



# PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

500 W. Big Beaver  
Troy, MI 48084  
(248) 524-3364  
www.troymi.gov  
planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice Chair  
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica  
Gordon Schepke, Robert Schultz and Thomas Strat

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**December 10, 2013**

**7:00 P.M.**

**Council Chambers**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – November 26, 2013
4. PUBLIC COMMENTS – For Items Not on the Current Agenda

### **SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW**

5. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 411) – Proposed The Alan Group Office, Southeast Corner of Bellingham and Brinston (PID# 88-20-26-428-031), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

### **REZONING REQUEST**

6. PUBLIC HEARING - REZONING APPLICATION (File Number Z 745) – Proposed Amber Town Center Townhomes and Lofts, West side of Livernois, North of Town Center (3409 Livernois), Section 21, From O (Office) District to BB (Big Beaver) District

### **ZONING ORDINANCE TEXT AMENDMENT**

7. ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 246) – Assisted Living Facilities

### **OTHER BUSINESS**

8. PUBLIC COMMENTS – For Items on Current Agenda
9. PLANNING COMMISSION COMMENTS

ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Tagle called the Special/Study meeting of the Troy City Planning Commission to order at 7:15 p.m. on November 26, 2013 in the Council Chambers of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds  
Michael W. Hutson  
Edward Kempen  
Tom Krent  
Philip Sanzica  
Gordon Schepke  
Robert Schultz  
Thomas Strat  
John J. Tagle

Also Present:

R. Brent Savidant, Planning Director  
Allan Motzny, Assistant City Attorney  
Ben Carlisle, Carlisle/Wortman Associates, Inc.  
Frank Boudon, Student Representative  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2013-11-091**

Moved by:           Strat  
Seconded by:       Krent

**RESOLVED**, To approve the Agenda as prepared.

Yes:                All present (9)

**MOTION CARRIED**

3. APPROVAL OF MINUTES

**Resolution # PC-2013-11-092**

Moved by:           Edmunds  
Seconded by:       Kempen

**RESOLVED**, To approve the minutes of the November 12, 2013 Regular meeting as published.

Yes:                All present (9)

**MOTION CARRIED**

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

5. ZONING BOARD OF APPEALS (ZBA) REPORT

Mr. Krent reported on the November 19, 2013 Zoning Board of Appeals (ZBA) meeting.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

Mr. Savidant announced there was no Downtown Development Authority (DDA) meeting in November.

7. PLANNING AND ZONING REPORT

Mr. Savidant announced a news article on development along Big Beaver Corridor will be published in an upcoming *Crain's*.

**POSTPONED ITEM**

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 985) – Proposed Oakland Troy Senior Project, Southeast Corner of Square Lake and Adams, Section 20, Currently Zoned R-1A (One Family Residential) District

Mr. Carlisle addressed the revisions to the Preliminary Site Plan since it was last reviewed by the Planning Commission; specifically, site arrangement, residential screening, location of trash enclosure and road improvements as recommended by the City's Traffic Engineering Consultant. Mr. Carlisle reported the proposed use is permitted by right and the site plan meets all Zoning Ordinance requirements. He recommended Preliminary Site Plan approval with the condition that the applicant implement all requirements outlined in the Traffic Consultant report prior to Final Site Plan approval.

Present were Lorenzo Cavaliere to represent the applicant and Edward Mancini, the property owner.

Mr. Cavaliere addressed the site plan revisions implemented based on comments at the last Planning Commission meeting. He specifically addressed shifting the building to the west further from single family residential, screening with a combination of berm and evergreens and the proposed LED lighting.

There was discussion on:

- LED lighting as relates to shielding, timing to go off at night.
- Residential screening as relates to type, placement, size and growth of plantings.

Chair Tagle opened the floor for public comment. He asked that comments be limited to three minutes, that comments relate only to the recent revisions to the Preliminary Site Plan, and that each resident indicate the location of his/her residence in relation to the proposed development.

Leonard Siudara of 5865 Andover spoke in opposition, addressed tree replacement, addressed Sunoco pipeline.

Terry Adams of 5970 Sussex spoke in opposition, addressed residential screening.

Suzanne Delisi of 5856 Adams spoke in opposition; addressed sections of the Zoning Ordinance, definitions, public comments from City Council meeting.

John Mills of 5755 Sussex spoke in opposition; addressed lighting, residential screening, Sunoco pipeline, spirit of the Zoning Ordinance.

Bill Hoogerwerf of 2574 Fox Chase spoke in opposition; addressed traffic, noise, lighting, hazardous materials.

Roger Howard of 5726 Sussex spoke in opposition; addressed Sunoco pipeline, State licensing, crime and property damage, spirit of Zoning Ordinance.

Lynn Bell of 3727 Ledge addressed a need for assisted living facilities, offered reassurance to concerned residents that noise, traffic, dumpster locations would pose no negative effect.

Keith Ulrich of 2587 Haverford spoke in opposition; addressed existing natural setting, Sunoco pipeline.

Robert Gosselin of 5773 Sussex spoke in opposition; addressed location, residential screening, use permitted by right.

Denise Smith of 2847 Arlund Way spoke in opposition; addressed location, Sunoco pipeline.

Bob Tourtillott of 5900 Adams spoke in opposition.

Kathy Mills of 5755 Sussex spoke in opposition; addressed definition of memory care, rehabilitative services.

James Walle of 2576 Haverford spoke in opposition; addressed location, Sunoco pipeline.

Charles Gabor of 2825 Lenox spoke in opposition; addressed halting project, traffic control.

Lenore Paxton of 5900 Sussex spoke in opposition; addressed public notification of adoption of Zoning Ordinance.

Chair Tagle closed the floor for public comment.

Mr. Savidant explained the City procedure with respect to maintaining/replacing dead trees and/or landscaping.

Mr. Savidant addressed the Sunoco pipeline project with respect to the approval process and screening. He offered to forward the landscape plan submitted by Sunoco to anyone interested.

Discussion followed on:

- Definition of ‘memory care’.
- Public comments at City Council meeting.
- Configuration of building in relation to parking and building entry.
- Previous applications on subject parcel.
- Potential to develop subject parcel as single family residential.
- Uses permitted by right in single family residential districts.
- Uses permitted by Special Use in single family residential districts.

Mr. Schepke indicated he would vote no because there is no definition of memory care in the Zoning Ordinance.

Mr. Krent indicated he would vote no because of the safety concerns as relates to the configuration of the site.

Mr. Cavaliere addressed the Board with respect to the site location, configuration and interior design of the building, a need for assisted living, concerns with noise and licensing of the facility prior to operation.

Mr. Motzny said State licensing refers to ‘homes for the aged’, and the City’s Zoning Ordinances does not refer to ‘homes for the aged’ nor ‘memory care’. He encouraged the Board to rely on the determination of the City’s Planning Consultant that ‘memory care’ meets the Zoning Ordinance definition of assisted living.

**Resolution # PC-2013-11-093**

Moved by: Sanzica

Seconded by: Hutson

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Oakland Troy Senior Project, located on the southeast corner of Square Lake and Adams, Section 20, within the R-1A (One Family Residential) district, be granted, subject to the applicant:

1. Implementing all requirements outlined in the Traffic Consultant's report, as per City Engineer, prior to Final Site Plan Approval.

Discussion on the motion on the floor.

Mr. Hutson said his support is based on the Site Plan meeting all requirements of the City's Zoning Ordinance, noting that the petitioner has gone beyond what is required and no safety issues were identified during departmental review. Mr. Hutson said the spirit of the law is a nice statement and flavoring but there is no exception to the law.

Roll call on the motion on the floor.

Yes: Edmunds, Hutson, Kempen, Sanzica, Schultz, Tagle

No: Krent, Schepke, Strat

**MOTION CARRIED**

**OTHER BUSINESS**

9. PUBLIC COMMENT – Items on Current Agenda

Suzanne Delisi of 5856 Adams addressed the exclusion of the definition of memory care in the Zoning Ordinance.

Mr. Carlisle addressed his determination that memory care is a use that falls under the definition of assisted living.

Gail Boyle of 5848 Andover addressed safety concerns relating to the Sunoco pipeline.

13. PLANNING COMMISSION COMMENT

There were general Planning Commission comments relating to:

- Sunoco pipeline; safety.
- Recent development issues relating to access, design, elevation.
- Square footage of living area of assisted living versus sober living.
- Signage.
- Joint meetings with City Council.

The Special/Study meeting of the Planning Commission adjourned at 8:51 p.m.

Respectfully submitted,

\_\_\_\_\_  
John J. Tagle, Chair

\_\_\_\_\_  
Kathy L. Czarnecki, Recording Secretary

G:\Planning Commission Minutes\2013 PC Minutes\Draft\2013 11 26 Special Study Meeting\_Draft.doc

DATE: December 6, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 411) – Proposed The Alan Group Office, Southeast Corner of Bellingham and Brinston (PID# 88-20-26-428-031), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

The petitioner The Alan Group Properties, LLC submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a proposed office building with storage yard.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant  
File/ SU 411

G:\SPECIAL USE\SU 411 The Alan Group Office Building Sec 26\SU 411 PC Memo 12 10 2013.docx

**PROPOSED RESOLUTION**

SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 411) – Proposed The Alan Group Office, Southeast Corner of Bellingham and Brinston (PID# 88-20-26-428-031), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

**Resolution # PC-2013-12-**

Moved by:

Seconded by:

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed office building and outdoor storage yard, located at the southeast corner of Bellingham and Brinston (PID# 88-20-26-428-031), Section 26, Currently Zoned IB (Integrated Industrial and Business) District be (granted, subject to the following conditions):

1. Relocate the handicapped parking adjacent to the building
2. Correct the location of bike parking
3. Submit outdoor storage wall detail
4. Submit color details

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

No:

Absent:

**MOTION CARRIED / FAILED**



Legend:

Street Name Text

188 0 94 188Feet

Scale 1: 1,128





CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: March 28, 2013

## **Preliminary Site Plan and Special Use Review For City of Troy, Michigan**

<b>Applicant:</b>	The Alan Group
<b>Project Name:</b>	The Alan Group Office
<b>Plan Date:</b>	November 14, 2013
<b>Location:</b>	1126 Brinston Street. Southeast corner of Brinston Street and Bellingham Road.
<b>Zoning:</b>	IB, Integrated Industrial and Business District
<b>Action Requested:</b>	Preliminary Site Plan and Special Use Approval

### **PROJECT AND SITE DESCRIPTION**

We received a site plan for the development of a 6,181 sq/ft office and warehouse building and accompanying outdoor storage. The Alan Group proposes to use the facility as an office, warehouse and outdoor storage for a general contractor. Outdoor storage will include smaller construction vehicles (pickup trucks, backhoes, box trucks, etc) and minor construction materials.

The vacant 0.92 acre parcel is zoned IB which permits office and warehouse uses; however outdoor storage is a Special Use. The outdoor storage is approximately 9,000 sq/ft in area. The office and warehousing building is accessed off Brinston Street. Primary outdoor storage access is off Bellingham Road.

Location of Subject Property:

The property is located on the southeast corner of Brinston Street and Bellingham Road.



Size of Subject Property:

The overall size of the subject property is 39,953 s.f. (0.92 acres)

Proposed Uses of Subject Parcel:

Office, Warehouse, and Outdoor Storage

Current Use of Subject Property:

Vacant

Current Zoning:

The property is currently zoned IB, Integrated Industrial and Business.

Direction	Zoning	Use
North	IB, Integrated Industrial and Business District	Office/Warehouse
South	IB, Integrated Industrial and Business District	Warehouse
East	IB, Integrated Industrial and Business District	Office/Warehouse
West	IB, Integrated Industrial and Business District	Office/Warehouse

**NATURAL RESOURCES**

The existing site currently is vacant and has been cleared and graded for development. No natural features exist; therefore the proposed site improvements will not impact any protected natural features.

*Items to be Addressed: None*

**BUILDING LOCATION / SITE ACCESS / CIRCULATION**

The proposed building is proposed to be located at the corner of Brinston Street and Bellingham Road with parking located in the rear. Parking for the office/warehouse use will be accessed off Brinston Street. The proposed outdoor storage area will be located in the southeast corner of the site and will be enclosed with a 6-foot high brick screen wall. The outdoor storage will be served by two operable sliding gates. One gate entrance is accessed from the parking lot and one gate entrance is accessed directly from Bellingham Road. The circulation provided is sufficient based on the intended use of the site.

*Items to be Addressed: None*

**AREA, WIDTH, HEIGHT, SETBACKS**

Required and Provided Dimensions:

Section 4.15.C establishes the dimensional requirements for the IB District. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front (Brinston)	30 feet	30 feet	Complies
Front (Bellingham)	30 feet	30 feet	Complies

Rear	20 foot	+20 feet	Complies
Side	10 feet	+10 feet	Complies
Building Height	Maximum 4 stories, 50 feet	1 story, 20 feet	Complies
Maximum Percent Lot Area Covered by Buildings	40%	16.0%	Complies

**Items to be Addressed:** None

## **PARKING**

Parking:

	<u>Required</u>	<u>Provided</u>
Office = 1 space per 550 s.f.	$2,681 / 550 = 5$ spaces	10 spaces
Warehouse = 1 space per 1,500 s.f. + 1 space for each employee on largest shift	$3,500 / 1,500 + 2$ employee for warehouse use = 5 spaces	
<b>Total</b>	<b>12 spaces</b>	

The office operation includes 4 employees. The warehouse operation includes a warehouse staffer and a foreman who delivers supplies to the job site. Subcontractors and labors meet at the job site and do not park at this facility. Parking is sufficient. The handicapped parking location must be moved adjacent to the building. The applicant has indicated bike parking spaces; however they are shown in the middle of the parking lot. The bike parking location must be corrected for the final site plan.

**Items to be Addressed:** 1) Relocate the handicapped parking adjacent to the building ; and 2) Correct the location of bike parking.

## **LANDSCAPING**

The applicant is proposing a mix of deciduous and evergreen trees, shrubs, and a berm to assist in screening the parking lot and outdoor storage area. The landscape requirements are regulated by Section 13.02.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Greenbelt (Brinston and Bellingham)	One deciduous tree for every 30 lineal feet. 401 feet = 13 trees	13 trees	Complies

Landscape Buffer / Parking Lot	3-foot high berm	3-foot high berm	Complies
Parking Lot Landscaping	1 tree for every 8 spaces. 12 spaces = 1.5 trees	3 trees	Complies
Overall site landscaping	20%	38%	Complies

The applicant has provided the necessary landscaping.

**Outdoor Storage:**

The applicant proposes to screen the outdoor storage area with a 6-foot high brick wall that will match the architecture of the building. The applicant has been asked to provide a wall detail at the meeting.

*Items to be Addressed: Submit outdoor storage wall detail.*

**PHOTOMETRICS**

The applicant has provided a lighting (photometric) plan. Proposed site lighting includes three (3) twenty-five foot high pole mounted lights and seven (7) LED building mounted lights. The fixtures and photometrics meet ordinance requirements.

*Items to be Addressed: None.*

**FLOOR PLANS and ELEVATIONS**

Floor plans and building elevations have been provided. The applicant has been asked to provide color samples at the meeting.

*Items to be Addressed: Submit color details.*

**STANDARDS**

Use standards for outdoor storage are set forth in Section 6.08

1. *The contractor’s office building shall be of permanent construction.*

**The office/warehouse building will be constructed of masonry materials.**

2. *Outdoor storage shall be accessory to the contractor's principal office use of the property. Such outdoor storage shall not be located within the front yard and shall be enclosed by an opaque fence up to eight (8) feet in height and/or landscape screening meeting the standards set forth in Section 13.02.B.*

**The outdoor storage is accessory to the office/warehouse building. Outdoor storage will be screened with a 6-foot high brick screen wall that matches architectural details of the office building.**

3. *All travel surfaces shall be paved as a condition of approval.*

**The outdoor storage area will be paved.**

4. *Cranes, booms or other extensions on equipment, trucks or other vehicles parked on site shall be stored in the lowest possible configuration.*

**All trucks or other vehicles are required to be stored in the lowest possible configuration.**

### **Special Use Standards of Approval**

In the IB District, Outdoor Storage is permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall *"...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions."*

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

**The site is located in an industrial area in proximity to other sites with outdoor storage uses. The proposed location of the outdoor storage is located in the southeast corner of the site and screened from adjacent properties and the public right of way. The proposed use is compatibility with adjacent uses.**

2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

**The Master Plan designates the subject site and the surrounding area as the Smart Zone. Redevelopment of a vacant underutilized parcel is consistent with the Master Plan. Furthermore, site arrangement including parking in rear and attractive buildings is consistent with the Smart Zone designation.**

3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

**The redevelopment of this vacant site for contractor's office/warehouse and outdoor storage will not impact site traffic in the surrounding industrial area. Access to the outdoor storage area has been designed to minimize traffic impact on Brinston Drive and Bellingham Road.**

4. *Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

**The proposed use should not cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.**

5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

**Outside the aforementioned issues, the site complies with all other zoning ordinance standards.**

The Planning Commission is also required to generally consider the following for any special use application:

1. *The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.*

**See above. Provided site planning issues are addressed the proposed use may be permissible in the proposed location.**

2. *Vehicular circulation and parking areas.*

**The circulation provided is sufficient based on the intended use of the site.**

3. *Outdoor activity, storage and work areas.*

**N/A.**

4. *Hours of operation.*

**Site operation will be consistent with normal office hours.**

5. *Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.*

**We do not anticipate any additional impact after initial construction in this regard.**

*Items to be addressed: Address Ordinance compliance issues noted herein.*

## **RECOMMENDATION**

We recommend Special Use approval and preliminary site plan approval conditioned on the applicant addressing the following as part of the final site plan submittal:

1. *Relocate the handicapped parking adjacent to the building.*
2. *Correct the location of bike parking.*
3. *Submit outdoor storage wall detail.*
4. *Submit color details.*

Sincerely,



**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, LEED AP, AICP**

Cc:

# THE ALAN GROUP OFFICE BUILDING (Special Use Request)

## 1126 BRINSTON ST. TROY, MICHIGAN

Owner:

**The Alan Group Properties, LLC**  
32600 Stephenson Highway, Suite B  
Madison Heights, Michigan 48071

Petitioner/Applicant:

**The Alan Group Properties, LLC (Brad Chojnacki)**  
32600 Stephenson Highway, Suite B  
Troy, Michigan 48071  
Ph: 248.298.0100

Architect/Planner:

**Bowers + Associates, Inc.**  
2400 S. Huron Parkway  
Ann Arbor, Michigan 48104  
Ph: (734) 975-2400  
Fax: (734) 975-2410

Civil Engineer:

**ANC Engineering, Inc.**  
5111 W. Pontiac Trail  
Wixom MI 48393  
Ph: (248) 668-0700.  
Fax: (248) 668-0701

Landscape Architect

**Allen Design**  
557 Carpenter  
Northville, MI 48167  
Ph: (248) 467-4668  
Fax: (248) 349-0559

Sheet Index:

Architectural/Planning

T1.00 Title Sheet  
SP1.00 Proposed Architectural Site Plan  
A1.00 Floor Plan  
A2.00 Exterior Elevations  
PH-1 Photometric

C-1 Preliminary Site Plan  
C-2 Existing Conditions Plan  
C-3 Grading Plan  
C-4 Utility Plan  
C-5 Stormwater Management Plan  
C-6 Landscape Plan

**BOWERS+ASSOCIATES**  
ARCHITECTURE DESIGN  
2400 SOUTH HURON PARKWAY + ANN ARBOR, MI 48104  
P: 734.975.2400 + F: 734.975.2410  
WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION  
**THE ALAN GROUP  
OFFICE BUILDING**  
1126 BRINSTON ST.  
TROY, MICHIGAN

PROJECT + NUMBER  
**13-425**

ISSUE + DATE  
8 NOV. 2013 SITE PLAN  
14 NOV 2013 RESUB



SHEET + TITLE  
TITLE SHEET  
APPROVAL  
13425z100d.dwg

SHEET + NUMBER  
**T1.00**



 **Location Map**  
Not to Scale







**LEGEND**

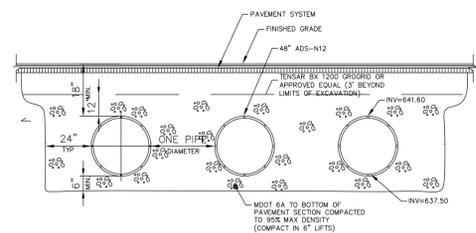
EXISTING	PROPOSED		
○	●	MANHOLE	TC TOP OF CURB
□	■	CATCH BASIN	TW TOP OF WALK
△	▲	END SECTION	TP TOP OF PAVEMENT
—	—	CL. DITCH	G GROUND
—	—	CONTOUR LINE	EM EDGE OF METAL
X 804.2	X 804.20	SPOT ELEVATION	QU OUTER
-----	-----	SILT FENCE	FG FINISH GRADE
○	○	EX. TREE	FF FINISH FLOOR
			STORM STRUCTURE NO.
			STRUCTURE PROTECTION

**PAVEMENT LEGEND**

	PRO. CONCRETE
	PRO. ASPHALT OR CONCRETE PAVEMENT (COORDINATE WITH OWNER)

**BENCHMARK:**

CITY OF TROY BM1461:  
ARROW ON TOP OF HYDRANT #26-84 AT  
NORTHEAST CORNER OF INTERSECTION OF  
BRINSTON AVENUE AND BELLINGHAM ROAD.  
ELEVATION: 645.915 N.A.V.D. 88



**NOTES:**  
FOUNDATION: WHERE THE EXISTING GROUND BELOW THE PROPOSED SYSTEM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE THE UNSUITABLE MATERIAL WITH A SUITABLE COMPACTABLE MATERIAL ACCEPTABLE TO THE ENGINEER.  
BEDDING: SUITABLE MATERIAL SHALL BE MOOT CLASS I OR II SAND, OR MOOT 6A AGGREGATE. MINIMUM BEDDING THICKNESS SHALL BE 4\"/>

**UNDERGROUND DETENTION SECTION**

NO SCALE

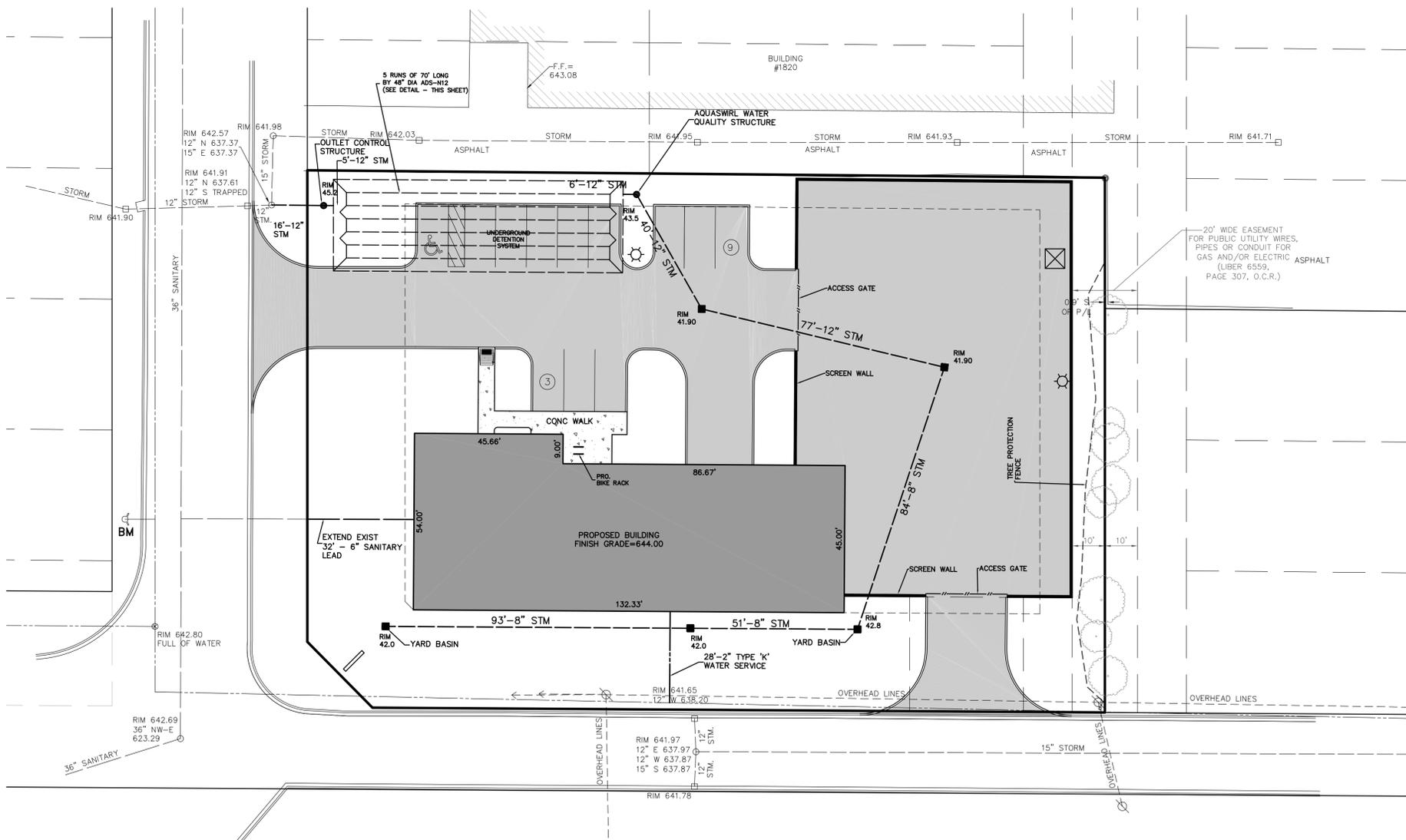
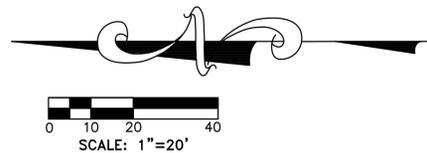
**NOTICE:**

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**NOTE:**

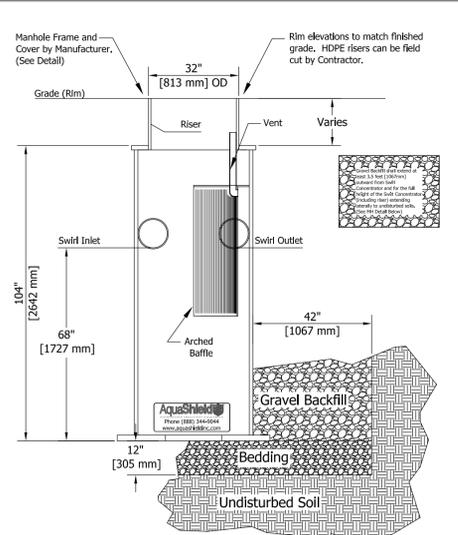
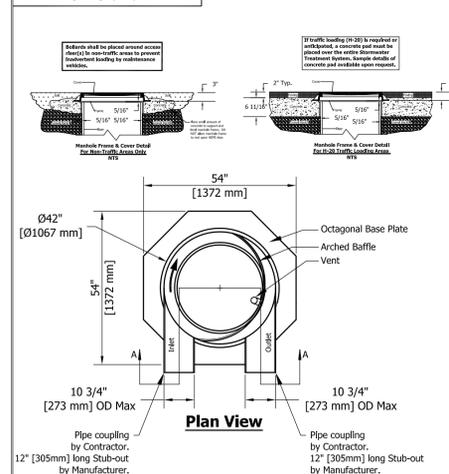
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

**NOTE:**  
DOWNSPOUTS TO DRAIN DIRECTLY TO THE STORM SEWER SYSTEM



**STANDARD NOTE:**

1. System shall be designed for the following capacities:  
Peak Treatment Flow: 1.8 cfs (32 L/s)  
Settlement Storage: 20 ft<sup>3</sup> (568 m<sup>3</sup>)  
Oil/Debris Storage: 110 gal. (416 L)



Aqua-Swirl Concentrator Model AS-3 Off-Line Horseshoe Standard Detail

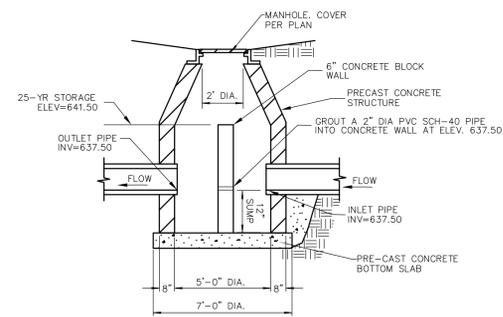
**AQUA-SWIRL™ SPECIFICATION NOTES**

- Manufacturer shall be responsible for complete assembly of Swirl Concentrator.
- Swirl Concentrator shall be fabricated from high-density polyethylene (HDPE) ASTM F 714 cell class 45464C per ASTM D 3350. The Swirl Concentrator wall (greater than 54\"/>

**Aqua-Swirl™ Sizing Chart (English)**

Aqua-Swirl™ Model	Swirl Chamber Diameter (ft)	Maximum Sub-Out Pipe Outer Diameter (ft)	Water Quality Treatment Flow (cfs)	Oil/Debris Storage Capacity (gal)	Sediment Storage Capacity (cu ft)
AS-2	2.50	8	1.1	37	10
AS-3	3.25	10	1.8	110	20
AS-4	4.25	12	3.2	190	32
AS-5	5.00	12	4.4	270	45
AS-6	6.00	14	6.3	390	65
AS-7	7.00	16	8.6	540	90
AS-8	8.00	18	11.2	710	115
AS-9	9.00	20	14.2	910	145
AS-10	10.0	22	17.5	1130	180
AS-12	12.0	24	25.2	1698	270
AS-XX	Custom	--	>26	--	--

1) The Aqua-Swirl™ Conveyance Flow Diversions (CFD) provides full treatment of the first flush while the peak design storm is diverted and channeled through the main conveyance pipe. Please refer to your local representative for more information.  
2) Many regulatory agencies are establishing "water quality treatment flow rates" for their areas based on the initial movement of pollutants into the storm drainage system. The treatment flow rate of the Aqua-Swirl™ system is engineered to meet or exceed the local water quality treatment criteria. This "water quality treatment flow rate" typically represents approximately 90% to 95% of the total annual runoff volume.  
3) The design and operation of the Aqua-Swirl™ generally entails some degree of customization. For assistance in design and specific sizing using historical rainfall data, please refer to an AquaShield™ representative or visit our website at www.AquaShield.com. CAD details and specifications are available upon request.



OUTLET CONTROL STRUCTURE DETAIL



COMMERCIAL  
SITE PLANNING  
INDUSTRIAL & MULTIFAMILY  
CONSTRUCTION LAYOUT

SURVEYING  
ALTA SURVEYS  
BOUNDARY SURVEYS  
TOPOGRAPHIC SURVEYS  
PARCEL SPLITS

RESIDENTIAL  
SUBDIVISIONS  
SITE CONDOMINIUM  
SPLIT-FAMILY  
MULTI-FAMILY  
CONSTRUCTION LAYOUT



THE ALAN GROUP, INC.  
**UTILITY PLAN**  
THE ALAN GROUP OFFICE BUILDING  
TOWNSHIP: 2 N.  
CITY OF TROY  
OKLAHOMA COUNTY  
MICHIGAN  
SECTION: 26  
RANGE: 11 E.

CLIENT:  
REVISED

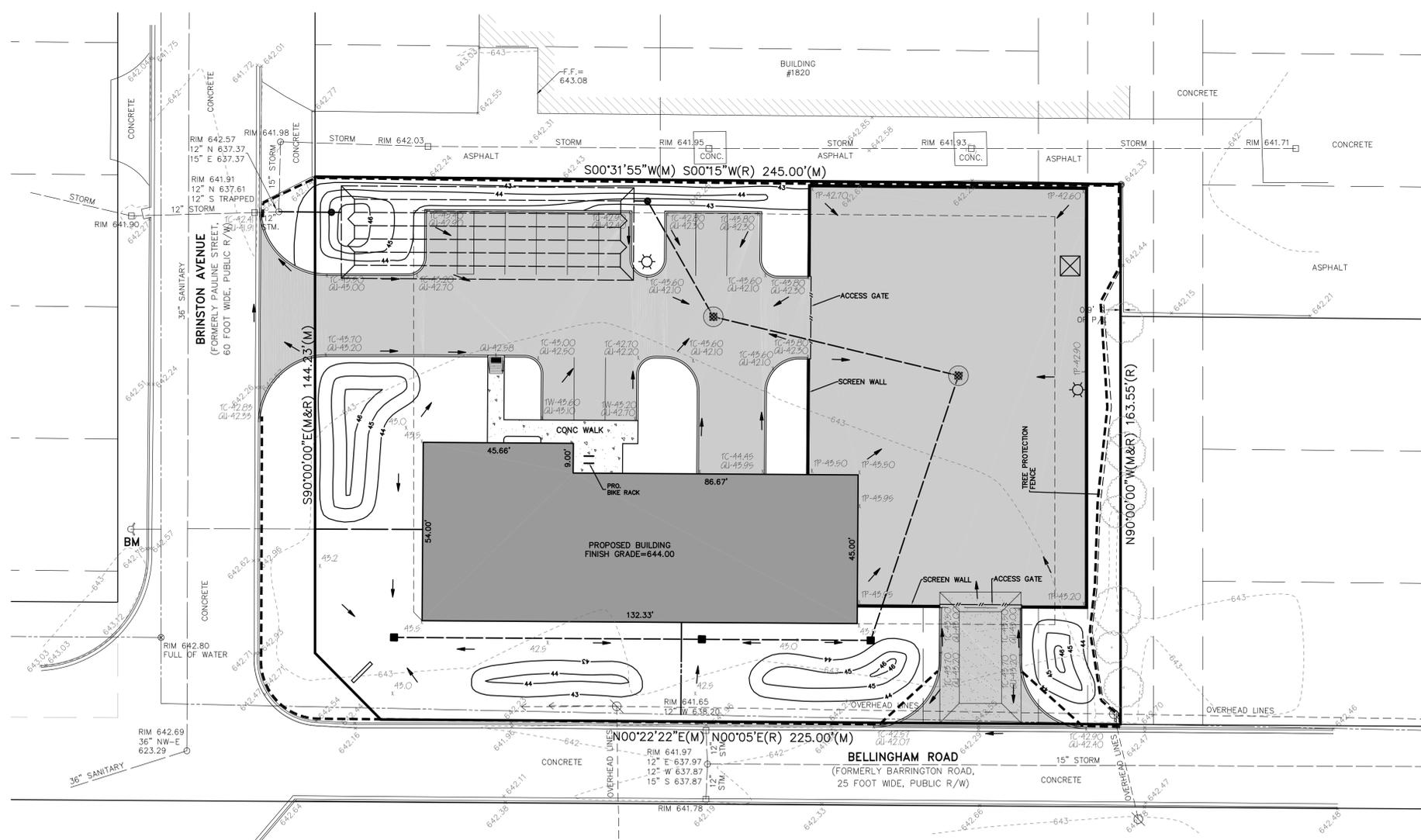
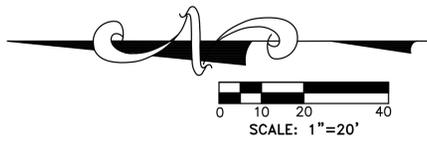
11-15-13 UPDATE PLAN  
DATE: 11-7-2013  
DRAWN BY: JPP  
CHECKED BY: DL  
FBK: 116  
CHF: JM  
SCALE: HOR 1"=20 FT.  
VER 1"=4 FT.  
13-269

**LEGEND**

EXISTING	PROPOSED	
○	●	MANHOLE
□	■	CATCH BASIN
—	—	END SECTION
—	—	CL. DITCH
—	—	CONTOUR LINE
X 804.2	X 804.20	SPOT ELEVATION
—	—	SILT FENCE
○	○	EX. TREE
TC		TOP OF CURB
TW		TOP OF WALK
TP		TOP OF PAVEMENT
G		GROUND
EM		EDGE OF METAL
QU		OUTTER
FG		FINISH GRADE
FF		FINISH FLOOR
—	—	STORM STRUCTURE NO.
—	—	STRUCTURE PROTECTION

**PAVEMENT LEGEND**

	PRO. CONCRETE
	PRO. ASPHALT OR CONCRETE PAVEMENT (COORDINATE WITH OWNER)



**RUNOFF COEFFICIENT CALCULATION**

LAND USE	AREA (A) (acres)	RUNOFF COEFFICIENT (C)
BUILDING	0.14	0.90
PAVEMENT AREA	0.42	0.90
WALKS AREA	0.01	0.90
GRASS/LANDSCAPE	0.35	0.15
<b>TOTAL AREA</b>	<b>0.92</b>	

**CALCULATE THE WEIGHTED RUNOFF COEFFICIENT:**

$$C = \frac{\sum (A_i \times C_i)}{A} = \frac{(0.14 \times 0.90) + (0.42 \times 0.90) + (0.01 \times 0.90) + (0.35 \times 0.15)}{0.92}$$

$$C = 0.61$$

**25 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)**

Calculation of Required Discharge/Acre

$Q_0 = ((Q_a)/(A))(C)$       0.33    cfs/acre imperv.

$T = -25 + ((8062.5/Q_0)0.5)$       131.81    min.

Storage Volume Required:

$V_s = (12900(T)(T+25)) - 40Q_0(T)$       9114.72    cubic ft/ acre imperv.

$V_t = (V_s)(A)(C)$       5.115    cubic feet

**SIZE THE OUTLET RESTRICTOR**

THE ALLOWABLE DISCHARGE IS	0.18 CFS
STORAGE ELEVATION =	641.50
INVERT ELEVATION =	637.50
TOTAL HEAD =	4.00 FT
AVERAGE HEAD =	2.00 FT
USING THE ORIFICE EQUATION $Q = CA \sqrt{2GH}$ , WHERE $C = 0.62$	
A =	3.77 SQUARE INCHES
RESTRICTOR DIAMETER =	2.19 INCH
GROUT A 2" DIAMETER RESTRICTOR INTO THE OUTLET PIPE	

**VOLUME PROVIDED**

UTILIZE AN UNDERGROUND DETENTION SYSTEM FOR STORAGE OF 25-YR RAINFALL EVENT.

USE A 48" DIAMETER PIPE (VOLUME = 12.56 CF/ FT)

LENGTH OF PIPE REQUIRED = 51.55 CF / 12.56 = 439 LF

USE:

5 EACH 70 LF BARRELS	- LENGTH = 350 LF	4396 CF
AND 2 EACH 28 LF HEADERS	- LENGTH = 58 LF	728 CF
AND 5 LF - 24" INLET PIPE		63 CF
AND 5 LF - 12" OUTLET PIPE		4 CF
<b>TOTAL STORAGE VOLUME PROVIDED =</b>		<b>5191</b>

**BENCHMARK:**  
CITY OF TROY BM1461:  
ARROW ON TOP OF HYDRANT #26-94 AT  
NORTHEAST CORNER OF INTERSECTION OF  
BRINSTON AVENUE AND BELLINGHAM ROAD.  
ELEVATION: 645.915' N.A.V.D. 86

**NOTICE:**  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR  
NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY  
RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK,  
OR ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**NOTE:**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN  
APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS  
AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE  
IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY  
THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL  
EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY  
RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE  
CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL  
UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER  
IMMEDIATELY IF A CONFLICT IS APPARENT.



COMMERCIAL  
SITE PLANNING  
SITE ENGINEERING  
INDUSTRIAL & MULTICOUNTY  
CONSTRUCTION LAYOUT

SURVEYING  
ALTA SURVEYS  
BOUNDARY SURVEYS  
TOPOGRAPHIC SURVEYS  
PARCEL SPLITS

RESIDENTIAL  
SUBDIVISIONS  
SITE CONDOMINIUM  
MULTI-FAMILY  
CONSTRUCTION LAYOUT

**ANC** Engineering, Inc.  
Civil Engineers & Land Surveyors

5111 W. PONTIAC TRAIL  
TROY, MI 48060  
PHONE: (248) 668-0700  
FAX: (248) 668-0701

**811**  
Know what's below  
Call before you dig.

CLIENT: THE ALAN GROUP, INC.

**STORMWATER MANAGEMENT PLAN**

THE ALAN GROUP OFFICE BUILDING  
TOWNSHIP: 2 N.  
CITY OF TROY  
OAKLAND COUNTY  
MICHIGAN

SECTION: 26  
RANGE: 11 E.

REVISED

11-15-13 UPDATE PLAN

DATE: 11-7-2013

DRAWN BY: JPP

CHECKED BY: DL

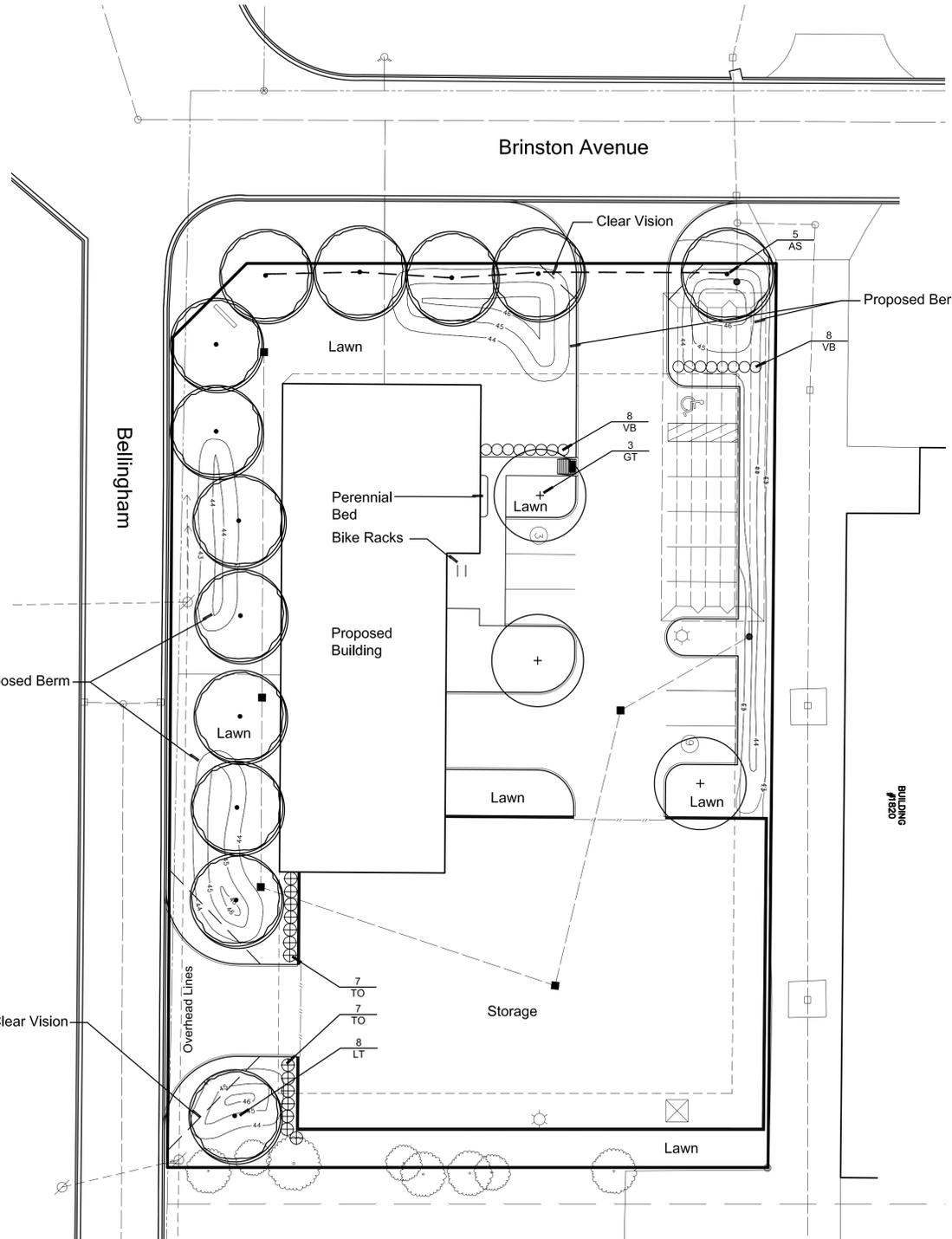
FBK: 116

CHF: JM

SCALE: HOR 1"=20 FT.  
VER 1"=1 FT.

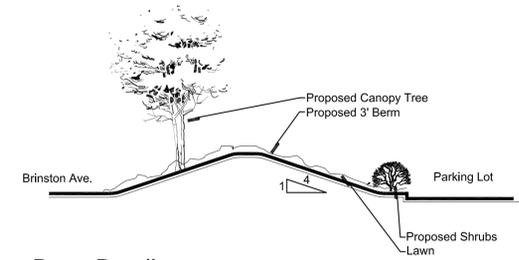
**C-5**

13-269



**Landscape Summary**

Greenbelt	
Street Frontage	401'
Deciduous Trees Required	13.4 Trees (1 per 30')
Deciduous Trees Provided	13 Trees
Parking Lot Landscaping	
Total Spaces Shown	12 Spaces
Trees Required	1.5 Trees (1 per 8 Spaces)
Trees Shown	3 Trees
Site Landscaping	
Total Site Area	39,953 s.f.
Landscape Required	7,991 (20%)
Landscape Provided	15,439 (38%)



**Berm Detail**  
Not to Scale

**Plant List**

sym.	qty.	botanical name	common name	caliper	spacing	root	height
AS	5	Acer rubrum 'Red Sunset'	Red Maple	2.5"	as shown	B&B	
GT	3	Gleditsia triacanthos var. inermis	Honeylocust	2.5"	as shown	B&B	
LT	8	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
TO	14	Thuja occidentalis 'Dark Green'	Dark Green Arborvitae		as shown	B&B	6'
VB	16	Viburnum x burkwoodii	Burkwood Viburnum		as shown		30"

**Landscape Notes**

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheriadelpi" Kentucky Blue Grass grown in a sod nursery on loam soil.

**Maintenance Notes**

The owner of the property shall be responsible for all maintenance of site landscaping, as follows:

**Continuing Care**  
 Landscaping shall be kept in a neat, orderly and healthy growing condition, free from debris and refuse. All landscape materials shall be maintained by a regular program of mowing, watering, weeding, feeding and pruning. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning shall assure proper maturation of plants to achieve their approved purpose.

**Replenishment**  
 All dead or diseased plant material shall be removed and replaced within six (6) months after it dies or in the next planting season, whichever occurs first. For purposes of this the planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen.

**Watering**  
 Watering shall be accomplished with an automatic underground irrigation system.

Seal:



Title:  
**Landscape Plan**

Project:  
**The Alan Group Office Building  
Troy, Michigan**

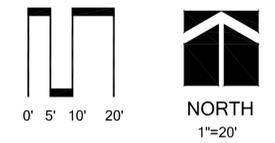
Prepared for:  
ANC Engineering  
51111 Pontiac Trail  
Wixom, MI 48393  
248.668.0700

Revision:  
Review  
Revised

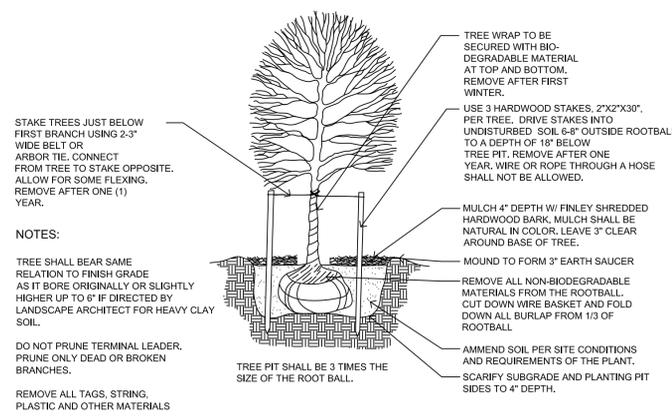
Issued:  
November 7, 2013  
November 15, 2013

Job Number:  
13-039

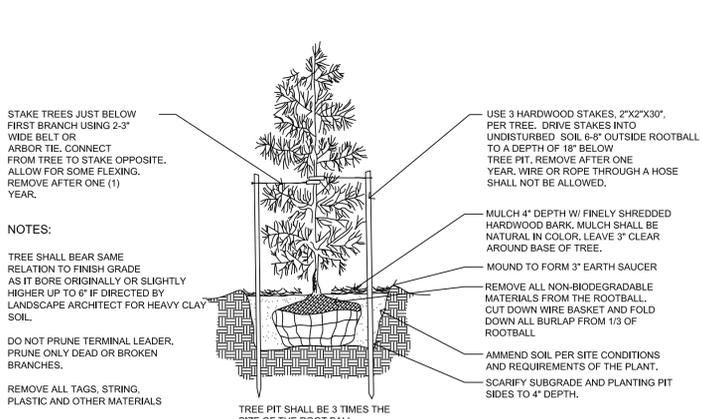
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Checked By: jca



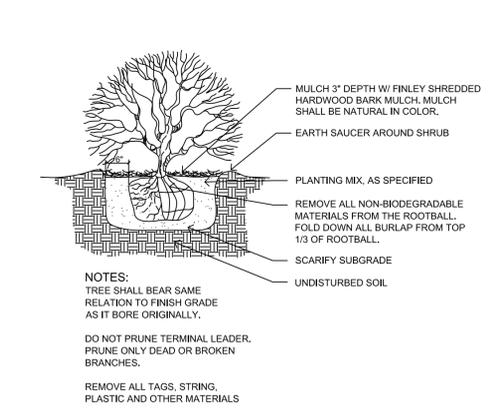
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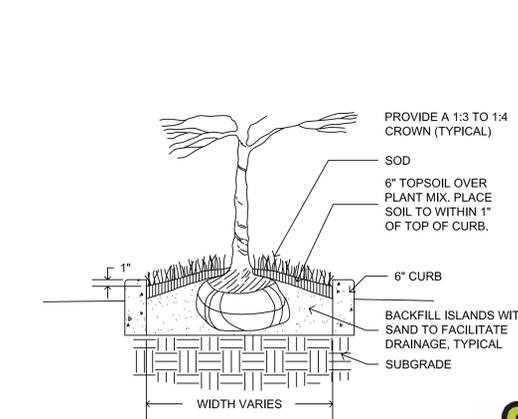
**DECIDUOUS TREE PLANTING DETAIL**  
NTS



**EVERGREEN TREE PLANTING DETAIL**  
NTS

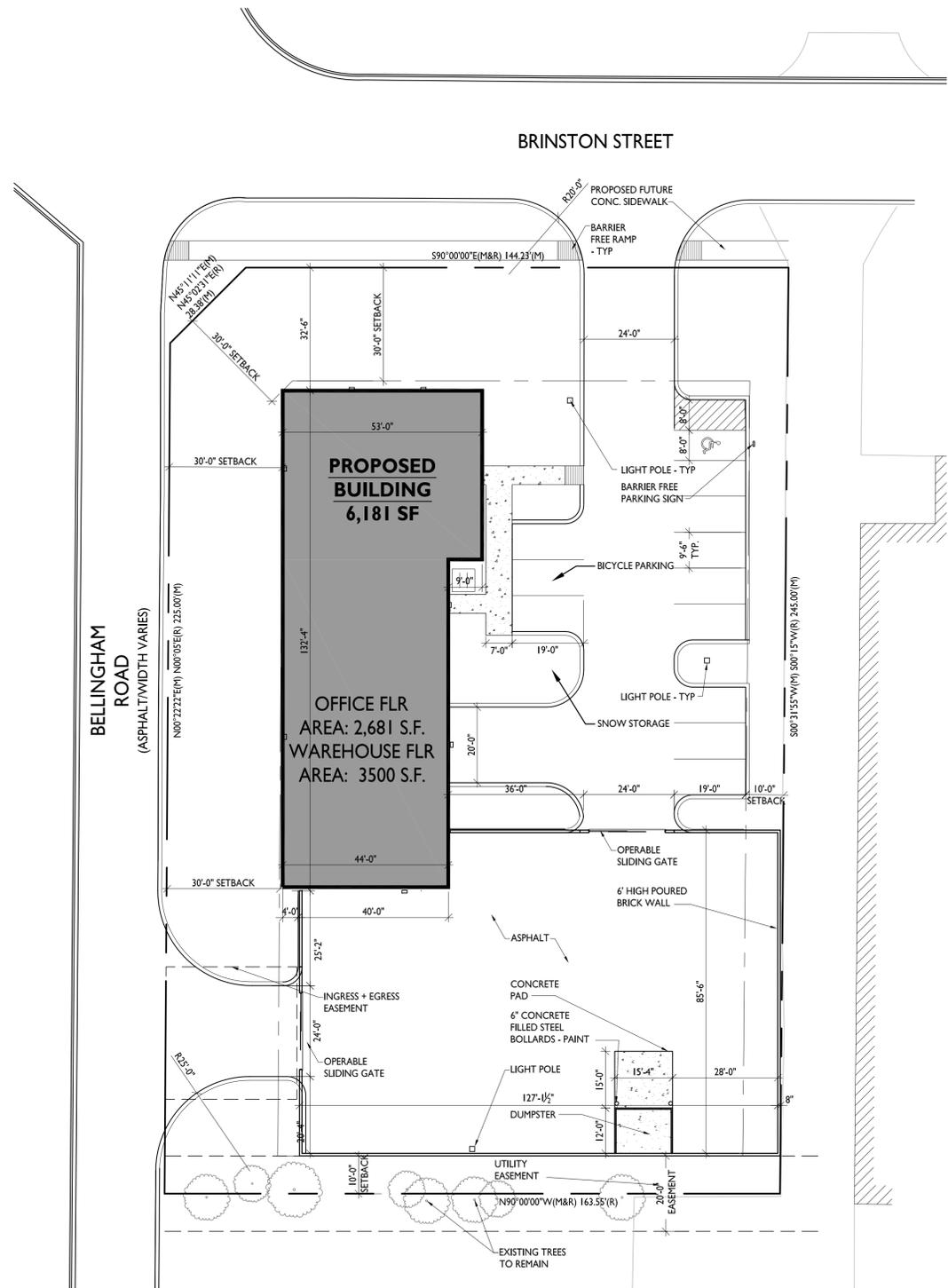


**SHRUB PLANTING DETAIL**  
NTS

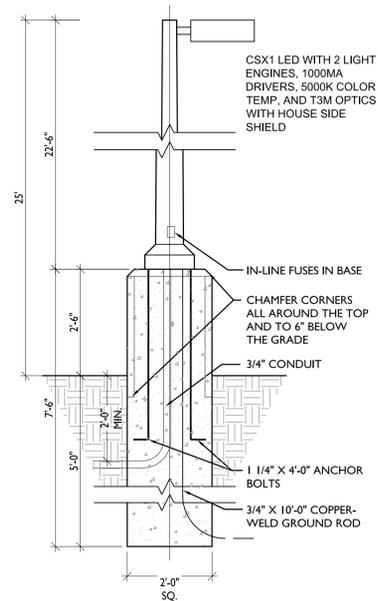


**CURBED ISLAND DETAIL**  
NTS

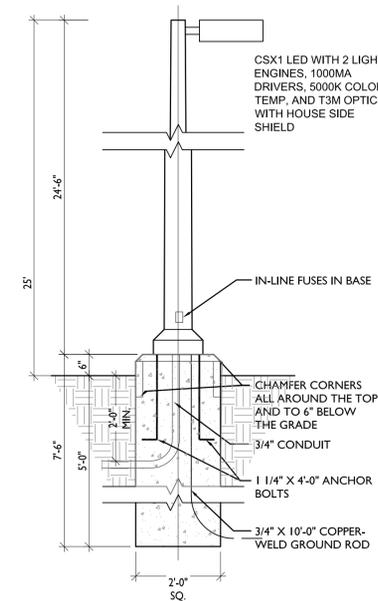




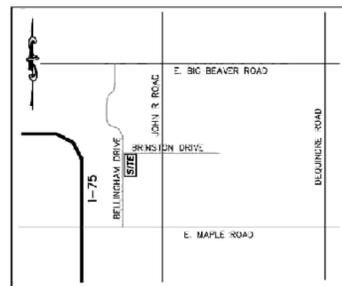
**PROPOSED SITE PLAN**  
SCALE: 1" = 20'



**LIGHT POLE DETAIL IN PAVING**  
SCALE: 1/2" = 1'-0"



**LIGHT POLE DETAIL IN LANDSCAPING**  
SCALE: 1/2" = 1'-0"



**LOCATION MAP**  
NO SCALE

**OWNER/DEVELOPER**

THE ALAN GROUP PROPERTIES, L.L.C.  
32600 STEPHENSON HIGHWAY, SUITE B  
MADISON HEIGHTS, MI 48071  
T: 248.298.0100  
F: 248.298.0106

**ARCHITECT/PLANNER**

BOWERS + ASSOCIATES, INC.  
2400 S. HURON PARKWAY  
ANN ARBOR, MI 48104  
T: 734.975.2400  
F: 734.975.2410

**CIVIL ENGINEER**

ANC ENGINEERING, INC.  
5111 W. PONTIAC TRAIL  
WIXOM, MI 48393  
T: 248.668.0700  
F: 248.668.0701

**LANDSCAPE ARCHITECT**

ALLEN DESIGN  
557 CAPERNTER  
NORTHVILLE, MI 48167  
T: 248.467.4668  
F: 248.349.0559

**SITE/BUILDING DATA**

PROPOSED USE: OFFICE + CONTRACTOR YARD FOR GENERAL CONTRACTOR  
PARCEL SIZE: 39,953 SF (.92 ACRES)  
EXISTING ZONING: IB INTEGRATED BUSINESS AND INDUSTRIAL  
PROPOSED ZONING: IB AND INDUSTRIAL (FOR OUTDOOR STORAGE SPECIAL APPROVAL IS REQUIRED)  
PROPOSED USE: OFFICE/CONTRACTOR STORAGE  
REQUIRED FRONT SETBACK: 30'  
REQUIRED REAR SETBACK: 20'  
REQUIRED SIDE SETBACK: AT LEAST 10'  
REQUIRED REAR SETBACK: 20'  
REQUIRED REAR SETBACK: 20'  
MAX. BUILDING HEIGHT: 30'4" STORIES  
PROPOSED BUILDING HEIGHT: 14'  
PROPOSED BUILDING AREA: 6,181 SF  
MAX LOT COVERAGE FOR BUILDING: 40% x 39,953 S.F. = 15,981 S.F.  
PROPOSED LOT COVERAGE FRO BUILDING: 6,181 S.F. / 39,953 S.F. = 16%

**PARKING REQUIRED: 12 SPACES**

OFFICE: 1/200 GROSS OFFICE SPACE S.F.  
= 9 SPACES  
WAREHOUSE: 1/500 S.F.  
= 3 SPACES

**PARKING PROVIDED: 12 SPACES**

BICYCLE PARKING REQUIRED: 2  
BICYCLE PARKING PROVIDED: 2

**GENERAL NOTES**

- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
- ALL SIGNS SHALL MEET LOCAL MUNICIPALITY ORDINANCE REQUIREMENTS.

**LEGAL DESCRIPTION PER SEAVER TITLE AGENCY, LLC**  
**TITLE COMMITMENT FILE NO. 63-13340042-SCM:**

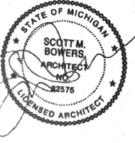
LOTS 125, 126, 127, 128; LOTS 175, 176, 177 AND 178, JOHN R GARDEN SUBDIVISION, AS RECORDED IN LIBER 35 OF PLATS, PAGE 8, OAKLAND COUNTY RECORDS, EXCEPT THE NORTH 10 FEET OF LOTS 125 THROUGH 128, BOTH INCLUSIVE, DEEDED TO THE CITY OF TROY IN QUIT CLAIM DEED RECORDED IN LIBER 6630, PAGE 455, AND EXCEPT PART OF LOT 125 DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 125; THENCE DUE EAST 30.00 FEET ALONG THE SOUTH LINE OF BRINSTON STREET (50 FEET WIDE); THENCE SOUTH 45 DEGREES 02 MINUTES 31 SECONDS WEST 42.46 FEET TO A POINT ON THE EAST LINE OF BELLINGHAM; THENCE NORTH 00 DEGREES 05 MINUTES 00 SECONDS EAST 30.00 FEET TO THE POINT OF BEGINNING, DEEDED TO THE CITY OF TROY IN LIBER 6630, PAGE 453, ALSO INCLUDING 1/2 OF VACATED KELLEY STREET ADJACENT TO LOTS 175 THROUGH 178, BOTH INCLUSIVE.

**SCHEDULE B-11, EXCEPTIONS PER SEAVER TITLE AGENCY, LLC TITLE COMMITMENT FILE NO. 63-13340042-SCM, EFFECTIVE DATE OCTOBER 22, 2013:**

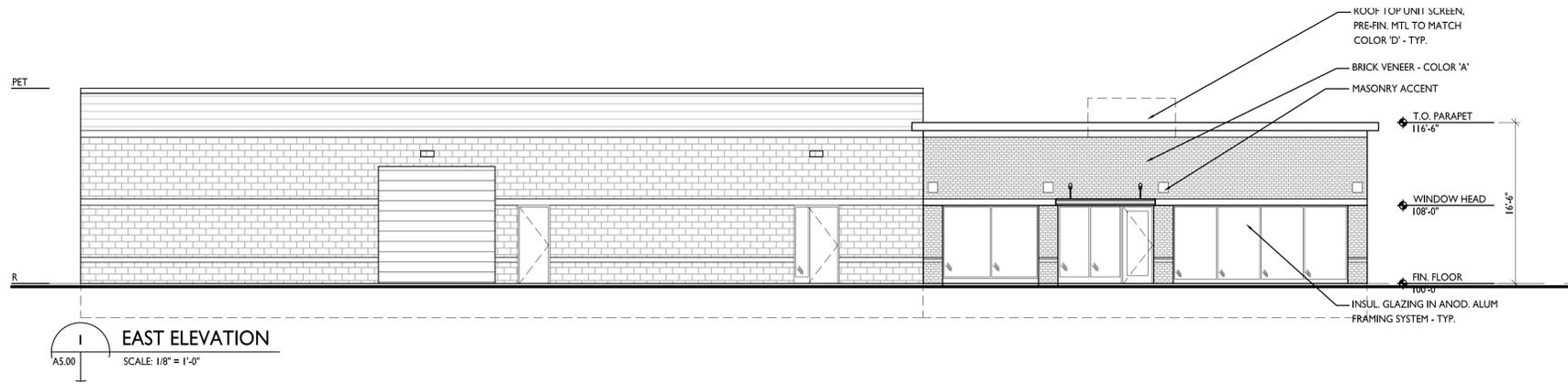
8. RESOLUTION VACATING PORTION OF KELLEY STREET AND RESERVING UNTO THE CITY OF TROY AN EASEMENT FOR CONSTRUCTION, OPERATION AND MAINTENANCE OF PUBLIC UTILITIES RECORDED IN LIBER 6559, PAGE 307, OAKLAND COUNTY RECORDS; 20' WIDE EASEMENT FOR PUBLIC UTILITY WIRES, PIPES OR CONDUIT FOR GAS AND/OR ELECTRIC IS PLOTTED. CITY OF TROY ALSO MAINTAINS RIGHTS OVER THE ENTIRE VACATED ALLEY TO CONSTRUCT, OPERABLE, MAINTAIN, REPAIR AND/OR REPLACE ANY WATER MAINS, SANITARY SEWER SYSTEMS OR OTHER PUBLIC UTILITIES.

9. EASEMENT AGREEMENT BY AND BETWEEN GERALDINE M. DETIERMAN, TRUSTEE UNDER TRUST AGREEMENT WITH GERALDINE M. DETIERMAN, SETTLOR, DATED AUGUST 30, 1994 (GRANTOR) AND BOSTICK REAL ESTATE LLC (GRANTEE) GRANTING EASEMENT AND RIGHT OF WAY FOR DRIVEWAY RECORDED IN LIBER 21193, PAGE 727, OAKLAND COUNTY RECORDS, AS PLOTTED.

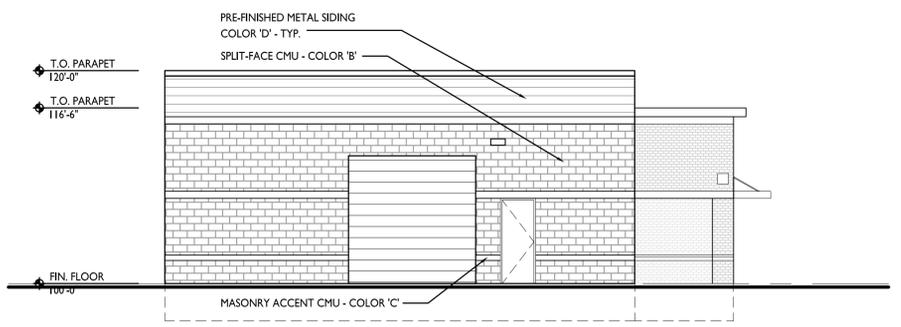
10. COVENANTS, CONDITIONS AND RESTRICTIONS AND OTHER PROVISIONS BUT OMITTING RESTRICTIONS, IF ANY, BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN AS CONTAINED IN INSTRUMENT RECORDED IN LIBER 659, PAGE 345, OAKLAND COUNTY RECORDS. DOES NOT AFFECT SUBJECT PROPERTY. NOTHING TO PLOT.



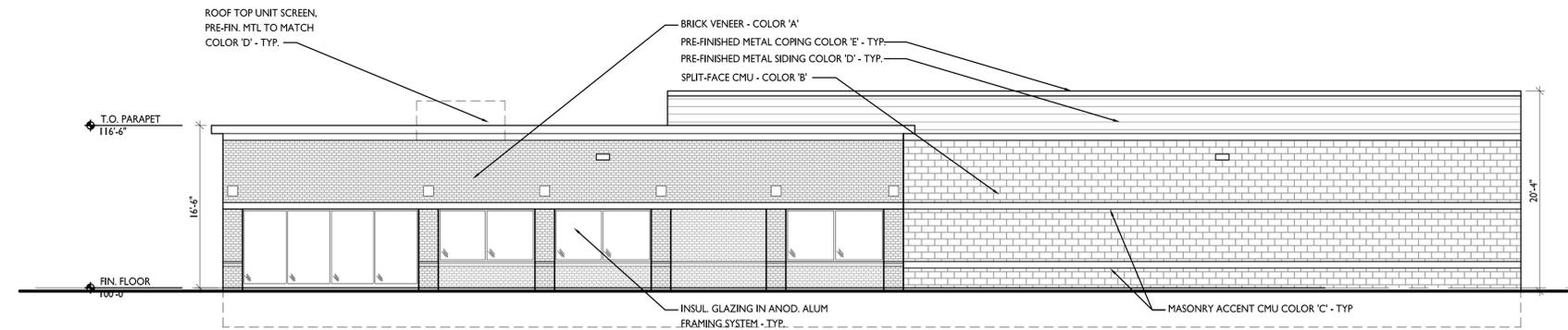




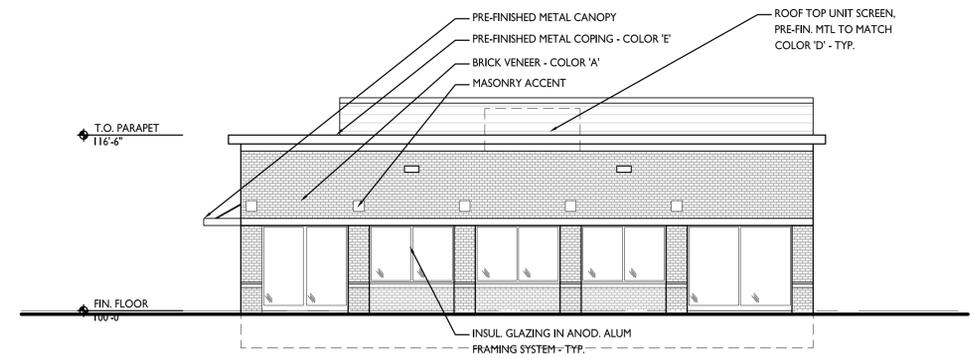
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH	
COLOR 'A'	BRICK
COLOR 'B'	SPLIT-FACE CMU
COLOR 'C'	CMU ACCENT BAND
COLOR 'D'	PREFINISHED METAL SIDING
COLOR 'E'	PREFIN. METAL COPING
NOTE: T DENOTES TEMPERED GLAZING S DENOTES SPANDREL GLASS ALL EXIST. EXTERIOR DOORS TO BE PAINTED ANOD. ALUM. FRAMING TO BE CLEAR FINISH	

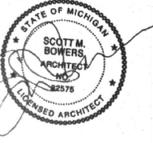
**BOWERS ASSOCIATES**  
ARCHITECTURE DESIGN  
2400 SOUTH HURON PARKWAY • ANN ARBOR, MI 48104  
P: 734.975.2400 • F: 734.975.2410  
WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION  
**THE ALAN GROUP**  
OFFICES  
1126 BRINSTON ST.  
TROY MI

PROJECT + NUMBER  
**13-425**

ISSUE + DATE  
23 OCT. 2013 OWN REV.  
24 OCT 2013 OWN REV  
8 NOV. 2013 SITE PLAN



SHEET + TITLE  
ELEVATIONS  
13425a500.DWG

SHEET + NUMBER  
**A2.00**

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LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	LA	3	LITHONIA#CSX1 LED 60C 1000 50K T3M MVOLT HS	CSX1 LED WITH 2 LIGHT ENGINES, 1000mA DRIVERS, 5000K COLOR TEMP, AND T3M OPTICS WITH HOUSE SIDE SHIELD	LED	CSX1_LED_60 C_1000_50K_T 3M_MVOLT_H Sies	Absolute	0.90	209
⊞	LB	1	LITHONIA#CSXW LED 30C 1000 50K T4M MVOLT	CSXW LED WITH 1 LIGHT ENGINE (30 LEDs), 1000mA DRIVER, 5000K LED, TYPE 4 OPTICS	LED	CSXW_LED_30 C_1000_50K_T 4M_MVOLT_J es	Absolute	0.91	104
⊞	LC	6	CSXW LED 30C 700 40K T4M MVOLT	CSXW LED WITH 1 LIGHT ENGINE (30 LEDs), 700mA DRIVER, 4000K LED, TYPE 4 OPTICS	LED	CSXW_LED_30 C_700_40K_T 4M_MVOLT_J s	Absolute	0.91	69

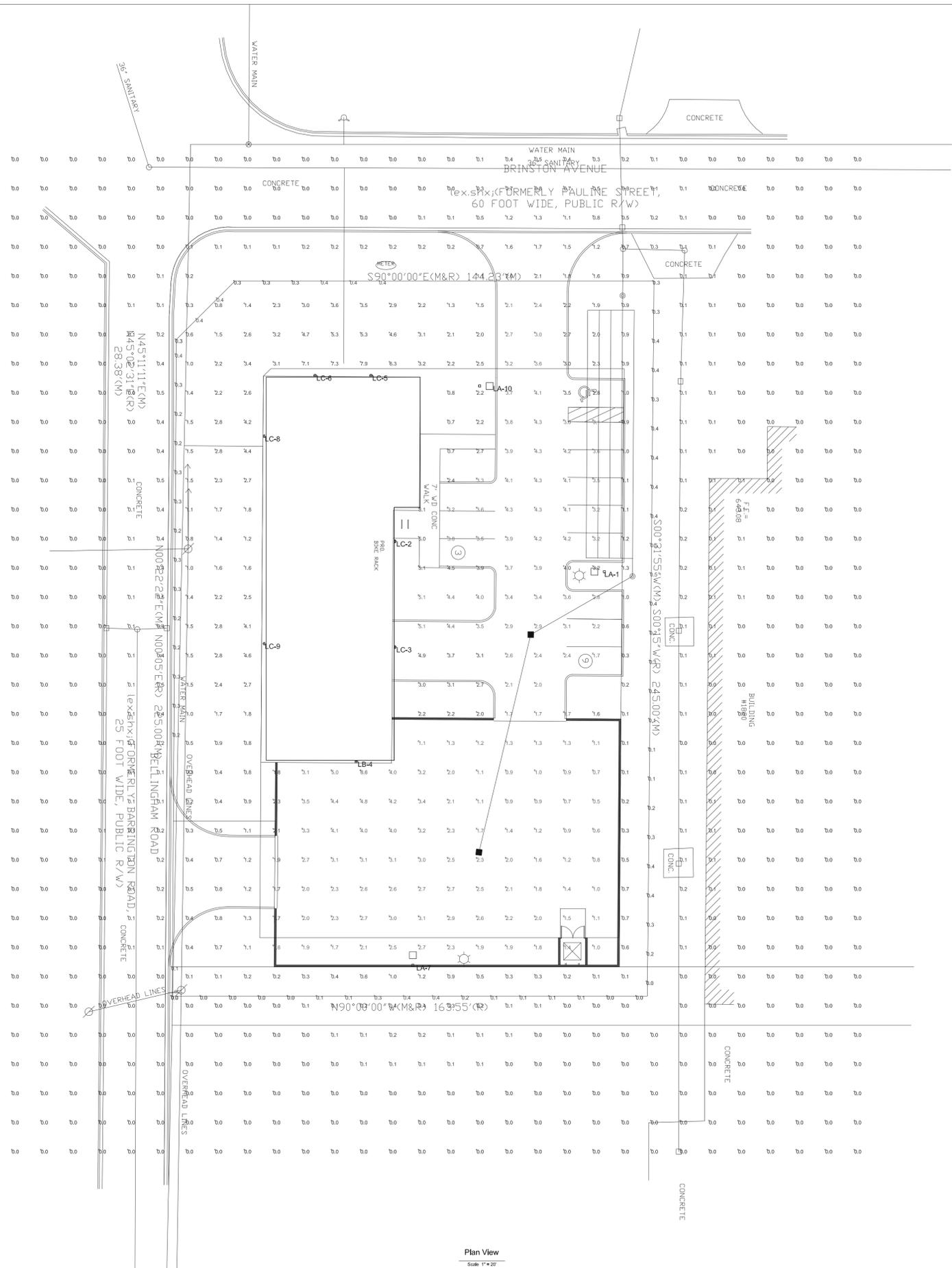
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
ASPHALT AREA	⊗	2.2 fc	8.6 fc	0.5 fc	17.2:1	4.4:1
OVERALL LTG VALUES AT GRADE	+	0.8 fc	8.6 fc	0.0 fc	N / A	N / A
PARKING LOT	⊗	3.5 fc	5.1 fc	1.7 fc	3.0:1	2.1:1
PROPERTY LINE 5' ABOVE GRADE ON A VERTICAL PLANE	+	0.2 fc	0.5 fc	0.0 fc	N / A	N / A

LUMINAIRE LOCATIONS						
No.	Label	X	Y	MH	Orientation	Tilt
1	LA	956.4	273.4	25.0	-90.0	0.0
2	LC	884.3	283.8	13.0	90.0	0.0
3	LC	884.3	247.5	13.0	90.0	0.0
4	LB	871.0	208.3	13.0	180.0	0.0
5	LC	876.0	340.6	13.0	0.0	0.0
6	LC	856.8	340.6	13.0	0.0	0.0
7	LA	890.4	138.5	25.0	0.0	0.0
8	LC	839.3	319.8	13.0	270.0	0.0
9	LC	839.3	248.7	13.0	270.0	0.0
10	LA	913.4	337.0	25.0	90.0	0.0

**NOTES**

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. GBA DOES NOT ACT AS THE CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS. POLES SPECIFICATIONS ARE NOT INCLUDED WITH EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



**THE ALAN GROUP OFFICE**  
TYPICAL LIGHTING VALUES AT WORKPLANE  
FOR: BOWERS + ASSOCIATES  
GASSER BUSH ASSOCIATES

Designer

LB/KJS

Date

Nov 7 2013

Scale

AS SHOWN

Drawing No.

#13-20163-V3

**PH-1**

DATE: December 6, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING - REZONING APPLICATION (File Number Z 745) –  
Proposed Amber Town Center Townhomes and Lofts, West side of  
Livernois, North of Town Center (3409 Livernois), Section 21, From O  
(Office) District to BB (Big Beaver) District

The applicant, Amber Properties Company, seeks a rezoning of the subject parcel from O (Office) District to BB (Big Beaver) District. The applicant provided a concept sketch and statement.

The site is within the Big Beaver classification in the City of Troy Master Plan. This classification supports residential development along the Big Beaver Corridor.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

Please be prepared to discuss this item at the December 10, 2013 Planning Commission Regular meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Report prepared by Carlisle/Wortman Associates, Inc.
4. Correspondence from Dennis G. Cowan, Plunkett Cooney
5. Rezoning statement and concept sketch

G:\REZONING REQUESTS\Z 745 Amber Town Center Townhomes and Lofts\PC Memo 12 10 2013.doc

## PROPOSED RESOLUTION

REZONING APPLICATION (File Number Z 745) – Proposed Amber Town Center Townhomes and Lofts, West side of Livernois, North of Town Center (3409 Livernois), Section 21, From O (Office) District to BB (Big Beaver) District

**Resolution # PC-2013-12-**

Moved by:

Seconded by:

**RESOLVED**, That the Planning Commission hereby recommends to the City Council that the O to BB rezoning request, located on the west side of Livernois, north of Town Center (3409 Livernois), in Section 21, being approximately 1.22 acres in size, be approved, for the following reasons:

- 1) The request complies with the Master Plan
- 2) The Form-Based District would permit greater flexibility in use and development of the property.
- 3) The abundance of Office District property in the City has been well documented.
- 4) The rezoning would be compatible with surrounding zoning and land use.
- 5) The site can be adequately served with municipal water and sewer.

Yes:

Absent:

**MOTION CARRIED / FAILED**



Legend:

Street Name Text

188 0 94 188Feet

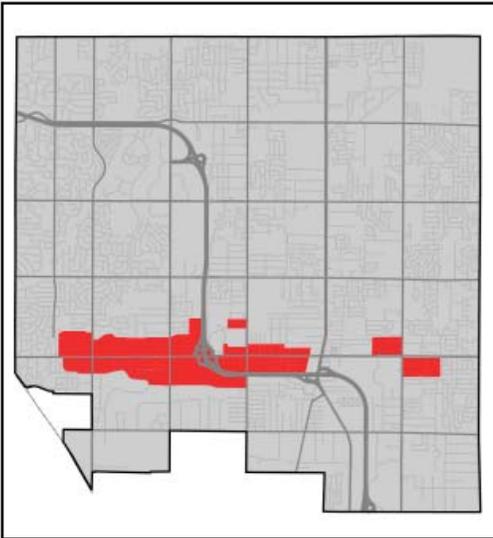
Scale 1: 1,128

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 11/19/2013



## Big Beaver Road: A World Class Boulevard



- *Home to large, landmark projects and mixed-use regional destinations.*
- *Central gathering area of the community.*
- *A collection of international corporations, local companies, and establishments which complement these high-visibility uses.*

The Big Beaver Road corridor is responsible for the first impression many people have throughout Michigan when they think of the City of Troy. The high-rise buildings, Somerset Collection, and its immediate proximity to I-75 are frequently the main elements visitors remember about the Corridor and the City. **In order to remain competitive and continue to be a leader in economic development in Southeast Michigan, Troy must plan for this Corridor to evolve in light of a changing economy.** In that spirit, the City adopted the key concepts of the Big Beaver Corridor Study in 2006:

- Gateways, Districts and Transitions
- Trees and Landscape as Ceilings and Walls
- Walking Becomes Entertainment - Much to Observe & Engage In
- Mixing the Uses Turns on the Lights - Energetic Dynamic of Mixed Uses with a Focus on Residential

- The Automobile & Parking are No Longer #1.
- Civic Art as the Wise Sage of the Boulevard

**The uses and character of this future land use category are driven by the recommendations of the Big Beaver Corridor Study and subsequent efforts of the Planning Commission to create new zoning techniques to implement those recommendations.**

This Study provided a comprehensive analysis of the existing and potential characteristics of this important area. The planned future land uses in the Big Beaver Corridor are in large part considered mixed-use, to allow for a wave of new residential development and the redevelopment of individual sites to make a more meaningful contribution to the quality of life of the City. The main difference between the various mixed-use districts planned in the Study is building height. The intended characteristics of the various districts are also very different, and are the topic of in-depth analysis in the Study. Some important recommendations of that Study are listed below.

- Moving toward the creation of distinct physical districts by building from lot line to lot line along the right-of-way rather than continuing to be a collection of isolated towers.
- Becoming flexible with land use relationships. The use of vertically integrated mixed-use commercial, office and residential towers should be promoted. The use of prominent ground floor retail, restaurants and cafes allows visual interest and activity for visitors and residents.
- Contain parking in structures that are shared by surrounding developments. Do not allow off-street parking to be visible from major thoroughfares.
- Landscape Big Beaver and intersecting thoroughfares with rows of mature trees.

## DESIGN CONCEPT

- This will be a vibrant high-rise business and residential district.
- Pedestrian use will be promoted through massive landscaping, wide sidewalks, outdoor cafes, and public art.
- The Big Beaver Corridor Study and Big Beaver Development Code provide for a specific land development pattern.
- Architectural design must create an interesting visual experience for both sidewalk users at close range and for those viewing the skyline from a distance.

## SITE DESIGN ATTRIBUTES

- Parking should be located in rear yards.
- Development should include intense street tree planting along Big Beaver.
- Cafes, plazas, parks and similar amenities to draw pedestrians will be encouraged.
- Buildings will frame the street network by building to the front and side property lines. Exceptions for cafes, plazas and access roads may be permitted.

## BUILDING DESIGN ATTRIBUTES

- Buildings should rise in height toward Crooks Road in the east-west direction.

- Buildings should rise in height toward Big Beaver in the north-south direction.
- Ground level stories should be a minimum of twelve feet in height; with large expanses of transparent glass.
- Fenestration at the ground level should be highlighted through the use of awnings, overhangs or trim detailing, and building caps or roofs should provide a visually interesting skyline.



Big Beaver Corridor Study; Birchler Arroyo Associates, Inc.



Concept Sketch from the Big Beaver Corridor Study; Birchler Arroyo Associates, Inc.



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: December 5, 2013

## Land Use and Zoning Analysis For Amber Properties - Troy, Michigan

### GENERAL INFORMATION

<b>Applicant</b>	Amber Properties
<b>Project Name:</b>	Amber Town Center
<b>Location:</b>	Northwest Corner of Town Center Dr. and Livernois Rd.
<b>Zoning:</b>	O, Office Building District
<b>Action Requested:</b>	Rezoning to Big Beaver Formal Based District
<b>Required Information:</b>	Provided

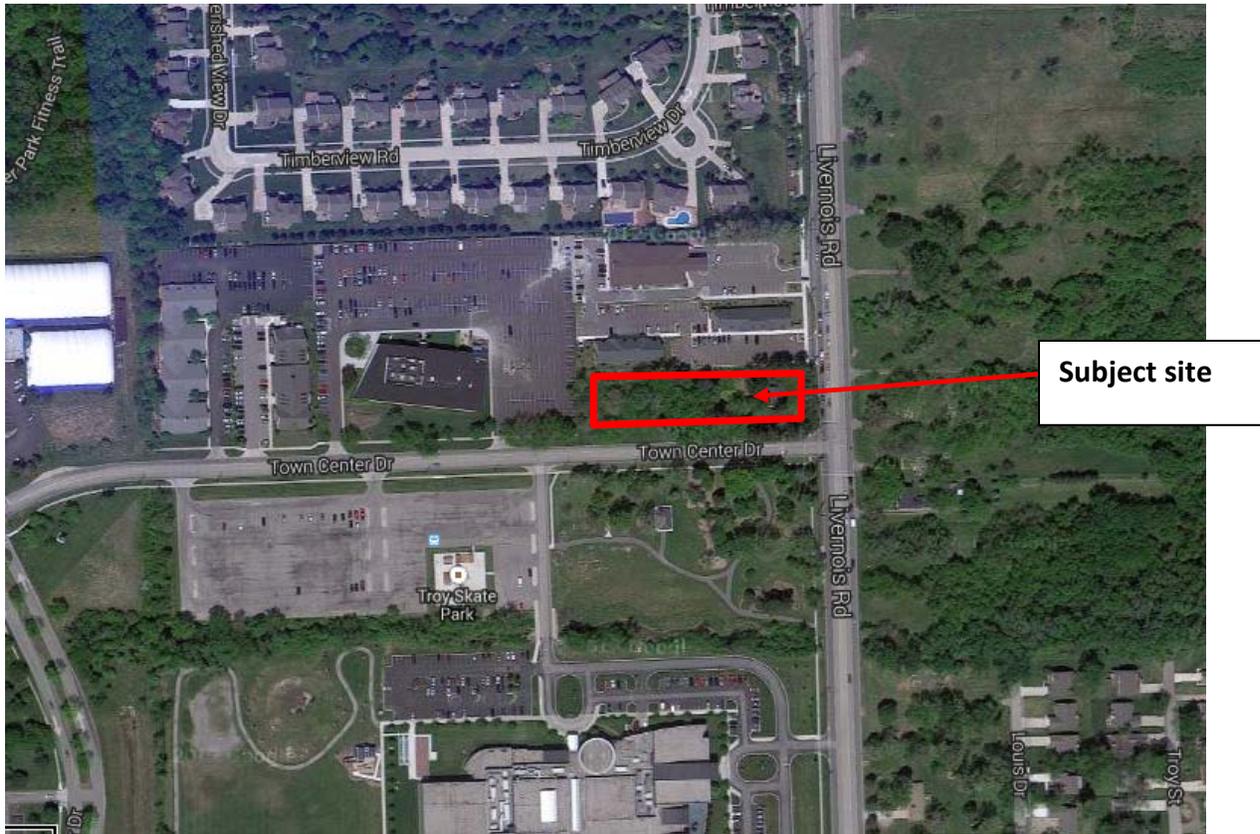
### SITE DESCRIPTION

The applicant is requesting a rezoning of a 1.21 acre vacant parcel from O – Office to Big Beaver (Form Based) District. The applicants' intent is to construct a residential project on the property which would be permitted in the Big Beaver District, based on the site and street types.

Although a concept plan has been supplied, it is purely illustrative. A more detailed site plan and other documents are required for preliminary site plan approval.

### NEIGHBORING ZONING AND LAND USE

The neighboring zoning and use to the north and west are Office, to the south is Community Facilities, and used as a park and across Livernois is residential but largely vacant.



**MASTER PLAN**

The site is located within the area designated as Big Beaver in the Master Plan. The Big Beaver designation responds to the recommendations set forth in the Big Beaver Corridor Study, which promotes higher density, vertically integrated mixed-use commercial, office, and residential uses. The Plan encourages increased residential units along and in proximity to Big Beaver. Development of residential uses should be designed with a strong orientation towards the roadway corridor to support pedestrian activity and frame the street.

Neighboring zoning, land use, and master plan designations are summarized in the following chart:

	NORTH	South	East	West
<b>Zoning</b>	O	CF	R-1F	O
<b>Land Use</b>	Office	Park	Vacant/Res.	Office
<b>Master Plan</b>	Big Beaver	Public	Residential	Big Beaver

## **NATURAL RESOURCES**

The site is vacant and appears to have been previously graded. There, it is devoid of any significant natural features.

## **DEVELOPMENT POTENTIAL**

The City has an abundance of land zoned and used for office purposes. With the current vacancy rate, it is unlikely that office use of the property is reasonable.

The full development potential of the site within the form based district will be determined through submission of a site plan. However, this specific property is required to be designated as a Site Type C using Town Center (a collector) as its principal frontage. Therefore, residential use is permitted. In addition, Building Forms A-D are permitted.

## **TRAFFIC IMPACT AND SITE ACCESS**

Due to the principal and sole access from Town Center, traffic impact is not expected to be an issue. The location of access points on Town Center Drive will be reviewed during the site plan review process. Cross-access to the north will be required in order to distribute traffic.

## **ESSENTIAL FACILITIES AND SERVICES**

The site is served by municipal water and sewer. All utility locations, as well as stormwater management will be considered during site plan review.

## **OTHER**

The applicant has submitted a Concept Plan. A Concept Plan is illustrative and not required to provide the detail necessary for a site plan review. If the rezoning is granted, the applicant is encouraged to thoroughly review the building form requirements as set forth in Section 5.03 and design standards set forth in Section 5.04 E. The Concept Plan does not reflect consideration of all of these standards, including parking location along Livernois, ground story activation, and pedestrian orientation. These are details that will be considered during the site plan review process, provided the rezoning is approved.

## **RECOMMENDATIONS**

We would recommend approval of the subject rezoning for the following reasons:

- 1) The request complies with the Master Plan
- 2) The Form-Based District would permit greater flexibility in use and development of the property.
- 3) The abundance of Office District property in the City has been well documented.

- 4) The rezoning would be compatible with surrounding zoning and land use.
- 5) The site can be adequately served with municipal water and sewer.

*Please contact me if you have any questions.*



---

**CARLISLE/WORTMAN ASSOC., INC.**  
**Richard K. Carlisle, PCP, AICP**  
**President**

225-02-1336



December 2, 2013

Planning Commission  
City of Troy  
500 W. Big Beaver Rd.  
Troy, MI 48084

Re: Amber Properties Company  
3409 Livernois, Troy, Michigan

Dear Planning Commission Members:

The undersigned and our Firm represent Amber Properties Company (“Amber”), the applicant for rezoning to the Big Beaver District designation for the property at 3409 Livernois. The site is located at the northwest corner of Livernois and Town Center. This letter is written in support of Amber’s rezoning request.

As stated below, the rezoning request meets the goals and objectives of the Troy Master Plan.

**Rezoning is Consistent with Troy’s Master Plan**

The Troy Master Plan supports housing options for Troy residents in the Big Beaver Corridor, as stated:

Only recently has the City begun to fully embrace more “urban” housing styles, by encouraging their development as part of a mixed use, planned unit development projects. The City of Troy must recognize the importance of having a variety of housing styles represented within the community, and describes how having these units will help Troy become a more vibrant place. While not all knowledge–economy workers and their families are seeking urban lifestyles, this is an area where Troy has room to grow. (p. 83)

The Amber Apartments are an upscale, urban housing style which fits into the niche which the City recognizes. The proposed project will include townhomes, loft-style and studio apartments. Recent Amber developments in Oakland County are well known for their “urban” interior design, including wood floors, open ceilings, metal stairways and

other design elements that attract a variety of workers including those in health-care and knowledge-based industries.

The Troy Master Plan in its discussion of Big Beaver Road encourages new residential development. The proposed Amber Apartments project will be within walking distance of many of the shopping areas and restaurants on Big Beaver Road. The development will be adjacent to the Troy Community Center which will allow greater utilization by the apartment residents.

**Rezoning will not be Detrimental to the Property of Other Persons Located in the Vicinity**

The Amber Apartment project will be part of an existing mixed-use area, blending in and not creating any conflict with surrounding office, residential, commercial and municipal uses.

The immediate vicinity already encompasses:

- A) Office uses to the north;
- B) Single family homes to the north;
- C) Commercial buildings to the west; and
- D) Troy Community Center and park to the south.

Clearly, there already exists a variety of uses in the immediate vicinity, and the proposed multi-family use will enhance the mixed-use nature of the area. Adequate on-site parking is provided for the Amber Apartment project and there are nearby off-site parking options as well.

**Rezoning Will Meet Goals of Big Beaver District**

The proposed Amber Apartment project will meet the goals of Section 5.04 (Big Beaver District) of the Zoning Ordinance to:

1. Establish a development pattern in which new buildings and building modifications enhance the character of the existing built environment.

2. Orient building entrances and storefronts to the street to add visual interest, increase pedestrian traffic, and to reduce crime through increased surveillance.
3. Enhance a sense of place and contribute to the sustainability of the City.
4. Allow a pattern of development which will encourage transportation alternatives (walking, biking, and transit) to reduce automobile dependence and fuel consumption.
5. Add value to property along the Big Beaver Corridor.

All of the above criteria are met by the proposed rezoning and project. In particular, the residential presence will increase walkability and bicycle usage to Big Beaver Road and the Troy Community Center.

#### **Such Rezoning is Consistent with Adjacent Zoning Districts**

The rezoning of the subject property is a natural extension of the adjacent Big Beaver District, which is directly to the south. The rezoning will be consistent with nearby residential subdivisions, but provide a different and desirable housing option.

#### **Amber's Proposed Project**

The requested zoning designation will allow Amber to apply for approval to construct an upscale, multi-family building at this location. The project will include townhome, 1 and 2 bedroom loft and studio units. They will have wood floors, exposed ceilings, in-unit washer/dryer and other amenities. Amber intends to provide necessary off-street parking and does not anticipate having to request variances.

Amber has completed seven new projects in the last seven years in Royal Oak and Clawson. The two newest buildings, Amber Corners and Amber Crossing, have very positive tenant demographics. At both locations, about 80% of residents hold a Bachelors, Masters or Ph.D./J.D./M.D. degree. Average monthly income is in excess of \$60,000. Monthly rentals for these properties are between \$800 and \$1,800 depending on the unit. We believe Amber's tenants are the future residents Troy wishes to attract to the community.

Planning Commission  
City of Troy  
December 2, 2013  
Page 4

Amber has been a family operated business since 1960. It now owns and manages 1,200 apartment units in Royal Oak, Clawson, Berkley and Troy. Amber properties are well kept and its apartments have a very positive reputation in the community. Two of its recent projects have demonstrated that building a quality product in close proximity to businesses, stores and restaurants attracts great interest and tenants.

On behalf of Amber Properties Company, we respectfully request your approval of the rezoning application at your December 10<sup>th</sup> meeting. We look forward to attending the meeting. In the meantime, if you have any questions or issues you want addressed at the meeting, please let us know.

Sincerely,

PLUNKETT COONEY

A handwritten signature in black ink, appearing to read "Dennis G. Cowan", written in a cursive style.

Dennis G. Cowan  
Direct Dial: (248) 901-4029  
Email: [dcowan@plunkettcooney.com](mailto:dcowan@plunkettcooney.com)

DGC/cmw  
cc: Jerry Amber

Open.19331.70425.13504404-1

**STATEMENT OF AMBER PROPERTIES COMPANY  
IN SUPPORT OF REZONING REQUEST**

**REZONING IS CONSISTENT WITH TROY'S MASTER PLAN**

The Troy Master Plan supports housing options for Troy residents in the Big Beaver Corridor, as stated:

Only recently has the City begun to fully embraced more “urban” housing styles, by encouraging their development as part of a mixed use, planned unit development projects. The City of Troy must recognize the importance of having a variety of housing styles represented within the community, and describes how having these units will help Troy become a more vibrant place. While not all knowledge – economy workers and their families are seeking urban lifestyles, this is an area where Troy has room to grow. (p. 83)

The Amber Apartments are an upscale, urban housing style which fits into the niche which the City recognizes. The proposed project will include townhomes, loft-style and studio apartments. Recent Amber developments in Oakland County are well known for their “urban” interior design, including wood floors, open ceilings, metal stairways and other design elements that attract a variety of workers including those in health-care and knowledge-based industries.

The Troy Master Plan in its discussion of Big Beaver Road encourages new residential development. The proposed Amber Apartments project will be within walking distance of many of the shopping areas and restaurants on Big Beaver Road. The development will be adjacent to the Troy Community Center which will allow greater utilization by the apartment residents.

**REZONING WILL NOT BE DETRIMENTAL TO THE PROPERTY OF  
OTHER PERSONS LOCATED IN THE VICINITY**

The Amber Apartment project will be part of an existing mixed-use area, blending in and not creating any conflict with surrounding office, residential, commercial and municipal uses.

The immediate vicinity already encompasses:

- A) Office uses to the north;
- B) Single family homes to the north;
- C) Commercial buildings to the west; and

D) Troy Community Center and park to the south.

Clearly, there already exists a variety of uses in the immediate vicinity, and the proposed multi-family use will enhance the mixed-use nature of the area. Adequate on-site parking is provided for the Amber Apartment project and there are nearby off-site parking options as well.

In addition, the proposed Amber Apartment project will meet the goals of Section 5.04 (Big Beaver District) of the Zoning Ordinance to:

1. Establish a development pattern in which new buildings and building modifications enhance the character of the existing built environment.
2. Orient building entrances and storefronts to the street to add visual interest, increase pedestrian traffic, and to reduce crime through increased surveillance.
3. Enhance a sense of place and contribute to the sustainability of the City.
4. Allow a pattern of development which will encourage transportation alternatives (walking, biking, and transit) to reduce automobile dependence and fuel consumption.
5. Add value to property along the Big Beaver Corridor.

All of the above criteria are met by the proposed project. In particular, the residential presence will increase walkability and bicycle usage to Big Beaver Road and the Troy Community Center.

**SUCH REZONING IS CONSISTENT WITH ADJACENT ZONING DISTRICTS**

The rezoning of the subject property is a natural extension of the adjacent Big Beaver District, which is directly to the south. The rezoning will be consistent with nearby residential subdivisions, but provide a different and desirable housing option. The rezoning and multi-family residential use will be consistent with the goals of the Troy Master Plan and Big Beaver Corridor Study.

Dated: November 6, 2013

Prepared by: Dennis Cowan  
Plunkett Cooney



**SHW GROUP**  
ARCHITECTS | ENGINEERS | PLANNERS

CONSULTANTS:

11/8/2013 9:51:31 AM  
**FOR REVIEW  
NOT FOR  
REGULATORY  
APPROVAL,  
PERMITTING, OR  
CONSTRUCTION**

**AMBER PROPERTIES  
COMPANY**

**AMBER TOWN CENTER  
TOWNHOMES AND LOFTS  
TROY, MI**

CHECKED:  
SCALE: As indicated  
© 2009 SHW Group

ISSUE:

SHEET TITLE:  
**ARCHITECTURAL SITE  
PLAN**

SHW Project:

**AS01**

7113.037.00

**SITE INFORMATION:**

EXISTING SITE: LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

LOT 5, EXCEPT THE SOUTH 5 FEET FOR ROAD, "SUPERVISOR'S PLAT NO. 26", AS RECORDED IN LIBER 57, PAGE 59, OF PLATS, OAKLAND COUNTY RECORDS.

TAX ID: 20-21-426-010;  
SUPERVISOR'S PLAT NO. 26, LOT 5 EXC. S.  
10 FT. TAKEN FOR RD.

SITE AREA: 53,780 SQ FT (+/-) 1.231 ACRES

CURRENT ZONING: OFFICE DISTRICT

PROPOSED ZONING: BIG BEAVER DISTRICT

PROPOSED USE: MULTIPLE FAMILY

PROPOSED MULTIPLE FAMILY RESIDENTIAL USE  
2 BEDROOM TOWNHOMES, STUDIO APARTMENTS, AND  
LOFT TERRACE UNITS (RENTAL).

60 UNITS PROPOSED - 2 PARKING SPACES / EACH DWELLING UNIT  
(REQUIRED)  
1 PARKING SPACE / EACH EFFICIENCY  
DWELLING UNIT (REQUIRED)

PARKING REQUIRED: 100 SPACES

PARKING PROVIDED: 98 SPACES +  
2 SPACES BARRIER FREE =  
100 TOTAL SPACES

PROPOSED BUILDING  
FOOTPRINT: 17,366 SQ FT

PROPOSED OPEN SPACE: 8,560 SQ FT (OPEN) / 53,780 SQ FT (SITE) =  
15.91%

\*15% REQUIRED OPEN SPACE BASED ON TABLE 5.03.B.2 BUILDING FORM B

BUILDING SITE  
COVERAGE: 17,366 SQ FT (GROUND FLOOR OF BLDG) /  
53,780 SQ FT (SITE) = 33.08%

**BUILDING INFORMATION:**

OCCUPANCY USE: R-2

CONSTRUCTION TYPE: 3B

FIRST FLOOR AREA: 17,366 GROSS SQ FT

SECOND FLOOR AREA: 17,366 GROSS SQ FT

THIRD FLOOR AREA: 17,366 GROSS SQ FT

FOURTH FLOOR AREA: 17,366 GROSS SQ FT

FIFTH FLOOR AREA: 17,366 GROSS SQ FT

MEZZANINE FLOOR AREA: 5,763 GROSS SQ FT

TOTAL: 86,830 GROSS SQ FT\*

\*MEZZANINES DO NOT CONTRIBUTE TO EITHER THE BUILDING AREA  
OR THE NUMBER OF STORIES AS REGULATED BY MBC SECTION 503.1

**SETBACK INFORMATION:**

PROPERTY SETBACKS SUBJECT TO SETBACK REQUIREMENTS AS FOLLOWS PER TABLE 5.03.B.2 BUILDING FORM B, UNLESS OTHERWISE ALLOWED BY THE PLANNING COMMISSION:

FRONT: MINIMUM: N/A MAXIMUM: 60'-0"  
REAR: MINIMUM: 30'-0" MAXIMUM: NONE  
SIDE: MINIMUM: N/A MAXIMUM: NONE

THE PROPOSED BUILDING SETBACKS ARE:  
FRONT: 10'-0" TO FACE OF BALCONIES  
REAR: 48'-0"

**BUILDING HEIGHT INFORMATION:**

HEIGHT IN THE BIG BEAVER DISTRICT, PER BUILDING FORM B IS SUBJECT TO A 6-STORY AND 72'-0" MAXIMUM BUILDING HEIGHT REQUIREMENT, ACCORDING TO TABLE 5.03.B.2 BUILDING FORM B.

THE PROPOSED BUILDING HEIGHT IS 60'-6".

**BARRIER FREE REQUIREMENTS:**

BARRIER FREE PARKING:  
2% OF THE TOTAL NUMBER OF SPACES  
REQUIRED OR PORTION THERE OF, (MIN OF 1)  
(2 BARRIER FREE SPACES ARE REQUIRED FOR  
THE 100 SPACES PROVIDED.)

BARRIER FREE DWELLING UNITS:  
2% OF TOTAL UNITS ARE REQUIRED TO BE  
TYPE A\* (MIN OF 1) PER MBC 1107.6.2.1.1. THESE 2 UNITS ARE LOCATED  
ON THE FOURTH FLOOR AND ACCESSED BY THE BUILDING ELEVATOR.

THE 18 OTHER FOURTH FLOOR SINGLE STORY UNITS ARE ALL  
TYPE B\* PER MBC 1107.6.2.1.2 AND ACCESSED BY THE BUILDING  
ELEVATOR.

THE 20 FIFTH FLOOR LOFT TERRACE UNITS WITH MEZZANINE  
ACCESSED BY THE BUILDING ELEVATOR WILL MEET TYPE B\*  
REQUIREMENTS ON THE PRIMARY ENTRY FLOOR PER MBC 1107.7.2.

THE 20 TOWNHOME (MULTISTORY UNITS) ACCESSED ON  
THE FIRST LEVEL, ARE NOT REQUIRED TO BE BARRIER FREE  
PER MBC 1105.1.6 EXCEPTION 2 AND 1107.7.2.

APARTMENTS TYPES	UNIT TYPE	QUANTITY
STUDIO	(0)	20
LOFT TERRACE	(1LT)	20
TWO BEDROOM TOWNHOME	(2TH)	20
		60 UNITS



**A1 ARCHITECTURAL SITE PLAN**  
1" = 20'-0"

11/8/2013 9:51:31 AM  
C:\Users\jwieber\Documents\711303700-ATC-A13\_jwieber.rvt

DATE: December 5, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 246) – Assisted Living Facilities

During the site plan review process for the Oakland Troy Senior Project assisted living facility, many residents expressed concern regarding the potential of an assisted living facility being developed in inappropriate areas, specifically within single-family residential neighborhoods. City Council members expressed the same concern during numerous public meetings. Based on these comments, the development of draft text amendment language is considered a priority by City Council.

The attached memo prepared by Carlisle/Wortman Associates, Inc. summarizes the issue and suggests recommended language for Planning Commission consideration. A map was provided which identifies potential assisted living facility sites, should the suggested language be approved.

Please be prepared to discuss this matter at the December 10, 2013 Planning Commission Regular meeting.

Attachments:

1. Report prepared by CWA

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## **MEMORANDUM**

**TO:** R. Brent Savidant, AICP, Planning Director

**FROM:** Ben Carlisle, AICP

**DATE:** December 2, 2013

**RE:** Assisted Living Zoning Regulations

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Due to questions regarding compatibility between Assisted Living Facilities and adjacent single-family properties, the City Council has requested that the Planning Commission review potential Zoning Ordinance amendments. The City Council has requested the Planning Commission to consider these amendments expeditiously so that regulations may be in place prior to the submission of another Assisted Living Facility application. This memo presents recommendations of additional regulations based on review of current regulations, review of best practices, and direction from the City Council and Planning Commission.

### **CURRENT REGULATIONS:**

The current regulations for Assisted Living are controlled by the Use Table as set forth in Section 4.21; Specific Use Standards set forth in Section 6.25; and height, lot coverage and setback requirements of the Multiple Family Districts as set forth in Section 4.08.

#### **Regulations Summary:**

- Permitted use in R1 A-E, Single-Family Residential; RT, One-Family Attached Residential; MF, Multi-Family Residential; UR, Urban Residential; CF, Community Facility; CB, Commercial Business; GB, General Business; IB, Integrated Business, and OM, Office Mixed Use.
- Density requirements:
  - 2,000 sq/ft lot area per unit for one bedroom
  - 2,500 sq/ft lot area per unit for two bedrooms
- Maximum height: 2 stories and 25-feet
- Setbacks:
  - Front, Side, and Rear: 30 feet
- Lot Coverage: 35%
- Parking Locations
  - Not permitted in front yard
  - Setback at least 20 feet from side and rear property lines

## RECOMMENDATIONS FOR CONSIDERATION

A tenant of the Zoning Ordinance is the protection of single-family residential properties. In order to better protect single-family residential properties, we recommend the Planning Commission consider the following amendments to regulate Assisted Living Facilities:

1. Amend Definition of Assisted Living to Include Memory Care. Adding memory care to the Assisted Living definition would clarify the components that are permitted under Assisted Living use category.
2. Require Assisted Living as a Special Use in all R1 Districts. A Special Use permit requires notification and a public hearing. Furthermore, a Special Use permit allows the Planning Commission to review the project under the Special Use standards, which ensure mitigation of impacts upon adjacent properties.
3. Require that all Assisted Living facilities be located adjacent to major arterial and that all site access is located off a major arterial. Such requirement would 1) ensure that these facilities are located on major mile roads, which can accommodate increased site activity including traffic; 2) ensure that those facilities are not located in the interior of a single-family subdivision; and 3) reduce neighborhood cut-through traffic.
4. Require a minimum of three (3) acres per site. Requiring a minimum of three (3) acres per site will ensure that sites are large enough to provide adequate transitions, buffers, and setbacks. In discussion with Assisted Living developers and operators, they note that sites less than three (3) acres are typically not market feasible for such use due to their limited size.
5. Require a 50-foot greenbelt buffer adjacent to any land zoned or used for residential purposes. This buffer is similar to what is required for Places of Worship. Such buffer will provide an appropriate transition to adjacent single-family properties.

The attached map indicates the potential properties upon which an Assisted Living Facility could be developed.

### RECOMMENDED TROY ZONING AMENDMENT:

New language is underlined. Removed language is ~~struck through~~.

#### Section 2.02: Definition:

ASSISTED LIVING: A dependent elderly housing facility without cooking facilities and only central dining service. Limited medical care, including memory care, may be provided. ~~is available.~~

**Section 4.21: Use Table:**

The table is as follows:

	R1A-R1E	RT	MF	UR	MHP	CF	EP	CB	GB	IB	O	OM	RC	PV	P
Senior assisted/independent living	P, S	P, S	P	P	NP	P, S	NP	P	P	P	NP	P	NP	NP	NP
<b>For Comparison Purposes Only</b>															
Multiple-family dwellings (2-8 stories)	NP	NP	P	P	NP	NP	NP	NP	NP	P	NP	NP	NP	NP	NP
Convalescent centers	NP	NP	S	S	NP	P	NP	P	P	P	P	P	NP	NP	NP
Adult foster care, family home	P	P	P	P	P	P	NP								
Adult foster care, Small group home	S	S	S	S	S	S	NP								
Adult foster care, large group home	S	S	S	S	S	S	NP								
Adult foster care, congregate facility	S	S	S	S	S	S	NP								

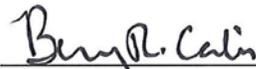
**Section 6.25: Specific Use Standards:**

- A. The maximum allowable density varies by housing type, but shall not exceed the following:
  - 1. Dwellings may be provided for as single-family detached, two-family or multiple-family units. When such dwellings contain kitchens, the minimum site area requirements for purposes of calculating density shall be as follows:
    - i. Dwelling Unit Size Site Area/Unit (Square Feet)
    - ii. Efficiency/one (1) bedroom 2,000
    - iii. Two (2) bedroom 2,500
    - iv. Each additional bedroom 500 additional
  - 2. Where facilities do not contain kitchen facilities within individual dwelling units, the site area per bed shall be one thousand five hundred (1,500) square feet.
- B. Height, lot coverage and setback requirements of the MF Districts as set forth in Section 4.08, Multiple Family Residential Requirements shall apply.
- C. Parking is not allowed in any required front yard. Parking is permitted in side and rear yards provided a minimum twenty (20) foot setback is observed.

- D. The maximum linear length of an uninterrupted building façade facing public streets, residentially zoned or used property, and/or parks shall be thirty (30) feet. Façade articulation or architectural design variations for building walls facing the street are required to ensure that the building is not monotonous in appearance. Building wall offsets (projections and recesses); cornices, varying building materials or pilasters shall be used to break up the mass of a single building.
- E. The drop-off / pick-up of residents shall be provided at the front entrance of the building with a covered canopy.
- F. The minimum lot area shall be three (3) acres.
- G. Frontage on major arterial street shall be required. All site access must be provided on a major arterial street.
- H. A 50-foot greenbelt buffer shall be provided adjacent to any land zoned or used for residential purposes. Such greenbelt shall be maintained as landscaped open space and shall not include any buildings, parking, or drive-aisles.

**Section 4.08: Multiple Family:**

No recommended amendments.

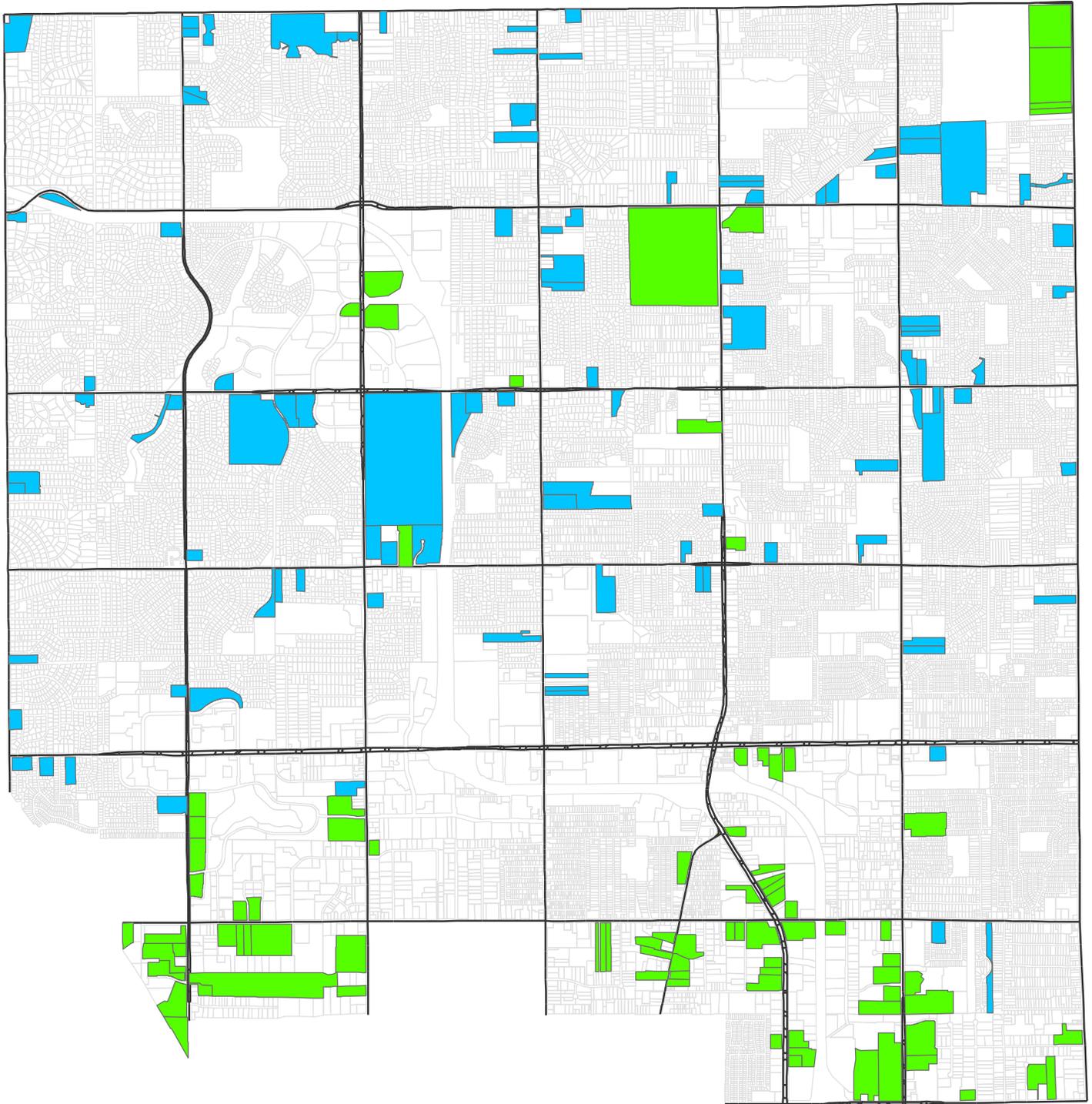


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CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP

**Attachment:**

1. Map

# POTENTIAL ASSISTED LIVING FACILITY SITES



## Legend

-  Special Use
-  Permitted Use
-  Major Arterial



Based on proposed minimum development standards including location on major arterial and 3-acre minimum site