

**PLANNING COMMISSION  
MEETING AGENDA  
REGULAR MEETING**

500 W. Big Beaver  
Troy, MI 48084  
(248) 524-3364  
www.troymi.gov  
planning@troymi.gov

Mark Maxwell, Chair and John J. Tagle, Vice Chair  
Donald Edmunds, Michael W. Hutson, Tom Krent, Philip Sanzica  
Gordon Schepke, Robert Schultz and Thomas Strat

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**March 13, 2012**

**7:30 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – February 28, 2012 Special Meeting
4. PUBLIC COMMENTS – For Items Not on the Current Agenda

**SPECIAL USE REQUEST**

5. PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 394) – Proposed Tim Hortons Restaurant, North side of Maple Road, West of John R (1905 E Maple), Section 26, Currently Zoned GB (General Business) District

**OTHER BUSINESS**

6. ELIMINATION OF HISTORIC DISTRICT DESIGNATION – 4820 Livernois
7. PUBLIC COMMENTS – For Items on Current Agenda
8. PLANNING COMMISSION COMMENTS

ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Maxwell called the Special Meeting of the Troy City Planning Commission to order at 7:03 p.m. on February 28, 2012 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

- Donald Edmunds
- Michael W. Hutson
- Tom Krent
- Mark Maxwell
- Philip Sanzica
- Gordon Schepke
- Robert Schultz
- Thomas Strat
- John J. Tagle

Also Present:

- R. Brent Savidant, Planning Director
- Allan Motzny, Assistant City Attorney
- Zachary Branigan, Carlisle/Wortman Associates, Inc.
- Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2012-02-010**

Moved by: Schultz  
 Seconded by: Hutson

RESOLVED, To add “Service Commendation for Lon Ullmann” as Agenda item 4.a.

Yes: All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES

**Resolution # PC-2012-02-011**

Moved by: Edmunds  
 Seconded by: Schultz

**RESOLVED**, To approve the minutes of the February 14, 2011 Regular meeting as published.

Yes: All present (9)

**MOTION CARRIED**

4.a. SERVICE COMMENDATION FOR LON ULLMANN

Chair Maxwell read aloud and presented the service commendation to Lon Ullmann. A copy of the commendation is hereby attached and made a part of the minutes.

4.b. PUBLIC COMMENTS – Items not on the Agenda

Jeanne Stine, former Mayor and Councilperson, acknowledged the time and dedication given by Mr. Ullmann to serve on the Planning Commission.

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Chair Maxwell called for a five-minute recess at 7:09 p.m.

The meeting reconvened at 7:14 p.m.

Chair Maxwell welcomed newly appointed member Gordon Schepke to the Board and welcomed the reappointments of Robert Schultz and Thomas Strat.

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**SPECIAL USE REQUEST**

5. PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 393) – Proposed Magical Touch Oil Change, Southeast Corner of Rochester Road and Hartland (1028 Hartland), Section 23, Currently Zoned GB (General Business) District

Mr. Branigan stated the proposed use of an oil change operation is not specifically listed in the Zoning Ordinance. He addressed how the proposed use was processed in the review of the application.

There was general discussion. The applicant agreed with the suggestion to increase the radius of the internal driveway on the northwest corner of the site.

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED

**Resolution # PC-2012-02-012**

Moved by: Schultz

Seconded by: Sanzica

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed oil change facility, Magical Touch Oil Change, located on the southeast corner of Rochester Road and Hartland (1028 Hartland), Section 23, Currently Zoned GB (General Business) District, be granted, subject to the following:

1. Provide a photometric plan.
2. Satisfy landscape requirements as follows:
  - a. Add one deciduous street tree on Rochester Road.
  - b. Provide detailed landscaping calculations showing how all requirements of Section 13.02 are being met.
3. Provide outstanding submittal information on a revised site plan necessary for preliminary plan and special use approval.
4. Change the radius of the northwest interior curb.
5. Add additional trees along the south perimeter line.
6. Conditions 1 through 6 are subject to administrative review and approval.

Discussion on the motion on the floor.

The Planning Commission strongly suggested that the petitioner consider a bioswale or rain garden on the northwest corner of the property.

Vote on the motion on the floor.

Yes: All present (9)

**MOTION CARRIED**

**OTHER BUSINESS**

6. PUBLIC COMMENTS – Items on Current Agenda

There was no one present who wished to speak.

7. PLANNING COMMISSION COMMENTS

Zak Branigan introduced Shu Yang, a University of Michigan student who was in the audience.

There was general Planning Commission discussion.

The Special meeting of the Planning Commission adjourned at 8:07 p.m.

Respectfully submitted,

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Mark Maxwell, Chair

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Kathy L. Czarnecki, Recording Secretary

Attachment:  
Lon Ullmann Commendation

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**SERVICE COMMENDATION  
LON ULLMANN**

**WHEREAS, Lon Ullmann** served on the Troy Brownfield Redevelopment Authority for seven years from April 2001 to April 2008 and was appointed to the Troy Planning Commission in April 2008, serving until December 2011. As a Planning Commissioner, Lon earned certification from Michigan State University Extension and was the Planning Commissions representative to the Zoning Board of Appeals; and

**WHEREAS, Lon** is a Builder by trade achieving his Builder's License in 1970. He also has Bachelor of Science degree in Biology. His advocacy for clean water and natural resource protection won him awards from both the Clinton River Water Shed Council and the State Advocacy for Clean Water; and

**WHEREAS, Lon** has also written grants related to the environment and received approval for two grant projects, "To Preserve Aquatic Habitat" and "To Retain Natural Features." He also attended Michigan Association of Planners Conference citing it as most worthwhile and a viable means of keeping up with new trends in the world of municipal planning; and

**WHEREAS, Lon** initiated and authored the Wetlands and Natural Features Ordinance which is intended to protect natural features including woodlands. The City was very fortunate to have someone with **Lon's** unique ecological background to work on this vital initiative; and

**WHEREAS,** The quality of life that the City offers is a result of hard work, planning, sacrifice, and leadership. Thanks to **Lon**, one of Troy's dedicated volunteers, our quality City services will continue to thrive and are key to making Troy the greatest place to live in the State of Michigan;

**NOW, THEREFORE, BE IT KNOWN,** That the City of Troy Planning Commission takes this opportunity to express its sincere appreciation and recognition to **Lon Ullmann** for his distinguished service and his many contributions to the betterment of the City through his work on the Troy Planning Commission; and

**BE IT FURTHER KNOWN** That by donating his time and talents, **Lon** has furthered the ideals that contribute to enriching our community. Troy is very fortunate to have citizens like **Lon** who give so much time and energy to make our community a great place to live, work, play and raise a family.

Signed this 14<sup>th</sup> day of February 2012.

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*Mark Maxwell, Chair*

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*John Tagle, Vice Chair*

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*Donald Edmunds, Planning Commissioner*

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*Michael Hutson, Planning Commissioner*

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*Tom Krent, Planning Commissioner*

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*Philip Sanzica, Planning Commissioner*

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*Robert Schultz, Planning Commissioner*

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*Thomas Strat, Planning Commissioner*

DATE: February 24, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 394) – Proposed Tim Horton’s Restaurant, North side of Maple Road, West of John R (1905 E Maple), Section 26, Currently Zoned GB (General Business) District

The petitioner Tim Horton US Limited, Inc. submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a Tim Horton’s Restaurant with drive through. The subject parcel is vacant and is currently zoned GB (General and Business) District. The Planning Commission is responsible for reviewing and approving this application.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant  
File/ SU 394

G:\SPECIAL USE\SU 394 Tim Hortons Restaurant Sec 26\SU-394 PC Memo 03 13 12.docx

## Proposed Resolution

### **Resolution # PC-2012-03-**

Moved by:

Seconded by:

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Tim Horton's Restaurant, located on the north side of Maple Road and west of John R (1905 E Maple), Section 26, currently zoned GB (General Business) District, be granted, subject to the following:

1. Add and correct setback dimensions.
2. Remove parking spaces from the front yard.
3. Remove excess parking or apply for a waiver from the parking limitation.
4. The proposed site plan states that nine (9) spaces are required for the drive-through lane, which should be ten (10).
5. Proposed width for stacking lane parking does not meet the Ordinance requirement (12 feet). This stacking lane should be revised.
6. Reconfigure the loading and unloading area and the dumpster location.
7. Add one (1) deciduous street tree on East Maple Road; add two (2) deciduous street trees on Chopin Street.
8. Provide detailed landscaping calculations showing how all requirements of Section 13.02 are being met.
9. Demonstrate feasible circulation for loading, trash pickup and drive-through stacked parking to reduce traffic conflicts.
10. Seal remaining architectural sheets.

Yes:

No:

Absent:

**MOTION CARRIED / DENIED**



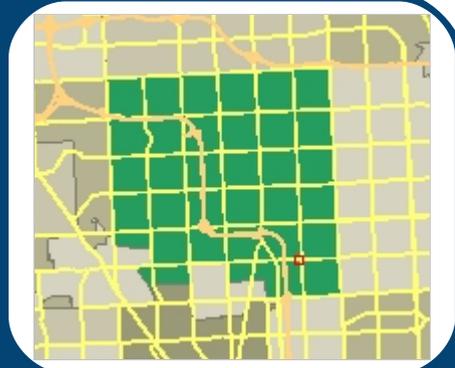
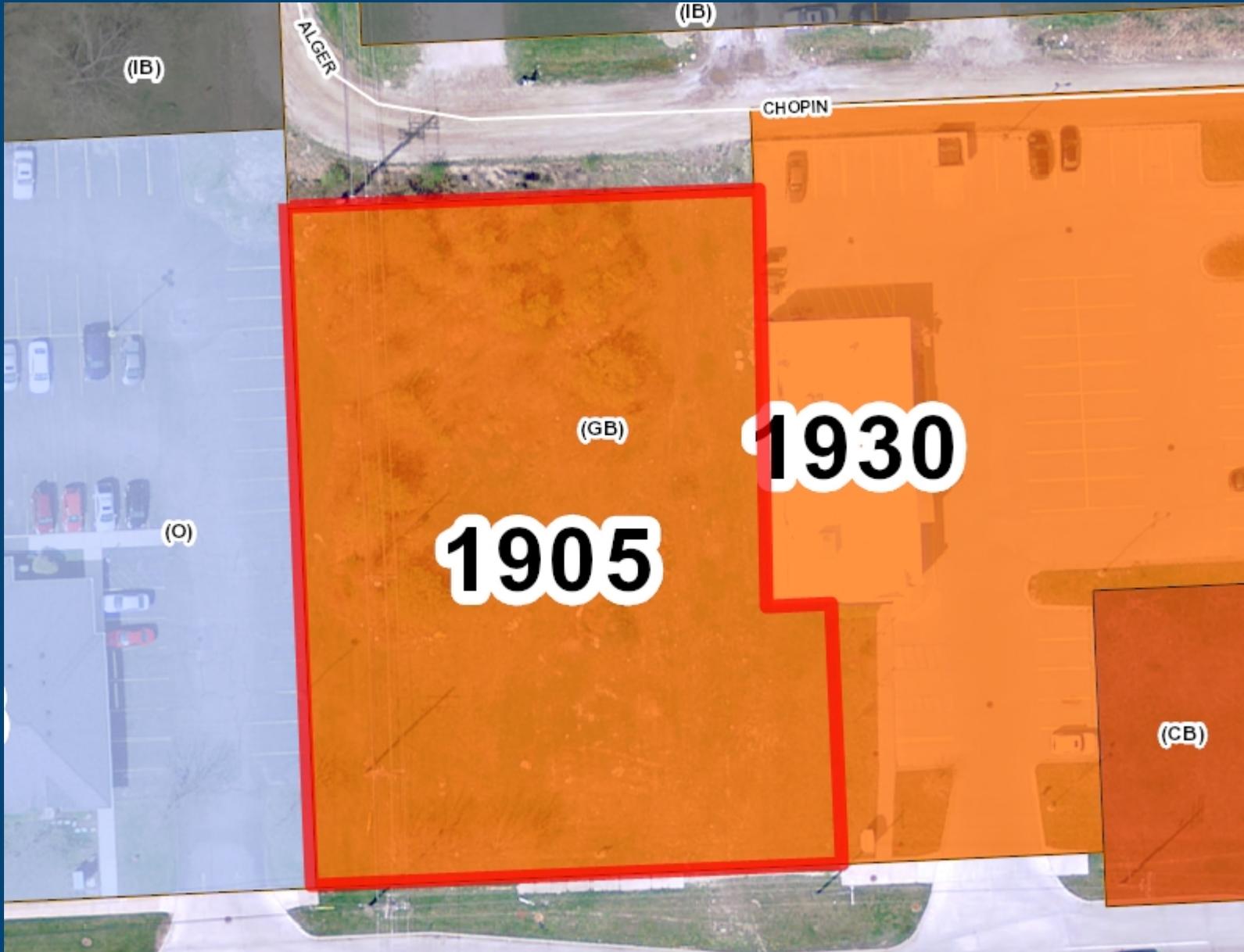
### Legend

- Road Centerline
  - Major Road
  - Industrial Road
  - Local Road
- Ponds and Basins
- Streams and Creeks
- Parcels
- Aerial Photos - 2010
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

109                      0                      55                      109Feet

Scale 1: 655





### Legend

#### Road Centerline

-  Major Road
-  Industrial Road
-  Local Road

#### Current Zoning Ordinance

-  (PUD) Planned Unit Development
-  (CF) Community Facilities District
-  (EP) Environmental Protection District
-  (BB) Big Beaver Road (Form Based)
-  (MRF) Maple Road (Form Based)
-  (NN) Neighborhood Nodes (A-U)
-  (CB) Community Business
-  (GB) General Business
-  (IB) Integrated Industrial Business District
-  (O) Office Building District
-  (OM) Office Mixed Use
-  (P) Vehicular Parking District
-  (R-1A) One Family Residential District
-  (R-1B) One Family Residential District
-  (R-1C) One Family Residential District
-  (R-1D) One Family Residential District
-  (R-1E) One Family Residential District
-  (RT) One Family Attached Residential District
-  (MR) Multi-Family Residential
-  (MHP) Manufactured Housing
-  (UR) Urban Residential
-  (RC) Research Center District
-  (PV) Planned Vehicle Sales

#### Ponds and Basins

#### Streams and Creeks

#### Parcels

#### Aerial Photos - 2010

-  Red: Band\_1
-  Green: Band\_2
-  Blue: Band\_3

94 0 47 94Feet

Scale 1: 562





**CARLISLE/WORTMAN ASSOCIATES, INC.**  
*Community Planners /Landscape Architects*

605 S. Main, Suite 1  
Ann Arbor, MI 48104  
734-662-2200  
fax 734-662-1935

6401 Citation Drive, Suite E  
Clarkston, MI 48346  
248-625-8480  
fax 248-625-8455

Date: March 7, 2012

## **Special Use Review For City of Troy, Michigan**

<b>Applicant:</b>	Patrick Bell
<b>Project Name:</b>	Tim Horton's Restaurant
<b>Plan Date:</b>	Application dated February 13, 2012
<b>Location:</b>	North Side of East Maple Road, South of Chopin Street, adjacent to John R. Road
<b>Zoning:</b>	GB, General Business District
<b>Action Requested:</b>	Special Use Approval
<b>Required Information:</b>	Deficiencies noted

### **PROJECT AND SITE DESCRIPTION**

We are in receipt of a preliminary site plan application which includes a site plan, topographic survey and boundary plan, landscape plan, grading plan, photometric plan, floor plan, equipment plan, and elevations. The site plan submittal provides sufficient information for a preliminary review, with several noted exceptions.

This project is located on a site that was zoned GB, General Business District. The west parcel of the site is office zoning used for DNA Health Care Services, while the east parcel is GB, General Business District used for Apovini Grill. The North side of this parcel is IB, Integrated Industrial and Business District. It is currently occupied by single family homes. The proposed

use, a restaurant with drive through, is listed as a special use for GB, General Business District in the Troy Zoning Ordinance.

Location of Subject Property:

The property is located on the North Side of East Maple Road, South side of Chopin Street, adjacent to John R. Road.

Size of Subject Property:

The parcel is 0.75 acres in area.

Proposed Uses of Subject Parcel:

The applicant proposes to use the site for a restaurant with drive-through facilities.

Current Use of Subject Property:

The west portion of the subject property is a DNA Health Care; the east portion is a restaurant; the north portion has single family homes.

Current Zoning:

The property is currently zoned GB, General Business District.

Zoning Classification of Adjacent Parcels and Current Land Use:

North: IB, Integrated Industrial and Business District; single-family homes and car tolling service  
South: IB, Integrated Industrial and Business District; commercial (across East Maple Road)  
East: GB, General Business District; commercial  
West: O, Office District; commercial

## **BUILDING LOCATION AND SITE ARRANGEMENT**

The proposed building would be located at the center of the site, with five parking spaces in the front, and remaining parking spaces to the side and rear. Parking is not permitted in the front yard in the GB District per section 4.14.D.4.a.

A proposed drive-through lane circles the building from the rear to the west side. An escape lane is planned on the west side of drive-through lane. The width of the stacking lane does not meet Ordinance requirements; please see the parking analysis section of this review for additional information in this regard.

There is a proposed dumpster enclosure at the northeast of the building on the east boundary of the site. The west side of the building is a one-way drive out to East Maple Road; the east side of the building has a two-way drive to and from East Maple Road. There is a loading zone proposed at the rear of the building.

**Items to be Addressed:** *No parking space is allowed in the front yard.*

**AREA, WIDTH, HEIGHT, SETBACKS**

Required and Provided Dimensions:

Section 4.14.C establishes the dimensional requirements for the GB District. The site plan contains several errors with regard to required setbacks; however, all proposed setbacks are within Ordinance requirements. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>
Front (East Maple Road)	10 feet minimum setback	60 feet
Front (Chopin Street)	10 feet minimum setback	90 feet
Side (east)	20 feet minimum setback*	72 feet
Side (west)	20 feet minimum setback*	35.5 feet
Building Height	Maximum 5 stories, 75 feet	20 feet, 4 inches
Open Space	20 percent	32.6 percent

\* The site plan incorrectly shows a 10-foot side yard setback.

**Items to be Addressed:** *The proposed site plan meets the required setbacks, but correct side yard setbacks must be shown.*

**PARKING**

Proposed Parking:

The site plan shows 26 total parking spaces throughout the site, not including the spaces for Drive-through stacking. Table 6.10 establishes stack parking requirement for drive-through facilities. 10 stacking spaces are required per service lane. The proposed site plan mistakenly states that 9 squares are required. Including the stacking spaces, there are 35 spaces. The total proposed parking lot exceed the minimum parking space requirements by more than twenty percent (20%). Proposed parking may not exceed 20 percent beyond what is required. In this case, no more than 16 conventional spaces are permitted. ( $13 \times 20\% = 2.6(3)$ ;  $13 + 3 = 16$ ;  $35 - 16 = 9$ ). 9 spaces must be deducted.

There are 5 proposed parking spaces in the front yard. These spaces are not permitted by section 4.14.D.4.a and must be removed.

The width of the proposed Drive-through stacking spaces is 9.5 feet. This does not meet the ordinance requirement of 12 feet. The adjacent maneuvering lane is not required. Rather than widen the paved area in this portion of the site, we suggest the applicant remove the separate planned striping for the dedicated escape lane, but preserve the width. This would allow for adequate stacking space (while 12 feet are required by Ordinance, 12 feet are not required in reality, the planned paved width is adequate for stacking and escape movements.)

Parking Calculations:

The parking calculations are as follows.

<u>Required</u>	<u>Provided</u>
1 space for each 70 S.F. of net floor area (875 S.F.), plus 9 front to back spaces for the drive through window. $875/70 = 12.50 \times 1 \text{ space} = 12.5$ spaces. <b>13 spaces required</b>	26 conventional spaces, 9 spaces for drive through. 35 total spaces provided.

**Items to be Addressed:** 1) Remove excess parking or apply for a waiver from the parking limitation. 2.) The proposed site plan states that 9 spaces are required for the Drive-through lane, which should be 10. 3) 5 parking spaces in the front yard are not allowed. 4) Proposed width for stacking lane parking does not meet the Ordinance requirement (12 feet). This stacking lane should be revised.

## SITE ACCESS AND CIRCULATION

Vehicular access:

The site will be accessed via single drive to East Maple Road. As placed, it allows for both ingress and egresses on the east side of the property, while only allow egresses at the west side. We assume loading and trash trucks have to use the same exit as the drive through service, which may result in congestion. We feel that the loading and unloading area, as well as the dumpster pad, should be reconfigured to permit easier truck access.

Pedestrian access:

There is currently no sidewalk along East Maple Road along the site's frontage, but one will be provided as part of this project. On-site, one sidewalk is planned linking the frontage of the proposed building and East Maple Road. No sidewalk surrounds the proposed building.

**Items to be Addressed:** Reconfigure the loading and unloading area and the dumpster location.

## NATURAL RESOURCES

The site is an existing vacant site with no site landscaping. The proposed plan would not impact any protected natural features. The plan does, however, add new landscape materials and would contribute to the quality of the site in this regard.

**Items to be Addressed:** None.

## LIGHTING

The applicant has provided a lighting (photometric) plan and lighting fixture details. Light shall not exceed one-tenth (0.1) foot-candle along any boundary adjacent to residentially zoned or used property, and 1 foot-candle along all nonresidential property boundaries. However, the light information on the north side of the parcel is not provided. The applicant must supply a revised lighting plan to ensure that light encroachment does not exceed Ordinance requirements.

***Items to be Addressed:*** Provide lighting information on the north side.

## LANDSCAPING

The application includes a landscape plan. The plan does not provide any information or calculations on how the greenbelt, street trees, parking lot landscaping requirements, and landscaped area are being met. The plan does provide some details, but no formal calculations. A detailed landscape table showing how all requirements of Section 13.02 are being met should be added.

### Greenbelt:

A ten (10) foot wide greenbelt has been provided along the public street frontages.

### Street trees:

The site plan shows 5 trees along the site's East Maple frontage and 2 trees along Chopin Street. The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a right-of-way. This site has 185 feet of frontage on East Maple Road, requiring 6 trees, 1 more than have been provided. This site has 145 feet of frontage on Chopin Street, requiring 4 trees, 2 more than have been provided. Additional deciduous street trees must be added to meet minimum Ordinance requirements for East Maple Road and Chopin Street.

### Minimum landscaped area:

The site plan must provide 20 percent overall landscaped areas. The site is 32,525 square feet, requiring 6,505 square feet of landscaping. The proposed site plan states that the landscaped area is 10,610.14 square feet, about 32.6 percent of the site.

### Parking lot landscaping:

Section 13.02.C establishes the requirements for parking lot landscaping. Given that the site plan is only allowed to have 16 parking spaces by the zoning ordinance, 2 trees (but no islands or other landscaping) are required. The plan includes island landscaping adjacent to the parking spaces. We believe that parking landscaping requirements have been met. Detailed calculations and measurements are needed on the site plan, however.

Screening:

The site plan shows that the applicant has selected screening option 2 as defined in Table 13.02-A for the west boundary. This treatment consists of one large evergreen for every ten feet of width. Table 13.02-B allows for screening option 2 and 3 when restaurants uses are adjacent an office use. In this case, the adjacent use to the west is DNA Health Care Services. We believe this is a reasonable and permissible approach to screening.

**Items to be Addressed:** 1.) Add one deciduous street tree on East Maple Road; add two deciduous street trees on Chopin Street. 2.) Provide detailed landscaping calculations showing how all requirements of Section 13.02 are being met.

## SUBMITTAL REQUIREMENTS

Section 8.05.A.7 establishes the requirements for preliminary site plan submittals, as required for a Special Use approval. Sheets C-100, C-200, C-300, C-400, and C-500 are sealed by Robert E. Matiko, Engineer. Sheets A1, A2, A5, and A5.1 are not sealed. All sheets should be sealed in a revised submittal. The photometric plan is not sealed, which is typical and the City has not traditionally required a seal on that sheet as it is prepared by the lighting providers who do warranty and accept certain liability for the lighting products themselves and their performance along manufacturer specifications. Asides from the deficiencies mentioned above, the following information has not been provided:

1. A landscape plan prepared in conformance with the City of Troy's Landscape Design Standards. (Provide calculations)
2. Lighting plan indicating proposed photometrics, height of light fixtures, proposed light fixtures, and proposed methods of shielding. (Provide photometrics along the north boundary)

**Items to be Addressed:** 1) Seal all sheets. 2) Provide calculations for landscaping showing that Ordinance requirements are met. 3) Provide revised photometric plan.

## SPECIAL USE

In the GB District, restaurants with drive-through service are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall "...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions."

## Use Standards

Section 6.10 provides specific use requirements for drive-through facilities. The standards for stacking lane and escape lane width are not met; however, we believe that there is enough space for standard stacking and escape lanes.

## Standards of Approval

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

- 1. Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses. **The proposed use is intended for location within areas of high traffic. The proposed use will not have any detrimental impact and will add a valuable service to the immediate commercial corridor.***
- 2. Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans. **The use is common to regional commercial area, and complies with the Master Plan.***
- 3. Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion. **The site must demonstrate that the drive-through, trash pickup, and loading area have adequate space for services needed and do not cause traffic conflict. With the nature of the use as one that does not have acute peak traffic times for very large populations, and which is located in a high-intensity area, we believe this condition is satisfied.***
- 4. Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden. **We do not expect any additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.***
- 5. Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and*

*shall comply with all applicable ordinance standards. **Several items need to be addressed, as noted herein, to meet this requirement.***

The Planning Commission is also required to generally consider the following for any special use application:

- 1. The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use. **See above. We believe that with conditions, the proposed use may be permissible.***
- 2. Vehicular circulation and parking areas. **Parking lots exceed the maximum number permitted and parking space proposed on the front yard is not allowed. The width of stacking and escape lanes should be modified to meet the Ordinance Requirement.***
- 3. Outdoor activity, storage and work areas. **N/A.***
- 4. Hours of operation. **The proposed use is in an area where similar uses provide service to regional commercial customers from early morning to evening. This is a high-intensity area and automobile service uses are common in such areas.***
- 5. Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light. **We do not anticipate any additional impact after initial construction in this regard.***

***Items to be addressed:** Address Ordinance compliance issues noted herein.*

## **RECOMMENDATIONS**

We support the proposed project and believe the project does meet or exceed minimum requirements, with several small conditions for clarification and compliance with minor elements required by the Zoning Ordinance. We recommend the Planning Commission approve the special use request and preliminary site plan application conditioned on the applicant satisfying the following requirements:

1. Add and correct setback dimensions.
2. Remove parking spaces from the front yard.
3. Remove excess parking or apply for a waiver from the parking limitation.
4. The proposed site plan states that 9 spaces are required for the Drive-through lane, which should be 10.
5. Proposed width for stacking lane parking does not meet the Ordinance requirement (12 feet). This stacking lane should be revised.
6. Reconfigure the loading and unloading area and the dumpster location.
7. Add one deciduous street tree on East Maple Road; add two deciduous street trees on Chopin Street.

*Tim Horton's Restaurant*  
March 7, 2012

8. Provide detailed landscaping calculations showing how all requirements of Section 13.02 are being met.
9. Demonstrate feasible circulation for loading, trash pickup, and drive-through stacked parking to reduce traffic conflicts.
10. Seal remaining architectural sheets.

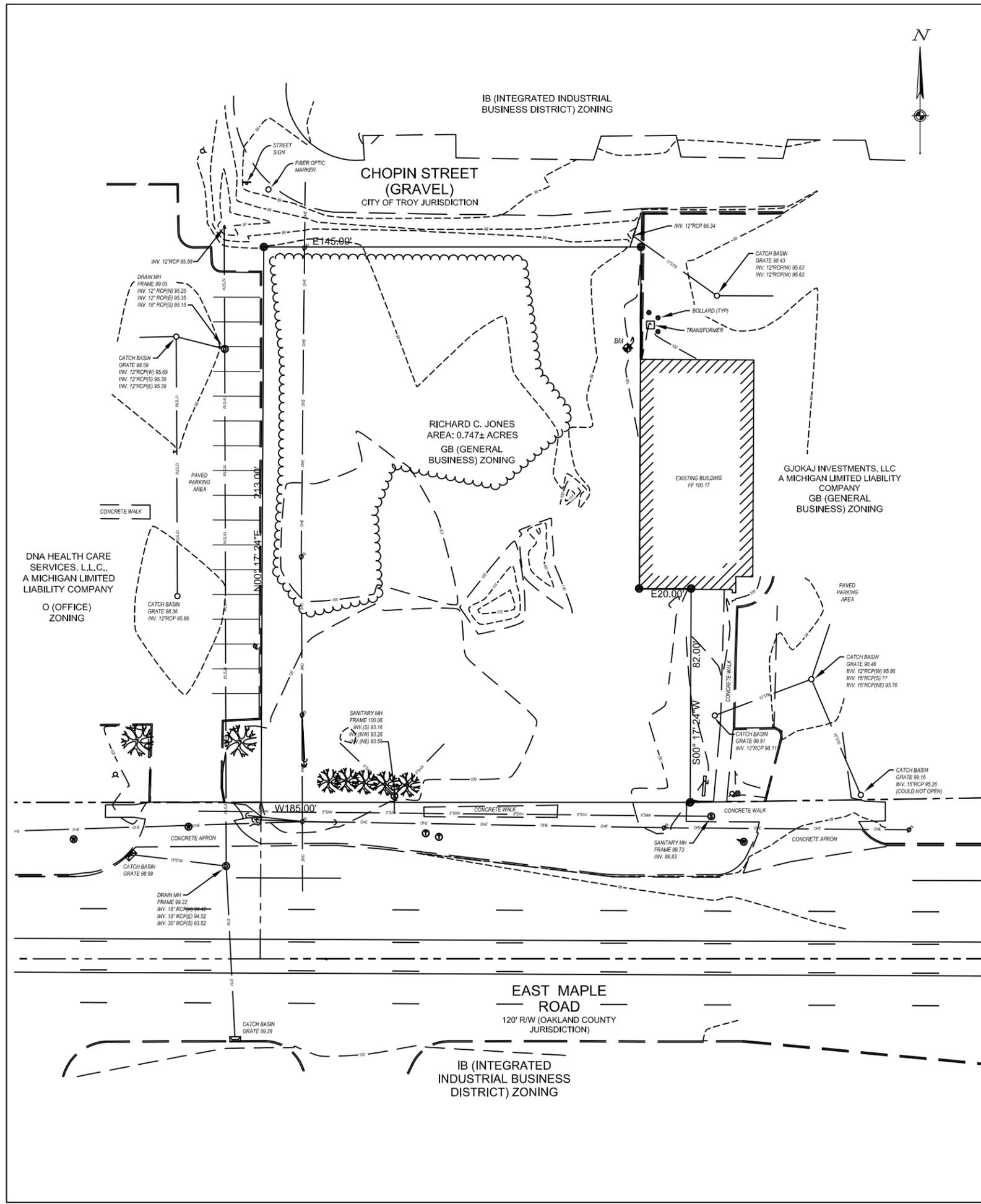


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**CARLISLE/WORTMAN ASSOCIATES, INC.**  
**Zachary G. Branigan, LEED AP, AICP**  
**Associate**

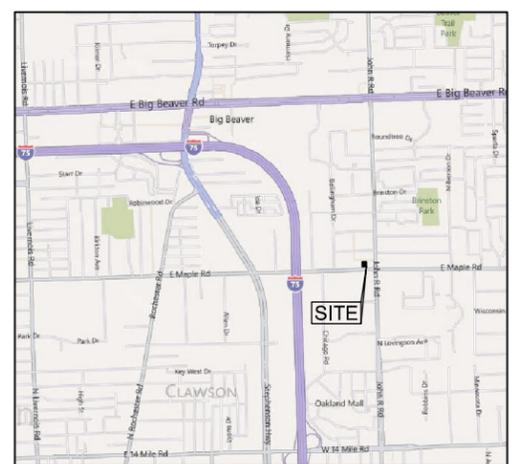
225-02-1203





**SURVEY LEGEND**

EXISTING	
	RIGHT OF WAY
	EASEMENT
	PROPERTY LINE
	BUILDING
	CURB
	PAVEMENT
	WALK
	OVHD. ELECTRIC LINE
	UNDG. ELECTRIC LINE
	GAS LINE
	SANITARY SEWER
	STORM SEWER
	OVHD. TELEPHONE LINE
	UNDG. TELEPHONE LINE
	WATER LINE
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	WATER VALVE
	FIRE HYDRANT
	GAS VALVE
	LIGHT POLE
	BENCHMARK



VICINITY MAP:  
NOT TO SCALE

**LEGAL DESCRIPTION**

SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, TO-WIT:  
 LOTS 518, 519, 520 AND NORTH 1/2 OF VACATED ALLEY ADJACENT TO SAME, ALSO LOTS 547 TO 553, INCLUSIVE, EXCEPT SOUTH 27 FEET OF SAID LOTS 547 TO 553, INCLUSIVE TAKEN FOR MAPLE ROAD, ALSO SOUTH 112 OF VACATED ALLEY ADJACENT TO SAID LOTS 547 TO 553, INCLUSIVE, ALSO ALL OF VACATED ALGER STREET ADJACENT TO LOTS 518, 553 AND ADJACENT TO VACATED ALLEY.  
 LESS AND EXCEPT THAT PROPERTY DESCRIBED IN THE QUIT CLAIM DEED DATED APRIL 25, 1980 FROM OBERSON REALTY COMPANY, A MICHIGAN CORPORATION TO THE BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF OAKLAND, STATE OF MICHIGAN, A PUBLIC BODY CORPORATE FILED JULY 2, 1980 AND RECORDED IN LIBER 7812, PAGE 281 OF THE OAKLAND COUNTY REGISTER OF DEEDS OFFICE.  
 ALSO LESS AND EXCEPT THAT PROPERTY DESCRIBED IN THE WARRANTY DEED DATED APRIL 25, 1987 FROM JEROME SIMA AND JUDITH H. SIMA, HIS WIFE TO THE CITY OF TROY, A MUNICIPAL CORPORATION FILED JUNE 2, 1987, AND RECORDED IN LIBER 9935, PAGE 755 OF THE OAKLAND COUNTY REGISTER OF DEEDS OFFICE.

REVISIONS NO.	DATE	DESCRIPTION



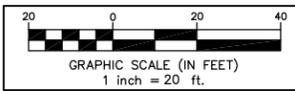
TOPOGRAPHIC SURVEY  
AND BOUNDARY PLAN  
 TIM HORTONS - 1905 EAST MAPLE RD.  
OAKLAND COUNTY, MICHIGAN  
 CITY OF TROY

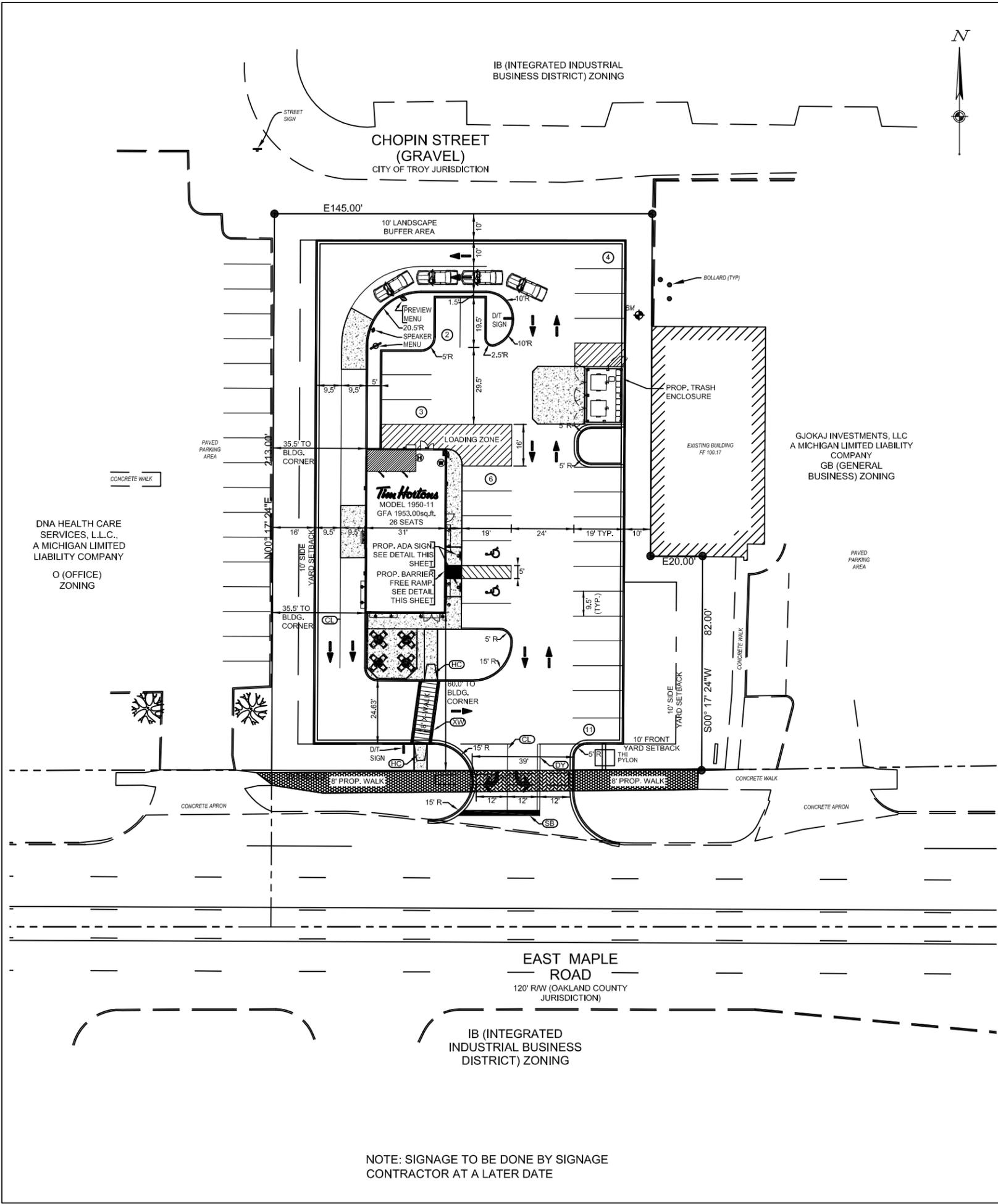


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ISSUE:	DESIGN DEVELOPMENT
DATE:	02.13.2012
JOB NO.:	4569
DESIGN:	REM
DRAWN:	REM
CHECKED:	MJG
SHEET NO.:	C-200

NOTE: AS AN AID TO THE CONTRACTOR VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLANS AND PROFILES IS TAKEN FROM FIELD TOPS AND/OR AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DOES NOT GUARANTEE THEIR LOCATION/ELEVATION, OR THAT ADDITIONAL UNDERGROUND STRUCTURES OR UTILITIES MAY NOT BE ENCOUNTERED.  
 IF THE CONTRACTOR DOES ENCOUNTER A PREVIOUSLY UNIDENTIFIED UTILITY AND/OR STRUCTURE, OR DETERMINES THAT ONE OF THE UTILITIES/STRUCTURES SHOWN ON THESE PLANS IS INCORRECTLY LOCATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR DIRECTION ON HOW TO PROCEED.  
 THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES. NOTIFY "MISS DIG" AT 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.





**LAYOUT PLAN LEGEND**

EXISTING	PROPOSED
R/W	BUILDING
ESMT	CURB
PROPERTY LINE	PAVEMENT/WALK
BUILDING	STOP SIGN
CURB	ADA PARKING SIGN
PAVEMENT	
WALK	
	PROP. CONCRETE
	PROP. HEAVY DUTY CONCRETE
	PROP. STANDARD DUTY ASPHALT PAVEMENT
	SIDEWALK TO MATCH DRIVEWAY SECTION
	4" CONCRETE SIDEWALK

**GENERAL NOTES:**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF TROY REGULATIONS AND CODES AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY FROM THE CITY/COUNTY PRIOR TO CONSTRUCTION.
2. ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.
3. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL SITE LIGHTING SHALL BE DEFLECTED AS NOT TO BE DIRECTED ONTO ADJACENT PROPERTY.

**CODED NOTES:**

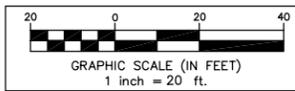
1. TAPER CURB FROM FLUSH TO FULL HEIGHT IN 5'-0"

**PAVEMENT MARKINGS LEGEND:**

- (SB) - STOP BAR, WHITE
- (DY) - DOUBLE LINE, YELLOW
- (CL) - CHANNELIZING LINE, WHITE
- (HC) - ADA HANDICAP RAMP

NOTE: SIGNAGE TO BE DONE BY SIGNAGE CONTRACTOR AT A LATER DATE

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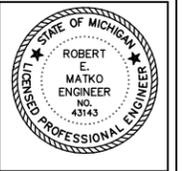
**DEVELOPER**  
TIM DONUT U.S. LIMITED INC.  
BRIGHTON, MI 48116  
PHONE: (810) 844-2748  
FAX: (810) 229-3072  
CONTACT: PATRICK BELL

REVISIONS NO.	DATE	DESCRIPTION



LAYOUT PLAN

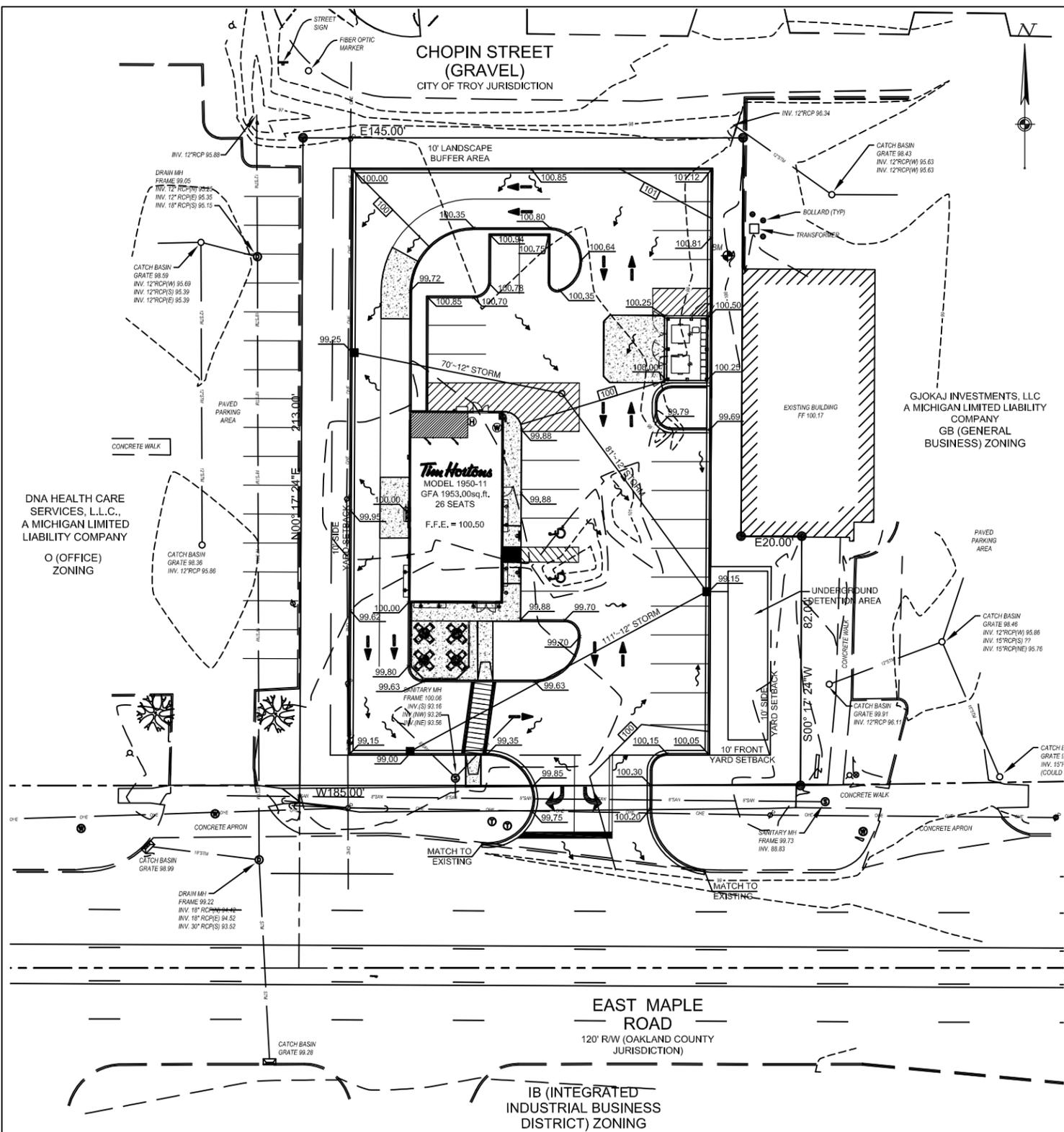
TIM HORTONS - 1905 EAST MAPLE RD.  
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EXISTING		PROPOSED	
R/W	RIGHT OF WAY	100	BUILDING
ESMT	EASEMENT	102	MAJOR CONTOUR
P	PROPERTY LINE	SAN	MINOR CONTOUR
100	BUILDING	STM	SANITARY SEWER
102	MAJOR CONTOUR	WS	STORM SEWER
O/E	OVHD. ELECTRIC LINE	GS	WATER SERVICE LINE
U/E	UNDG. ELECTRIC LINE	AD	GAS SERVICE LINE (BY UTILITY)
G	GAS LINE	CB	CATCH BASIN
SAN	SANITARY SEWER	CO	CLEAN OUT
STM	STORM SEWER	DS	DOWN SPOUT CONNECTION
OHT	OVHD. TELEPHONE LINE		GRADE BREAK
UGT	UNDG. TELEPHONE LINE		FLOW ARROW
W	WATER LINE		SPOT ELEVATION
SM	SANITARY MANHOLE		
ST	STORM MANHOLE		
CB	CATCH BASIN		
WV	WATER VALVE		
FD	FIRE HYDRANT		
GV	GAS VALVE		
LP	LIGHT POLE		
BM	BENCHMARK		

**SITE GRADING NOTES:**

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF TROY REGULATIONS AND CODES AND O.S.H.A. STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
- FOURTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY (MISS-DIG) AT 1-800-482-7171. THE CONTRACTOR SHALL ALSO NOTIFY ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES IN THE PROJECT AREA AND ARE NON-MEMBERS OF MISS-DIG.
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- PROVIDE FINGER DRAINS PER DETAIL ON SHEET C-301 ON ALL PROPOSED CATCH BASINS IN PAVEMENT.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL SEED/SOD DISTURBED AREAS IN ACCORDANCE WITH CITY OF TROY SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES PIPES, AND ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONCRETE TO HAVE A MIN. 28 DAY COMPRESSION STRENGTH OF 3000 PSI.
- CONTRACTOR SHALL ESTABLISH PERMANENT ON-SITE BENCH MARK PRIOR TO CLEARING/DEMOLITION.
- ALL GRADES NOTED ARE TOP OF PAVEMENT OR FINISH GRADE ELEVATIONS.

NOTE: STORMWATER DETENTION WILL BE STORED UNDERGROUND ACCORDING TO CITY OF TROY/COUNTY STANDARDS.

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**GRADING PLAN**  
**TIM HORTONS - 1905 EAST MAPLE RD.**  
 OAKLAND COUNTY, MICHIGAN  
 CITY OF TROY



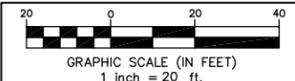
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 C-400

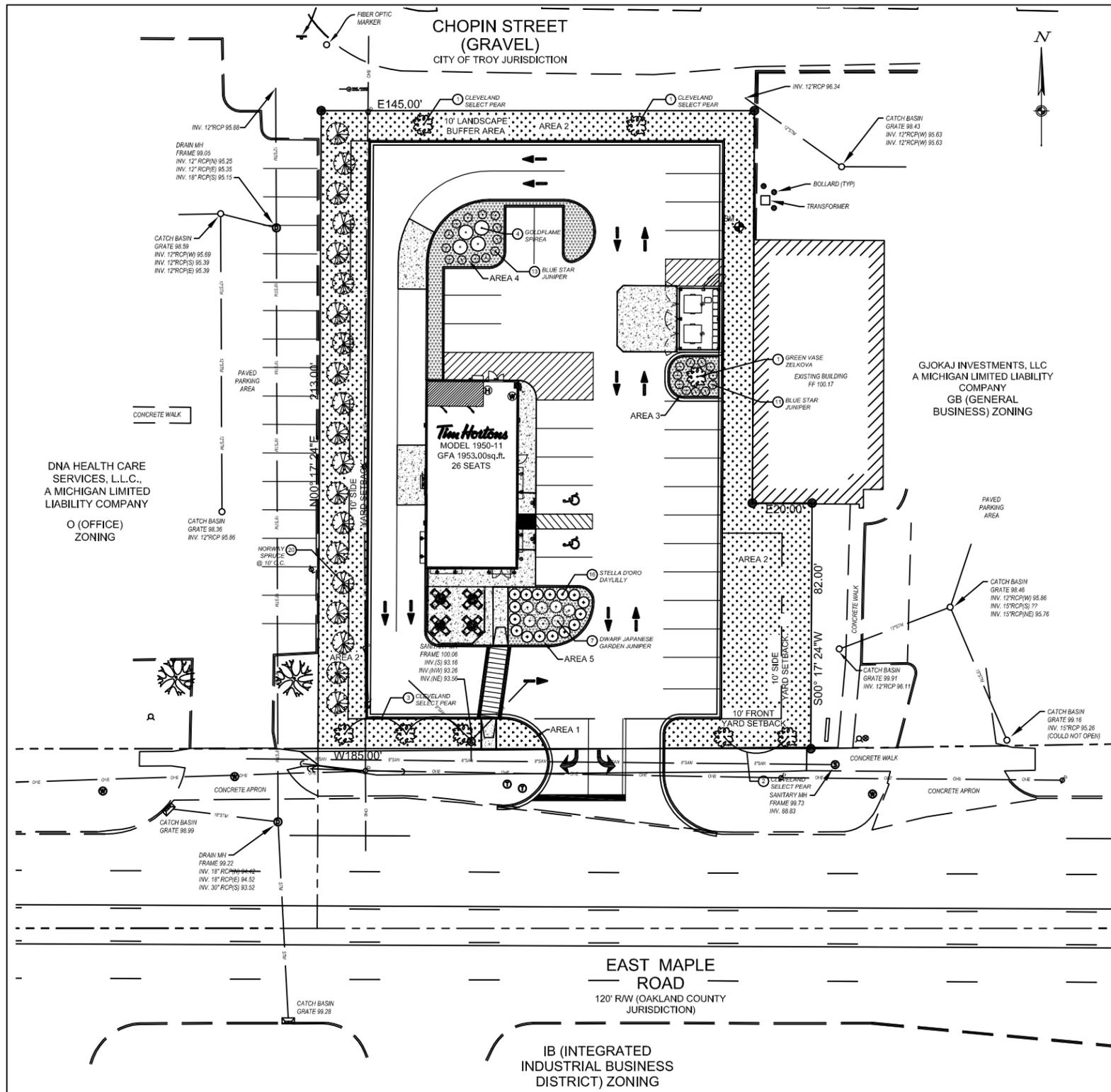
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- LANDSCAPE NOTES:**
- THIS PLAN IS FOR PLANTING LOCATIONS ONLY.
  - SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
  - ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF TROY STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES.
  - PLANT TREES AND SHRUBS NO CLOSER THAN THE FOLLOWING MINIMUM DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
    - A. SHADE/CANOPY TREES 5 FEET
    - B. ORNAMENTAL/FLOWERING TREES 10 FEET
    - C. EVERGREEN TREES 10 FEET
    - D. EVERGREEN/FLOWERING SHRUBS 4 FEET
  - DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACKFILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM THE EXCAVATED PLANTING HOLE, AND A FERTILIZER MIX. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET, CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.
  - REMOVE ALL TWINE, WIRE AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS.
  - NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS. 4" THICK BARK MULCH FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 3" THICK BARK FOR SHRUBS AND 2" THICK BARK FOR PERENNIALS.
  - BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
  - ALL DISTURBED UNPAVED AREAS ARE TO BE SODDED OR SEEDED OVER A MINIMUM OF 4-INCH DEPTH OF TOPSOIL. REFER TO PLAN FOR LOCATIONS.
  - PLANT MATERIAL TO BE NO. 1 GRADE NORTHERN NURSERY GROWN.
  - PLANT MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF 1 YEAR. IF PLANT MATERIAL BECOMES DISEASED OR DIES IT WILL BE REPLACED WITHIN 30 DAYS.
  - ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY THE CITY OF TROY PRIOR TO INSTALLATION.
  - ALL TREE STAKES, GUY WIRES AND TREE WRAP SHALL BE REMOVED AFTER ONE WINTER SEASON.
  - LANDSCAPE ITEMS SHALL NOT INTERFERE WITH CLEAR VISION AREAS.
  - ALL PLANTING BEDS TO HAVE WEED BARRIER FABRIC.

PLANT SCHEDULE				
SYM	QUAN.	COMMON/BOTANICAL NAME	MIN. SIZE	COND.
	7	CLEVELAND SELECT PEAR / PYRUS CALLERYANA 'CLEVELAND'	2.5" CAL.	B&B
	20	NORWAY SPRUCE Picea abies	6' HGT.	B&B
	4	GOLD FLAME SPIREA Spiraea bumalda 'Gold Flame'	18" HGT.	B&B
	16	STELLA D'ORO DAYLILY Hemerocallis 'Stella D'Oro'	6" SPD.	CONT.
	11	BLUE STAR JUNIPER Juniperus squamata 'Blue Star'	18" SPD.	CONT.
	7	DWARF JAPANESE GARDEN JUNIPER Juniperus procumbens 'Nana'	18" SPD.	CONT.

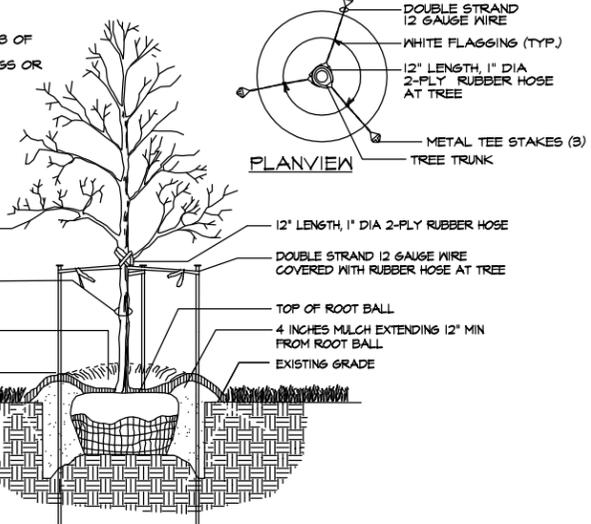
**GRADING, DRAINAGE, & EROSION CONTROL LEGEND**

EXISTING		PROPOSED	
	R/W		BUILDING
	PROPERTY LINE		SANITARY SEWER
	BUILDING		STORM SEWER
	O.V.H.D. ELECTRIC LINE		WATER SERVICE LINE
	UNDG. ELECTRIC LINE		GAS SERVICE LINE (BY UTILITY)
	GAS LINE		CATCH BASIN
	SANITARY SEWER		AREA DRAIN
	STORM SEWER		CLEAN OUT
	O.V.H.D. TELEPHONE LINE		DOWN SPOUT CONNECTION
	UNDG. TELEPHONE LINE		SEED
	WATER LINE		MULCH
	SANITARY MANHOLE		
	STORM MANHOLE		
	CATCH BASIN		
	WATER VALVE		
	FIRE HYDRANT		
	GAS VALVE		
	LIGHT POLE		

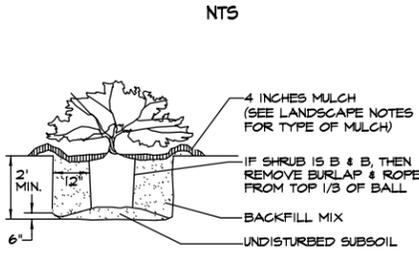
AREA	SIZE (S.F.)
1	132.15
2	8,925.68
3	209.53
4	845.09
5	497.69
TOTAL	10,610.14

SITE AREA: 0.747± ACRES  
20% GREENSPACE REQUIRED: 0.149± ACRES  
GREENSPACE PROVIDED: 0.244± ACRES

- NOTES:**
- TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE
  - REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- COVER SAND RIMS WITH 4" OF MULCH. DO NOT PILE MULCH AGAINST TRUNK OF TREE



**TREE PLANTING AND STAKING**



**SHRUB PLANTING**

**NOTE:**  
GUY EVERGREEN TREES ABOVE 12' HEIGHT. STAKE EVERGREEN TREE BELOW 12' HEIGHT.

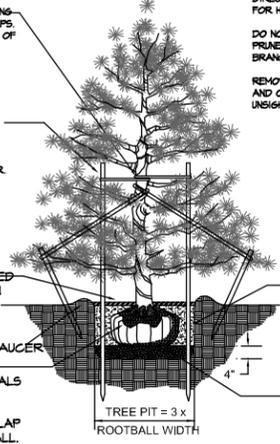
STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE FABRIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

**NOTE:**  
TREES SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRIPS, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GROWING.

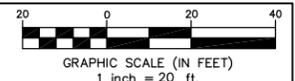


**EVERGREEN TREE PLANTING DETAIL**

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BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

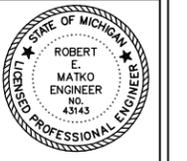


REVISIONS NO.	DATE	DESCRIPTION



LANDSCAPE PLAN

TIM HORTONS - 1905 EAST MAPLE RD. OAKLAND COUNTY, MICHIGAN



ENGINEERS • ARCHITECTS  
SURVEYORS

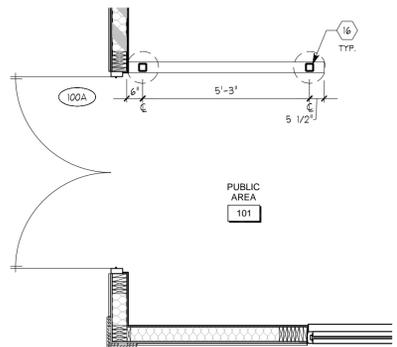
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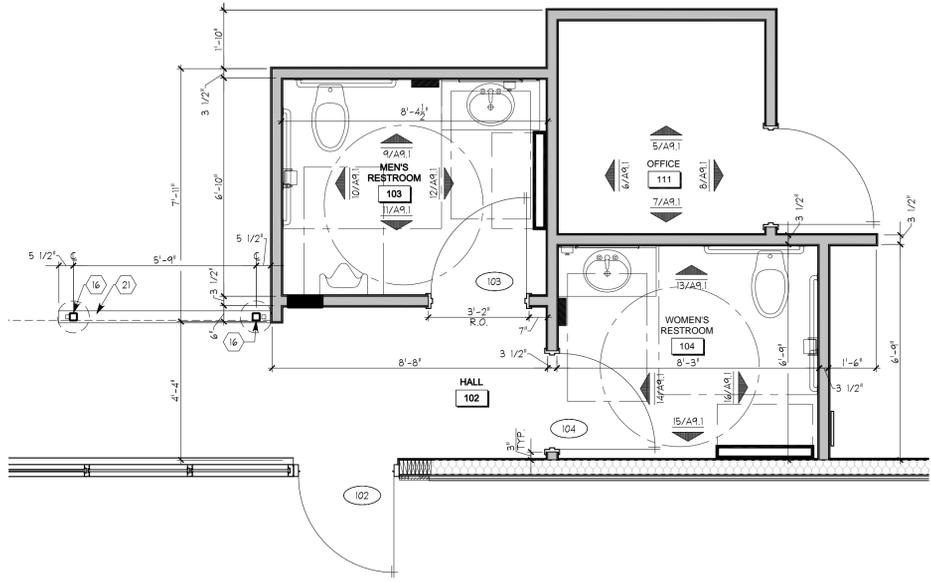
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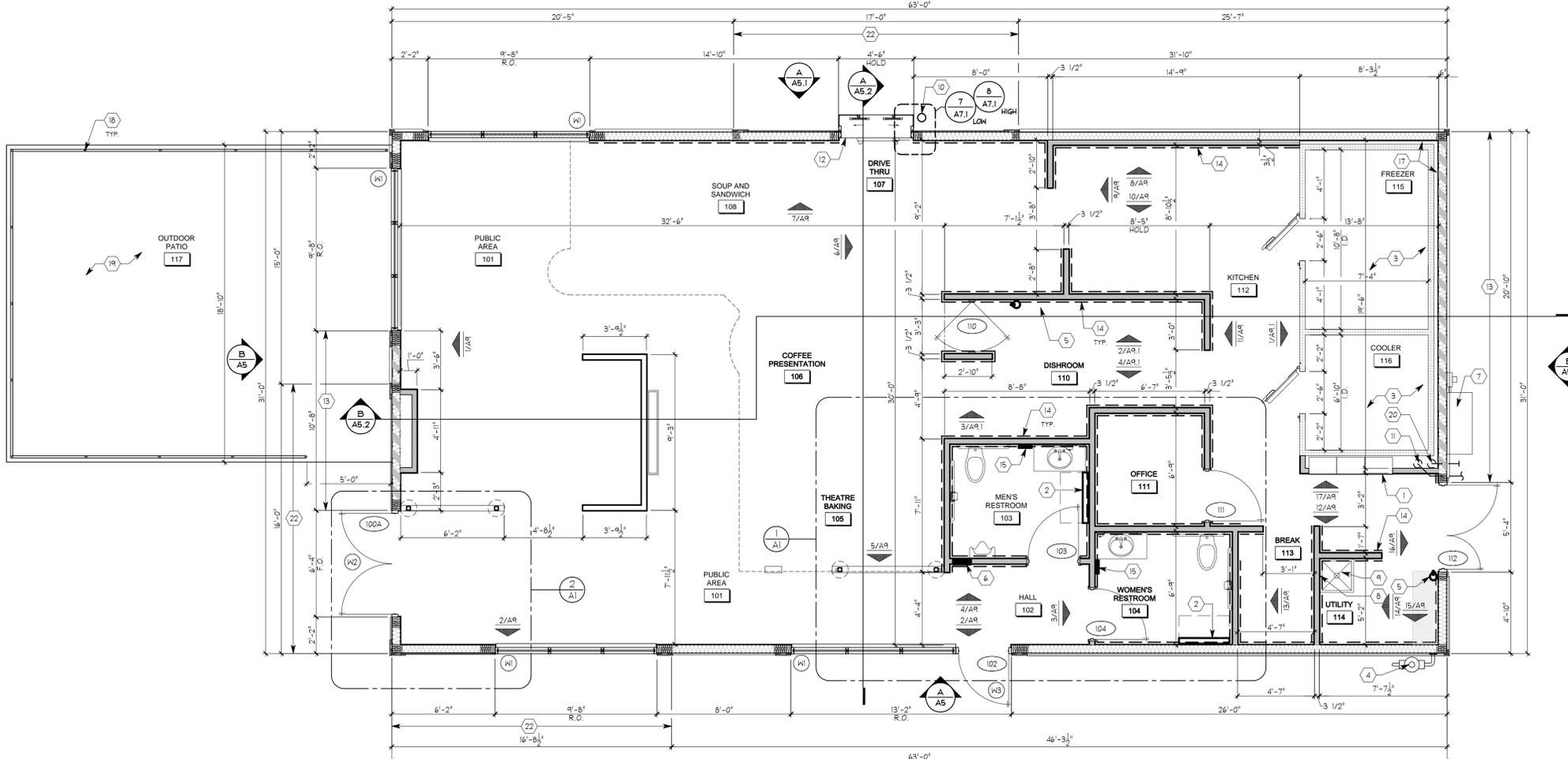
SHEET NO. C-500



ENLARGED PARTIAL PLAN 2  
3/8" = 1'-0"



ENLARGED PARTIAL PLAN 1  
3/8" = 1'-0"



FLOOR PLAN  
1/4" = 1'-0"

- GENERAL NOTES**
1. ALL PARTITIONS NOT DIMENSIONED ARE 3 1/2" WOOD STUDS. (3 1/2", 20GA METAL STUDS MAY BE USED.)
  2. SEE FINISH SCHEDULE/FLOOR COVERING SHEET FOR EXTENT OF FLOOR TILE.
  3. EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF FRAMING U.N.O.
  4. INTERIOR DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING U.N.O.
  5. INTERIOR SOFFITS ARE SHOWN ON SHEET A3.
  6. SEE SITE PLAN FOR LOCATIONS/ EXTENT OF SIDEWALKS, ETC.
  7. ALL INTERIOR PARTITIONS ARE NON-LOAD BEARING UNLESS NOTED OTHERWISE.
  8. ALL EXTERIOR WALL SHALL BE 2x6 STUDS @ 16" O.C. SEE STRUCTURAL SHEETS & SPECIFICATIONS FOR LUMBER GRADE & SPECIES.
  9. G.C. TO INSTALL QUARRY TILE BASE AT FRONT COUNTER AND LOW WALLS AFTER ITEMS ARE IN PLACE. SEE DETAIL F/A8.
  10. G.C. TO PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL MOUNTED FIXTURES AND ACCESSORIES AS REQUIRED.

- FLOOR PLAN CODED NOTES**
1. PREMANUFACTURED ELECTRICAL SWITCHGEAR CABINET PROVIDED BY OWNER INSTALLED BY G.C. COORDINATE W/ TDL REPRESENTATIVE.
  2. BABY CHANGING STATION. G.C. TO PROVIDE ADDITIONAL BLOCKING IN WALL AS REQUIRED. SEE SHEET A2 FOR ADDITIONAL INFORMATION.
  3. PREMANUFACTURED WALK-IN FREEZER/ COOLER PROVIDED AND INSTALLED BY OWNER. FREEZER TO HAVE INSULATED FLOOR. G.C. TO PROVIDE TILE FLOOR IN COOLER AS INDICATED ON FINISH PLAN AND MAKE ALL UTILITY CONNECTIONS.
  4. GAS METER. COORDINATE LOCATION W/ CIVIL DRAWING AND UTILITY COMPANY.
  5. WALL MOUNTED FIRE EXTINGUISHER - VERIFY TYPE AND LOCATION W/ FIRE MARSHAL.
  6. G.C. TO PROVIDE AND INSTALL SEMI-RECESSED FIRE EXTINGUISHER AND CABINET AS INDICATED ON SHEET A2 SEE SHEET A9 FOR MOUNTING HEIGHT.
  7. C/T CABINET & ELECTRIC METER AT THIS LOCATION AS REQUIRED. COORDINATE WITH LOCAL UTILITIES.
  8. WALLS AROUND MOP SINK TO RECEIVE 1/2" CONCRETE BACKERBOARD FROM FLOOR TO 48" A.F.F. 1/2" OSB FROM 48" A.F.F. TO 6' ABOVE CEILING.
  9. RECESSED STAINLESS STEEL MOP SINK PROVIDED & INSTALLED BY G.C. SEE PLUMBING SHEETS.
  10. 6"Ø CONCRETE FILLED STEEL PIPE BOLLARD W/ PAWLING BOLLARD COVER PROVIDED & INSTALLED BY G.C. SEE DETAILS F/A52 FOR PROPER INSTALLATION.
  11. 4" PVC PRIMARY ROOF DRAIN DOWN IN WALL. PENETRATE SLAB & INCREASE SIZE PER PLUMBING & EXTEND TO STORM.
  12. AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL. INSTALLED BY G.C. DO NOT INSTALL PICK UP WINDOW UNTIL KITCHEN EQUIPMENT HAS BEEN RECEIVED & IN STORE. COORDINATE W/ TDL CONSTRUCTION MANAGER.
  13. SHEAR WALL LOCATION. SEE STRUCTURAL.
  14. DASHED LINE INDICATES 1/2" OSB SHEATHING FROM FLOOR TO 6' ABOVE ACOUSTIC TILE CEILING OR UNDERSIDE OF DRYWALL CEILING.
  15. WALL MOUNTED ELECTRIC HAND DRYER. SEE SHEET A2 FOR ADDITIONAL INFORMATION.
  16. 3X3X48" T.S. POSTS PROVIDE 1/2" DIAMETER 1/4" DEEP CONCRETE FOOTING AT EACH POST LOCATION. FOOTINGS TO BE POURED AROUND EA. POST AFTER WALL HAS BEEN DELIVERED AND SET IN PLACE BY S.F.C. TOP OF FOOTINGS TO BE FLUSH W/ SLAB AND COVERED W/ TILE TO MATCH FLOOR FINISH SEE DETAIL W/A8.
  17. PROVIDE MIN. 2 1/2" AIR SPACE BETWEEN FREEZER / COOLER AND FACE OF WALL.
  18. METAL RAILING PROVIDED & INSTALLED BY G.C. RAILING TO BE MANUFACTURED BY FORTIN WELDING.
  19. CONCRETE SLAB FOR OUTDOOR PATIO PER CIVIL DRAWING.
  20. 4" DIAMETER P.V.C. SECONDARY STORM DRAIN FROM ROOF. EXTEND DOWN AND EXIT THRU WALL @ 12" A.F.F. PROVIDE TURN ZIPR DOWNSPOUT NOZZLE OR EQUAL.
  21. PARTIAL HEIGHT WALL W/ TEMPERED GLASS PROVIDED AND INSTALLED BY S.F.C.
  22. DIMENSION INDICATES FRAMING ABOVE FOR RAISED PARAPET. DIMENSION IS FROM FACE OF STUD TO FACE OF STUD.

- SYMBOL LEGEND**
- 2 - DETAIL NUMBER
  - A5 - DRAWING NUMBER
  - HALL 101 - DENOTES ROOM NAME AND NUMBER
  - 4/A9 - INTERIOR ELEVATION NUMBERS DRAWINGS A9 & A9.1
  - (W1) - WINDOW NUMBER
  - (101) - DOOR NUMBER
  - (1) - CODE NOTE
  - Shear Wall - SHEAR WALL
  - 1/A5.2 - BUILDING SECTION
  - 1/A6 - WALL SECTION

REVISION/UPLOAD DATE		
REV.	DATE	DESCRIPTION
RFP#1	01/31/11	GENERIC UPLOAD
RFP#2	03/17/11	GENERIC UPLOAD
RFP#3	04/20/11	GENERIC UPLOAD
RFP#6	07/06/11	GENERIC UPLOAD

LAST DESIGN BULLETIN  
NUM. DATE DESCRIPTION

DATE ISSUED: 07/06/2011

**SHREMSHOCK**  
Shremshock Architects, Inc.  
6850 S. Buxton Rd., Westerville, OH 43081  
Tel: 614-242-0255  
www.shremshock.com

**Tim Hortons**  
MODEL 1950-11 (U.S.)  
NOT FOR CONSTRUCTION  
ANYWHERE USA

**FLOOR PLAN**

**DESIGN DEVELOPMENT NOT FOR CONSTRUCTION**

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SAI # 11002  
DRAWING NUMBER: **A1**

DRAWN BY: DDS  
CHECKED BY: MLL  
TDL STORE NUMBER

# KITCHEN EQUIPMENT SCHEDULE

NO.	SUPPL'D	INS/D	DESCRIPTION	QTY.	MANUFACTURER	MODEL	NOTES	NO.	SUPPL'D	INS/D	DESCRIPTION	QTY.	MANUFACTURER	MODEL	NOTES
1.1	G.C.	G.C.	MIRROR	2	BOBRICK		24" horiz. x 36" vert.	68.9	T.D.	T.D.	INFUSION BREWER	1	BUNN	ICB	
2	T.D.	G.C.	TOILET PAPER HOLDER	2			Surface Mounted (Consult with Tim Hortons field engineer)	68.14	T.D.	T.D.	COFFEE BREWER	1	BUNN	CNTF35-3	
3.3	G.C.	G.C.	ELECTRIC HAND DRYER	2	COMAC	ONE		69.3	T.D.	G.C.	ELECTRIC SUGAR DISPENSER	2	SURE SHOT	AC-E	
4A	G.C.	G.C.	42" GRAB BAR	2	BOBRICK	B-6806x42	Supplied by finished carpentry section	70.1	T.D.	G.C.	WALK-IN FREEZER (INTERIOR)	1	NORLAK	PDT 819	10'-0" HIGH
4B	G.C.	G.C.	36" GRAB BAR	2	BOBRICK	B-6806x36	Supplied by finished carpentry section	71.15	T.D.	G.C.	HOBBS TABLE 5/5	1	S & G	CT7002B	
4C	G.C.	G.C.	VERTICAL GRAB BAR	2	BOBRICK			72.14	T.D.	G.C.	EXHAUST HOOD (COMBI OVEN)	1	HALLON		See Mechanical & Electrical drawings
5	T.D.	G.C.	SOAP DISPENSER - HAND SINK AREA	1	BOBRICK	B-2111	Liquid Soap Surface mounted	72.5	T.D.	G.C.	EXHAUST HOOD (HOT PLATES)	1	AEROLATOR		See Mechanical & Electrical drawings
5.1	T.D.	G.C.	SOAP DISPENSER - WALL MOUNTED	4	BOBRICK			72.9	T.D.	G.C.	EXHAUST HOOD (DISHWASHER)	1	AEROLATOR		See Mechanical & Electrical drawings
6.1	T.D.	T.D.	SIRIUS RECEIVER	1	SIRIUS	STRDE 100	On shelf - electrician to supply & connect speakers	72.10	T.D.	G.C.	EXHAUST HOOD (TOASTER)	1	AEROLATOR		See Mechanical & Electrical drawings
8.2	T.D.	T.D.	BAG-N-BOX W/ CARBONATOR	1	PEPSI		43"	73	T.D.	G.C.	HAND SINK - COUNTER MOUNTED	1	POLAR	1734	
16.3	T.D.	T.D.	IN-STORE CAMERA	6	PANASONIC	WV-BP140	Location to suit Tim Hortons field engineer	73.1	T.D.	G.C.	DUMP SINK - COUNTER MOUNTED	2	POLAR	1734	
20.12	T.D.	G.C.	3 COMPARTMENT SINK	1	S & G	SK-73009		73.2	T.D.	G.C.	HAND SINKS - WALL MOUNTED	2	AMTEKO	DH17	
22.1	G.C.	G.C.	FIRE EXTINGUISHER WITH RECESSED CABINET	1	J.I. INDUSTRIES	#B16F10	AMEREX #B402 (5LB 3A40BC)	74.1	T.D.	G.C.	WALK-IN COOLER (INTERIOR)	1	NORLAK		10'-0" HIGH
22.2	G.C.	G.C.	FIRE EXTINGUISHER WALL SURFACE MTD.	2	AMEREX	#B260	(1) CLASS K (1) ABC MB10	75.16	T.D.	G.C.	SINGLE DOOR PASS-THRU FREEZER	1	DELFIELD		
27.1	T.D.	T.D.	D/T MONITOR	1	PANASONIC		(6 LITRE CLASS K) w/ #B10 HEAVY DUTY WALL BRACKET	77.5	T.D.	G.C.	SOUP WARMER	1	KELLS	MCD300TDM	
27.2	T.D.	T.D.	SANDWICH MONITOR	1	PANASONIC			81.3	T.D.	G.C.	UNDERCOUNTER REFRIGERATOR	2	BEVERAGE AIR	UCR27	
27.4	T.D.	T.D.	10" MONITOR	3	PANASONIC			82	T.D.	G.C.	DEPOSIT BOX SAFE	4	PERMAVAULT	PRD-500	One at P.U.N. one at front register.
29.1	T.D.	G.C.	PAPER TOWEL DISPENSER ROLL	1	FROST	126		83.2	T.D.	G.C.	VEGETABLE SINK	1	S & G		
29.2	T.D.	G.C.	PAPER TOWEL DISPENSER	2	FROST	101		85	T.D.	T.D.	SECURITY SYSTEM MONITOR	1	ADT		G.C. to provide power.
31	T.D.	T.D.	WIRELESS BASE STATION	1	HME/3M/PANASONIC			86.1	G.C.	G.C.	EMPLOYEE LOCKER LESS HANGING STORAGE	1	HADRIAN		
32	T.D.	T.D.	BATTERY CHARGER	1	HME/3M/PANASONIC			87.7	T.D.	T.D.	COLD BEVERAGE	1	TAYLOR	342	
33	T.D.	T.D.	HARDWARE RECEIVER	1	HME/3M/PANASONIC			88	G.C.	G.C.	SHELVING ABOVE 3-COMPARTMENT SINK	1	ISS		
34.7	T.D.	G.C.	DISHTABLING FOR TEMPSTAR	1	S & G			89	G.C.	G.C.	BABY CHANGING TABLE	2	KOALA	KB100	Top of unit to be 48" a.f.f.
34.8	T.D.	G.C.	DRAWER PANS FOR TEMPSTAR	1	S & G			90	T.D.	T.D.	WINDOW BLINDS	12			G.C. to verify quantity and locations for blinds w/ owner
35.3	T.D.	G.C.	DISHWASHER	1	TEMPSTAR	206/230/3 PHASE		92	T.D.	T.D.	DRIVE-THRU TIMER	1	HME	SYSTEM 30	
37.11	T.D.	T.D.	CASH REGISTERS	5	PANASONIC	7500	Insulated, isolation outlet	92.1	T.D.	T.D.	DRIVE-THRU LANE-TIMER JOURNAL PRINTER	1			
38.14	S.F.C.	S.F.C.	SANDWICH UNIT	1	TRUE	--		93	T.D.	S.F.C.	CAMP PICTURE FRAME	1			
40.1	S.F.C.	S.F.C.	LID DISPENSER - HOT	2	S & G	HOT		95.2	T.D.	T.D.	WALL CLOCK (WOOD STYLE)	2			
40.3	S.F.C.	S.F.C.	ICED CAPPUCCINO LID DISPENSER	1	S & G	COLD		95.3	T.D.	T.D.	WALL CLOCK (DIT WOOD STYLE)	1			
42.4	T.D.	T.D.	MICROWAVE OVEN (STANDARD)	1	PANASONIC	NE 1054		104	T.D.	G.C.	HOT PLATE STAND FOR ITEM #40.3	1			
43	T.D.	G.C.	WALL SHELVING 12" DEEP	1	ISS	VARIES	Consult Tim Hortons field engineer - See plan	107.2	T.D.	T.D.	SAFE	1			
44.2	T.D.	T.D.	BEVERAGE FOUNTAIN W/ ICE BIN	1	CORNELIUS	2323		108.2	T.D.	T.D.	BAGEL SABER	1	PRINCE CASTLE	970 SERIES	
46.3	T.D.	T.D.	BAGEL TOASTER - TURBO	1	STAR MFG.	CC53-1600B		109	T.D.	G.C.	TABLE TOP GLAZER	1	S & G	CF7007	
47.7	S.F.C.	G.C.	SEATING LOW BASE TABLE	8	PETER ANTHONY			112	T.D.	T.D.	MOBILE DISH CART	2	ISS		
47.8	S.F.C.	G.C.	SEATING - TUB SEATING	4	PETER ANTHONY			118.1	T.D.	T.D.	PORTAL COMPUTER	1	S & G		
47.9	S.F.C.	G.C.	SEATING - SHELL SEATING	10	PETER ANTHONY			122.4	T.D.	G.C.	BREAD SHELF	1	CATUGA		48"
47.10	S.F.C.	G.C.	COFFEE TABLE	2	PETER ANTHONY			123	T.D.	T.D.	MEDIA STORAGE CABINET	1	APC NET SHELTER	ARI00	
47.11	S.F.C.	G.C.	SEATING STOOL	6	PETER ANTHONY			124.2	T.D.	T.D.	LCD MONITOR - SMART STORE PROGRAM	5	--		
47.12	S.F.C.	G.C.	SEATING PRISM CHAIR	3	PETER ANTHONY			124.4	T.D.	T.D.	LCD MONITOR-TV	1	--		
49	T.D.	G.C.	WALK-IN SHELVING	8	ISS	VARIES	See plan	128	T.D.	G.C.	FLAVOR DISPENSER FOR COFFEE	1	SURE SHOT	AC-F95	
50.2	T.D.	T.D.	FAX MACHINE - STANDARD	1	PANASONIC		Connect to incoming line before any phone	129	T.D.	G.C.	CUTLERY BIN HOLDER	1	S & G	CF1007B	
53.1	G.C.	G.C.	VANITY SINGLE BOWL	2	CORIAN	EPX-800		130.3	T.D.	G.C.	ADVANCE CHILLER UNIT	1	SURE SHOT	AC-LCI	
57.2	T.D.	T.D.	FONDANT WARMER	1	GARLAND	ED-15THSE		130.4	T.D.	G.C.	TEA SERVER	1	SURE SHOT	AC-LCI	
60.3	T.D.	G.C.	HOT PLATE	1	GARLAND	ED-15THSE		134	T.D.	T.D.	HIGH CHAIR AND TRAY	1	RUBBERMAID	7805/7815	
62.5	T.D.	G.C.	ICE MACHINE	1	HOSHIZAKI	KH-320MAH		135	T.D.	G.C.	HOT HOLDING UNIT	2	MERCO SAVORY	MHC-22	
63	T.D.	G.C.	SUSPENDED STORAGE SHELVING (METAL)	6	ISS	VARIES	Height above floor varies - See I.S.S. drawings	136.4	T.D.	G.C.	BEVERAGE - ESPRESSO	1F	NESCAFE	MILANO	
64	T.D.	G.C.	DRY STORAGE SHELVING (METAL)	6	ISS	VARIES	See plan	140	T.D.	T.D.	ICE CADDY	1F	S & G		
66.3	T.D.	G.C.	ICER CREAMER-DUAL VOLUME (STANDARD)	2	SURE SHOT	AC10		143	T.D.	T.D.	OFFICE PRINTER	1	OKI DATA	C3400N	
67.4	T.D.	T.D.	HOT POWDERED DRINK MACHINE	2	BUNN	FMD-DBC3		145	T.D.	T.D.	KNIFE HOLDER	1			
67.7	T.D.	G.C.	HOT POWDERED DRINK MACHINE (STANDARD)	1F	BUNN	IM1X5		147	T.D.	T.D.	BIOHAZARD KIT	1	NEATH	17870	COORDINATE LOCATION/MOUNTING WITH T.D.L. REPRESENTATIVE
68.5	T.D.	T.D.	D/T DUAL COFFEE BREWER	1F	BUNN	DB2A		148	T.D.	T.D.	FIRST AID KIT	1	VARIES	VARIES	COORDINATE LOCATION/MOUNTING WITH T.D.L. REPRESENTATIVE
68.6	T.D.	T.D.	COFFEE BREWER	3	BUNN-O-MATIC	GNT-35		154	T.D.	T.D.	PLUS TRAINING PC ADD ON MONITOR	1	HP	15006TM	

# STORE FIXTURE SCHEDULE

NO.	SUPPL'D	INS/D	DESCRIPTION	QTY.	MANUFACTURER	MODEL	NOTES
D1	S.F.C.	S.F.C.	MAIN COFFEE STATION	1	S & G		
D2	S.F.C.	S.F.C.	SECOND COFFEE STATION	1	S & G		
D4	S.F.C.	S.F.C.	GLASS GUARD	7	S & G		
D5	S.F.C.	S.F.C.	BREEZE GUARD	7	S & G		
D8	S.F.C.	S.F.C.	DRIVE-THRU CASH COUNTER	1	S & G		
D10	S.F.C.	S.F.C.	DRIVE-THRU BACK BAR	1	S & G		
D11	S.F.C.	S.F.C.	BACK BAR	1	S & G		
D14	S.F.C.	S.F.C.	CAFE DOOR AND FRAME	1	S & G		
D17b	S.F.C.	S.F.C.	DISPLAY MERCHANDISER	1	S & G		
D21c	S.F.C.	S.F.C.	DISPLAY MERCHANDISER	1	S & G		
D22	S.F.C.	S.F.C.	LOW PARTITION	3	S & G		
D24	S.F.C.	S.F.C.	WINDOW SILL	4	S & G		
D27	S.F.C.	S.F.C.	TRAINING CABINET	1	S & G		
D34.4	S.F.C.	S.F.C.	GARBAGE UNIT	1	S & G		
D46	S.F.C.	S.F.C.	OFFICE COUNTERTOP	1	S & G		
D46.1	S.F.C.	S.F.C.	FILE DRAWER	1	S & G		
D46.2	S.F.C.	S.F.C.	PENCIL DRAWER	1	S & G		
D46.4	S.F.C.	S.F.C.	DOUBLE OVERHEAD CABINET	1	S & G		
D46.5	S.F.C.	S.F.C.	CORNER OVERHEAD CABINET	1	S & G		
D54	S.F.C.	S.F.C.	GLASS SHELF	1	S & G		
D55	S.F.C.	S.F.C.	COFFEE GRIND STATION	1	S & G		
D56	S.F.C.	S.F.C.	COFFEE PRESENTATION COUNTER	1	S & G		

# GENERAL NOTES

- COORDINATE EQUIPMENT PACKAGE W/ TDL REPRESENTATIVE
- G.C. RESPONSIBLE FOR UNLOADING AND PLACING EQUIPMENT IN STORE. SOME EQUIPMENT IS APPROXIMATE 900 LBS.
- G.C. TO PROVIDE SOLID WOOD BLOCKING IN WALLS FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- G.C. TO PROVIDE BLOCKING BETWEEN TRUSSES AS REQUIRED FOR OVERHEAD SUSPENDED SHELVING
- QUANTITY AND LOCATION OF SECURITY CAMERAS PROVIDED AND INSTALLED BY TIM HORTONS.
- G.C. TO VERIFY EXTINGUISHERS LOCATIONS, TYPE, SIZE AND QUANTITY W/ LOCAL FIRE MARSHALL. IF LOCAL REQUIREMENTS ARE DIFFERENT THAN SHOWN OWNER SHALL REIMBURSE THE G.C. FOR THE CHANGES.

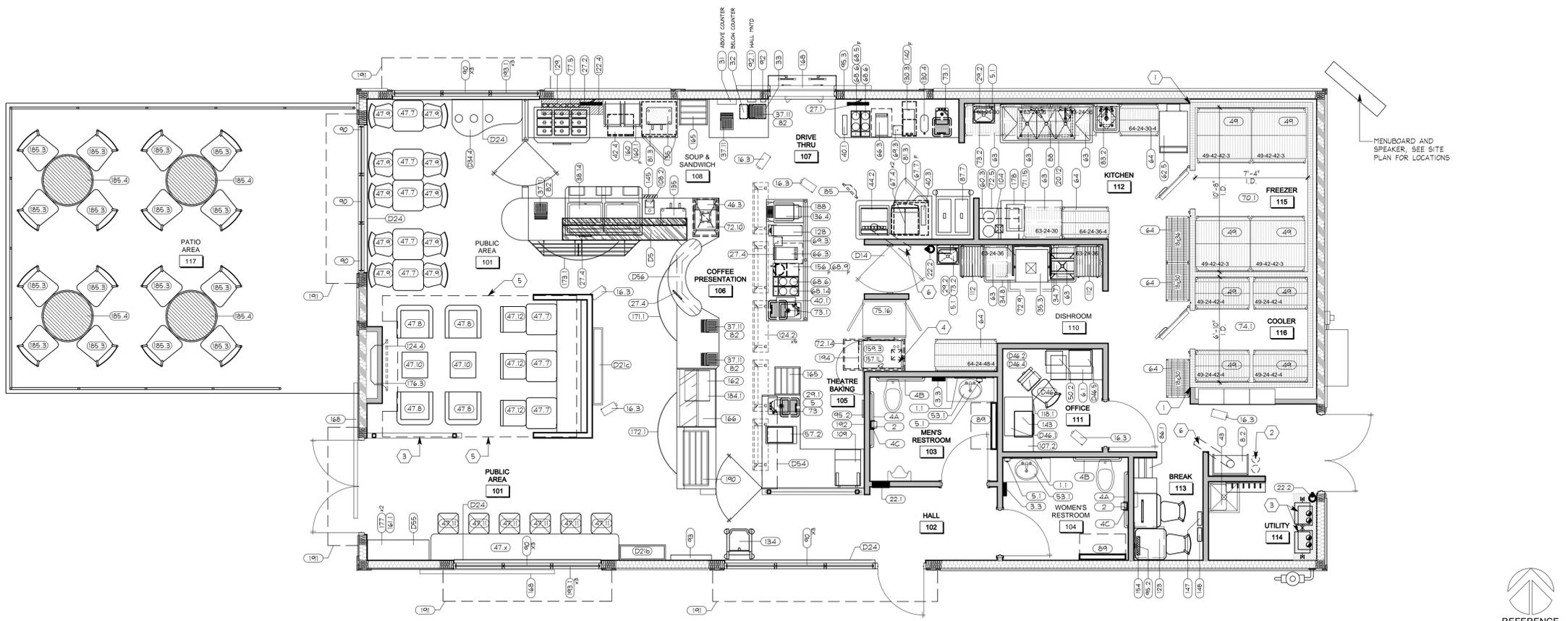
# FLOOR PLAN NOTE LEGEND

- FREEZER/ COOLER MFG. TO PROVIDE STAINLESS STEEL CLOSURE ANGLE.
- CO2 TANK. G.C. TO PROVIDE SAFETY CHAIN. ATTACHED TO WALL.
- SUSPENDED ACRYLIC BANNERS PROVIDED AND INSTALLED BY G.C. BANNERS TO BE SUSPENDED FROM SLAT CEILING ABOVE AND ANCHORED TO LOW WALL BELOW. SLAT, BANNER, LOWWALL & TILE TRANSITION SHALL BE ALIGNED VERTICALLY. SEE DETAIL G/AB.
- COMBI OVEN CLEANING CHEMICALS BELOW UNIT. PROVIDE PIPE CHASE BELOW SLAB TO OVEN AS INDICATED ON SHEET A1.
- DASHED LINE INDICATES THE DECORATIVE SLAT CEILING TO ALIGN WITH LOW WALLS AND TILE FLOOR BELOW.
- G.C. TO PROVIDE P.V.C. CHASE BELOW SLAB FOR SYRUP LINES SEE PLUMBING SHEETS.

# STORAGE SHELVING LEGEND

SHELVING TYPE	ITEM-DEPTH-LENGTH-TIERS	QUANTITY
OVERHEAD SHELVING #43	43-12-20 43-12-48	1 0
OVERHEAD SHELVING #88	88-12-48	1
OVERHEAD SHELVING #63	63-24-30 63-24-36 63-24-42	1 2 1
FLOOR SHELVING #64	64-18-30-4 64-18-36-4 64-18-42-4 64-24-30-4 64-24-36-4 64-24-42-4 64-24-48-4 64-24-60-4	2 1 1 2 1 0 1 0
WALK-IN SHELVING #49 COOLER	49-21-36-4 49-21-54-4 49-42-36-4 49-42-54-4 49-24-42-4	0 0 0 0 4
WALK-IN SHELVING #49 FREEZER	49-21-36-3 49-42-36-3 49-42-42-3	4 0 0

NOTES:  
1. TIM HORTONS PROVIDE METAL SHELVING AS INDICATED ON DRAWINGS.  
2. REFER TO INTERIOR ELEV. SHEET A9 FOR SHELVING HEIGHTS.  
3. G.C. PROVIDE BLOCK/BACKING IN WALLS & CEILING AS REQUIRED FOR SHELF SUPPORT.



REFERENCE NORTH  
EQUIPMENT PLAN  
1/4" = 1'-0"

REV.	DATE	DESCRIPTION
RFP#1	01/31/11	GENERIC UPLOAD
RFP#2	03/17/11	GENERIC UPLOAD
RFP#3	04/20/11	GENERIC UPLOAD
RFP#6	07/06/11	GENERIC UPLOAD

LAST DESIGN BULLETIN  
NUM. DATE DESCRIPTION

DATE ISSUED: 07/06/2011

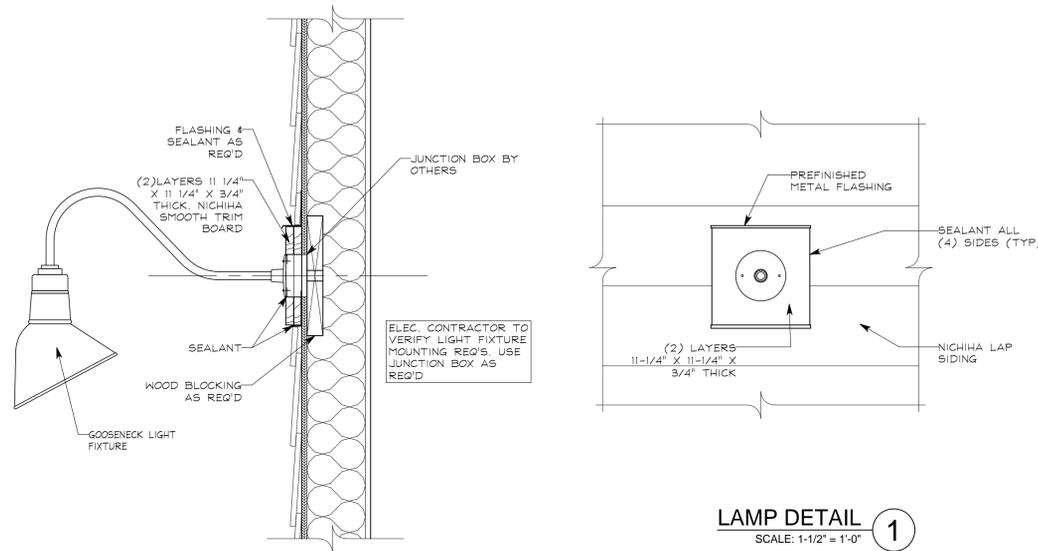
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**Tim Hortons**  
MODEL 1950-11 (U.S.)  
NOT FOR CONSTRUCTION  
ANYWHERE U.S.A.  
TDL STORE NUMBER

**EQUIPMENT PLAN**  
DRAWN BY: DDS CHECKED BY: MILL

**DESIGN DEVELOPMENT NOT FOR CONSTRUCTION**  
SAI # 11002  
DRAWING NUMBER: A2

EXTERIOR FINISH SCHEDULE					
TAG	PRODUCT	MFG.	PATTERN & COLOR	COMMENTS	SUPPLIER/CONTACT
FC-1	LAP SIDING	NICHHA FIBER CEMENT PRODUCTS	SIERRA PREMIUM SMOOTH 8-3/4" LAP SIDING, PREFINISHED		NICHHA CONTACT: CHRIS TATE PHONE: (404) 538-1261, EMAIL: CTATE@NICHHA.COM
FC-2	ARCHITECTURAL BLOCK	NICHHA FIBER CEMENT PRODUCTS	ARCHITECTURAL BLOCK PANELS, PREFINISHED		
FC-3	KURASTONE	NICHHA FIBER CEMENT PRODUCTS	KURASTONE WALL PANELS. COLOR: MOUNTAIN ITEM: AT-1118-US BORDER PIECES (LG) COLOR: MOUNTAIN ITEM: ATB-1118-US CORNER PIECES COLOR: MOUNTAIN ITEM: ATD-1118-US		
FC-4	TRIM	NICHHA FIBER CEMENT PRODUCTS	11 1/4" X 3/4" SMOOTH TRIM BOARDS PREFINISHED		
FC-5	TRIM	NICHHA FIBER CEMENT PRODUCTS	3 1/2" X 3/4" SMOOTH TRIM BOARDS PREFINISHED		
EP-1	PAINT	NICHHA	COLOR: TDL 5K6069 FRENCH ROAST AS MFG. BY PPG.	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 44211	
EP-2	PAINT	NICHHA	COLOR: TDL 5K6108 LATTE AS MFG. BY PPG.	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 46431	
EP-3	PAINT	NICHHA	COLOR: TDL 5K6062 RUGGED BROWN AS MFG. BY PPG.	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 49861	
EP-4	PAINT	NICHHA	COLOR: TDL 5K6990 CAVIER AS MFG. BY PPG.		
CR-1	CORNICE	CANAMOULD	CANAMOULD CORNICE #N5008		
	SILL	NICHHA	COLOR: TDL AZ1-6930 HISTORIC SILL AS MFG. BY PPG.		



- GENERAL NOTES**
- SEALANT AROUND DOOR/WINDOW FRAMES COLOR TO MATCH ADJACENT MATERIAL.
  - ALL EXTERIOR FIBER CEMENT SHALL BE PREFINISHED BY THE MANUFACTURER WHEREVER POSSIBLE.
  - ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.

- EXTERIOR ELEVATION KEYED NOTES:**
- PREFINISHED METAL COPING W/ DRIP EDGE.
  - GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.
  - CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING. SEE WINDOW SCHEDULE ON SHEET A11 AND EXTERIOR FINISH SCHEDULE ON SHEET AS.
  - FOUNDATION. (SEE STRUCTURAL)
  - INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY TDL. G.C. TO PROVIDE ALL REQUIRED BLOCKING AND FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION AND SIZE OF SIGNS WITH SIGN MANUFACTURER. APPROVED DRAWINGS AND COORDINATE LOCATIONS FOR BLOCKING AND UTILITIES.
  - CONTINUOUS CONCRETE FOOTING. (SEE STRUCTURAL)
  - PROVIDE 4" INSTALL 4" DIA. CONCRETE FILLED STEEL PIPE BOLLARDS AROUND GAS METER AND C/T CABINET PER LOCAL CODES & UTILITY COMPANY REQUIREMENTS. PAINT BOLLARDS COLOR: TBD.
  - CELLULAR PVC SILL CONTINUOUS AROUND BUILDING. SEE FINISH SCHEDULE & SECTIONS.
  - AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL AND INSTALLED BY G.C. VERIFY MANUFACTURER & DELIVERY W/ TDL REPRESENTATIVE.
  - LINE OF ROOF BEHIND.
  - CARD READER.
  - GOOSENECK LIGHT FIXTURE ABOVE AWNINGS MOUNT J-BOX @ 11'-0" A.F.F.
  - GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE BAND MOUNT J-BOX @ 12'-4" A.F.F.
  - HOLLOW METAL DOOR & FRAME. PAINT. PAINT REAR DOOR AND FRAME EP-2.
  - C/T CABINET AND METER AS REQ'D. VERIFY WITH LOCAL ELECTRICAL COMPANY.
  - FABRIC AWNING AND SUPPORT STRUCTURE PROVIDED AND INSTALLED BY OWNER. COLOR & SIGNAGE T.B.D. G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED.
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  - PROVIDE NICHHA IX TRIM AT PARAPET END. COLOR TO MATCH ADJACENT TRIM.
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  - LINE OF PARAPET BEYOND.
  - SIGN COMPANY TO PROVIDE & INSTALL TRANSLUCENT WINDOW FILM (FROSTING) FROM MULLION TO 36" A.F.F.

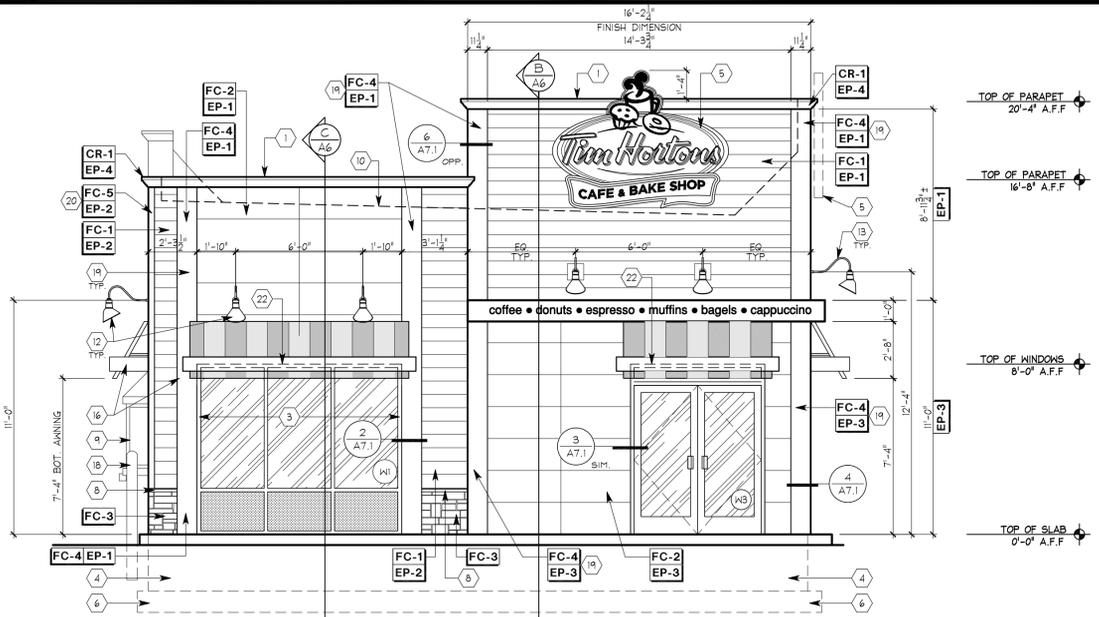
REVISION/UPLOAD DATE		
REV.	DATE	DESCRIPTION
RFP#1	01/31/11	GENERIC UPLOAD
RFP#2	03/17/11	GENERIC UPLOAD
RFP#3	04/20/11	GENERIC UPLOAD
RFP#6	07/06/11	GENERIC UPLOAD

LAST DESIGN BULLETIN

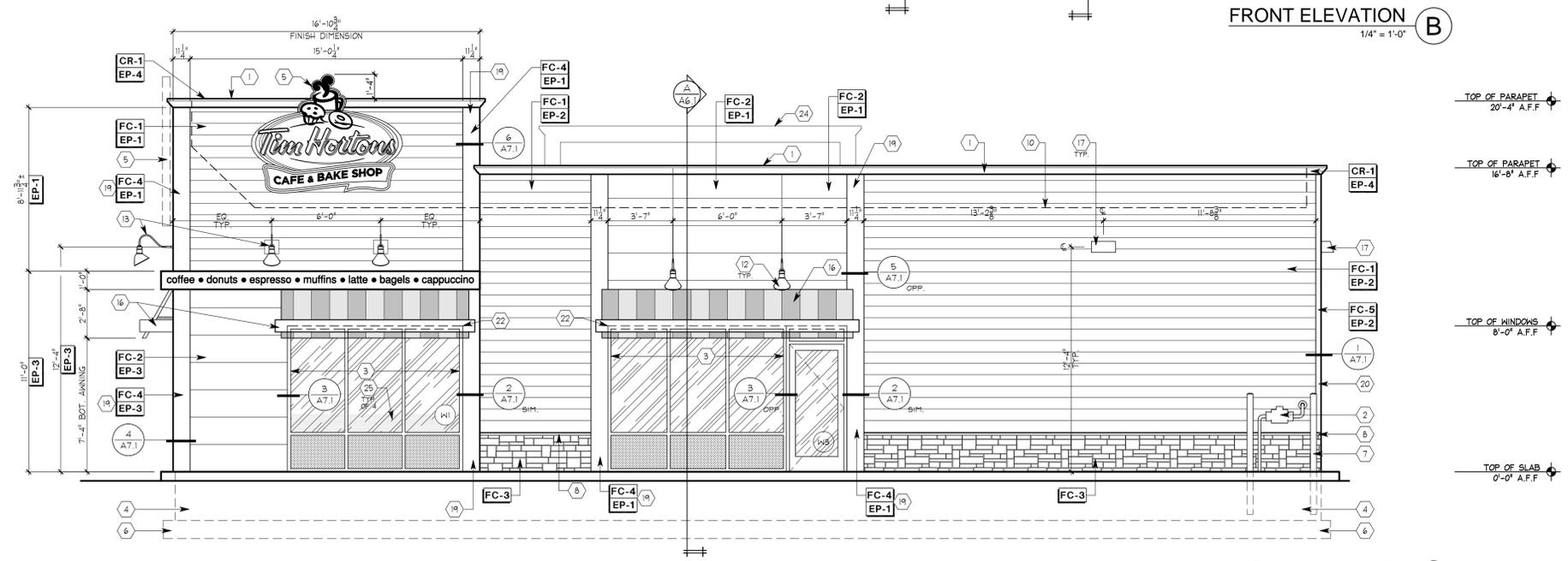
NUM.	DATE	DESCRIPTION

DATE ISSUED: 07/06/2011

**SHREMSHOCK**  
Shremshock Architects, Inc.  
6930 S. Buxton Rd., Westerville, OH 43081  
Tel: 614-242-0255  
www.shremshock.com



SIGNAGE SHOWN IS REPRESENTATIVE. OWNER SHALL SUBMIT DETAILED INFORMATION ON SIGNAGE FOR APPROVAL.



- SYMBOL LEGEND**
- ELEVATION REFERENCE
  - WALL / BUILDING SECTION REFERENCE
  - NOTE REFERENCE. SEE EXTERIOR ELEVATION CODED NOTES
  - WINDOW NUMBER. REFER TO SCHEDULES ON DRAWING A11.

**Tim Hortons**  
MODEL 1950-11 (U.S.)  
NOT FOR CONSTRUCTION  
ANYWHERE USA

EXTERIOR ELEVATIONS

TDL STORE NUMBER

DRAWN BY: DDS CHECKED BY: MLL

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

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SAI # 11002

DRAWING NUMBER: **A5**

EXTERIOR FINISH SCHEDULE					
TAG	PRODUCT	MFG.	PATTERN & COLOR	COMMENTS	SUPPLIER/CONTACT
FC-1	LAP SIDING	NICHHA FIBER CEMENT PRODUCTS	SIERRA PREMIUM SMOOTH 8-3/4" LAP SIDING. PREFINISHED		NICHHA CONTACT: CHRIS TATE PHONE: (404) 538-1261, EMAIL: CTATE@NICHHA.COM
FC-2	ARCHITECTURAL BLOCK	NICHHA FIBER CEMENT PRODUCTS	ARCHITECTURAL BLOCK PANELS. PREFINISHED		
FC-3	KURASTONE	NICHHA FIBER CEMENT PRODUCTS	KURASTONE WALL PANELS. COLOR: MOUNTAIN ITEM: AT-1118-US BORDER PIECES (LG) COLOR: MOUNTAIN ITEM: ATB-1118-US CORNER PIECES COLOR: MOUNTAIN ITEM: ATD-1118-US		
FC-4	TRIM	NICHHA FIBER CEMENT PRODUCTS	11 1/4" X 3/4" SMOOTH TRIM BOARDS PREFINISHED		
FC-5	TRIM	NICHHA FIBER CEMENT PRODUCTS	3 1/2" X 3/4" SMOOTH TRIM BOARDS PREFINISHED		
EP-1	PAINT	NICHHA	COLOR: TDL SW6069 FRENCH ROAST AS MFG. BY PPG	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 44211	
EP-2	PAINT	NICHHA	COLOR: TDL SW6108 LATTE AS MFG. BY PPG	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 46431	
EP-3	PAINT	NICHHA	COLOR: TDL SW6062 RUGGED BROWN AS MFG. BY PPG	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 49861	
EP-4	PAINT	NICHHA	COLOR: TDL SW6990 CAVIER AS MFG. BY PPG		
CR-1	CORNICE	CANAMOULD	CANAMOULD CORNICE #N5008		
	SILL	NICHHA	COLOR: TDL AZM-6930 HISTORIC SILL AS MFG. BY PPG		

- GENERAL NOTES**
- SEALANT AROUND DOOR/WINDOW FRAMES COLOR TO MATCH ADJACENT MATERIAL.
  - ALL EXTERIOR FIBER CEMENT SHALL BE PREFINISHED BY THE MANUFACTURER WHEREVER POSSIBLE.
  - ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.

REVISION/UPLOAD DATE		
REV.	DATE	DESCRIPTION
RFP#1	01/31/11	GENERIC UPLOAD
RFP#2	03/17/11	GENERIC UPLOAD
RFP#3	04/20/11	GENERIC UPLOAD
RFP#6	07/06/11	GENERIC UPLOAD

- EXTERIOR ELEVATION KEYED NOTES:**
- PREFINISHED METAL COPING W/ DRIP EDGE.
  - GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.
  - CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING. SEE WINDOW SCHEDULE ON SHEET A11 AND EXTERIOR FINISH SCHEDULE ON SHEET A5.
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LAST DESIGN BULLETIN

NUM.	DATE	DESCRIPTION
-	-	-

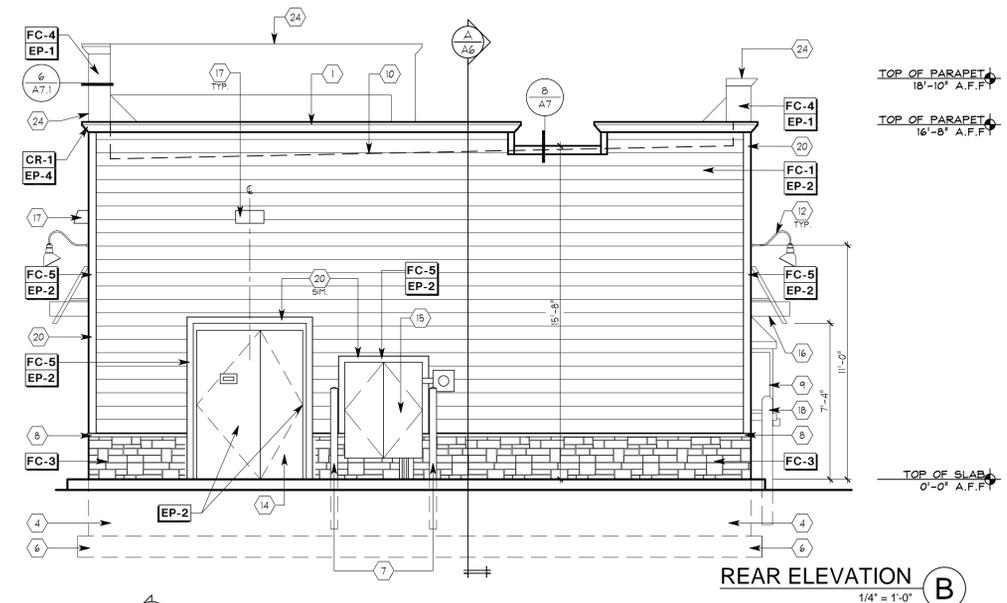
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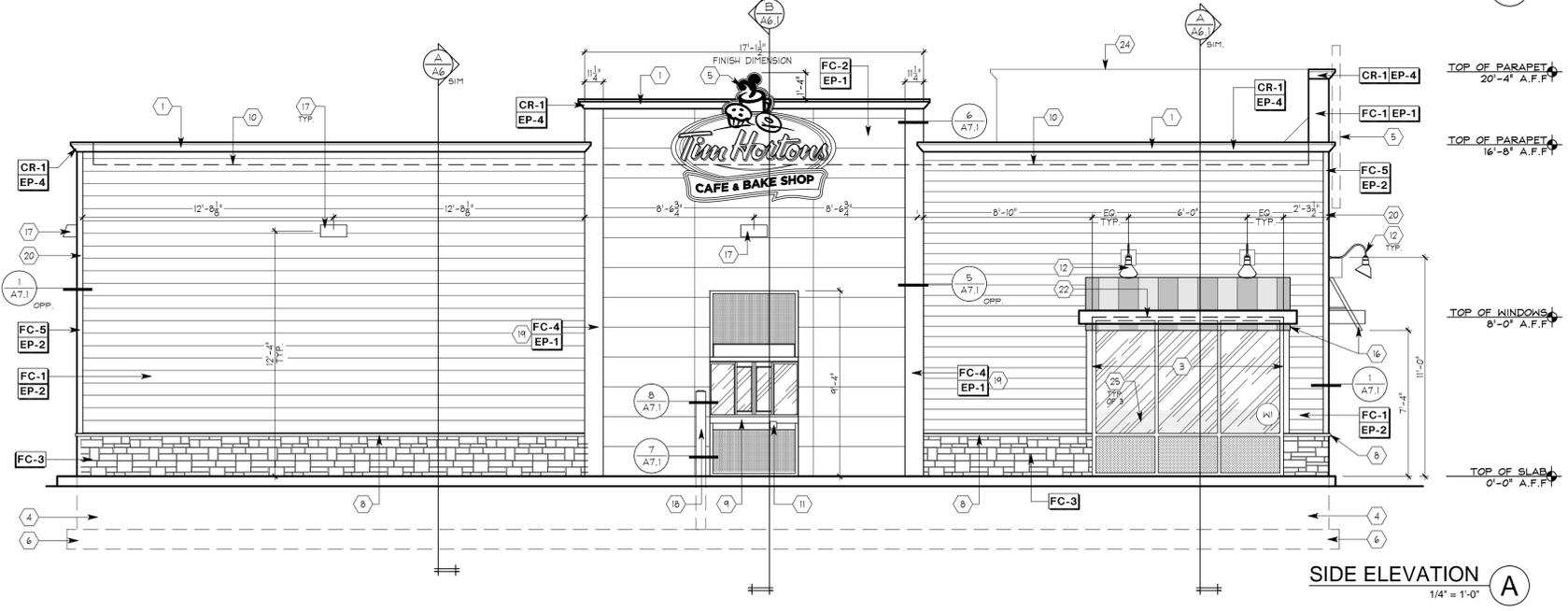
**Tim Hortons**  
MODEL 1950-11 (U.S.)  
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ANYWHERE USA

TDL STORE NUMBER

- SYMBOL LEGEND**
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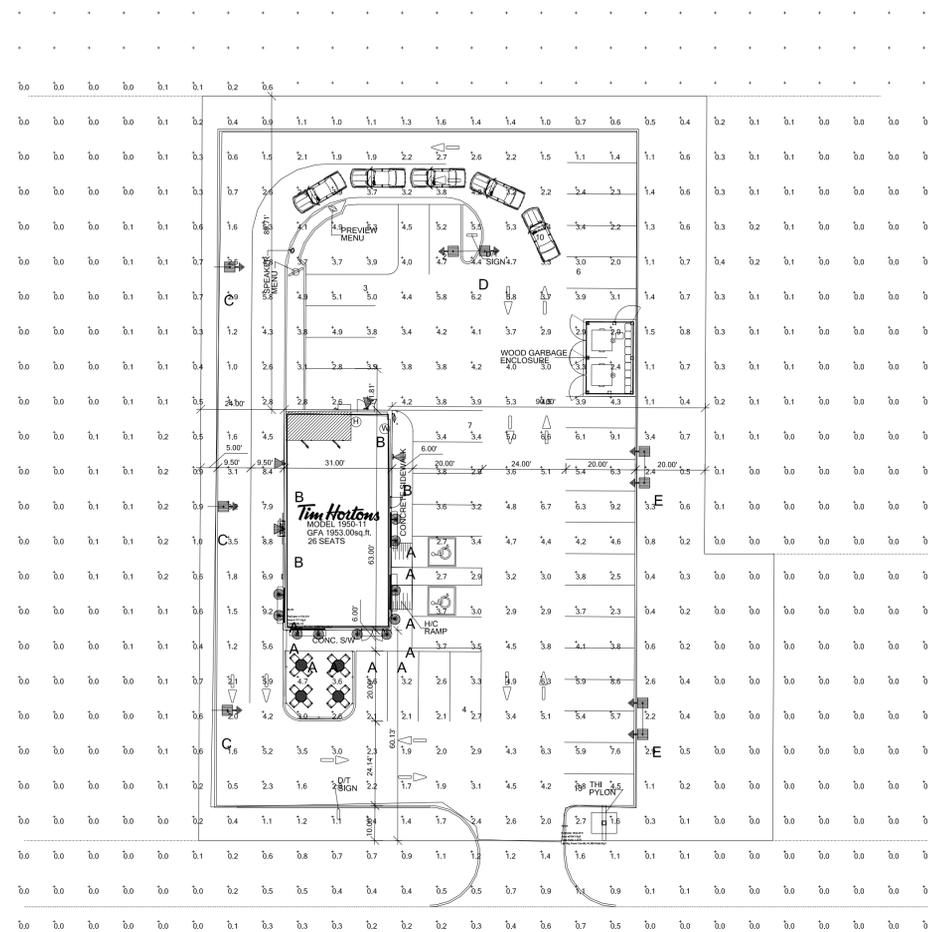
EXTERIOR ELEVATIONS

DRAWN BY: DDS CHECKED BY: MLL

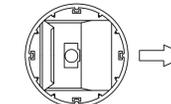
DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

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SAI # 11002  
DRAWING NUMBER: **A5.1**



**IMPORTANT**



**ROTATED REFLECTOR**

NOTE: Reflector MUST be field rotated by the CONTRACTOR to correspond with the direction indicated by the arrows on this layout.

EXAMPLE OF DIRECTIONAL ARROW

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	1.26	9.2	0.0	N.A.	N.A.
PARKING SUMMARY	Illuminance	Fc	3.75	9.2	0.5	7.50	18.40

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	2	E	D180° 2RTD	GFM-FP-320-PSMV-F-HSS D180 2RTD ON 22' POLE	0.800	34000	23856	736
	1	D	D180°	GFM-FP-320-PSMV-F D180 ON 22' POLE	0.800	34000	30334	736
	3	C	SINGLE	GFM-FP-320-PSMV-F-HSS SINGLE ON 22' POLE	0.800	34000	11928	368
	4	B	SINGLE	GBWS-FT-50-MH-F	0.800	3400	1978	69
	10	A	SINGLE	AD-200-50-MP-WHT	0.800	3500	2226	69

Total Project Watts  
Total Watts = 4278

Date: March 7, 2012  
To: Planning Commission  
From: R. Brent Savidant, Planning Director  
Subject: Elimination of Historic District Designation – 4820 Livernois

The owner of 4820 Livernois requested that the historic district designation of their property be eliminated. The Historic District Study Committee prepared the attached Preliminary Report for 4820 Livernois, as required by Section 14 A of Chapter 13 Historic Preservation. The Committee recommends the designation be eliminated for this property. The report is enclosed for Planning Commission review.

Planning Commission action on the Preliminary Report is not required at this time. The Planning Commission will be asked to recommend approval of the Final Report when it is submitted to them for review in the future.

Please review the attached information and proceed as desired.

Attachment:

1. Preliminary Report, submitted by the Historic District Study Committee

**PRELIMINARY REPORT  
APPLICATION TO DE-LIST A HISTORIC PROPERTY  
4820 LIVERNOIS**

**PREPARED BY HISTORIC DISTRICT STUDY COMMITTEE:**

Loraine Newman – Director, Troy Historical Museum  
Barb Chambers – Chairperson, Historic District Commission  
Bruce Bloomingdale – ZBA Alternate

A request to remove the historic designation of the property at 4820 Livernois was received from the present owner, Ashish Manek.

The following is a Preliminary Report by the Historic District Study Committee.

**Description of Resource:**

4820 Livernois

Referred to as the “Gregory-Belz House” in the Building-Structure Inventory Form



**Legal Description of 4820 Livernois:**

(Tax ID: 88-20-15-102-010) T2N, R11E, SEC 15 BELZAIR SUB NO 1 OUTLOT C EXC THAT PART DESC AS BEG AT NE COR OF OUTLOT C, TH S 00-06-40 W 164.45 FT ALG E LINE OF OUTLOT C, TH S 89-46-10 W 24.14 FT, TH N 00-00-16 W 97.30 FT, TH N 89-59-44 E 3.00 FT, TH N 00-00-16 W 36.52 FT, TH S 80-03-40 W 3.04 FT, TH N 00-00-16 W 27.00 FT TO N LINE OF OUTLOT C, TH N 80-03-40 E 24.54 FT TO BEG

**Historical Significance (Reason for Listing):**

According to the Building-Structure Inventory Form prepared by the Historic District Commission on August 1, 1986:

“J. Gregory land granted entire 160 acres of NW ¼ Sec 15 Nov 22, 1823. They lived in the structure until 1875, selling to N. Barwise, who sold to G. Jennings in 1881, who sold to Henry Ackerman in 1886. J. Belz acquired the property 1900 and raised a large family.

The area remains as most of the structures remain and many apple trees that were planted to be three orchards. Apples were taken across the corner to the old cider mill which is Troy’s one and only mill of any kind. The cider press is still intact, and the old apple trees still overbear. People from everywhere came to buy cider and vegetables.”

**Findings of Fact:**

Research on this property was conducted by Ray Lucas from the Troy Historical Museum. Mr. Lucas made the following findings:

Based on various Troy Township census and assessment records, Jesse Gregory was the original owner of the property. However, neither Jesse Gregory nor his heirs ever lived in the existing house.

Based on various Troy Township census and assessment records, neither N. Barwise nor G. Jennings ever lived on the property. Even if either family had lived on the property, neither family is considered historically significant.

The earliest available map that included buildings was published in 1872. This map does not show a building on the property. Therefore it appears the house was constructed after 1872.

Assessment records indicate that assessed value increased from \$1,700 to \$3,800 between 1879 and 1880. Therefore, it appears the house was built in 1879/1880.

There may have been apple trees on the property at one time. However there are no apple trees on the property today. Additionally the cider press was located off of the property and therefore should not have had any bearing on the historic significance of the subject property.

**Applications of Standards:**

Chapter 13 requires that in order to eliminate a property’s historic designation, one or more of the following shall be shown: (1) The historic district has lost those physical characteristics that enabled establishment of the district; (2) The historic district was not significant in the way previously defined; and (3) The historic district was established pursuant to defective procedures.

Based on research conducted, the subject parcel meets all three of the standards:

1. *The historic district has lost those physical characteristics that enabled establishment of the district.*

The Building-Structure Inventory Form prepared in 1986 emphasized the significance of the apple orchard that was on the property. The apple orchard no longer exists. There is no evidence of any apple tree ever being on the site. The cider mill, where the apples were processed, was located on a different property “across the corner”. The cider mill no longer exists.

2. *The historic district was not significant in the way previously defined.*

The fact that apples from the orchard were processed off site does not make the site historically significant. There were possibly numerous apple orchards in the area that provided apples to the cider mill.

Although stated in the Building-Structure Inventory Form, neither N. Barwise nor G. Jennings ever lived on the property. Even if either family had lived on the property, neither family is considered historically significant.

3. *The historic district was established pursuant to defective procedures.*

The Building-Structure Inventory Form prepared in 1986 did not specify the date of construction of the home, which appears to have been in 1979 or 1880. It implies that the Gregory, Barwise and Jennings families all lived in the home, which is not the case. The home is incorrectly referred to as the “Gregory-Belz House”. Additional research should have been conducted prior to designating the property as historically significant.

**Recommendation:**

It is recommended that the historic district designation for 4820 Livernois be eliminated.

**Attachments:**

1. Maps
2. Building-Structure Inventory Form
3. Certificate of Survey
4. Letter from property owner
5. Photos of site



### Legend

-  I-75
- Road Centerline**
  -  Major Road
  -  Industrial Road
  -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
  -  Red: Band\_1
  -  Green: Band\_2
  -  Blue: Band\_3

211 0 106 211 Feet

Scale 1: 1,269



BUILDING-STRUCTURE INVENTORY FORM

Michigan History Division  
Michigan Department of State  
Lansing, Michigan 48918

For Office Use	
Theme	_____
	_____
	_____

IDENTIFICATION

- 1. Building name Gregory - Belz House
- 2. County Oakland Town/City Troy Village \_\_\_\_\_
- 3. Street Location 4820 Livernois
- 4. Ownership: a. Public  b. Private
- 5. Present Owner Wil & Catherine Bedford Address 4820 Livernois
- 6. Use: Original residence Present residence
- 7. Accessibility to Public: Exterior visible from public road: Yes  No   
Interior accessible: Explain private residence

DESCRIPTION

- 8. Building Material a. clapboard  b. stone  c. brick  d. board and batten   
e. cobblestone  f. shingles  g. stucco  h. other \_\_\_\_\_
- 9. Structural Material a. wood frame with interlocking joints  b. wood frame with light members (balloon frame)   
c. masonry load-bearing walls  d. iron frame  e. steel frame with curtain walls   
f. reinforced concrete  g. other \_\_\_\_\_
- 10. Condition a. excellent  b. good  c. fair  d. deteriorated
- 11. Integrity a. original site  b. moved  if so, when? CIRCA  
Notes on alterations and additions, with dates and architect.  
NO additions from early settler.
- 12. Related Outbuildings and Property a. barn  b. carriage house  c. garage  d. privy  e. shed   
f. shop  g. greenhouse  h. landscape features  i. other pig & chicken house turned into usable structures.
- 13. Surroundings of the Building a. open land  b. woodland  c. scattered outbuildings  d. densely built-up   
e. commercial  f. industrial  g. residential  h. other \_\_\_\_\_
- 14. Photo
- 15. Map

not available

SE corner Livernois & Long Lake

16. Interrelationship of Building and Surroundings

Residential surrounded with residential.

17. Other Notable Features of Building and Site

acre of land with old barn still standing. One of few remaining

18. Threats to Building

- a. none known
- b. zoning
- c. roads
- d. developers
- e. deterioration
- f. other \_\_\_\_\_

SIGNIFICANCE (Indicate sources of information for all statements)

19. Architectural Significance

Date of Construction circa 1831 Architect Ja. Gregory early settler

Builders, suppliers, etc. \_\_\_\_\_

Notes on original plan and specifications:

not available.

20. Historical Significance:

J. Gregory land granted entire 160 acres of NW 1/4 Sec 15 Nov 22, 1823. They lived in the structure until 1875. selling to N. Barwise, who sold to G. Jennings in 1881, who sold to Henry Ackerman in 1886. J. Belz acquired the property 1900 and raised a large family.

The area remains as most of the structure remain and many apple trees that were planted to be three orchards. Apples were taken across the corner to the old cider mill which is Troys one and only mill of any kind. The cider press is still intact, and the old apple trees still overbear. People from everywhere came to buy Cider and vegetables.

21. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date):

Early tax valuation of 1844 was high indicating a structure on site. Vital Records -

-----

Prepared by Dorothy Scott Date August 1, 1986

Address 109 Belhaven Telephone \_\_\_\_\_

Organization Troy Historic District Commission

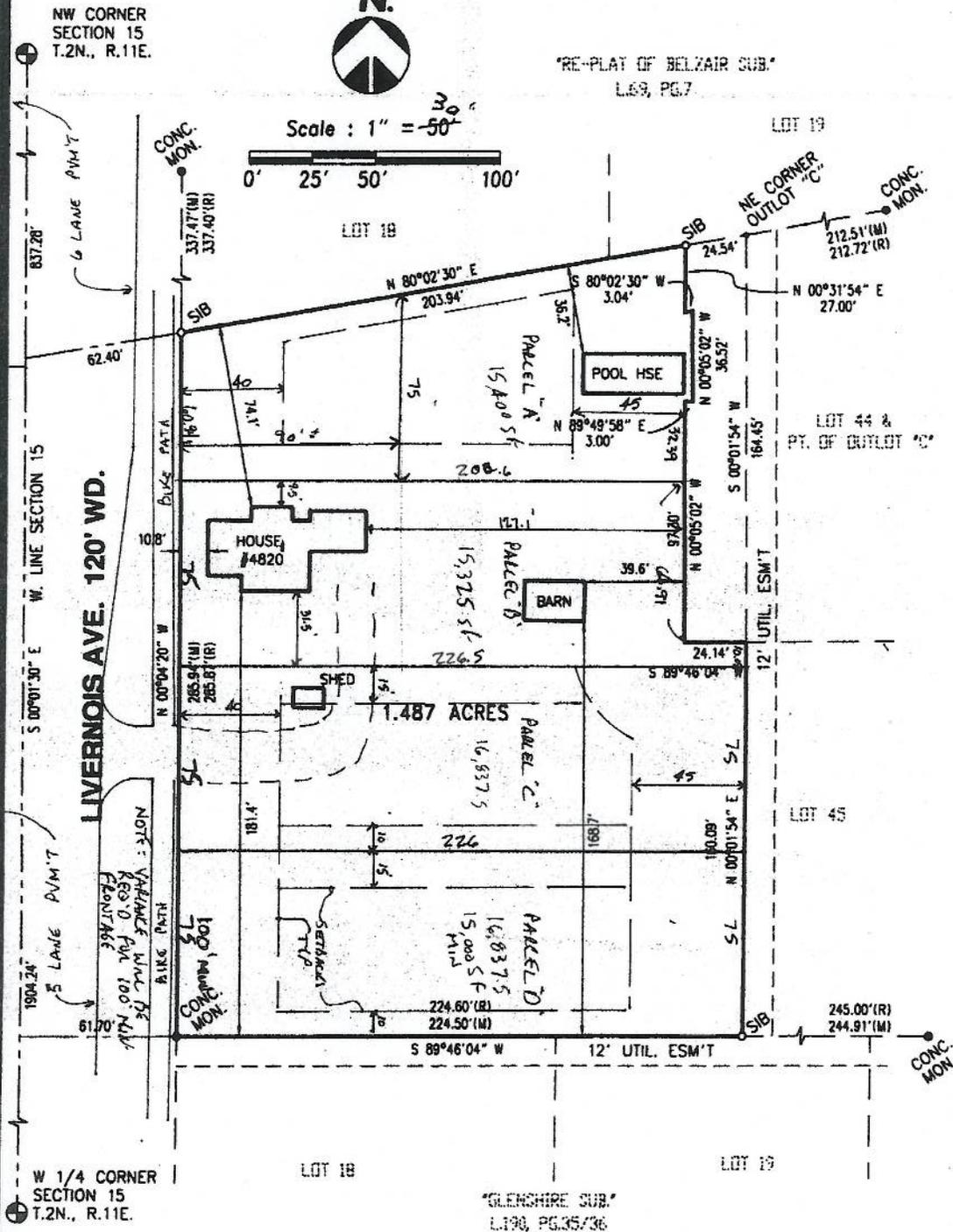
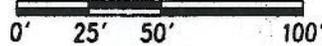
# CERTIFICATE OF SURVEY

## 4 SPLIT PLAN (YIELD PLAN)



"RE-PLAT OF BELZAIR SUB."  
L.69, PG.7

Scale : 1" = 50'



NOTE: VARIANCE WILL BE RES'D FOR 100' WIDE FRONTAGE

**Surveyor's Certificate**

I hereby certify that I have surveyed and mapped the land above platted and/or described on May 21, 2009 and that the ratio of closure on the unadjusted field observations of such survey was 1/50,000.

**URBAN LAND CONSULTANTS**  
 CIVIL ENGINEERS PLANNERS LAND SURVEYORS  
 GPS CONSULTANTS  
 6800 23 MILE ROAD SHELBY TWP., IN 46316-4916

**LEGEND**

- FIB = Found Iron Bar ●
- FIP = Found Iron Pipe ●
- SIB = Set Iron Bar/Cap ○
- R = Record Distance
- M = Measured Distance
- C = Calculated

**JARRETT L. MILLER**  
 PROFESSIONAL SURVEYOR  
 No. 52454

Date 05-27-09  
 Drawn J.L.M.  
 Check J.L.M.  
 Sheet 1 of 2  
 Fid. Bk.  
 Job No. 090504-7938

**Minal Gada & Ashish Manek**  
4820 Livernois Rd, Troy MI – 48098. Tel: 248-566-1326

---

Date: 05/11/2011

Historic District Commission,  
Troy MI

Dear Sir / Madam,

We have been living on this property from last 4 years, We would like to delist our house from the list of Historical Status.

Thank you for your cooperation.

Yours sincerely

  
Minal Gada

Ashish Manek



REC'D  
OCT 11 2011  
PLANNING DEPT.





4820







