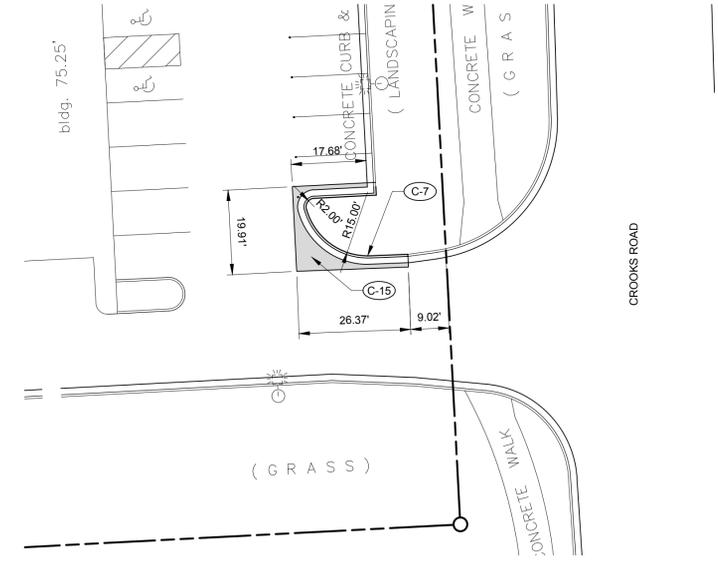
C - PROPOSED SITE IMPROVEMENTS:

- C-1 120.00' x 24.00' DISPENSER CANOPY (2,880 S.F.), CANOPY COLUMNS AND FOOTINGS. SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A101.
- C-2 8.83' x 22.42' TRANSACTION KIOSK (198 S.F.) SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A101.
- C-3 3.00' x 5.00' DISPENSER ISLAND.
- C-4 20,000 GALLON DOUBLE-WALL UNDERGROUND STORAGE TANK (UNLEADED).
- C-5 18,000 GALLON DOUBLE-WALL SPLIT UNDERGROUND STORAGE TANK 8,000 GALLONS PREMIUM/10,000 GALLONS DIESEL.
- C-6 CONCRETE TANK/DISPENSER MAT. SEE CONSTRUCTION IMPROVEMENT PLAN ON SHEET A101.
- C-7 CONCRETE CURB AND GUTTER.
- C-8 AIR TOWER, ALL ASSOCIATED EQUIPMENT, AND UTILITIES REQUIRED TO PROVIDE PROPER SERVICE.
- C-9 TANK VENT RISER.
- C-10 LIGHT DUTY BITUMINOUS PAVEMENT.
- C-11 GASOLINE DISPENSER WITH CARD READER.
- C-12 AUTOMOBILE MULTI-PRODUCT DISPENSER (3+1 GASOLINE/DIESEL).
- C-13 U-SHAPED BOLLARD AT CANOPY COLUMNS.
- C-14 KIOSK BOLLARD. SEE SHEET KIOSK EQUIPMENT PLAN ON SHEET A101.
- C-14 HEAVY DUTY BITUMINOUS PAVEMENT.
- C-15 PER UTILITY COMPANY TEMPLATE, PROVIDE AND INSTALL 6'-2" WIDE X 5'-2" DEEP X 6 1/2" THICK CONCRETE TRANSFORMER PAD. CONCRETE MIX SHALL BE 6-BAG WITH MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.
- C-16 RELOCATED LOT LIGHT.

NOTES:
FIRE SUPPRESSION NOT REQUIRED OR PROPOSED FOR CANOPY PER TROY FIRE DEPARTMENT.



1 PARTIAL SITE PLAN AT NORTHWEST APPROACH
SCALE: 1" = 20'-0"



2 PARTIAL SITE PLAN AT NORTHWEST APPROACH
SCALE: 1" = 20'-0"

NOTES TO GENERAL CONTRACTOR:

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3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
4. SEE SHEET G-002 FOR OTHER IMPORTANT GENERAL NOTES.

**SITE PLAN REVIEW
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**KROGER D-464
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2105 W. SOUTH BLVD. at CROOKS ROAD
TROY, MI 48098
DIMENSION CONTROL SITE PLAN**

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
2	11.06.2011	PLAN COM/ALL COMMENTS
3	11.15.2011	PLAN COM/ALL COMMENTS

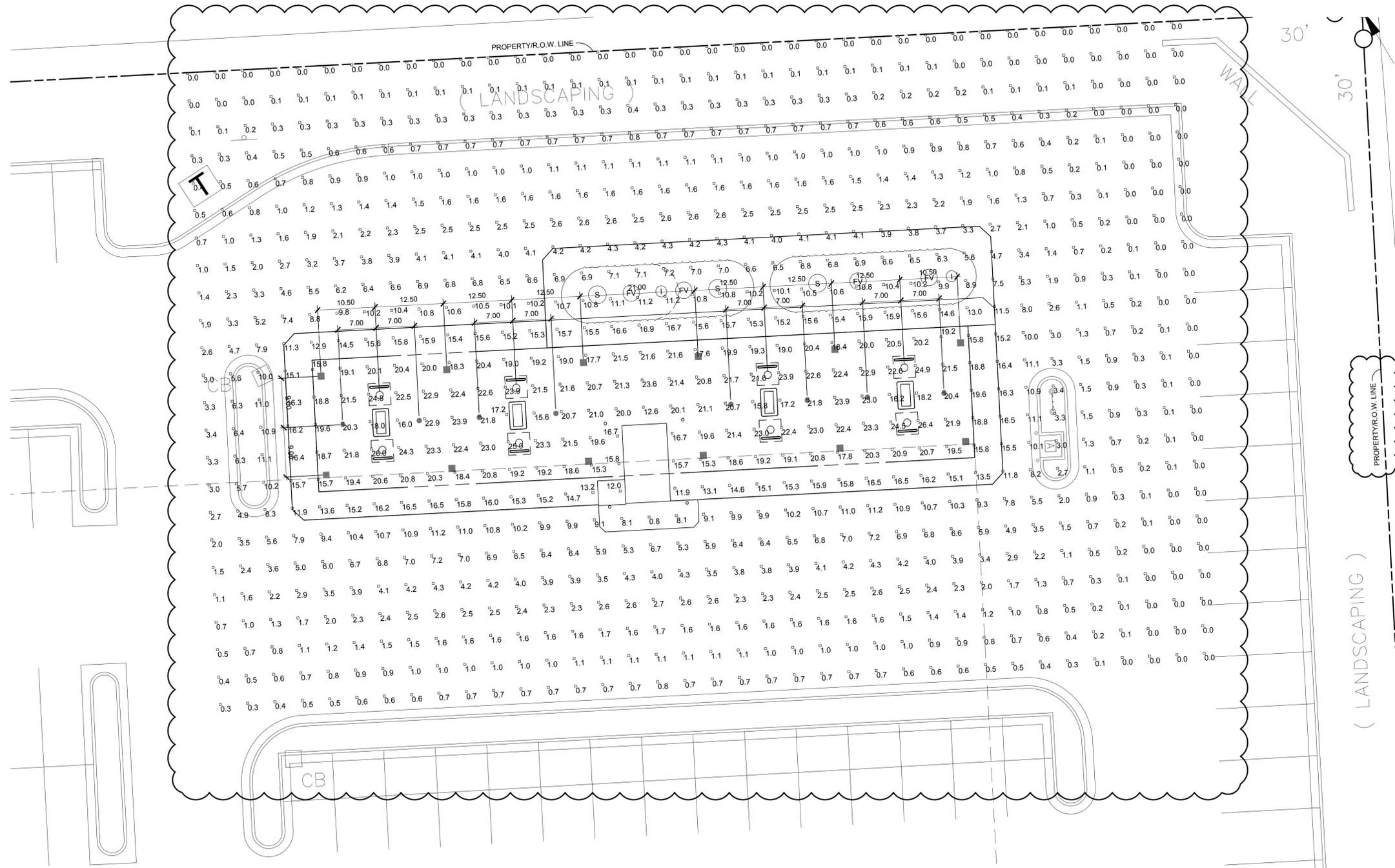
STATE OF MICHIGAN

JOHN G. DAMRATH III
ENGINEER
No. 38510

DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
C-200

FILE NAME: C:\Documents and Settings\Mike\Desktop\20101174\CAD\Const\Site\C-201 Photometric Site Plan.dwg LAST SAVED BY: Mike Vanderbeke SAVED DATE: 11/16/2011 1:53 PM PLOTTED: 11/16/2011 3:01 PM



PHOTOMETRIC SITE PLAN
SCALE: 1" = 10'-0"



STATISTICAL AREA SUMMARY					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	20.45	28.4	12.6	1.62	2.10

LUMINAIRE SCHEDULE						
SYMBOL	QTY	LABEL	DESCRIPTION	LUMENS	LLF	MODEL #
●	8	FOCUS	70 WATT, CERAMIC METAL HALIDE	6600	0.720	ECTA-SP-70-16MH-F
■	12	ENCORE	250 WATT, PULSE START METAL HALIDE	23000	0.720	ECTA-S-250-PSMV-F

**SITE PLAN REVIEW
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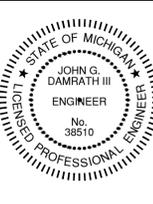
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**KROGER D-464
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TROY, MI 48098
PHOTOMETRIC SITE PLAN**

REV	DATE	DESCRIPTION
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2	11.08.2011	PLAN CORR./L COMMENTS
3	11.15.2011	PLAN CORR./L COMMENTS

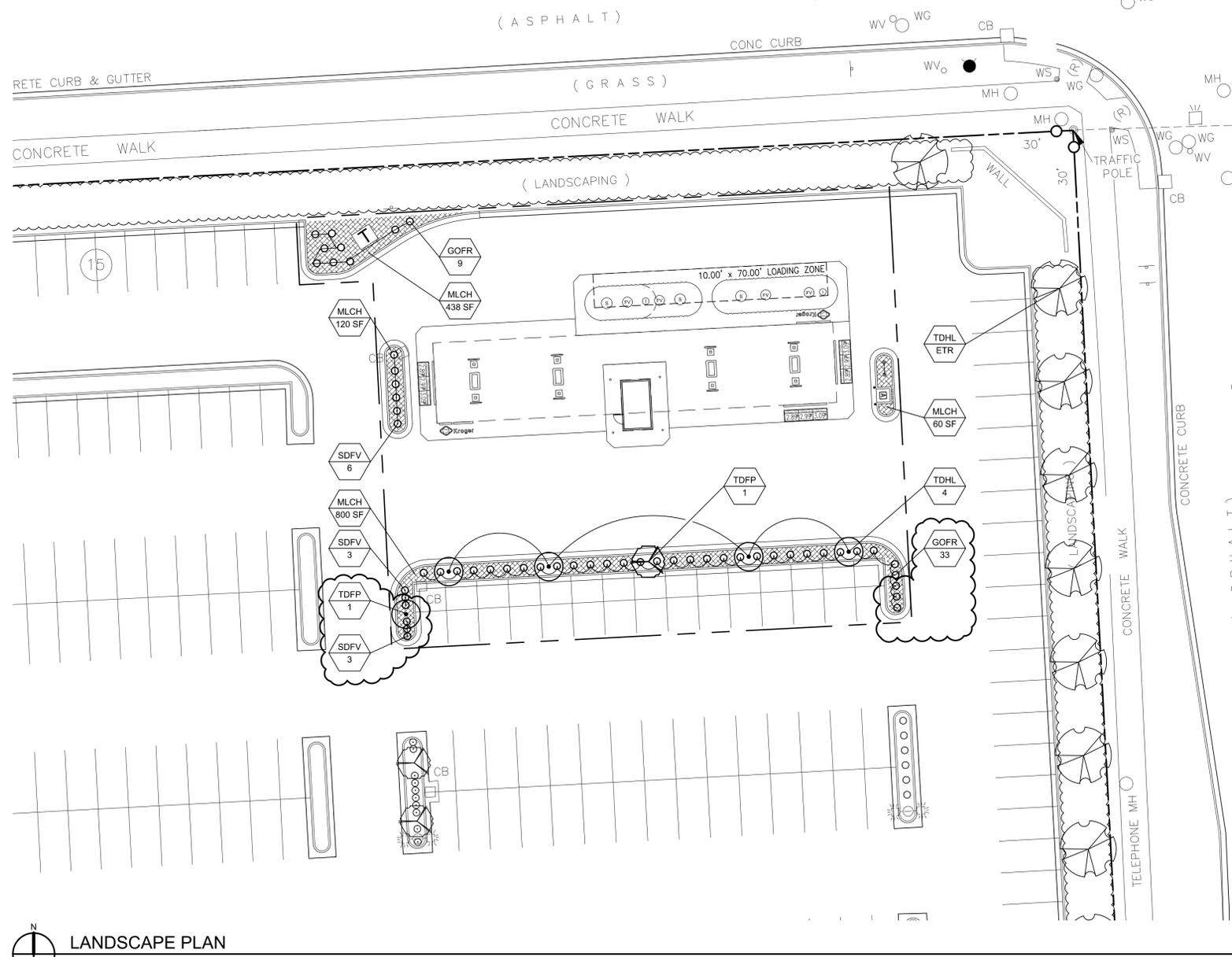


DATE: 01.01.2011
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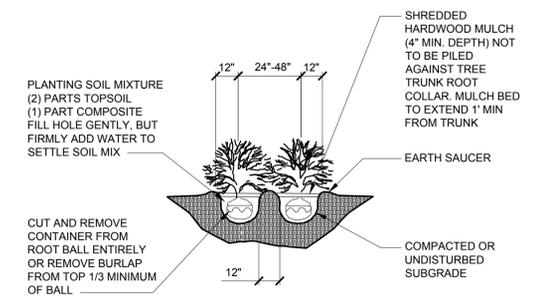
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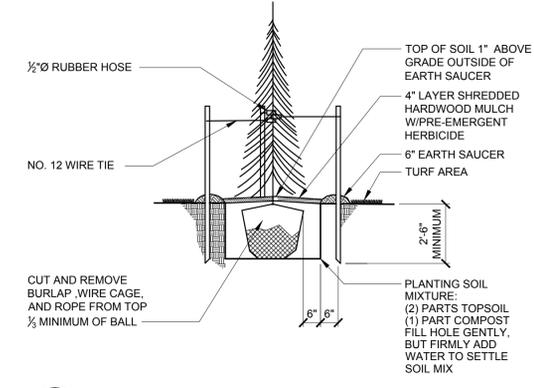


LANDSCAPE PLAN
SCALE: 1" = 20'-0"

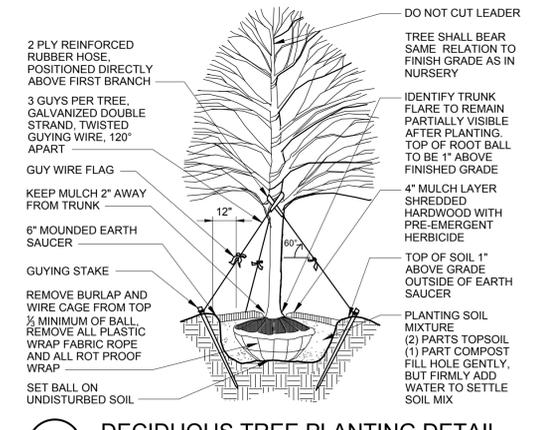
LANDSCAPE PLANT MATERIAL SCHEDULE											
CLASS	LABEL	COMMON NAME	BOTANICAL NAME	SIZE / HEIGHT	ROOT	EXISTING	REMOVE	RELOCATE	NEW	TOTAL	NOTES
TREES	DECIDUOUS	TDHL	HONEYLOCUST	GKEDITSIA TRICANTHOS INERMIS	4" CALIPER	SPADE AND RELOCATE	-	-	4	4	SEE DEMOLITION PLAN ON SHEET C-100.
		TDFP	FLOWERING PEAR	PYRUS CALLERYANA	5" CALIPER	SPADE AND RELOCATE	-	-	2	2	SEE DEMOLITION PLAN ON SHEET C-100.
		TDAS	SYCAMORE, AMERICAN	PLATANUS OCCIDENTALIS L.	-	-	-	-	2	2	SITE PERIMETER TREES, EXISTING TO REMAIN.
SHRUBS	DECIDUOUS	SDFV	FRUIT, VIBURNUM	VIBURNUM	-	-	-	12	12	12	SEE DEMOLITION PLAN ON SHEET C-100.
		-	-	-	-	-	-	-	-	-	-
		-	-	-	-	-	-	-	-	-	-
GRASS	SOD	GOFR	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	CONTAINER	RELOCATE	-	-	42	42	SEE DEMOLITION PLAN ON SHEET C-100.
		MLCH	MULCH, CYPRUS BARK	PINUS NIGRA	1,418 SF	-	-	-	-	-	MULCH PER DETAILS THIS SHEET.



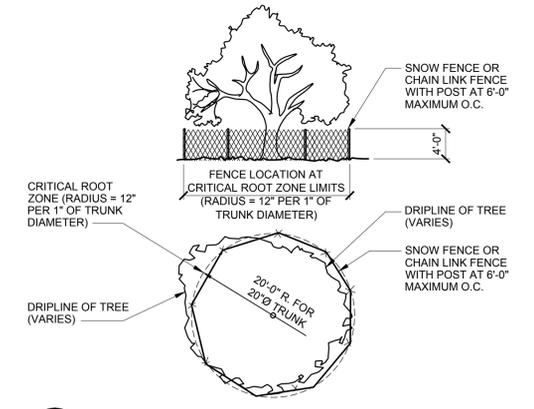
4 TYPICAL SHRUB PLANTING DETAIL
SCALE: NO SCALE



3 EVERGREEN TREE PLANTING DETAIL
SCALE: NO SCALE



2 DECIDUOUS TREE PLANTING DETAIL
SCALE: NO SCALE



1 TREE PROTECTION DETAIL
SCALE: NO SCALE

- LANDSCAPE NOTES:**
- ALL TREES AND SHRUBS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE ENGINEER PRIOR TO PLANTING.
 - PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
 - ANY SUBSTITUTIONS OF PLANT MATERIAL OR ALTERATION IN PLANT SIZES, SPECIFICATION OR LOCATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
 - ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED, AND WRAPPED. SEE LANDSCAPE DETAILS.
 - PLANT BEDS TO BE MULCHED AND DRESSED WITH 4" MIN. OF SHREDDED HARDWOOD WITH PRE-EMERGENT HERBICIDE. SEE DETAIL THIS SHEET.
 - DIG SHRUB PIT 1' FOOT LARGER THAN SHRUB ROOT BALLS AND THREE PITS TWO FEET LARGER THEN ROOT BALL. BACK FILL WITH TWO PARTS TOP SOIL AND ONE PART COMPOST.
 - REMOVE ALL TWINE, WIRE, AND BURLAP FROM TREE AND SHRUB ROOT BALLS, AND FROM TRUNKS.
 - ALL DISTURBED AREAS NOT DESIGNATED AS PAVEMENT, OR PLANTING BEDS, SHALL BE SODDED. ALL TURF AREAS SHALL CONSIST OF A MINIMUM 8" THICKNESS TOPSOIL FREE OF CLAY DEBRIS, STICKS OR ROCKS IN EXCESS OF 1" IN DIAMETER. ALL TOPSOIL AREAS SHALL BE FINE GRADED AND RAKED. REMOVING RIDGES AND FILLING DEPRESSIONS AS REQUIRED TO MEET FINISHED GRADES AND CREATE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 - LAWN TREES TO BE MULCHED WITH 4" WIDE MINIMUM OF 4" DEEP SHREDDED BARK RING OR APPROVED ALTERNATE DESIGN FOR TRUNK PROTECTION.
 - PROVIDE SOD FOR ALL NEW LAWN AREAS UNLESS NOTED OTHERWISE. TURF AREA SHALL BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 1 POUND PER 1,000 SQUARE FEET.
 - INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
 - AT THE TIME OF SITE PREPARATION, ENGINEER TO REVIEW ALL EXISTING VEGETATION, AND TAG MATERIALS TO BE SAVED OR RELOCATED.
 - ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
 - PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS, AND PARKING STALLS:
 - a. SHADE TREES: 5 FEET
 - b. ORNAMENTAL AND EVERGREEN TREES: 10 FEET (CRAB, PINE, SPRUCE, ETC.)
 - c. SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY: 2 FEET
 - LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES.
 - NO TREES, EVERGREENS, AND SHRUBS SHALL BE INSTALLED OVER ANY EXISTING OR PROPOSED UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR EXACT LOCATION AND DETAILS.
 - LAWN AND LANDSCAPE AREAS TO BE FULLY IRRIGATED WITH AUTOMATIC UNDERGROUND SYSTEMS (BLVD, ISLAND, CUL-DE-SAC, AND GREENBELT), TO ESTABLISH AND MAINTAIN GOOD AND HEALTHY TURF AND PLANT MATERIAL. PER THE KROGER CO. KROGER MASTER BUILDING SPECIFICATIONS, SECTION 32 84 00 - PLANTING IRRIGATION OF THE PROCUREMENT AND CONTRACTING DOCUMENTS GROUP. EXTEND EXISTING SPRINKLER SYSTEM TO ACCOMPLISH THE ABOVE.
 - ALL LANDSCAPE PLANT MATERIAL TO BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE.
 - ALL SHRUB PLANTINGS WITHIN SITE TRIANGLE AREAS TO BE MAXIMUM HEIGHT OF 30", AND FIRST BRANCHING FOR PROPOSED TREES TO BE MINIMUM OF 7' ABOVE PROPOSED GRADES.
 - ALL DISEASED, DAMAGED, OR DEAD PLANT MATERIALS SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS, AND LOCAL REGULATIONS.
 - PLANT FERTILIZER SHALL BE AGRIFORM 21 GRAIN TABLETS, SLOW RELEASE, 20-10-5 ANALYSIS AND/OR APPROVED EQUAL. RATES OF APPLICATION SHALL BE AS RECOMMENDED BY MANUFACTURER.

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LANDSCAPE PLAN, SCHEDULES, AND NOTES

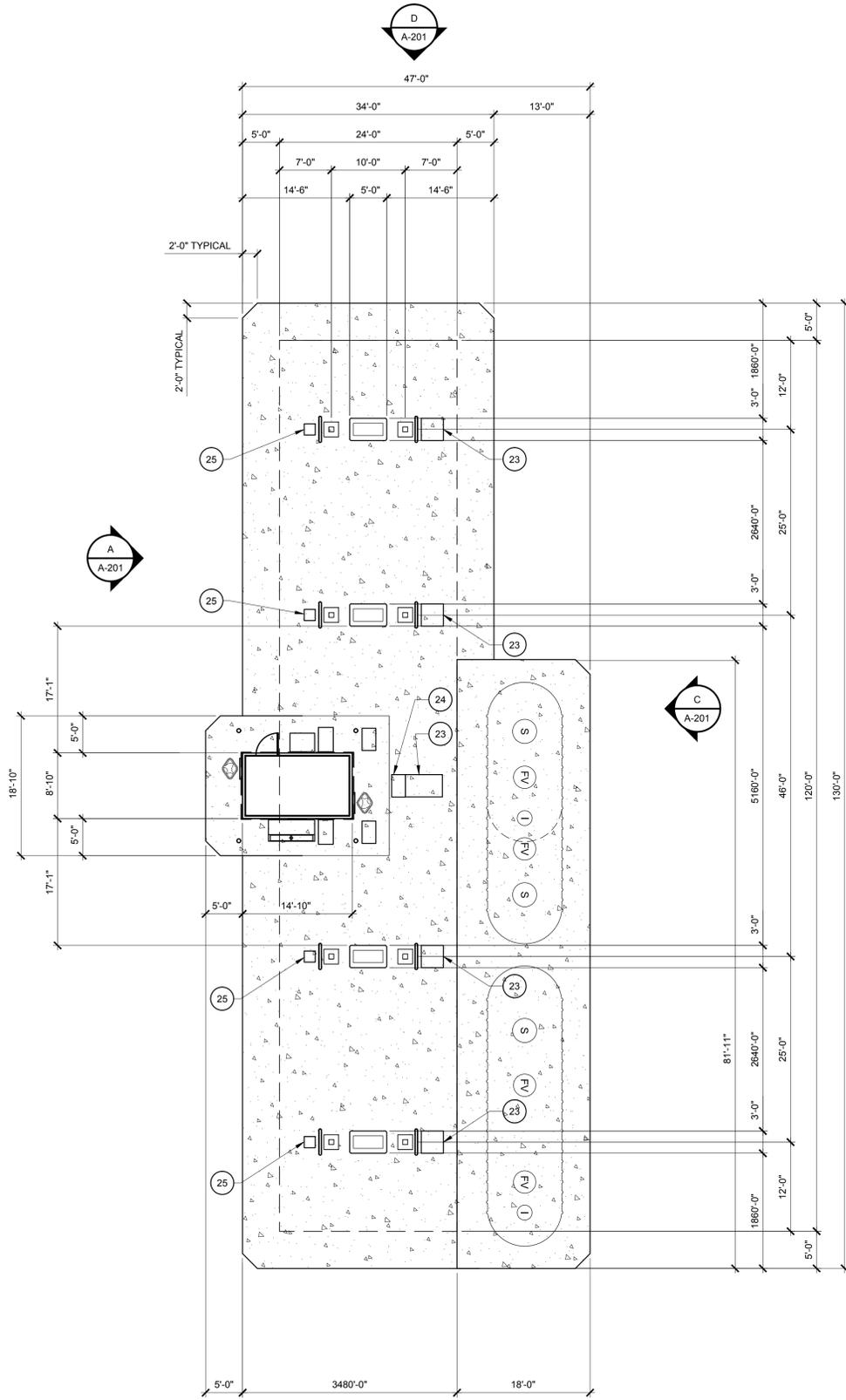
REV	DATE	DESCRIPTION
1	07/16/2011	SITE PLAN REVIEW
2	11/08/2011	PLAN CORRECTIONS
3	11/16/2011	PLAN CORRECTIONS

DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
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CHECKED BY: JGD

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**SITE PLAN REVIEW
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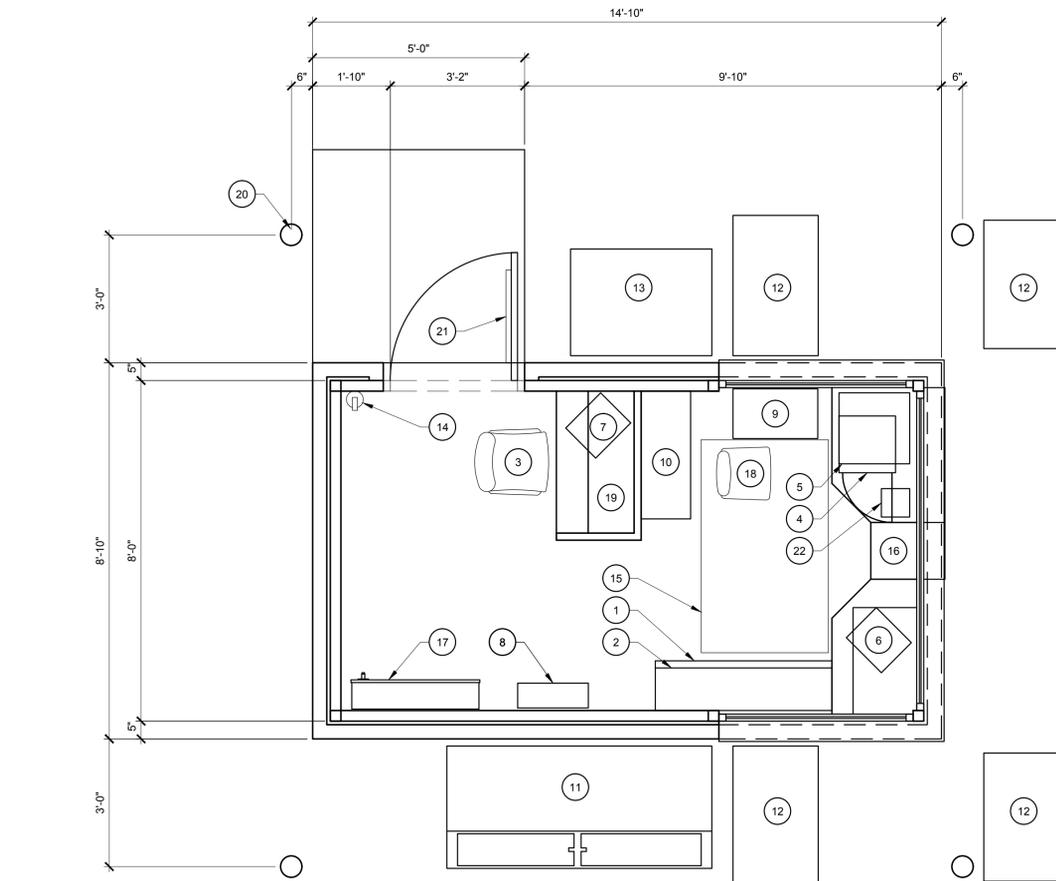
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CONSTRUCTION IMPROVEMENT PLAN
SCALE: 1" = 10'-0"

EQUIPMENT LEGEND
(ALL EQUIPMENT FURNISHED BY OWNER UNLESS OTHERWISE NOTED.)

- | | | | |
|----|---|----|-----------|
| 1 | 4' STORAGE RACK (BY GENERAL CONTRACTOR.) | 27 | NOT USED. |
| 2 | CANDY RACK. | 28 | NOT USED. |
| 3 | CHAIR. | 29 | NOT USED. |
| 4 | LOTTO MACHINE. | 30 | NOT USED. |
| 5 | SAFE. | 31 | NOT USED. |
| 6 | P.O.S. REGISTER. | 32 | NOT USED. |
| 7 | P.O.S. - BACK OFFICE UNIT. | 33 | NOT USED. |
| 8 | TANK MONITOR. | 34 | NOT USED. |
| 9 | CIGARETTE CARTON MERCHANDISER. | 35 | NOT USED. |
| 10 | CIGARETTE PACK MERCHANDISER. | 36 | NOT USED. |
| 11 | 46 CUBIC FOOT ICE MERCHANDISER. | 37 | NOT USED. |
| 12 | SODA REACH-IN COOLER (BY VENDOR.) | 38 | NOT USED. |
| 13 | SODA VENDING MACHINE (BY VENDOR.) | 39 | NOT USED. |
| 14 | 2A:20BC FIRE EXTINGUISHER (BY GENERAL CONTRACTOR. QUANTITIES AND LOCATIONS INSTALLED PER LOCAL CODE.) | 40 | NOT USED. |
| 15 | ANTI-FATIGUE MAT. | 41 | NOT USED. |
| 16 | DEAL TRAY / MERCHANDISE DRAWER. | | |
| 17 | PANELBOARD. | | |
| 18 | STOOL. | | |
| 19 | SHELF ABOVE. | | |
| 20 | 6"Ø PIPE BOLLARD (TYPICAL 4, BY GENERAL CONTRACTOR.) | | |
| 21 | BULLETIN BOARD (GENERAL CONTRACTOR TO MOUNT ABOVE PEEP HOLE.) | | |
| 22 | INTERCOM MASTER STATION. | | |
| 23 | 4 TEIR AUTOMOTIVE FLUID (WASHER, OIL, ANTI-FREEZE, ETC.) | | |
| 24 | CHIPS DISPLAY CABINET. | | |
| 25 | WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER. | | |
| 26 | NOT USED. | | |



KIOSK EQUIPMENT PLAN
SCALE: 1/2" = 1'-0"

**SITE PLAN REVIEW
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TROY MI 48098
CONSTRUCTION AND EQUIPMENT PLANS

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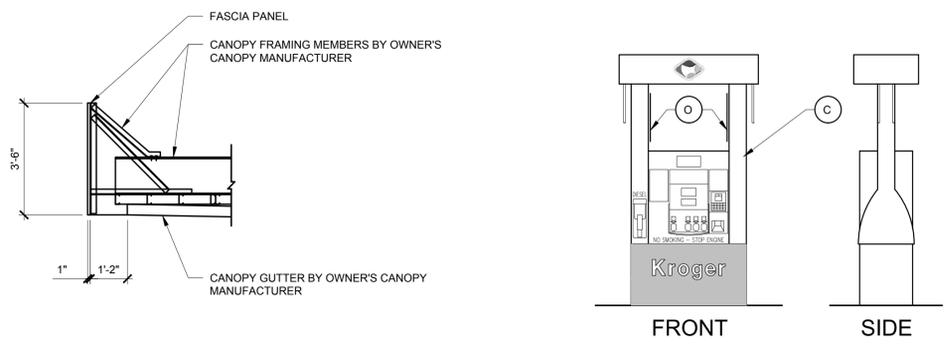
STATE OF MICHIGAN
JOHN E. DAMBRATH III
ENGINEER
No. 38510
LICENSED PROFESSIONAL ENGINEER

DATE: 01.01.2011
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DESIGNED BY: LPE
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SHEET NO.
A101

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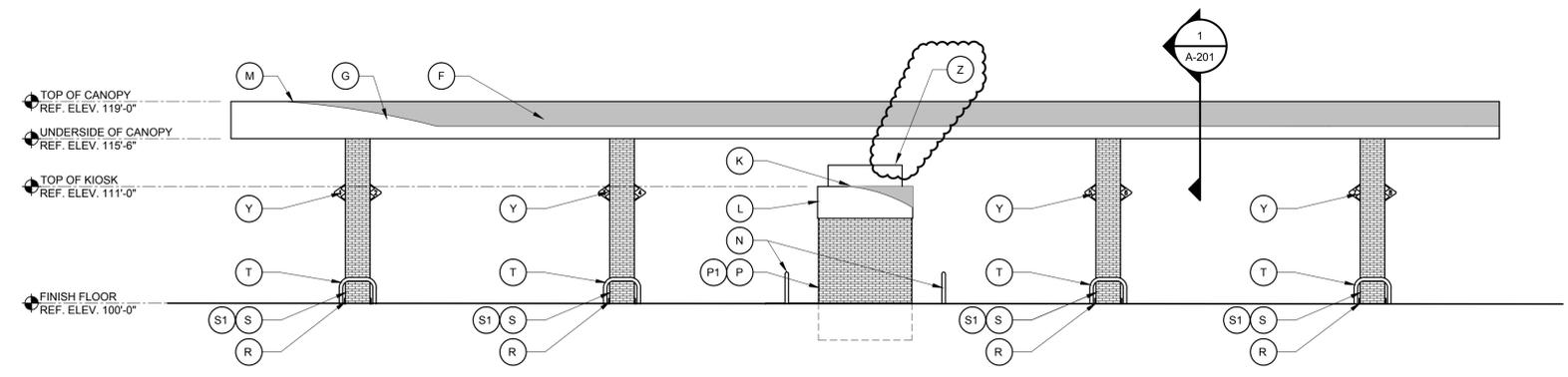
NOTES:
FIRE SUPPRESSION NOT REQUIRED OR PROPOSED FOR CANOPY PER TROY FIRE DEPARTMENT.



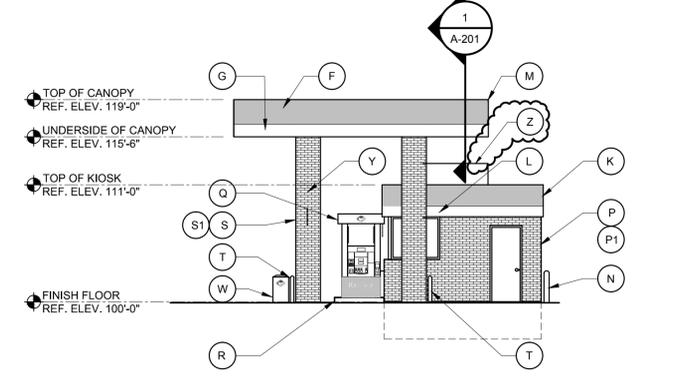
1 SECTION AT CANOPY FASCIA
A-201 SCALE: 3/8" = 1'-0"

2 DISPENSER ELEVATIONS
A-201 SCALE: 3/8" = 1'-0"

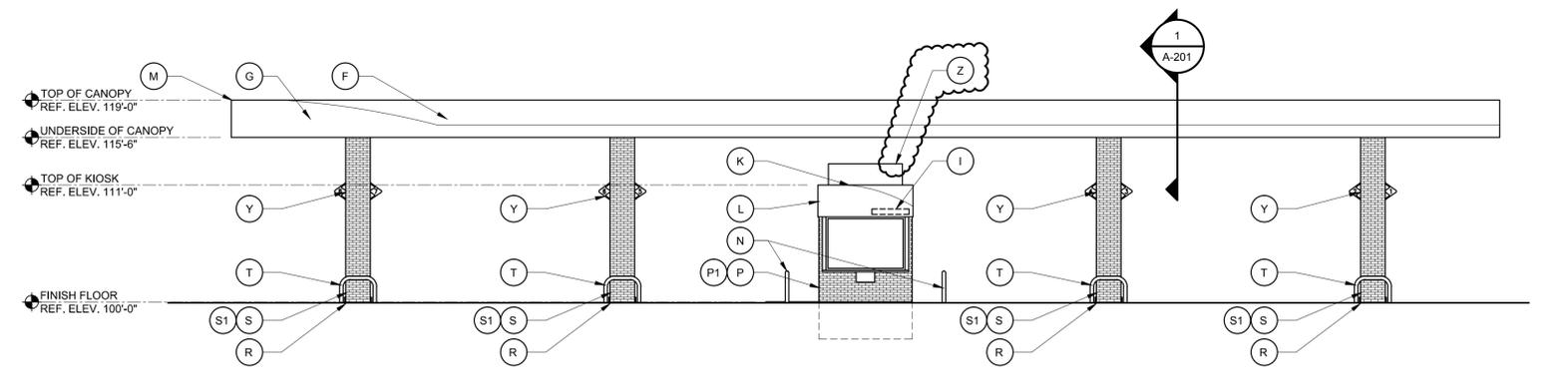
MARK	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	NOT USED	-	-	-	-	-
B	NOT USED	-	-	-	-	-
C	STATIC WARNING DECAL	-	WAYNE	-	DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	REMOTE PRICE SIGN CONTROL BOX	-	SKYLINE PRODUCTS, INC.	-	KROGER	SIGN INSTALLER
E	NOT USED	-	-	-	-	-
F	CANOPY FASCIA	SANDSTONE	-	-	CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA	OYSTER	-	-	CANOPY FABRICATOR	CANOPY FABRICATOR
H	NOT USED	-	-	-	-	-
I	PRE-CUT VINYL ADDRESS DECAL (PER LOCAL ORDINANCE IF REQUIRED)	BLACK	-	-	GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	NOT USED	-	-	-	-	-
K	KIOSK FASCIA	SANDSTONE	-	-	KIOSK FABRICATOR	KIOSK FABRICATOR
L	KIOSK FASCIA	OYSTER	-	-	KIOSK FABRICATOR	KIOSK FABRICATOR
M	CANOPY	-	FASHION, INC.	-	CANOPY FABRICATOR	CANOPY FABRICATOR
N	6"Ø BOLLARD	SAFETY RED (G.C. TO PAINT)	-	-	GENERAL CONTRACTOR	-
O	HEALTH AND SAFETY DECAL	-	WAYNE	-	WAYNE	-
P	KIOSK - PREFABRICATED	ESSENTIAL GRAY - SW6002	SAGEBRUSH	-	KIOSK FABRICATOR	GENERAL CONTRACTOR
P1	KIOSK FACE BRICK VENEER	SPECIFICATION BY LANDLORD	-	-	GENERAL CONTRACTOR	GENERAL CONTRACTOR
-	NOT USED	-	-	-	-	-
Q	DISPENSER	-	WAYNE	-	KROGER	GENERAL CONTRACTOR
R	ISLAND FORMS	GRAPHITE - SW4017 (G.C. TO PAINT)	OPW	-	KROGER	GENERAL CONTRACTOR
S	CANOPY COLUMNS (G.C. TO PAINT)	ESSENTIAL GRAY - SW6002 (G.C. TO PAINT)	FASHION, INC.	-	CANOPY FABRICATOR	CANOPY FABRICATOR
S1	CANOPY COLUMN WRAP	SPECIFICATION BY LANDLORD	-	-	GENERAL CONTRACTOR	GENERAL CONTRACTOR
S2	NOT USED	-	-	-	-	-
T	4"Ø U-SHAPED BOLLARD (G.C. TO PAINT)	SAFETY RED (G.C. TO PAINT)	RIVERSIDE	-	KROGER	GENERAL CONTRACTOR
U	NOT USED	-	-	-	-	-
V	NOT USED	-	-	-	-	-
W	WASTE RECEPTACLE / WINDSHIELD SERVICE CENTER	-	DCI MARKETING	-	KROGER	GENERAL CONTRACTOR
X	NOT USED	-	-	-	-	-
Y	DISPENSER NUMBER FLAG	-	-	-	CANOPY FABRICATOR	GENERAL CONTRACTOR
Z	ROOF TOP SCREENING	OYSTER	-	-	KIOSK FABRICATOR	GENERAL CONTRACTOR
-	NOT USED	-	-	-	-	-



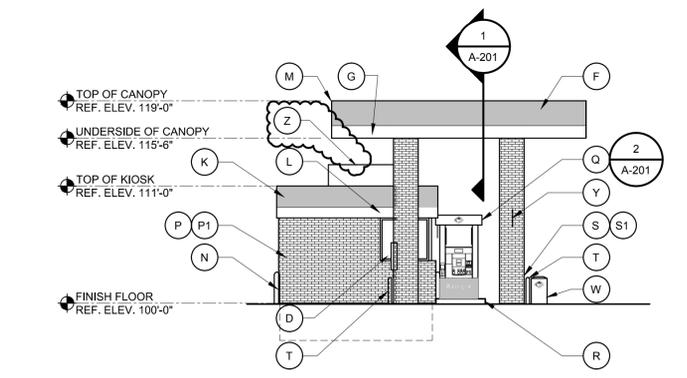
C NORTH CANOPY SIGNAGE ELEVATION
A-101 SCALE: 1/8" = 1'-0"



D WEST CANOPY SIGNAGE ELEVATION
A-101 SCALE: 1/8" = 1'-0"



A SOUTH CANOPY SIGNAGE ELEVATION
A-101 SCALE: 1/8" = 1'-0"



B EAST CANOPY SIGNAGE ELEVATION
A-101 SCALE: 1/8" = 1'-0"

**SITE PLAN REVIEW
NOT FOR CONSTRUCTION**

Civil Engineering
Landscape Architecture
Community Planning
Surveying

37740 Hills Tech Dr. 48331
Lawrence, MI (248)987-4411
www.landplan-engineering-pa.com

Landplan Engineering, P.A.
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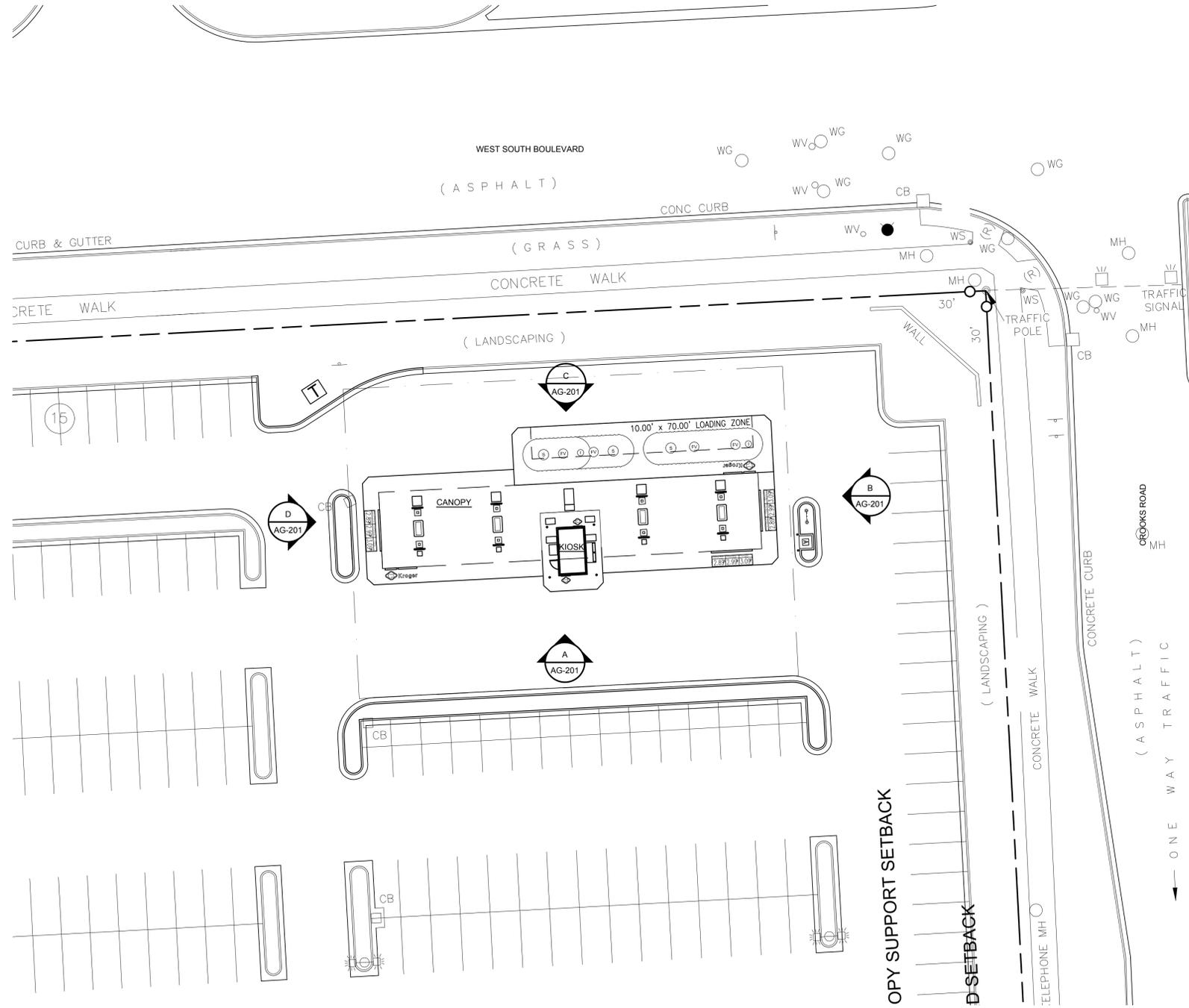
The Kroger Co.
1025 East 54th Street, Suite A
Lawrence, KS 66044
Phone: (785) 843-2307
Fax: (785) 843-2307

**KROGER D-464
RETAIL FUEL CENTER
2105 W. SOUTH BLVD. at CROOKS ROAD
TROY, MI 48098
EXTERIOR ELEVATIONS**

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
2	11.09.2011	PLAN COM. / ALL COMMENTS
3	11.15.2011	PLAN COM. / ALL COMMENTS

DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

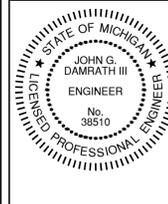
SHEET NO.
A201



SIGNAGE PLAN - SIGN
SCALE: 1" = 20'-0"

**SITE PLAN REVIEW
NOT FOR CONSTRUCTION**

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
3	11.15.2011	PLAN CORRECT/ALL COMMENTS



DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
DRAWN BY: LPE
CHECKED BY: JGD

SHEET NO.
AG-101

**KROGER D-464
RETAIL FUEL CENTER
2105 W. SOUTH BLVD. at CROOKS ROAD
TROY, MI 48098
SIGNAGE PLAN - SITE**



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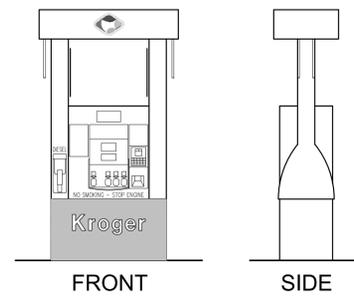
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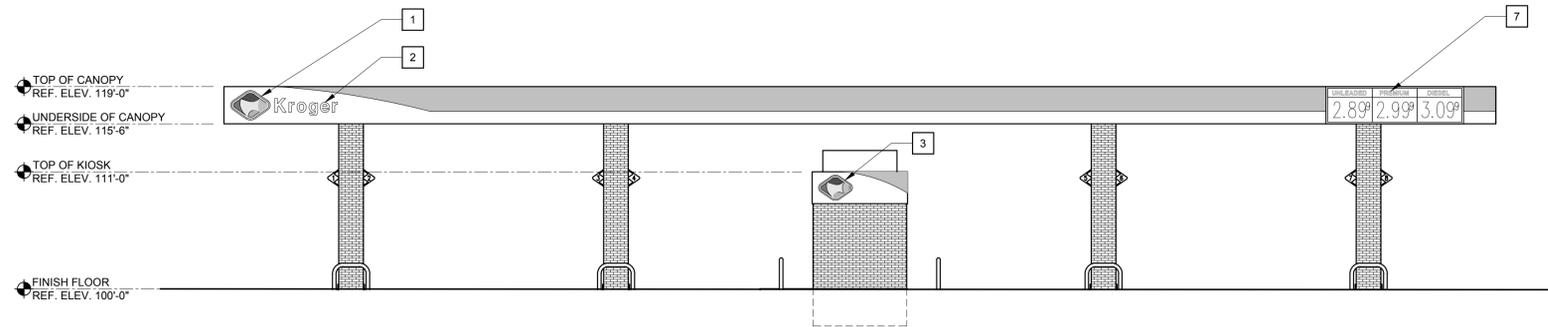
FILE NAME: C:\Documents and Settings\Wikev\Desktop\20101174\CAD\Const_Docs\Architectural\101174_AG_201_SignageElevations.dwg LAST SAVED BY: Mike Vanderbeke SAVED DATE: 11/16/2011 2:35 PM PLOTTED: 11/16/2011 2:37 PM

ARCHITECTURAL GRAPHICS SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER / MATERIAL	NOTES
1	ILLUMINATED LOGO SIGN	CUMMINGS SIGNS	SEE DRAWINGS 53154.07C AND 53154.07C1 ON SHEET AG-501.
2	ILLUMINATED CHANNEL LETTER SIGN	CUMMINGS SIGNS	SEE DRAWINGS 53154.07C AND KR20302 ON SHEET AG-501.
3	NON-ILLUMINATED LOGO SIGN	CUMMINGS SIGNS	SEE DRAWING 53154.54 ON SHEET AG-501
4	MULTI-PRODUCT DISPENSER GRAPHICS	DRESSER, INC. DRESSER WAYNE "OVATION" FUEL DISPENSER	DOOR AND VALANCE GRAPHICS BY DISPENSER MANUFACTURER. SEE DETAIL F ON SHEET AG-201.
5	NOT USED	-	-
6	NOT USED	-	-
7	ILLUMINATED SCROLLING PRICE SIGN	SKYLINE PRODUCTS, INC.	SEE DRAWING KROGER-14STPSF-ST ON SHEET AG-501.

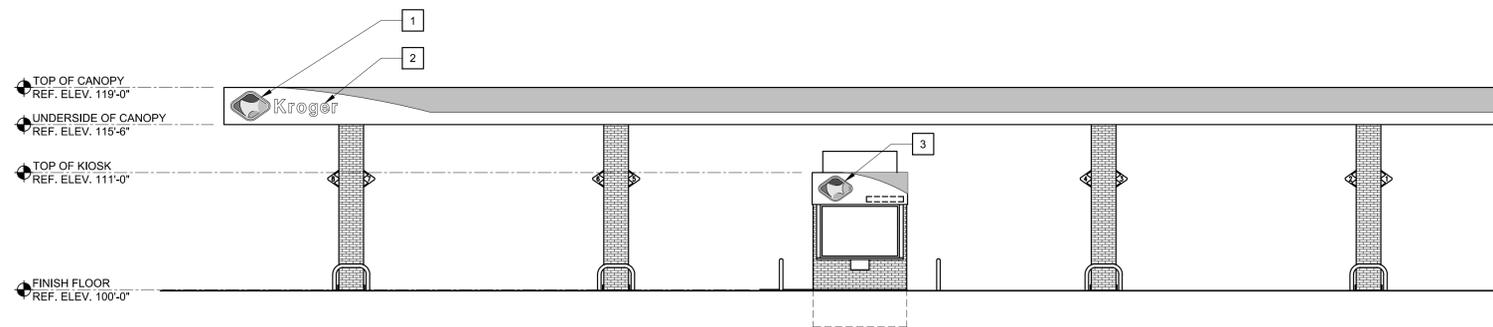


F DISPENSER ELEVATIONS
AG-201 SCALE: 3/8" = 1'-0"

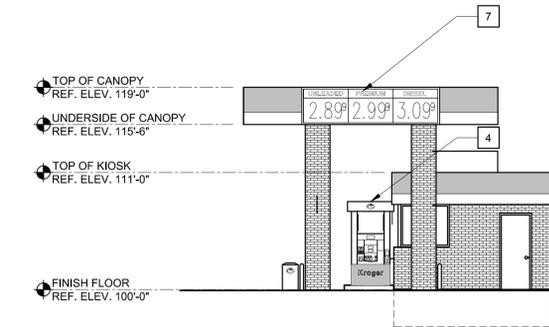
E NOT USED
AG-101 SCALE: 3/8" = 1'-0"



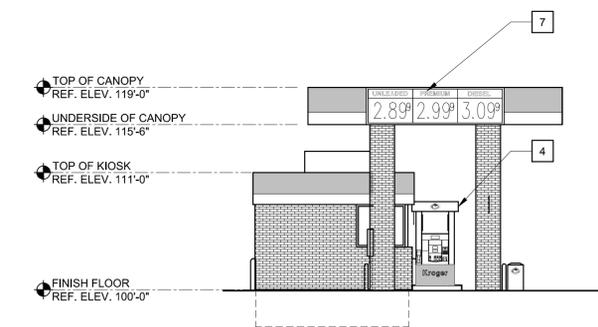
C NORTH CANOPY SIGNAGE ELEVATION
AG-101 SCALE: 1/8" = 1'-0"



A SOUTH CANOPY SIGNAGE ELEVATION
AG-101 SCALE: 1/8" = 1'-0"



D WEST CANOPY SIGNAGE ELEVATION
AG-101 SCALE: 1/8" = 1'-0"



B EAST CANOPY SIGNAGE ELEVATION
AG-101 SCALE: 1/8" = 1'-0"

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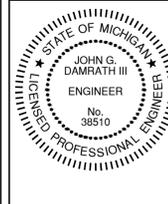
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**KROGER D-464
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2105 W. SOUTH BLVD. at CROOKS ROAD
TROY, MI 48098
SIGNAGE ELEVATIONS - EXTERIOR**

REV	DATE	DESCRIPTION
1	07.11.2011	SITE PLAN REVIEW
3	11.15.2011	PLAN COR/ALL COMMENTS



DATE: 01.01.2011
PROJECT NO.: 2010.1174
DESIGNED BY: LPE
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SHEET NO.
AG-201

