



**PLANNING COMMISSION  
MEETING AGENDA  
SPECIAL/STUDY MEETING**

500 W. Big Beaver  
Troy, MI 48084  
(248) 524-3364  
www.troymi.gov  
planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice-Chair, Michael W. Hutson  
Tom Krent, Philip Sanzica, Gordon Schepke  
Robert Schultz and Thomas Strat

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**June 26, 2012**

**7:00 P.M.**

**Council Board Room**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – June 12, 2012 Regular Meeting
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT
7. PLANNING AND ZONING REPORT

**SITE CONDOMINIUM DEVELOPMENT**

8. PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 100' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

**REZONING REQUEST**

9. REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

**CONDITIONAL REZONING**

10. CONDITIONAL REZONING APPLICATION (File Number CR 006) – Proposed Troy Plaza Development, West side of Crooks, North side of New King (5500 New King), Section 8, From PUD (Planned Unit Development) to OM (Office Mixed Use) and CB (Community Business) Districts

**OTHER BUSINESS**

11. PLANNING COMMISSION BYLAWS
12. PUBLIC COMMENT – Items on Current Agenda
13. PLANNING COMMISSION COMMENT

ADJOURN

**NOTICE:** *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Tagle called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on June 12, 2012 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds  
 Tom Krent  
 Philip Sanzica  
 Gordon Schepke  
 Robert Schultz  
 Thomas Strat  
 John J. Tagle

Absent:

Michael W. Hutson

Also Present:

R. Brent Savidant, Planning Director  
 Susan Lancaster, Assistant City Attorney  
 Ben Carlisle, Carlisle/Wortman Associates, Inc.  
 Eric Huang, Student Representative  
 Kathy L. Czarnecki, Recording Secretary

Mr. Savidant introduced and welcomed Student Representative Eric Huang.

2. APPROVAL OF AGENDA

**Resolution # PC-2012-06-032**

Moved by: Schultz  
 Seconded by: Krent

RESOLVED, To add “Election of Vice Chair” as agenda item 9.A.

Yes: All present (7)  
 Absent: Hutson

**MOTION CARRIED**

3. APPROVAL OF MINUTES

**Resolution # PC-2012-06-033**

Moved by: Edmunds  
Seconded by: Sanzica

**RESOLVED**, To approve the minutes of the May 22, 2012 Special/Study meeting as submitted.

Yes: All present (7)

**MOTION CARRIED**

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

**SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW**

5. PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 395) – Proposed Kroger Retail Fuel Center, West side of Rochester, South of Long Lake (4889 Rochester Road), Section 15, Currently Zoned NN “L” (Neighborhood Node “L”) District

Mr. Carlisle reviewed the proposed request and site plan application. Mr. Carlisle recommended approval of the special use request and preliminary site plan application contingent on the four conditions as noted in his report, dated June 7, 2012.

The petitioner, Matthew Pisko of Landplan Engineering, was present.

There was general discussion on the uniqueness of the kiosk, lighting amenities, site access and future Rochester Road right of way.

A color rendering of the proposed development was displayed.

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED

**Resolution # PC-2012-06-034**

Moved by: Edmunds  
Seconded by: Sanzica

**RESOLVED**, That Special Use Approval and Preliminary Site Plan Approval for the proposed Kroger Retail Fuel Center, located on the west side of Rochester, South of

Long Lake (4889 Rochester Road), Section 15, Currently Zoned NN “L” (Neighborhood Node “L”) District, be granted, subject to the following:

1. The applicant shall reduce the maximum lighting under the canopy to no greater than 20 foot candles.
2. Lights shall be turned-off or reduced between the hours of 11:00 p.m. and sunrise.
3. Applicant shall submit building lighting details including fixtures and photometrics.
4. Satisfy landscape requirements as follows:
  - a. Add one deciduous street tree on Rochester Road
  - b. Provide an agreement with the adjacent west property owner regarding ongoing detention area maintenance.

Yes: All present (7)  
 Absent: Hutson

**MOTION CARRIED**

**REZONING REQUEST**

6. PUBLIC HEARING – REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

Mr. Carlisle reviewed the proposed rezoning request. Mr. Carlisle recommends that the Planning Department proceed with the rezoning request, contingent on the three conditions as noted in his report, dated June 5, 2012.

The petitioner, Jason Horton of Lormax Stern Development Company, was present.

There was discussion on potential future development on this site.

**PUBLIC HEARING OPENED**

No one was present to speak.

**PUBLIC HEARING CLOSED**

The members and the petitioner agreed to table the item for further study. Chair Tagle announced a second Public Hearing would be scheduled and Meeting Notice published, should the request go forward.

**Resolution # PC-2012-06-035**

Moved by: Sanzica  
Seconded by: Schultz

**RESOLVED**, To table the proposed rezoning request for further study.

Yes: All present (7)  
Absent: Hutson

**MOTION CARRIED**

**ZONING ORDINANCE TEXT AMENDMENT**

- 7. **PUBLIC HEARING – ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 243)** – Proposed Amendment to Article 5, Financial Institutions within the Big Beaver District by Special Use Approval

Mr. Carlisle addressed the few revisions to the proposed language since it was last reviewed and discussed by the members.

There was general discussion relating to traffic flow onto residential streets, curb cuts on Big Beaver and internal circulation of drive-throughs.

Mr. Strat stated the proposed language does not provide enough flexibility.

Mr. Carlisle replied that the proposed language permitted a use that was presently not permitted within the Big Beaver Zoning District.

**PUBLIC HEARING OPENED**

No one was present to speak.

**PUBLIC HEARING CLOSED**

**Resolution # PC-2012-06-036**

Moved by: Schultz  
Seconded by: Edmunds

**RESOLVED**, That the Planning Commission hereby recommends to the City Council that Article 5 of Chapter 39 of the Code of the City of Troy which permits Financial Institutions within the Big Beaver District by Special Use Approval, be amended as printed on the proposed Zoning Ordinance Text Amendment.

Yes: Edmunds, Krent, Sanzica, Schepke, Schultz, Tagle  
No: Strat  
Absent: Hutson

**MOTION CARRIED**

**OTHER BUSINESS**

- 8. **REVISIONS TO PLANNED UNIT DEVELOPMENT (File Number PUD 004)** – Big Beaver Center (formerly “The Monarch”) PUD – North side of Big Beaver Road, East of Alpine, West of McClure, Section 20, Currently Zoned PUD 004 and R-1B One Family Residential

Mr. Carlisle addressed the summary and recommendations in the initial review of the proposed development, as indicated in his report dated June 7, 2012.

The petitioner, Arkan Jonna, addressed the recommendations of the Planning Consultant, as well as the economic factors relating to the proposed development as envisioned by the members.

Mr. Krent gave a brief PowerPoint presentation and offered suggestions from the perspective of a neighboring resident. The presentation related to traffic, orientation of the bank and drive-through facility, residential setbacks, traffic signals and pedestrian traffic.

Issues discussed by other Planning Commission members included lack of a second story/mixed use for the retail component and architectural design.

- 9. **PUBLIC COMMENTS** – Items on Current Agenda

There was no one present who wished to speak.

- 9.A. **ELECTION OF VICE CHAIR**

Mr. Krent nominated Don Edmunds and Phil Sanzica as Vice Chair.

Mr. Sanzica declined the position.

**Resolution # PC-2012-06-036**

Moved by: Sanzica

Seconded by: Krent

***RESOLVED***, That Don Edmunds serves as Vice Chair.

Yes: All present (7)

Absent: Hutson

**MOTION CARRIED**

10. PLANNING COMMISSION COMMENTS

There was general Planning Commission discussion.

The Regular meeting of the Planning Commission adjourned at 9:09 p.m.

Respectfully submitted,

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John Tagle, Chair

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Kathy L. Czarnecki, Recording Secretary

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DATE: June 21, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 100' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

The petitioner Mondrian Properties submitted the above referenced Preliminary Site Plan Approval application for an 8-unit site condominium. The property is currently zoned R-1A (One Family Residential) District. The Planning Commission is responsible for granting Preliminary Site Plan Approval for site condominium applications.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Letter from neighbor

cc: Applicant  
File/Beachview Estates Site Condominium

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PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 100' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

**Proposed Resolution # PC-2012-06-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, South of Long Lake, Section 18, within the R-1A (One Family Residential) District, be granted, subject to the following:

1. Obtain all appropriate wetland permits MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body prior to final site plan approval.
2. Selectively clear only those trees necessary and attempt to preserve as many significant trees as possible.
3. Show the proposed twenty (20) Norway Spruce allocated along the southern property line on the Landscape Plan.

\_\_\_\_\_ ) or

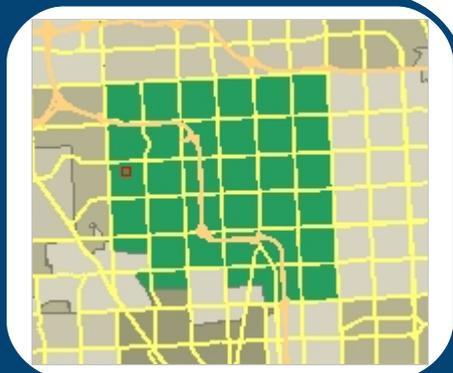
(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

No:

**MOTION PASSED / FAILED**



### Legend

-  I-75
-  Road Centerline
  -  Major Road
  -  Industrial Road
  -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
  -  Red: Band\_1
  -  Green: Band\_2
  -  Blue: Band\_3

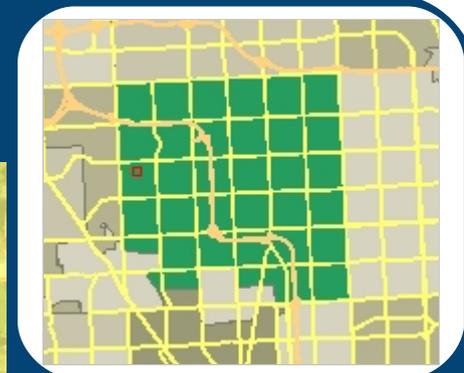
281 0 140 281 Feet

Scale 1: 1,685



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 4/27/2012



### Legend

- I-75
- Road Centerline
  - Major Road
  - Industrial Road
  - Local Road
- Current Zoning Ordinance
  - (PUD) Planned Unit Development
  - (CF) Community Facilities District
  - (EP) Environmental Protection District
  - (BB) Big Beaver Road (Form Based)
  - (MRF) Maple Road (Form Based)
  - (NN) Neighborhood Nodes (A-U)
  - (CB) Community Business
  - (GB) General Business
  - (IB) Integrated Industrial Business District
  - (O) Office Building District
  - (OM) Office Mixed Use
  - (P) Vehicular Parking District
  - (R-1A) One Family Residential District
  - (R-1B) One Family Residential District
  - (R-1C) One Family Residential District
  - (R-1D) One Family Residential District
  - (R-1E) One Family Residential District
  - (RT) One Family Attached Residential District
  - (MR) Multi-Family Residential
  - (MHP) Manufactured Housing
  - (UR) Urban Residential
  - (RC) Research Center District
  - (PV) Planned Vehicle Sales
- Ponds and Basins
- Streams and Creeks
- Parcels
- Aerial Photos - 2010
  - Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

281 0 140 281 Feet

Scale 1: 1,685



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 4/27/2012



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: June 21, 2012

## Site Condominium Review For City of Troy, Michigan

**Applicant:** Joe Maniaci, Mandarin Properties

**Project Name:** Beachview Estates

**Plan Date:** June 7, 2012

**Location:** West side of Beach Road, south of W. Long Lake Road

**Zoning:** R1-A, One-family Residential District

**Action Requested:** Site Condominium Preliminary Approval

**Required Information:** Deficiencies noted

### PROJECT AND SITE DESCRIPTION

We are in receipt of a site condominium application which includes a site plan, landscape plan, topographic survey, tree preservation plan, wetlands letter, and application forms. The 5.3 acre site is currently unimproved and encumbered with regulated a wetland and tree cover. The applicant intends to gain approval for an 8-lot single family detached site condominium project. The proposed residential use is permitted by right in the R-1A District.

Location of Subject Property:

West side of Beach Road, south of W. Long Lake Road.



Size of Subject Property:

The parcel is 5.3 net acres in area.

Proposed Uses of Subject Parcel:

Eight (8) detached, single family homes.

Current Use of Subject Property:

The subject property is currently vacant.

Current Zoning:

The property is currently zoned R-1A, One-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	R-1A, One-family Residential District.	Single-family homes
South	R-1A, One-family Residential District.	Single-family homes
East	R-1B, One-family Residential District	Single-family homes
West	R-1A, One-family Residential District.	Single-family homes

**SITE ARRANGEMENT**

The proposed site condominium consists of 8-units with lot sizes ranging between 19,605 square feet and 29,584 square feet. The average lot size is 21,819 square feet. The layout proposed by the applicant is a conventional cul-de-sac layout and allows for a simple distribution of the eight (8) units over the property. Access to all units will be via a new public street off of Beach Road. The southwest corner of the site will be used for stormwater management.

The proposed lots are regular in shape, allow for adequate setbacks, and permit sufficient space for the homes and ingress and egress for each unit. The applicant is applying the lot size averaging option, permitted and regulated by Section 10.01. All proposed average lot width and average lot areas are within the permitted range described by Section 10.01.

**Items to be Addressed:** *None.*

**AREA, WIDTH, HEIGHT, SETBACKS**

Required and Provided Dimensions:

Table 4.06.C establishes the requirements for the R-1A District. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	40 foot setback	40 foot setback	Complies
Rear	45 foot setback	45 foot setback	Complies
Side	15 foot minimum for least side setback, 30 foot minimum combined setback	15 foot minimum for least side setback, 30 foot minimum combined setback	Complies
Lot Size per Unit	21,780 square feet (for projects with sewer)	19,605 square feet smallest*, 21,818 square feet average	Complies
Maximum Height	30 feet, 2.5 story	29 feet, 6 inches	Complies
Lot Width	120 feet by right, 108 feet with lot averaging	108 feet smallest*, 124 feet average	Complies
Maximum Lot Area Covered by Buildings	30 percent	12%	Complies
Minimum Floor Area per Unit	1,400 square feet	+ 3,000 square feet	Complies

\*The lot size average option has been applied and Section 10.02 standards have been met.

**Items to be addressed:** *None.*

## SITE ACCESS AND CIRCULATION

### Vehicular access:

Access to all eight (8) lots will be from a newly constructed public road off of Beach Road aptly named "Beachview Court". The proposed Beachview Court meets all public road requirements; however the City Traffic Engineering Department notes that:

1. The applicant shall show and maintain the 25' x 25' corner clearance on both sides of the new intersection of Beachview Court and Beach Road.
2. An access drive to the detention basin will need to be provided.

These items will be addressed in final engineering.

### Pedestrian access:

The applicant is providing a new 5-foot wide sidewalk along Beach Road. In addition, the applicant is providing a 5-foot wide sidewalk along the entire length of the newly created Beachview Court. Pedestrian access is sufficient.

**Items to be Addressed:** None

## NATURAL RESOURCES

The subject property is currently unimproved and is encumbered with one regulated wetland and tree stands.

### Wetlands:

Wetland "A" is located in the southwest corner of the lot, adjacent to the area proposed for stormwater management. Based a submitted letter from Professional Engineering Associates, Wetland "A" is a regulated wetland due to its location within 500' of a stream. As a result, the applicant is required to take the appropriate measures to protect this wetland. Prior to final site plan approval the applicant is required to receive the appropriate permits from MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body.

### Trees:

The applicant has provided a tree preservation plan which notes that outside of a few select trees in the southeast corner of the site, select trees within the parkway, and trees preserved subject to selective clearance by the builder, all site trees will be removed. One of the trees indicated on the tree preservation plan for preservation is a 41" red oak, will be impacted by the proposed boulder retaining wall shown on the landscape plan. Though the applicant shows the wall jogging around the trunk of the red oak, depending on the footing and how the proposed wall will be constructed, this tree might not be able to be preserved. We encourage the applicant to selectively clear only those trees necessary and attempt to preserve as many significant trees as possible.

**Items to be Addressed:** 1.) Obtain all appropriate wetland permits from MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body

prior to final site plan approval; and 2). The applicant is encouraged to selectively clear only those trees necessary and attempt to preserve as many significant trees as possible.

**LANDSCAPING**

The Landscape Plan includes thirty-three (33) Norway Spruces to be planted as screening along Beach Road and a combination of six (6) Sugar Maples, eight (8) Cleveland Pear, and five (5) Red Oak along the newly created Beachview Court. All proposed species fall within Troy regulations and are not prohibited.

Though not required by ordinance, the applicant has shown the installation of twenty (20) Norway Spruces along the southern property line as part of an agreement with the adjacent property owner. Please see the Agreement with Neighboring Property section below for more details. The twenty (20) Norway Spruces are only shown on the Site Plan (Sheet P1) and should also be shown on the Landscape Plan.

Site condominium and subdivision landscaping are regulated by Section 13.02.F.2.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Frontage Screening	Beach Road: One evergreen tree for every 10 lineal feet = 33 trees	33 Spruce	Complies
Greenbelt Street Trees	Beachview Court: 1 tree for every 50 linear feet = 19 trees	19 street trees (6 Sugar Maples, 8 Cleveland Pear, and 5 Red Oak)	Complies

The applicant has provided the required evergreen screen along Beach Road and the required greenbelt planting along Beachview Court. The applicant complies with all landscaping requirements.

**Items to be Addressed:** Show the proposed twenty (20) Norway Spruce allocated along the southern property line on the Landscape Plan.

**STORMWATER DETENSION**

The applicant’s stormwater detention will connect to a storm sewer approximately 240 feet south of the site through the adjacent southern property. The applicant has received an easement from the adjacent south side property owner. The Engineering Department has reviewed the proposed detention facility and offers the following comments:

1. Size the detention area for a 25-year storm.
2. An easement for detention outlet must be granted to the City of Troy; and
3. Ensure that the proposed detention outlet is spaced a great enough distance to be able to be bored underneath the existing natural water course and have enough cover.

These issues will be addressed in final engineering.

**Items to be Addressed:** None

## AGREEMENT WITH NEIGHBORING PROPERTY

In partnership with the granting of the storm sewer easement, the applicant has worked with the adjoining southern property owner to place specific development provisions on the proposed application. These provisions include increased landscaping along the southern property line, increased rear yard setback for Lot 7, and an agreement on the structure location for Lots 6 and 8 within the allowable building envelope. Those provisions are either included in the "Notes" section on the Preliminary Site Plan (P-1) or physically shown on the Site Plan. Though the City is not party to these conditions, we have reviewed the proposed provisions and no provisions cause the application to be in conflict with the ordinance or require any variances. Provided that final engineering needs to be completed, the applicant is required to comply with all measures shown on the submitted plans.

**Items to be Addressed:** None

## SUBMITTAL REQUIREMENTS

Section 10.02.C requires that all site condominium projects shall comply with the standards and procedures set forth in Article 8, Site Plan Review and several unique standards. The only standard for the preliminary plan is that the street pattern and fully dimensioned residential parcel layout, including proposed building configurations, as well as preliminary sanitary sewer, storm sewer, and water main layout must also be submitted. This submittal includes all the required information, with the exception of the proposed building configurations. No building information is provided with this submittal.

Section 10.02.E. regulates physical improvements associated with condominium projects. It requires the following:

- 1. Principal access and circulation through a site condominium shall be provided by public streets constructed to City standards, within sixty (60) foot wide rights-of-way. Secondary access and circulation through such developments, on which some of the residential parcels may have their sole frontage, may be provided by twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access. **Satisfied.***
- 2. Principal access to site condominium of five (5) acres or less in area may be provided by way of twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access, when in the opinion of the City Council the property configuration is such that the provision of conforming dwelling unit parcels is impractical. **Not applicable.***
- 3. All entrances to major or secondary thoroughfares shall include deceleration, acceleration and passing lanes as required by Engineering Standards of the City of Troy. **Not applicable.***
- 4. Sidewalks shall be constructed, in accordance with City Standards, across the frontage of all dwelling unit parcels. Utilities shall be placed within street rights-of-way, or within easements approved as to size and location by the City Engineer. **Satisfied.***
- 5. All shall be served by public water, sanitary sewer, storm sewer and detention/retention systems constructed to City standards, at the expense of the developer. Easements over these systems shall be conveyed and recorded before occupancy permits are issued for dwelling units. **The applicant has***

**proposed full utilities, but all proposed configurations and easements are subject to approval by the City engineering department.**

As noted above, all condominium projects are subject to Section 8.05.A.7, which establishes the requirements for a preliminary site plan submittal, which is required under the site condominium regulations. Three additional requirements are specifically identified for residential projects. The three additional requirements, identified in 8.05.A.7.o, include:

*i. Calculation of the dwelling unit density allowable and a statement of the number of dwelling units, by type, to be provided. Satisfied.*

*ii. Topography on site and fifty (50) feet beyond, drawn at two (2) foot contour intervals, with existing drainage courses, flood plains, wetlands, and tree stands indicated. Satisfied.*

*iii. The typical floor plans and elevations of the proposed buildings, with building height(s). Satisfied.*

**Items to be Addressed:** none

## RECOMMENDATIONS

We support the proposed project and believe the project meets ordinance requirements. We recommend that the Planning Commission approve the preliminary site condominium application, as conditioned on the applicant satisfying the following requirements as part of the final site plan submittal:

1. Obtain all appropriate wetland permits MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body prior to final site plan approval.
2. Selectively clear only those trees necessary and attempt to preserve as many significant trees as possible.
3. Show the proposed twenty (20) Norway Spruce allocated along the southern property line on the Landscape Plan.



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**CARLISLE/WORTMAN ASSOC., INC.**  
**Benjamin R. Carlisle, LEED AP, AICP**

**Good Evening,**

**June 20, 2012**

**My name is Ali Bazoun, I reside at 4855 Beach Rd. I have been a resident of Troy for 35 years. I have raised 4 great kids that I am very proud of. I couldn't have done it without the great schools and services that my hometown city of Troy has provided. I always paid my huge property tax bill in the first 2 weeks after receiving it, without any regrets or negative emotions.**

**I have bought my property in 1995 even though the price was about 1.7 X the going rate, knowing I live in one of the best Cities in the nation, in the greatest country on earth. I have poured all my hardwork net worth for the last 30 years into the place I live in, it is the only investment I have.**

**I am all for increasing our tax base. I have no objections that a high end subdivision is being developed next to my property, I encourage fast approval of this plan. In the meanwhile, I would like to protect my life time and only investment I have.**

**The site plan you have in front of you tonight is not representative of the current neighborhood. My house foot print is not on this site plan, what's being shown is a print of a house that was demolished in 2004.**

**I am asking you to conditionally approve the development of the site, subject to the developer erecting a green belt on the North side of the development, just like they are doing on the South side and the entrance of the property.**

**As a very lawful and good citizen of this city, I depend on you, as part of the city government, to help protect my investment.**

**I do appreciate and thank you for your help in this matter.**



PROFESSIONAL ENGINEERING ASSOCIATES, INC.  
Civil Engineers | Land Surveyors | Landscape Architects

Howell Office • 2900 E. Grand River Ave. • Howell, MI 48843  
(P) 517.546.8583 • (F) 517.546.8973 • [www.peainc.com](http://www.peainc.com)

April 4, 2012

**PEA Project No. 2011-150**

Mondrian Properties  
50215 Schoenher  
Shelby Township, MI 48315

**RE: WETLAND DELINEATION  
BEACHVIEW ESTATES  
CITY OF TROY, OAKLAND COUNTY, MI**

On March 28, 2012, Professional Engineering Associates evaluated the subject property for the field indicators of the presence of wetlands as defined by the State of Michigan. Pink wetland survey ribbons were used to delineate a wetland boundary on the 5.5 acre site when all three wetland indicators were present (wetland hydrology, hydric soils, and hydrophytic vegetation) as defined by USACE wetland delineation manual (1987) and the Interim Regional Supplement, Midwest Manual (2008).

The site is located on the west side of Beach Road between Long Lake and Wattles Roads in the City of Troy. The property is undeveloped but previously disturbed. There are areas of rubble and evidence of past clearing and grading. The site is currently vegetated including fields at the east end of the site, scrub brush and wooded areas at the west end of the site.

At the time of the delineation, one wetland was identified on the property. This wetland consisted of a stream that transects the southwest corner of the site. The following report summarizes the characteristics of the wetlands on the property as it appeared at the time of the delineation.

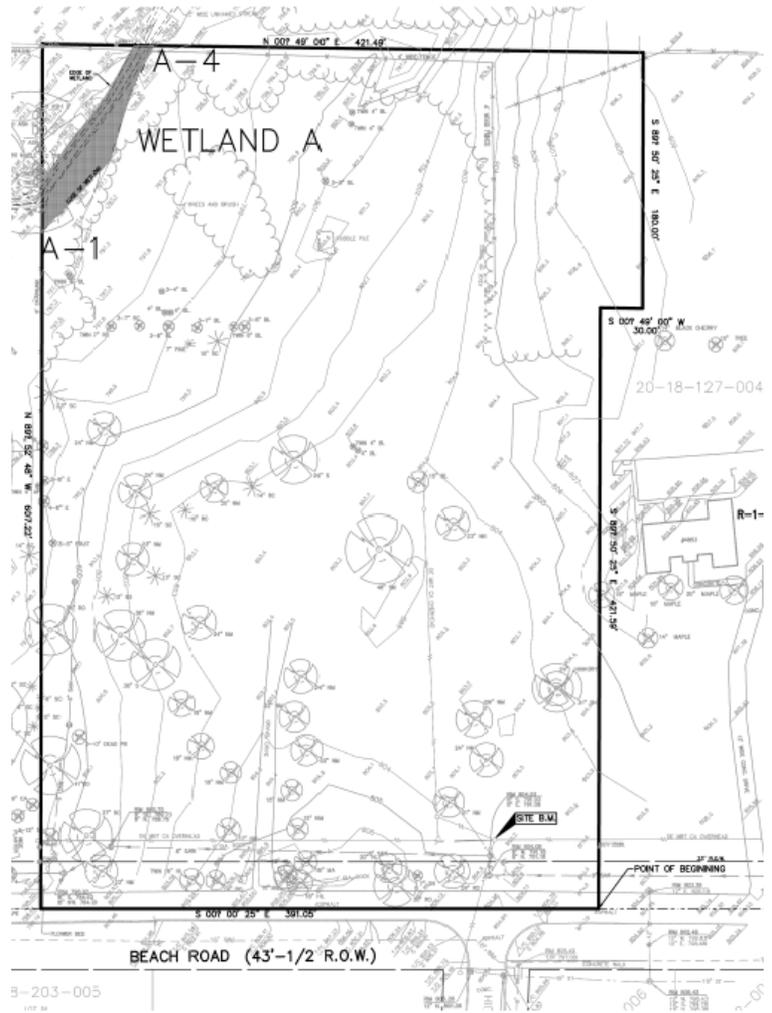
**WETLAND AREA 'A' - FLAG # A-1 TO A-4**

This wetland is located at the southwest corner of the site and is approximately 2800 sf on the site, but extends off the site. It consists of an unnamed stream that has evidence of bed, bank, and flow and the fringe area on either side of the stream. On the west side of the stream the wetland extends only to the top of bank. On the east side the wetland extends up to 20' past the top of bank of the stream. The stream itself varies in depth from 6" to 24" and exhibited almost no flow on the day of the site inspection. The wetland consisted of all three wetland indicators. The hydrology indicators include water stained leaves, sediment deposits, saturation, water marks, and surface water. A soils evaluation revealed hydric soil was present (thick dark surface, A12). Hydrophytic vegetation was dominant including box elder (*Acer negundo*), red twig dogwood (*Cornus stolonifera*), Bluegrass (*Poa pratensis*). The wetland boundary was defined by the change in hydrology.





*Photo of wetland & stream near sample point location at southwest corner of wetland*



**MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY WETLAND REGULATIONS**

Wetlands within 500' of an inland lake, pond, river, or stream, as defined by Part 303 of the Wetlands Protection Act are considered a regulated wetland.

Wetlands that are not within 500' of an inland lake, pond, river, or stream but are more than 5 acres in size, are considered regulated wetlands.

The MDEQ reserves the right to regulate wetlands less than 5 acres in size and more than 500 feet from an inland lake, pond, river, or stream if the MDEQ has determined that these wetlands are essential to the preservation of the State's natural resources.

The MDEQ requires that any wetland alterations that total over 1/3 of an acre in size must be mitigated. The MDEQ can also require mitigation of smaller areas of disturbance, if they believe the wetland to be of high environmental significance for habitat or water quality. The preference of the MDEQ is that wetland mitigation takes place on the project property.

**OPINION OF REGULATORY STATUS**

Many factors influence the extent of a wetland boundary, including weather patterns, drainage, changes in vegetation, and activities on the site or on adjacent properties at the time of the investigation. The wetland observations completed by PEA for the subject parcel are based on the conditions of the site at the time of our investigation and current policy regarding the procedures used to delineate wetlands.

Please be advised that the MDEQ, U.S. Army Corps of Engineers, and the U.S. Environmental Protection Agency regulate wetlands and ultimately reserve final judgment on the extent of wetlands on any given site. The determination of a wetland on a specific site can vary depending on the conditions offered above, as well as on the agency representative conducting the determination, and current wetland regulations.

The following regulatory status of the wetlands is the opinion of Professional Engineering Associates, Inc. based on the field conditions at the time of the wetland delineation and verification on March 28 , 2012.

**Wetland Area 'A' - Regulated** due to its location within 500' of a stream

Prepared by:

**PROFESSIONAL ENGINEERING ASSOCIATES, INC.**  
Jeffrey T. Smith, RLA, LEED A.P.  
Senior Landscape Architect

**WETLAND DETERMINATION DATA FORM – Midwest Region**

Project/Site: Beachview Estates City/County: Troy, Oakland Sampling Date: 3-28-12  
 Applicant/Owner: \_\_\_\_\_ State: MI Sampling Point: A  
 Investigator(s): JTS Section, Township, Range: \_\_\_\_\_  
 Landform (hillslope, terrace, etc.): \_\_\_\_\_ Local relief (concave, convex, none): \_\_\_\_\_  
 Slope (%): Flat - 1% Long: \_\_\_\_\_ Datum: \_\_\_\_\_  
 Soil Map Unit Name: \_\_\_\_\_ NWI classification: \_\_\_\_\_  
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes  No \_\_\_\_\_ (If no, explain in Remarks.)  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ significantly disturbed? Are "Normal Circumstances" present? Yes  No \_\_\_\_\_  
 Are Vegetation \_\_\_\_\_, Soil \_\_\_\_\_, or Hydrology \_\_\_\_\_ naturally problematic? (If needed, explain any answers in Remarks.)

**SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.**

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/>	No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____
Hydric Soil Present?	Yes <input checked="" type="checkbox"/>	No _____	
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/>	No _____	
Remarks:			

**VEGETATION – Use scientific names of plants.**

Tree Stratum (Plot size: <u>30'R</u> )	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:
1. <u>Prunus pennsylvanica</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)
2. <u>Acer negundo</u>	<u>50</u>	<u>Y</u>	<u>FACW</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>55</u> = Total Cover				<b>Prevalence Index worksheet:</b> Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____
Sapling/Shrub Stratum (Plot size: <u>15'R</u> )	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>R. Cornus stolonifera</u>	<u>50</u>	<u>Y</u>	<u>FACW</u>	
2. <u>Acer negundo</u>	<u>15</u>	<u>Y</u>	<u>FACW</u>	
3. _____	_____	_____	_____	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
<u>65</u> = Total Cover				
Herb Stratum (Plot size: <u>5'R</u> )	Absolute % Cover	Dominant Species?	Indicator Status	
1. <u>Poa pratensis</u>	<u>25</u>	<u>Y</u>	<u>FAC-</u>	
2. <u>Fragaria virginiana</u>	<u>3</u>	<u>N</u>	<u>FAC-</u>	
3. <u>Taraxacum officinale</u>	<u>2</u>	<u>N</u>	<u>FACU</u>	
4. _____	_____	_____	_____	
5. _____	_____	_____	_____	
6. _____	_____	_____	_____	
7. _____	_____	_____	_____	
8. _____	_____	_____	_____	
9. _____	_____	_____	_____	
10. _____	_____	_____	_____	
<u>30</u> = Total Cover				
Woody Vine Stratum (Plot size: _____)	Absolute % Cover	Dominant Species?	Indicator Status	
1. _____	_____	_____	_____	
2. _____	_____	_____	_____	
_____ = Total Cover				
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____				
Hydrophytic Vegetation Indicators: <input type="checkbox"/> Dominance Test is >50% <input type="checkbox"/> Prevalence Index is ≤3.0 <sup>1</sup> <input type="checkbox"/> Morphological Adaptations <sup>1</sup> (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation <sup>1</sup> (Explain)				
<sup>1</sup> Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.				
Remarks: (Include photo numbers here or on a separate sheet.)				

**SOIL**

Sampling Point: \_\_\_\_\_

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type <sup>1</sup>	Loc <sup>2</sup>		
8"	10YR 3/2	80	N/A				Mucky Mineral	
10"	10YR 4/4	75	10YR 4/6	25	RED	PL	Mucky Mineral	

<sup>1</sup>Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. <sup>2</sup>Location: PL=Pore Lining, M=Matrix.

**Hydric Soil Indicators:**

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- 2 cm Muck (A10)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 5 cm Mucky Peat or Peat (S3)
- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

**Indicators for Problematic Hydric Soils<sup>3</sup>:**

- Coast Prairie Redox (A16)
- Iron-Manganese Masses (F12)
- Other (Explain in Remarks)

<sup>3</sup>Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

**Restrictive Layer (if observed):**

Type: \_\_\_\_\_  
Depth (inches): \_\_\_\_\_

Hydric Soil Present? Yes  No

Remarks: water in hole @ 18"

**HYDROLOGY**

**Wetland Hydrology Indicators:**

Primary Indicators (minimum of one is required; check all that apply)		Secondary Indicators (minimum of two required)	
<input checked="" type="checkbox"/> Surface Water (A1)	<input checked="" type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Surface Soil Cracks (B6)	
<input checked="" type="checkbox"/> High Water Table (A2)	<input type="checkbox"/> Aquatic Fauna (B13)	<input type="checkbox"/> Drainage Patterns (B10)	
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> True Aquatic Plants (B14)	<input type="checkbox"/> Dry-Season Water Table (C2)	
<input checked="" type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Crayfish Burrows (C8)	
<input checked="" type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Oxidized Rhizospheres on Living Roots (C3)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Stunted or Stressed Plants (D1)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Thin Muck Surface (C7)	<input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Gauge or Well Data (D9)		
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)	<input type="checkbox"/> Other (Explain in Remarks)		

**Field Observations:**

Surface Water Present? Yes  No  Depth (inches): 24"  
 Water Table Present? Yes  No  Depth (inches): 18"  
 Saturation Present? (includes capillary fringe) Yes  No  Depth (inches): \_\_\_\_\_

Wetland Hydrology Present? Yes  No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: 10' wet. water channel, no flow, up to 2' deep



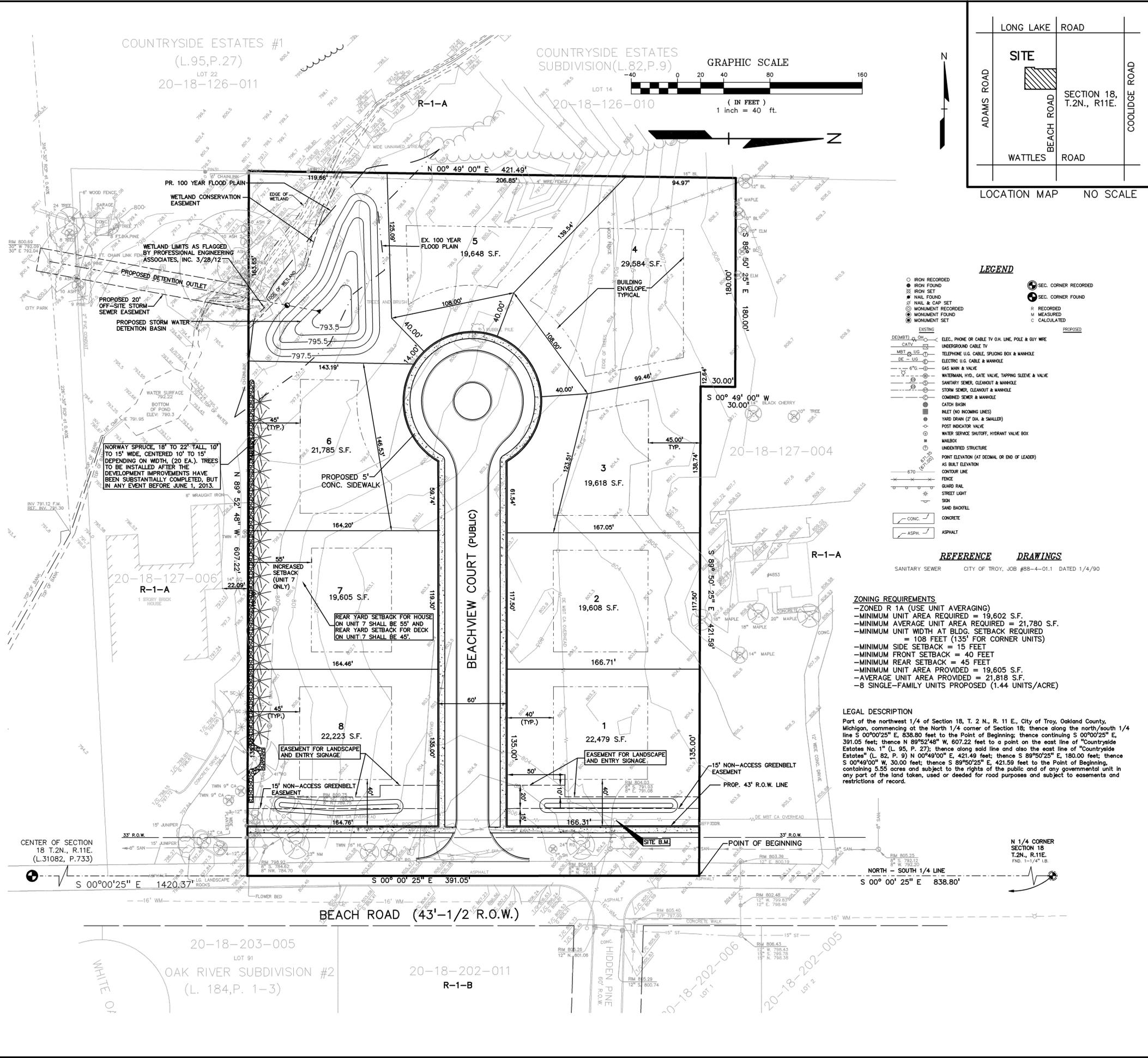


**SITE BENCHMARK**  
 SET P.K. IN SOUTHWEST  
 FACE OF UTILITY POLE  
 ELEV. = 804.65

**REFERENCE BENCHMARKS**

1. NORTH CORNER OF WEST WINGWALL OF BRIDGE AT BEACH RD. AND ROUGE RIVER CROSSINGS.  
 ELEV. = 773.25 NAVD88 DATUM
2. ARROW ON HYDRANT 600' NO. OF BRIDGE AT BEACH RD. AND ROUGE RIVER - EAST SIDE OF BEACH, OPPOSITE RED FOX TRAIL.  
 ELEV. = 780.44 NAVD88 DATUM
3. ARROW ON HYDRANT 1200' NO. OF BRIDGE AT BEACH RD. AND ROUGE RIVER.  
 ELEV. = 787.26 NAVD88 DATUM

- NOTES:**
1. THE SANITARY SEWER SYSTEM WILL OUTLET TO AN EXISTING 8" SEWER ON THE WEST SIDE OF BEACH ROAD.
  2. THE WATER SYSTEM WILL CONNECT TO THE EXISTING 16" WATER MAIN ON THE EAST SIDE OF BEACH ROAD.
  3. STORMWATER WILL BE COLLECTED IN AN UNDERGROUND SYSTEM AND DETAINED IN A DETENTION BASIN ON THE SOUTH SIDE OF THE PROPERTY WHICH WILL HAVE A RESTRICTED OUTLET TO A STORM SEWER APPROXIMATELY 240' SOUTH OF THE SITE.
  4. PAVEMENT SHALL BE 28" WD. BACK TO BACK, 7" THICK PORTLAND CEMENT CONCRETE WITH A 4" INTEGRAL MOUNTABLE CURB AND GUTTER.
  5. SOIL EROSION CONTROL WILL BE PROVIDED PER THE O.C.W.R.C. AND CITY OF TROY REQUIREMENTS.
  6. IMPROVEMENTS IN THE BEACH ROAD RIGHT-OF-WAY WILL BE DONE IN ACCORDANCE WITH THE CITY OF TROY DESIGN STANDARDS.
  7. EXISTING AND PROPOSED 100 YEAR FLOOD PLAIN LIMITS SHOWN AS COMPUTED IN A HYDRAULIC STUDY PREPARED BY SPALDING-BEDDECKER ASSOCIATES, INC., DATED APRIL 3, 2000 AND ACCEPTED BY THE CITY OF TROY ENGINEERING DEPARTMENT IN A LETTER DATED APRIL 6, 2000.
  8. THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY HAS DETERMINED THAT IT DOES NOT HAVE JURISDICTION OVER THE FLOODPLAIN IN THIS AREA IN A LETTER DATED FEBRUARY 13, 1999.
  9. TREES AND RETAINING WALL ADJACENT TO THE ABBOTT PROPERTY ARE TO BE MAINTAINED IN GOOD CONDITION, AND REPAIRED AND REPLACED, IF AND WHEN NECESSARY, IN PERPETUITY, AT THE SOLE COST AND EXPENSE OF THE DEVELOPER, AND SUBSEQUENTLY THE CONDOMINIUM ASSOCIATION, FOR THE BENEFIT OF THE ABBOTT PROPERTY.
  10. SOME PART OF THE HOUSE ON PROPOSED UNIT 7 WILL TOUCH THE FRONT SETBACK LINE. THE DEVELOPER WILL USE ITS BEST EFFORTS TO CAUSE SOME PART OF THE HOUSES TO BE CONSTRUCTED ON PROPOSED UNITS 6 AND 8 TO TOUCH THE FRONT SETBACK LINE FOR EACH OF THOSE UNITS.
  11. THE GRADES SHOWN ON THE SITE PLAN APPLICATION WILL NOT BE RAISED MORE THAN 18" IF REQUIRED DURING THE PREPARATION OF THE FINAL ENGINEERING PLANS.
  12. THE PROPOSED DETENTION BASIN AND OUTLET FROM THE PROPOSED DETENTION BASIN TO THE EASEMENT THAT WILL RUN ACROSS THE ABBOTT PROPERTY WILL INCLUDE AN APPROPRIATE OUTFLOW RESTRICTOR SYSTEM THAT WILL BE DESIGNED TO CONTROL THE RATE OF THE FLOW OF WATER THROUGH THE ABBOTT PARCEL. DEVELOPER WILL PROVIDE FOR APPROPRIATE RESTORATION OF THE SITE.
  13. THE PROPOSED STORM DRAIN AND EASEMENT ACROSS THE ABBOTT PROPERTY WILL BE LOCATED IN SUCH A MANNER AS TO ATTEMPT TO MINIMIZE THE IMPACT TO THE EXISTING TREES ON THE ABBOTT PROPERTY, WHICH MAY CAUSE THE FINAL EASEMENT LOCATION TO BE SLIGHTLY NORTH OF THE CURRENT LOCATION SHOWN ON THE SITE PLAN.
  14. IN THE EVENT THE DETENTION BASIN AND THE EASEMENT ACROSS THE ABBOTT PROPERTY ARE NOT OWNED BY THE CITY OF TROY, THE DETENTION BASIN AND THE OUTFLOW RESTRICTOR SYSTEM ARE TO BE MAINTAINED IN GOOD CONDITION, AND REPAIRED AND REPLACED, IF AND WHEN NECESSARY, IN PERPETUITY, AT THE SOLE COST AND EXPENSE OF THE DEVELOPER, AND SUBSEQUENTLY THE CONDOMINIUM ASSOCIATION, FOR THE BENEFIT OF, AND TO AVOID FLOODING ON, THE ABBOTT PROPERTY.
  15. MR. ABBOTT SHALL BE GIVEN APPROPRIATE NOTICE BEFORE ANY WORK IS PERFORMED ON HIS PROPERTY. APPROPRIATE EVIDENCE OF INSURANCE SHALL BE DELIVERED TO MR. ABBOTT FROM THE DEVELOPER AND ALL CONTRACTORS WORKING ON THE ABBOTT PROPERTY PRIOR TO ANY WORK BEING PERFORMED, AND ALL WORK TO BE DONE ON THE ABBOTT PROPERTY SHALL BE DONE IN A MANNER THAT CAUSES THE LEAST POSSIBLE DISRUPTION TO THE USE OF THE ABBOTT PROPERTY.
  16. NO WORK WHATSOEVER SHALL BE PERFORMED IN THE BEACH ROAD RIGHT-OF-WAY ALONG THE FRONTAGE OF THE ABBOTT PROPERTY WITHOUT THE MUTUAL AGREEMENT OF THE DEVELOPER AND THE OWNER OF THE ABBOTT PROPERTY.
  17. HOUSES TO BE CONSTRUCTED WITHIN BEACHVIEW ESTATES SHALL CONTAIN A MINIMUM OF 3,000 SQUARE FEET OF FLOOR AREA, EXCLUDING GARAGES.
  18. ALL SUBDIVISION DEVELOPMENT IMPROVEMENTS SHALL BE SUBSTANTIALLY INSTALLED AND COMPLETED, EXCEPTING ONLY PUNCH LIST OR MINOR ITEMS, WITHIN ONE YEAR OF THE DATE ON WHICH FINAL ENGINEERING APPROVAL IS GRANTED BY THE CITY.
  19. THE MASTER DEED FOR BEACHVIEW ESTATES WILL INCLUDE A PROVISION THAT WILL CAUSE THE CONDOMINIUM ASSOCIATION FOR BEACHVIEW ESTATES TO BE BOUND BY APPLICABLE OBLIGATIONS AND RESTRICTIONS SET FORTH IN THESE NOTES.



**LEGEND**

○ IRON RECORDED	○ SEC. CORNER RECORDED
● IRON FOUND	○ SEC. CORNER FOUND
⊗ NAIL FOUND	○ MEASURED
⊗ NAIL & CAP SET	○ CALCULATED
⊗ MONUMENT RECORDED	
⊗ MONUMENT FOUND	

**EXISTING**

- IRON FOUND
- IRON SET
- ⊗ NAIL FOUND
- ⊗ NAIL & CAP SET
- ⊗ MONUMENT RECORDED
- ⊗ MONUMENT FOUND

**PROPOSED**

- ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UNDERGROUND CABLE TV
- TELEPHONE U.G. CABLE, SPUNGING BOX & MANHOLE
- ELECTRIC U.G. CABLE & MANHOLE
- GAS MAIN & VALVE
- WATERMAIN, HYD. GATE VALVE, TAPPING SLAVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN
- INLET (NO INCOMING LINES)
- YARD DRAIN (2" DIA. & SMALLER)
- POST INDICATOR VALVE
- WATER SERVICE SHUTOFF, HYDRANT VALVE BOX
- MAILBOX
- UNIDENTIFIED STRUCTURE
- POINT ELEVATION (AT DECIMAL OR END OF LEADER)
- AS BUILT ELEVATION
- CONTOUR LINE
- FENCE
- QUAD MAIL
- STREET LIGHT
- SIGN
- SAND BARRIERS

**REFERENCE DRAWINGS**

SANITARY SEWER CITY OF TROY, JOB #88-4-01.1 DATED 1/4/90

**ZONING REQUIREMENTS**

- ZONED R-1A (USE UNIT AVERAGING)
- MINIMUM UNIT AREA REQUIRED = 19,602 S.F.
- MINIMUM AVERAGE UNIT AREA REQUIRED = 21,780 S.F.
- MINIMUM UNIT WIDTH AT BLDG. SETBACK REQUIRED = 108 FEET (135' FOR CORNER UNITS)
- MINIMUM SIDE SETBACK = 15 FEET
- MINIMUM FRONT SETBACK = 40 FEET
- MINIMUM REAR SETBACK = 45 FEET
- MINIMUM UNIT AREA PROVIDED = 19,605 S.F.
- AVERAGE UNIT AREA PROVIDED = 21,818 S.F.
- 8 SINGLE-FAMILY UNITS PROPOSED (1.44 UNITS/ACRE)

**LEGAL DESCRIPTION**

Part of the northwest 1/4 of Section 18, T. 2 N., R. 11 E., City of Troy, Oakland County, Michigan, commencing at the North 1/4 corner of Section 18; thence along the north/south line S 00°00'25" E, 838.80 feet to the Point of Beginning; thence continuing S 00°00'25" E, 391.05 feet; thence N 89°52'48" W, 607.22 feet to a point on the east line of "Countryside Estates No. 1" (L. 95, P. 27); thence along said line and also the east line of "Countryside Estates" (L. 82, P. 9) N 00°49'00" E, 421.49 feet; thence S 89°50'25" E, 180.00 feet; thence S 00°49'00" W, 30.00 feet; thence S 89°50'25" E, 421.59 feet to the Point of Beginning, containing 5.55 acres and subject to the rights of the public and of any governmental unit in any part of the land taken, used or deeded for road purposes and subject to easements and restrictions of record.

DATE	
REVISIONS	
NO.	BY
CHK	DESCRIPTION

**CAUTION!**

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHER RIGHTS ARE HEREBY SPECIFICALLY RESERVED. © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO EVERY CONTRACTOR AND WILL BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY AND HOLD DESIGN PROFESSIONAL LIABILITY FROM ANY AND ALL LIABILITY, HOLDING ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**

**811**

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 Troy, MI 48063-1872  
 Phone: (248) 689-9090  
 Fax: (248) 689-1044  
 website: www.peainc.com

**MONDRIAN PROPERTIES**  
 50215 SCHOENHERR  
 SHELBY TOWNSHIP, MI 48315

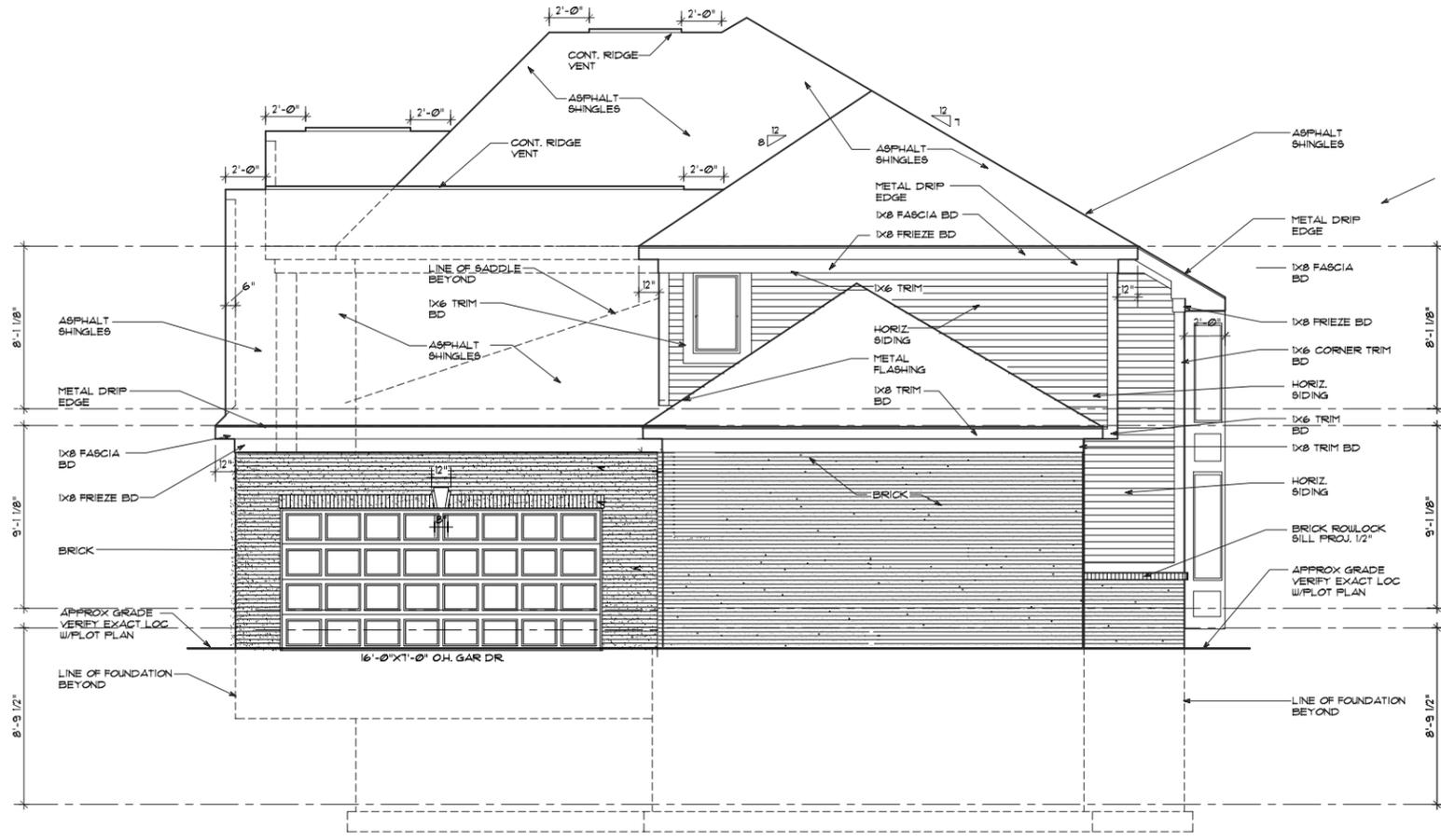
**PRELIMINARY SITE PLAN**  
**BEACHVIEW ESTATES SITE CONDOMINIUM**  
 A PART OF THE NW 1/4 OF SECTION 18, T. 2N., R. 11E.  
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JEC DN. JEC SUR. RS. DNH P.M.

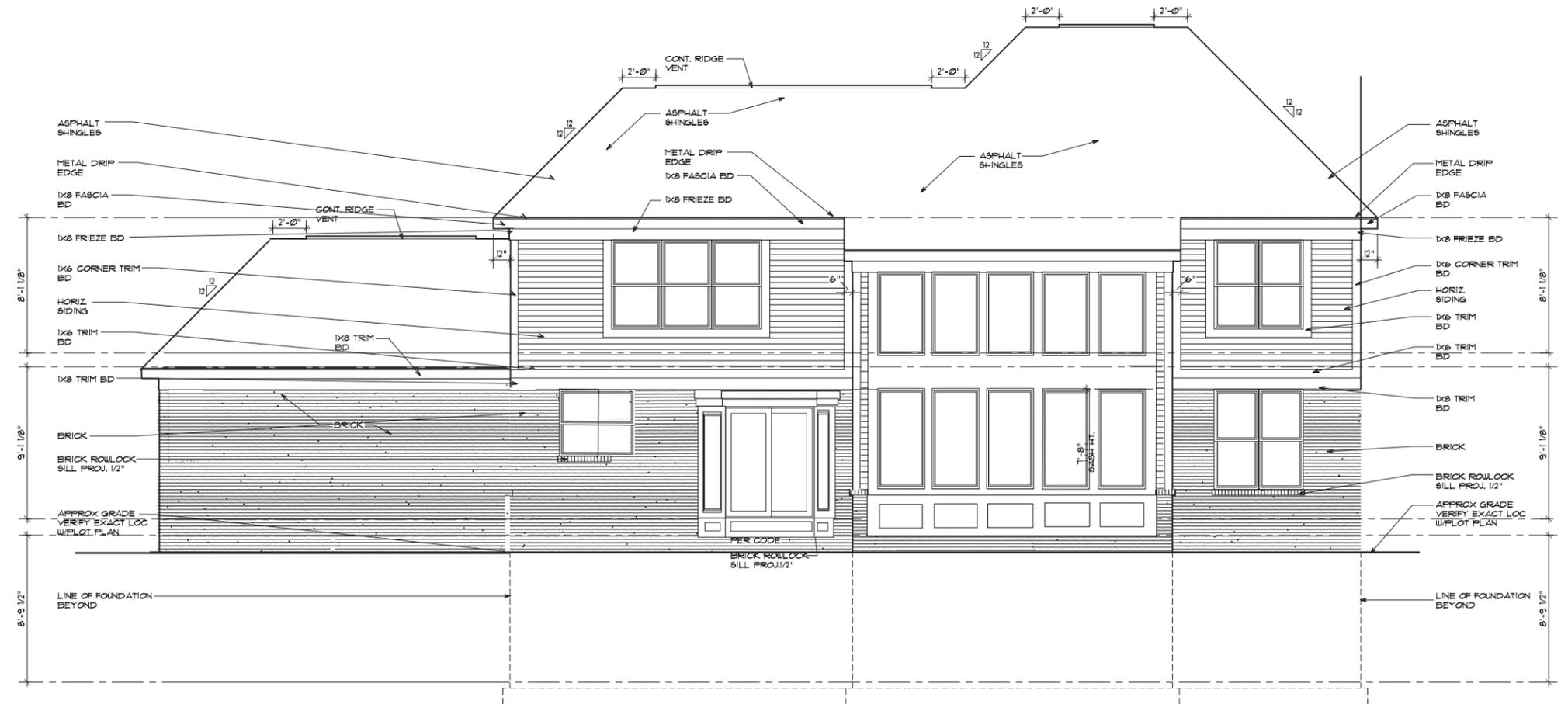
ORIGINAL ISSUE DATE: JUNE 7, 2012  
 PEA JOB NO. 2011-150  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**P-1**







**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

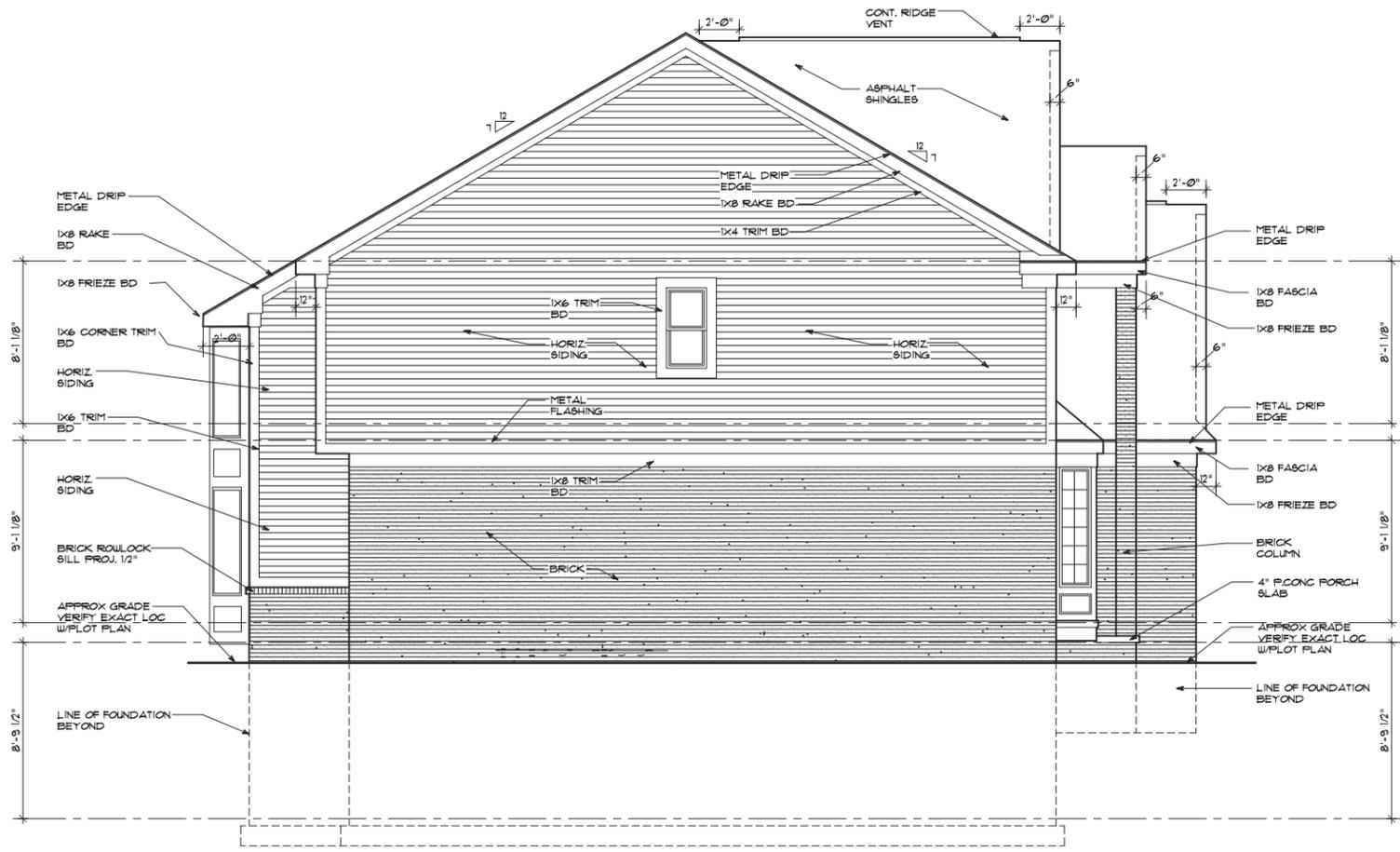
**ELEVATION NOTES**

1. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
4. FIREPLACE FLUE TO BE MIN 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN 3'-0" PENETRATION ABOVE ROOF TOP.

**NOTE:**  
GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACADE OF HOUSE OR ALONG FRONT FACING PORCH COLUMNS.

**NOTE:**  
PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.

PRELIMINARY  
CLIENT APPROVAL  
PERMIT  
REVISION  
PROJECT #



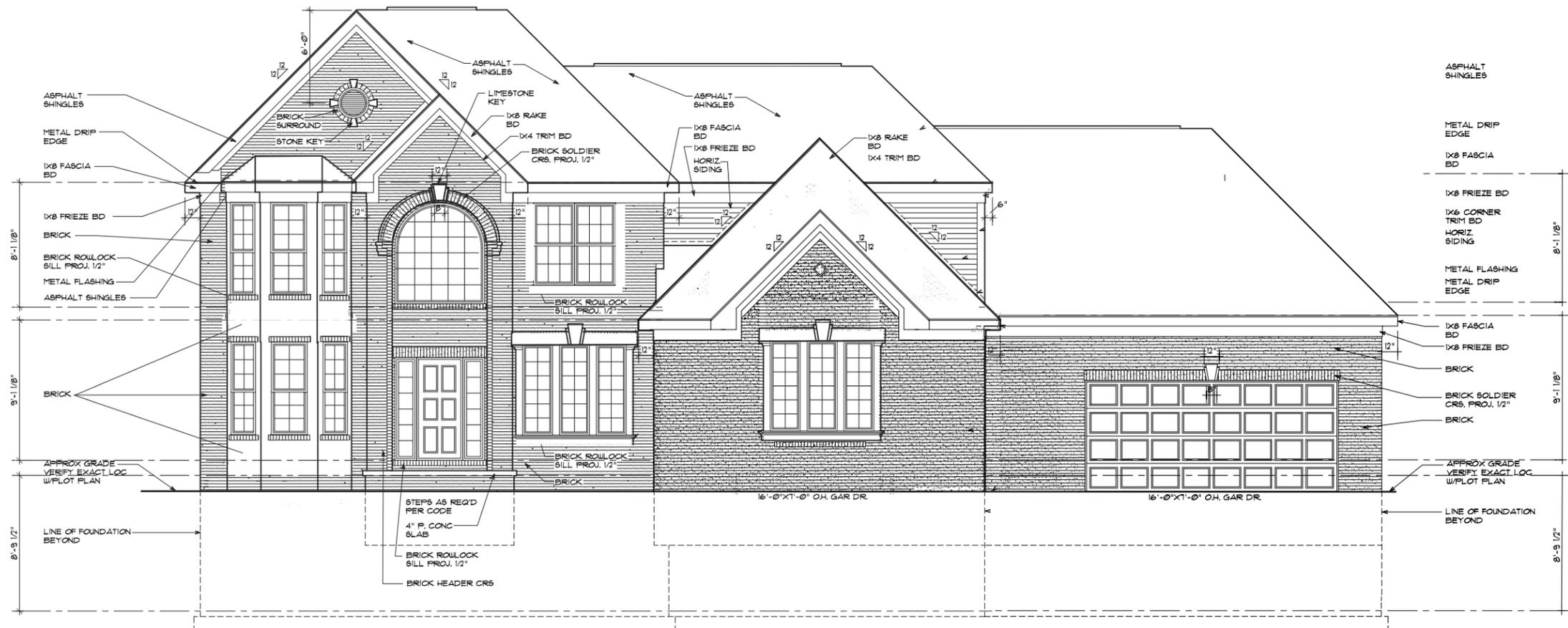
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

1. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
4. FIREPLACE FLUE TO BE MIN 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN 3'-0" PENETRATION ABOVE ROOF TOP.

**NOTE:**  
GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACADE OF HOUSE OR ALONG FRONT FACING PORCH COLUMNS.

**NOTE:**  
PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

ELEVATIONS

- PRELIMINARY
- CLIENT APPROVAL
- PERMIT
- REVISION
- PROJECT #

**NOTES :**

- SECOND FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR DEAD LOAD = 10 PSF  
LIVE LOAD = 40 PSF
- ALL FLOOR JOISTS SHALL BE 2x12 HEM-FIR #2 JOISTS @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL HEADERS IN BEARING WALLS SHALL BE MIN. (2) 2x8 HEM-FIR #2 OR BETTER UNLESS OTHERWISE NOTED.
- PROVIDE MIN. (2) 2x4 / (2) 2x6 SFF STUD GRADE OR BETTER PER STUD WALL SIZE UNDER EACH END OF ALL HEADERS/ BEAMS, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR BEARING WALLS ARE 2x4 / 2x6 SFF STUD GRADE OR BETTER @ 16" O.C. UNLESS OTHERWISE NOTED.
- JOIST LAYOUT SHOWN IN THE FRAMING PLAN IS ONLY FOR GUIDANCE & SHALL NOT BE USED AS SHOP DIMS. SUPPLIER TO ENSURE THE UNOBSTRUCTED PLUMBING, HVAC OPENING & HEADROOM CLEARANCE.
- ALL MULTI JACKS / STUDS TO BE GLUED AND NAILED WITH 2 ROWS OF 12d NAILS @ 12" O.C. (TYPICAL)
- PROVIDE SOLID BLOCKING/CONTINUOUS POST ALL THE WAY TO BASEMENT TO PROVIDE CONTINUOUS BEARING PATH
- SPACING OF JOISTS UNDER CERAMIC/ MARBLE TILE FINISHES SHALL NOT BE MORE THAN 16" O.C.
- PROVIDE DBL. JOIST UNDER ALL PARTITION WALLS PARALLEL TO JOIST DIRECTION UNLESS NOTED OTHERWISE.
- ALL INTERIOR BEARING WALLS ARE 2x4 SFF STUD GRADE OR BETTER @ 16" O.C. UNO.
- PROVIDE 4"x3 1/2"x1/4" THK. STL. ANGLE @ OPENINGS LESS THAN 5'-0" WIDTH TO SUPPORT BRICK VENEER. PROVIDE 6"x4"x3/8" THK. STL. ANGLE (LLV) @ OPENINGS GREATER THAN 5'-0" WIDTH UNO.

NOTCHES IN SAUN LUMBER SHALL BE IN COMPLIANCE WITH R602.1, R502.2 AND R602.6 OF THE MICHIGAN 2000 CODE

**FLOOR JOIST REQUIREMENT.**

ALL FLOOR JOIST LAYOUTS SHOWN ON PLAN ARE BASED ON L/480 LIVE LOAD DEFLECTION. JOIST MANUFACTURER IS TO DESIGN THE FLOOR SYSTEM BASED ON THIS. IF LAYOUT CHANGES TRUSS COMPANY MUST NOTIFY THE DESIGNER IMMEDIATELY

**NOTE TO TRUSS MANUFACTURER**

PRE-ENG W/D GIRDER TRUSSES SHOWN ON PLAN ARE LOCATED SPECIFICALLY TO ALLOW BEARING ON STL. BEAMS & BASEMENT WALLS. IF GIRDER LOCATIONS ARE MOVED TRUSS COMPANY MUST NOTIFY THE DESIGNER IMMEDIATELY

**EGRESS WINDOW REQUIREMENTS**

- MIN. NET CLEAR OPENING 5.7 SQ. FDT. ( SECOND FLOOR BEDROOM )
- MIN. NET CLEAR OPENING 5.0 SQ. FT. ( FIRST FLOOR BEDROOM OPENING )
- MIN. CLEAR HEIGHT 24"
- MIN. CLEAR WIDTH 20"
- MAX. SILL HEIGHT 44"

**AREAS THAT REQ. TEMPERED GLASS**

- FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS
- SHOWER AND BATHUB DOORS AND ENCLOSURES (IF APPLICABLE)
- PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWEST EDGE LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR LEVEL
- ALL OTHER AREAS AS CODE REQUIRES

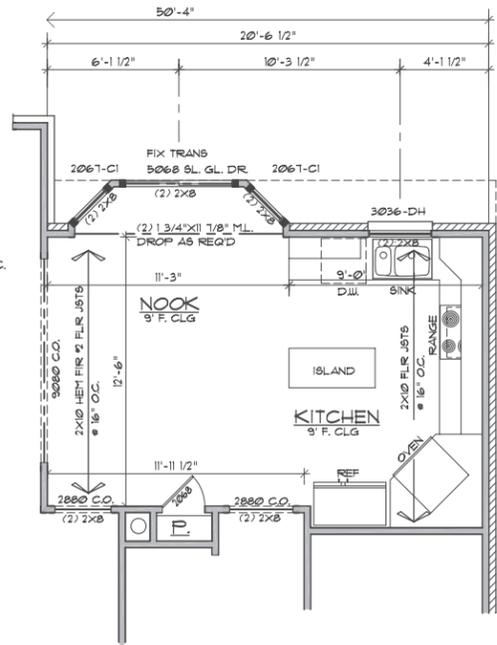
**FIRE SEPARATION**

FOR CONDITIONS WITH LIVING SPACE OVER GARAGE ONLY

**HOUSE WALL:**  
SYSTEM SIMILAR TO UL DES. UL305: 1 LAYER 5/8" SHEETROCK BRAND GYPSUM PANELS, WATER RESISTANT, FIRECODE CORE EACH SIDE - 2" x 6" STUDS 16" O.C. - 5 1/2" INSULATION.

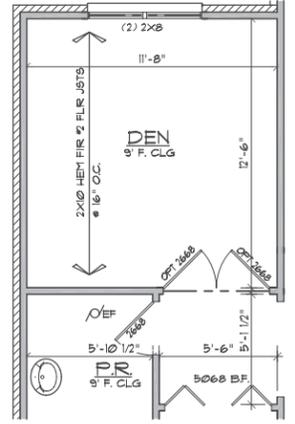
**EXTERIOR GARAGE WALL:**  
(SUPPORTING LIVING SPACE ONLY).  
SYSTEM SIMILAR TO UFP 8105: 1 LAYER 5/8" FIRE SHIELD GYPSUM WALLBOARD - 2" x 6" STUDS @ 16" O.C. - 1/2" APA WOOD SHEATHING.

**CEILING:**  
SYSTEM SIMILAR TO C 2601: 2 LAYERS 5/8" FIRE SHIELD WALLBOARD - UNFACED GLASS FIBER BATTS SUSPENDED ABOVE DRYWALL WITH WIRE HANGERS PROVIDING A CONTINUOUS 1/2" MINIMUM AIRSPACE BETWEEN DRYWALL AND INSULATION.



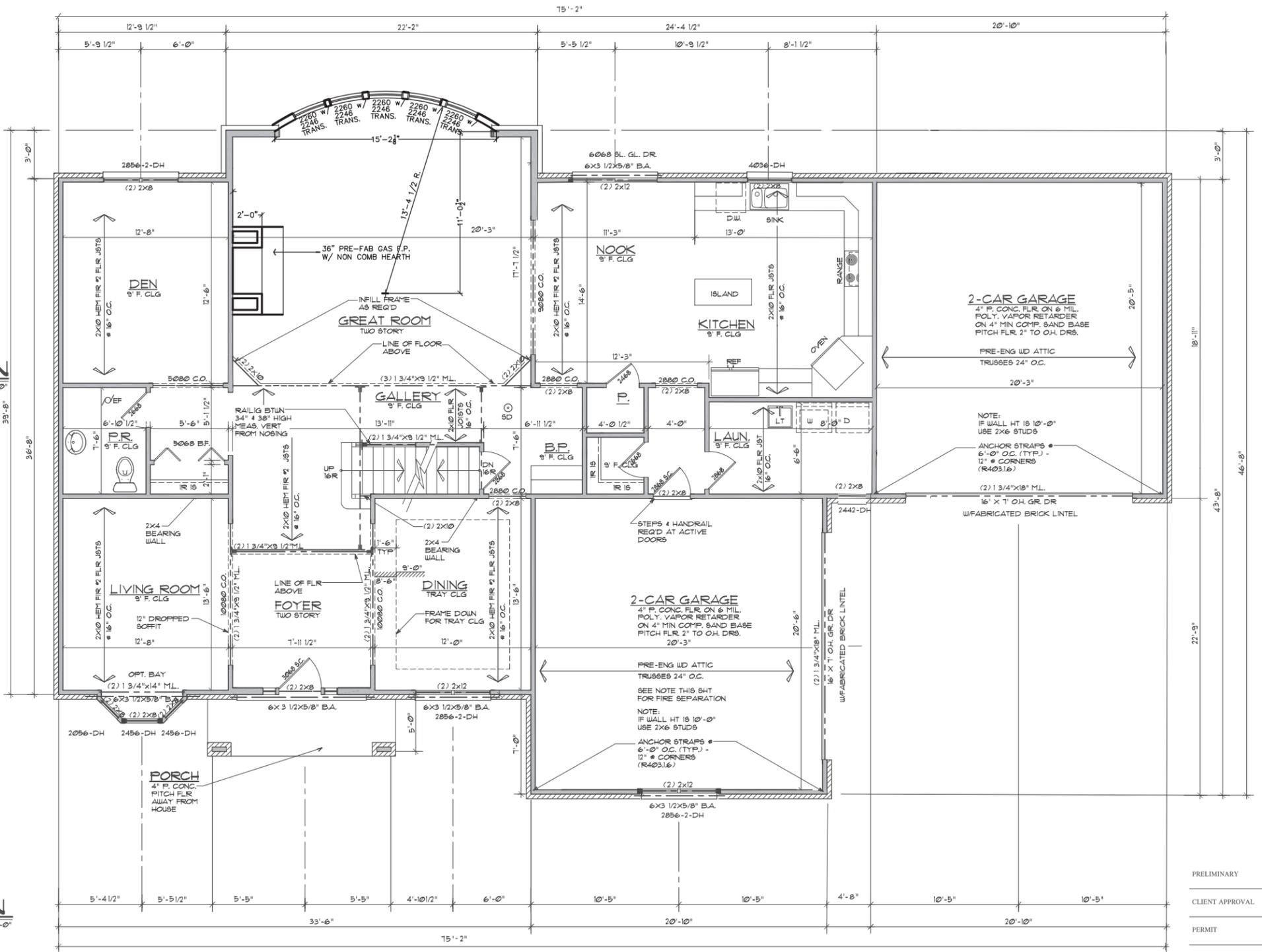
**OPTIONAL BAY AT KITCHEN**  
SCALE: 1/4" = 1'-0"

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_



**OPTIONAL DBL DR AT DEN**  
SCALE: 1/4" = 1'-0"

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_



**FIRST FLOOR PLAN**  
NO SCALE

ALL WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE.  
ALL EXTERIOR BEARING HEADERS SHALL BE (2) 2x8 UNLESS NOTED OTHERWISE

1946  $\Phi$   
415  $\Phi$  GARAGE X2

**WINDOW NOMENCLATURE**

FIRST TWO DIGITS = GLASS WIDTH,  
LAST TWO DIGITS = GLASS HEIGHT,  
LETTERS INDICATE UNIT TYPE.  
EXAMPLES:  
2436C IS 24" WIDE x 36" HIGH CASEMENT  
2028CH IS 20" WIDE x 28" HIGH DBL. HUNG  
3620A IS 36" WIDE x 20" HIGH ALUING  
2468FXD IS 24" WIDE x 68" HIGH FIXED.

PRELIMINARY  
CLIENT APPROVAL  
PERMIT  
REVISION  
PROJECT #  
SHEET No



DATE: June 20, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

This item was discussed by the Planning Commission at the June 12, 2012 Regular meeting and postponed by the board so that it could be discussed informally at a Special/Study meeting.

The applicant, Lormax Stern Development Company, seeks a rezoning of the subject parcel from O (Office) to IB (Integrated Industrial and Business) District. The parcel is approximately 7 acres in area. The applicant proposes maintaining a permanent 30-foot wide greenbelt open space along the western property line and a portion of the northern property line. Both property lines separate the subject property from residential neighborhoods.

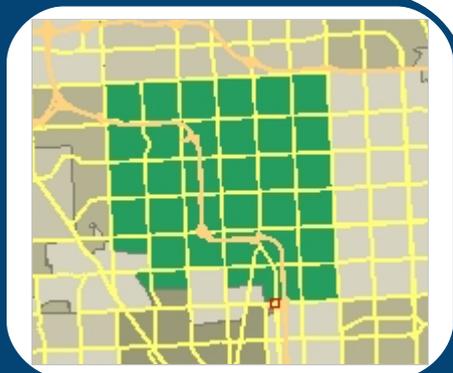
The Master Plan classifies this area as 21<sup>st</sup> Century Industrial. A description of this classification is attached.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

Please be prepared to discuss this item at the June 26, 2012 Planning Commission Regular meeting.

Attachments:

1. Maps
2. Rezoning statement
3. City of Troy Master Plan (excerpt)
4. Report prepared by Carlisle/Wortman Associates, Inc.
5. Minutes from the June 12, 2012 Regular meeting (excerpt)



### Legend

-  I-75
- Road Centerline**
  -  Major Road
  -  Industrial Road
  -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
  -  Red: Band\_1
  -  Green: Band\_2
  -  Blue: Band\_3

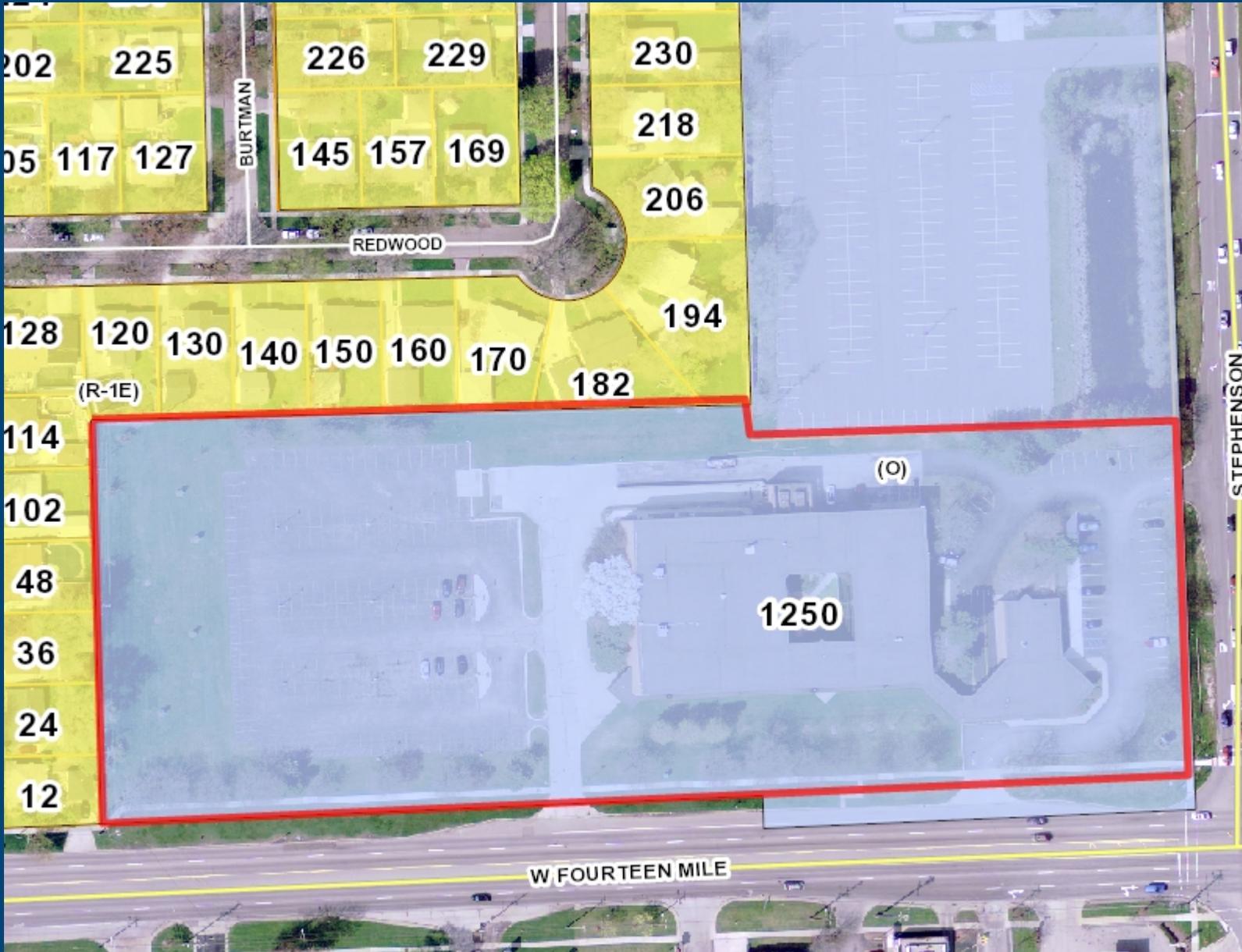
250 0 125 250 Feet

Scale 1: 1,498



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 5/11/2012



### Legend

- I-75
- Road Centerline
  - Major Road
  - Industrial Road
  - Local Road
- Current Zoning Ordinance
  - (PUD) Planned Unit Development
  - (CF) Community Facilities District
  - (EP) Environmental Protection District
  - (BB) Big Beaver Road (Form Based)
  - (MRF) Maple Road (Form Based)
  - (NN) Neighborhood Nodes (A-U)
  - (CB) Community Business
  - (GB) General Business
  - (IB) Integrated Industrial Business District
  - (O) Office Building District
  - (OM) Office Mixed Use
  - (P) Vehicular Parking District
  - (R-1A) One Family Residential District
  - (R-1B) One Family Residential District
  - (R-1C) One Family Residential District
  - (R-1D) One Family Residential District
  - (R-1E) One Family Residential District
  - (RT) One Family Attached Residential District
  - (MR) Multi-Family Residential
  - (MHP) Manufactured Housing
  - (UR) Urban Residential
  - (RC) Research Center District
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  - Blue: Band\_3

250 0 125 250Feet

Scale 1: 1,498



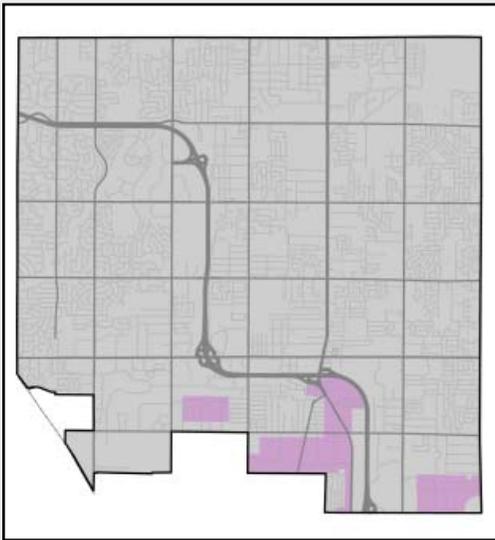
## **STATEMENT OF APPLICANT**

The City Master Plan designates the property as 21<sup>st</sup> Century Industrial. The proposed IB Integrated Industrial Business District zoning classification is entirely consistent with the Master Plan classification.

Adjacent parcels to the North along Stephenson Highway are already zoned IB and have rear yards abutting single family homes zoned R-1E. Adjacent single family homes West of the property on Lyons and North of the property on Redwood are also zoned R-1E.

Currently, boundary screen walls and landscaping in the rear and side yards buffer all adjacent single family residential homes from the existing vacant two story office building on the property. At such time as the property is redeveloped, appropriate additional site plan conditions can be imposed to further protect adjacent homes and other properties in the vicinity.

## 21st Century Industry: A New Opportunity for Growth



- *Continued encouragement of a variety of industrial uses*
- *Light industrial uses with no outdoor storage or external nuisances are especially encouraged*
- *The emphasis for site design should be on screening, landscaping, buffering, and effective transitioning to allow this important category to succeed without negative impacts on residential or commercial areas of the City*

The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. In addition to conventional industrial uses, shops, and warehousing, this category can be home to business-to-business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield. Suppliers, fabricators, printers, and many other supporting uses which strengthen the City's appeal as a home to 21st Century businesses are all encouraged in this category.

An alternative use that may be considered on a very limited basis in the 21st Century Industrial area is loft-style residential development in reclaimed industrial buildings. Opportunities for artist lofts and open-floorplan residential development may exist within new, innovative mixed-use projects. Such projects would be an ideal fit within the 21st Century Industrial area. Such housing will only be considered when all potential environmental limitations have been identified, and if necessary, neutralized.

The majority of the 21st Century Industrial lands in Troy surround the Maple Road category (see page 105), although they are intermingled with areas planned for the Automall, the Smart Zone, and the Transit Center. **Existing land uses along Maple Road vary widely, and do not have a clear, identifiable character.** Maple Road is primarily experienced as a series of nodes that center on north-to-south traffic leading into and out of Troy from the Big Beaver Corridor. For this reason, Maple Road is planned as a series of areas designed to support the Big Beaver Corridor and the Smart Zone, such as the business-to-business uses noted above.

## ***DESIGN CONCEPT***

- This area will recognize that manufacturing and distribution will continue to provide valuable jobs and a tax base. Emphasis will be on maintaining a strong image by concentrating on site and building maintenance as well as redevelopment, rather than redevelopment alone.
- Code enforcement will be a critical tool to maintain the visual and physical health of the district.
- As land becomes available, green space should double and storm water management should improve.

## ***SITE DESIGN ATTRIBUTES***

- Primary parking areas are located within rear or interior side yards.
- Front yards will be landscaped and well-maintained to continue an improved image.
- Green space will be placed along property perimeters to assist with controlling surface storm water runoff.

## ***BUILDING DESIGN ATTRIBUTES***

- The office portion of industrial developments will locate nearest the public street.



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street  
Ste. 1  
Ann Arbor, MI 48104  
(734) 662-2200  
(734) 662-1935 Fax

Date: June 5, 2012

## Conditional Rezoning Analysis For City of Troy, Michigan

<b>Applicant:</b>	Jason Horton, Lomax Stern Development Company
<b>Property Address:</b>	125 Stephenson Highway
<b>Current Zoning:</b>	O-1, Office Building District
<b>Requested Zoning:</b>	IB, Integrated Industrial Business District
<b>Action Requested:</b>	Conditional Rezoning Request to: - IB, Integrated Industrial Business District
<b>Required Information:</b>	The required information for a rezoning has been provided.

### DESCRIPTION

The applicant is requesting a Conditional Rezoning from O-1, Office Building District to IB, Integrated Industrial Business District for the parcel located at 125 Stephenson Highway. The 7-acre property is currently improved with a 29,600 sq/ft, two-story office building and a 3,600 sq/ft bank with drive-through. The two buildings are attached via a canopy. The applicant has not indicated a potential for redevelopment or the future use of the property.

**PROPERTY BACKGROUND**

<b>Subject Site</b>	
Approximate Site Area	7 acres
Current Use	Office and Bank
Master Plan Recommended Use	21 <sup>st</sup> Century Industrial

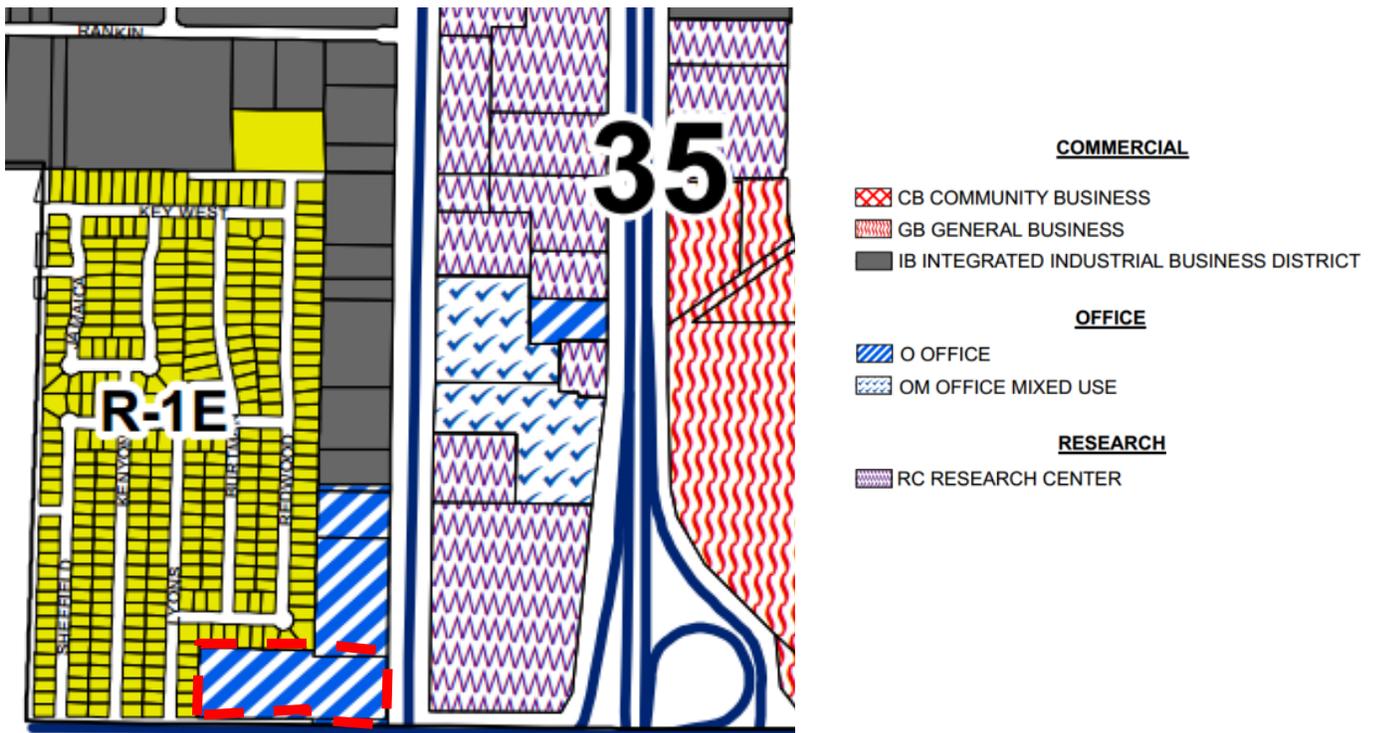


Subject Site of Proposed Conditional Rezoning

**ADJACENT PROPERTIES**

The existing zoning in the surrounding area is a mixture of Integrated Business (IB), Research Center (RC), Office (O-1) and One-family residential (R1-E). Adjacent zoning and land uses to the subject property is listed below:

Adjacent Properties		
	Existing Use	Zoning
North	Single-family residential (western half) Office (eastern half)	R-1E, One-family residential (western half) O-1, Office (eastern half)
South	Various commercial	Not Applicable (Madison Heights)
East	Valeo	RC, Research Center
West	Vacant	R-1E, One-family residential



An 8' high brick wall screens all adjacent single-family residents along the western half of the north property line and the entirety of the western property line.

**Items to be addressed:** None

## CONDITIONAL REZONING PROCEDURE

Conditional rezonings such as the current proposal are enabled under Section 405 of the Michigan Zoning Enabling Act (PA 110 of 2006). Under this type of rezoning, conditions may be imposed on the rezoning request if voluntarily offered by the applicant. The Planning Commission is not authorized to offer or place any additional conditions upon the rezoning unless voluntarily offered by the applicant.

*Items to be addressed: None*

## VOLUNTARILY IMPOSED CONDITIONS

The applicant has volunteered on their site plan a permanent 30' greenbelt open space dedication along all existing single-family residential uses. This 30' greenbelt open space runs along the entire western property line and western half of the northern property. It appears that a portion of the existing office building parking lot is within a part of the northern portion of the proposed 30' greenbelt. The applicant should confirm this.

*Items to be addressed: Confirm if a portion of the existing office building parking lot is within the proposed 30' greenbelt.*

## MASTER PLAN RECOMMENDATION

The future land use plan of the Troy Master Plan has designated the subject property, as well as those parcels on the west side of Stephenson Highway, as 21<sup>st</sup> Century Industry. The 21<sup>st</sup> Century Industry use category focuses on properties in the southeast corner of the city around the Maple Road Category. This designation encourages a variety of general and light industrial uses including conventional manufacturing and assembly uses, but also promotes a broader spectrum of future higher technology industrial uses. The IB Zoning District mostly closely mirrors the intent of the 21<sup>st</sup> Century Industrial designation. While the future use of this property is unknown, the proposed IB designation and permitted uses are consistent with the 21<sup>st</sup> Century Industrial designation of the Master Plan.

*Items to be addressed: None*

## IB ZONING APPLICABILITY

As noted the future use of this property is unknown. However, the IB district permits greater flexibility in use including permitting multiple family residential, additional retail, service, and entertainment uses, and limited light industrial and automotive uses. Unless additional conditions are volunteered by the applicant, the future redevelopment of this site will permit all those uses allowed in the IB District.

In regards to the potential for the creation of non-conformities, rezoning this parcel to the IB district will not create any new legal non-conformity. It is worth noting that the parking lot located between the existing building and the street is not permitted in the new ordinance for either the IB District or O district, thus redevelopment of this parcel will bring the site into conformance with the zoning ordinance.

While the rezoning of this parcel will not be adjacent to existing IB district, the rezoning will bring this parcel into greater conformance with the master plan. Furthermore as noted, the future redevelopment of this site, which is advanced by the proposed rezoning, will bring the site into conformance with the zoning ordinance. Future zoning considerations for those parcels remaining O, Office District zoning should be examined as development opportunities on those sites arise.

**Items to be addressed:** None

## CONDITIONAL REZONING FINDINGS

### Section 16.04.C.3

The Zoning Ordinance identifies five (5) findings that the Plan Commission should evaluate when considering a Conditional Rezoning petition ((Section 1299.037(3)). A Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a) The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

*The only condition proposed by the applicant is a 30-foot permanent greenbelt. This 30-foot buffer does not permit any buildings, parking, or drive-aisles. In addition, there is a 50-foot building setback for all buildings within the IB District from the boundary of any single-family residential district. This 50-foot building setback only applies to buildings and thus would allow parking and drive-aisles between this 50-foot buffer and the 30-foot greenbelt. A 30-foot greenbelt used in combination with the 50-foot land use buffer advance public health, safety, and welfare.*

- b) The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
  - I. A change in City policy since the Master Plan was adopted.
  - II. A change in conditions since the Master Plan was adopted.
  - III. An error in the Master Plan.

*The proposed development is consistent with the Master Plan. The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. The IB District is consistent with the 21<sup>st</sup> Century Industry area of the Master Plan by encouraging redevelopment and reuse of existing buildings and sites by permitting other compatible uses.*

- c) The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

*The proposed 30-foot permanent greenbelt is in accordance with all terms of the IB zoning district and goes above and beyond the screening of differencing land use as required in the Landscaping Section of the Ordinance (Section 13.02.B).*

- d) Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

*All necessary public services, utilities, and facilities already adequately serve this site. Any permitted uses and development within the IB district would not require any additional public services and facilities; however private utilities including water will be reviewed as part of the building permit process.*

- e) The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

*While future development and reuse of this property is unknown, redevelopment of this site to uses and standards of the IB district is consistent with the Master Plan. Furthermore the site is surrounded by a mix of both commercial and industrial uses. The redevelopment and reuse of the site within the IB Zoning District would be compatible with the adjacent uses. Lastly, the proposed 30-foot greenbelt buffers and protects all adjacent single-family residential.*

## SUMMARY OF FINDINGS

After reviewing the current land use, adjacent zoning districts, and future plans for the subject properties and vicinity, we would recommend that the Planning Commission proceed with the rezoning request.

- A. The rezoning is supported by the Master Plan and advances the general and specific development policies of the Master Plan.
- B. The proposed rezoning would be consistent and non-disruptive to the surrounding land use pattern.
- C. Rezoning will facilitate redevelopment of this site, which would bring the site into conformance new zoning ordinance standards.

I look forward to discussing this with you at the next Planning Commission meeting.

Sincerely yours,



CARLISLE/WORTMAN ASSOCIATES, INC.  
Benjamin R. Carlisle, LEED AP, AICP

**REZONING REQUEST**

6. **PUBLIC HEARING – REZONING APPLICATION (File Number Z 740)** – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

Mr. Carlisle reviewed the proposed rezoning request. Mr. Carlisle recommends that the Planning Department proceed with the rezoning request, contingent on the three conditions as noted in his report, dated June 5, 2012.

The petitioner, Jason Horton of Lormax Stern Development Company, was present.

There was discussion on potential future development on this site.

**PUBLIC HEARING OPENED**

No one was present to speak.

**PUBLIC HEARING CLOSED**

The members and the petitioner agreed to table the item for further study. Chair Tagle announced a second Public Hearing would be scheduled and Meeting Notice published, should the request go forward.

**Resolution # PC-2012-06-035**

Moved by: Sanzica

Seconded by: Schultz

**RESOLVED**, To table the proposed rezoning request for further study.

Yes: All present (7)

Absent: Hutson

**MOTION CARRIED**

DATE: June 22, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: CONDITIONAL REZONING APPLICATION (File Number CR 006) –  
Proposed Troy Plaza Development, West side of Crooks, North side of  
New King (5500 New King), Section 8, From PUD (Planned Unit  
Development) to OM (Office Mixed Use) and CB (Community Business)  
Districts

The applicant, Moiseev/Gordon Associates, Inc. seeks a conditional rezoning of the subject parcel from Planned Unit Development to OM (Office Mixed Use) and CB (Community Business) Districts

The Master Plan classifies this area as Northfield. A description of this classification is attached.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

Please be prepared to discuss this item at the June 26, 2012 Planning Commission Special/Study meeting.

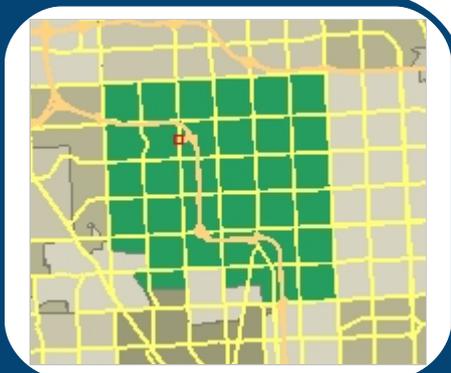
Attachments:

1. Maps
2. Rezoning statements
3. City of Troy Master Plan (excerpt)
4. Report prepared by Carlisle/Wortman Associates, Inc.

G:\Conditional Rezoning\CR-006 Troy Plaza Sec 8\PC Memo 06 26 12.doc

# TROY PLAZA, 5500 NEW KING

City of Troy Planning Department



## Legend

-  I-75
- Road Centerline**
  -  Major Road
  -  Industrial Road
  -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
  -  Red: Band\_1
  -  Green: Band\_2
  -  Blue: Band\_3

234 0 117 234 Feet

Scale 1: 1,404

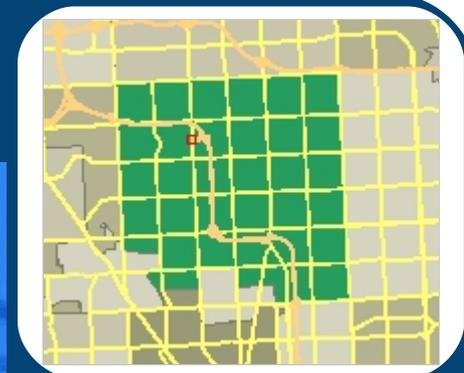
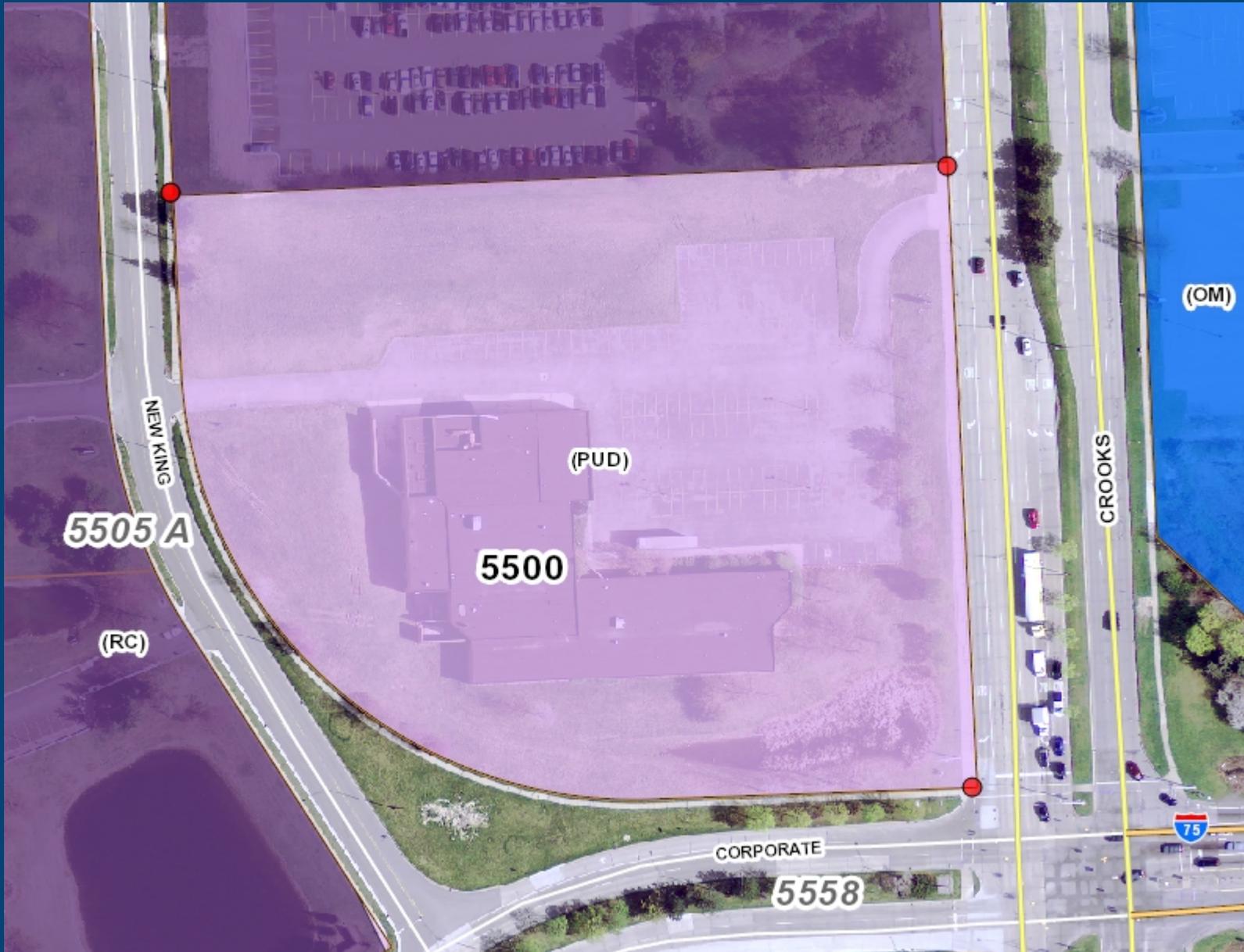


Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 6/12/2012

# TROY PLAZA, 5500 NEW KING

City of Troy Planning Department



## Legend

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  -  (CF) Community Facilities District
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  -  (OM) Office Mixed Use
  -  (P) Vehicular Parking District
  -  (R-1A) One Family Residential District
  -  (R-1B) One Family Residential District
  -  (R-1C) One Family Residential District
  -  (R-1D) One Family Residential District
  -  (R-1E) One Family Residential District
  -  (RT) One Family Attached Residential District
  -  (MR) Multi-Family Residential
  -  (MHP) Manufactured Housing
  -  (UR) Urban Residential
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234 0 117 234 Feet

Scale 1: 1,404



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Printed: 6/12/2012



May 31, 2012

City of Troy  
Zoning Board of Appeals  
500 W. Big Beaver Rd.  
Troy, MI 48084  
248-524-3364

Re: Troy Plaza  
Job No. 06418.02

We are requesting a conditional rezoning of the above referenced property. This request is sought voluntarily and we will not modify the design, once approved, in any way that will be inconsistent with the conditions placed on the rezoning.

The proposed plans, elevators, site amenities, will be built-in accordance with the approved plans and all conditions agreed to will be executed with-in the parameters and constraints imposed by the agreement that the Appeal Board votes into place.

Additional conditions proposed include:

1. The immediate development of the first two building of Phase I once permits are obtained.
2. The corner building of Phase I will not be marketed to a bank, a chain drug store or any other vehicular intensive use.
3. The details of the building shall be subject to planning approval and be modified by administrative approval with-in their jurisdiction.

We thank you for consideration of our proposal.

Sincerely,

Moiseev/Gordon Associates

A handwritten signature in black ink, appearing to read 'Michael J. Gordon', is written over a light gray grid background.

Michael J. Gordon, RA



City of Troy  
Zoning Board of Appeals  
500 W. Big Beaver Rd.  
Troy, MI 48084  
248-524-3364

Re: Troy Plaza  
Job No. 06418.02

May 31, 2012

We believe that the rezoning request is consistent with the master plan. This would provide much needed retail business and service uses for persons in the immediate areas specifically the adjacent office district. This district will allow and encourage the on-site integration of business and services lacking in the vicinity when you view the corridor along Crooks Road as a total community.

Further, the property rezoning matches a parcel, several parcels, south of the property which has a similar mix of uses as proposed here and the proposed CB district aligns in depth with the depth of that parcel.

The buildings will encourage pedestrian interaction with adjoining parcels which is further encouraged in the language of the district. The hotel will also encourage pedestrian traffic as well as extend the districts, lively hood into the morning and evening hours. This will enhance security as well as create a reduced need for parking as hours extend and uses intensity spreads over the day.

The property uses will enhance the marketability of the adjoining office districts by offering convenient and multiple dining and shopping options, as well as hotel rooms for business travelers. Further, the walk ability will further reinforce the location as a desirable place to do business.

We believe that the integration of this project into the adjacent developments will compliment, supplement and enhance the environment and build up the area as a desirable business address.

We hope you look favorably upon our request.

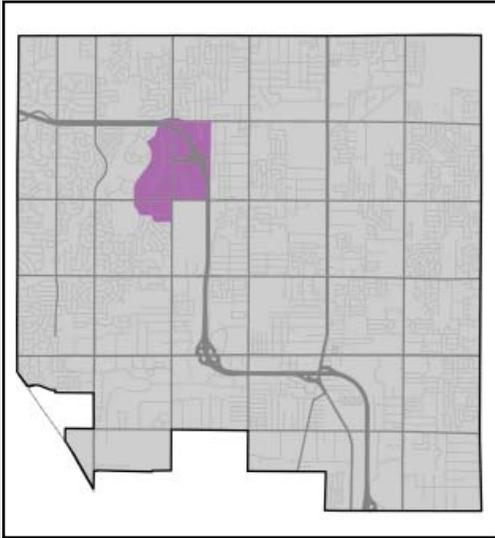
Sincerely,

Moiseev/Gordon Associates

A handwritten signature in black ink, appearing to read 'Michael J. Gordon', is written over a light gray grid background.

Michael J. Gordon, RA

## Northfield: A Focus On Innovation



- *A complement to the Smart Zone, but with an even broader mix of uses*
- *Outlot development to provide services to workers in the area*
- *Consistent site design throughout the District to create a unique identity*

The Master Plan identifies two primary districts for the encouragement of 21st Century, Knowledge Economy business development. The Smart Zone is situated along Big Beaver Road and an area to the south, along Interstate 75. **Northfield, the second office and research area, is similar to the Smart Zone in its makeup, but will reflect its own unique style of development.**

In terms of use, the emphasis in Northfield will be placed on office and planned research-office uses. Other uses primarily relating to the support of workers and activities in Northfield, such as supporting commercial uses, will also be considered on a limited basis. Residential uses, traditional industrial uses, and regional commercial uses will be encouraged within mixed-use developments only when they are

designed to support the primary function of the Northfield area.

Medical, professional, general, service-related office uses, and research –based uses, especially those planned in a campus or park-like setting, will be the primary focus in Northfield. These uses are intended to be enclosed within a building, and in the case of research and development uses, external effects are not to be experienced beyond their property boundaries.

## DESIGN CONCEPT

- The contemporary architectural image should be continued.
- Infill construction will provide a physical link between semi-isolated towers.
- Demarcated crosswalks, an internal and external walk system and plazas/pocket parks will support physical linkages.
- Higher-density housing of twenty units per acre will be encouraged at the immediate periphery.
- Streets will be framed and the public right-of-way space will be delineated.

## SITE DESIGN ATTRIBUTES

- Primary parking areas will be within rear or interior side yards and separated into modest-sized components by storm water management and landscaping.

- Walks will connect businesses, adjacent developments and public sidewalks.
- Storm water detention should be captured in pedestrian friendly landscape designs.
- Outdoor cafes, plazas, pocket parks and similar pedestrian amenities will be key features.
- Mass transit stops should be accommodated (see page 115).

## BUILDING DESIGN ATTRIBUTES

- Ground level story should have a minimum height of twelve feet from finished floor to finished ceiling.
- Facades should be half transparent glass.
- Entries should be well-defined.
- Fenestration on the ground level should be highlighted through the use of awnings, overhangs or trim detailing.



Successful infill development providing services to office developments in Northfield; Photo by Brent Savidant



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

## MEMORANDUM

**TO:** R. Brent Savidant, AICP, Planning Director

**FROM:** Ben Carlisle, AICP

**DATE:** June 21, 2012

**RE:** Conditional Rezoning-Troy Plaza Development

---

We recently received a site plan and accompanying documents for a Conditional Rezoning for the parcel bounded by Crooks Road to the east, Corporate Drive to the south, and New King Street to the west. The applicant proposes to conditionally rezone the site from PUD to Community Business (CM) for the portion of the site that fronts on Crooks Road and Office Mixed Use (OM) for the back end of the property that fronts on New King Drive. The proposed development includes a McDonalds, a mixed use (office/retail) building, a free standing restaurant/retail building on the CM portion, and a hotel on the OM portion.



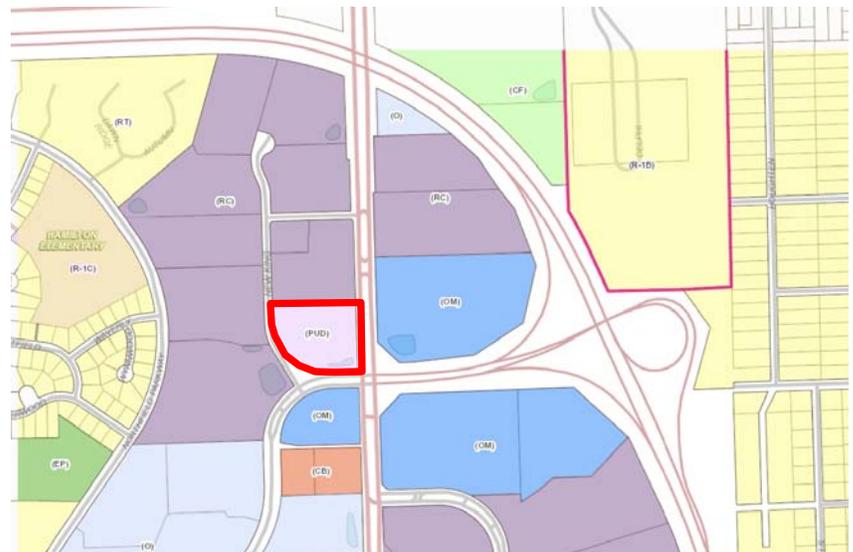
Because the application is incomplete we did not complete a full site plan review. As outlined in Section 8.05, the applicant is required to submit the following additional items:

- A certified topographic survey and a certified boundary survey of the property, prepared and sealed by a Licensed Land Surveyor
- Calculations for the following shall be included on the site plan:
  - Zoning requirements
  - Gross and net (after rights-of-way) site area
  - Gross and net (“usable”) building area
  - Required landscape and open space area, and statement of intent for each
- Complete and detailed landscape plan
- Stormwater detention information
- Lighting plan indicating proposed photometrics, height of light fixtures, proposed light fixtures, and proposed methods of shielding
- Floor plans and elevations for the hotel
- Samples, swatches, or manufacturer’s specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including walls and fences
- Special Use application for drive-throughs and hotel use

We most recently met with the applicant on March 29, 2012, and we applaud the applicant for considering many of our recommendations; however we offer the following comments for Planning Commission consideration:

### Rezoning

The site is currently zoned Planned Unit Development. The applicant is proposing to conditionally rezone the property to Community Business (CM) for the portion of the site that fronts on Crooks Road, and Office Mixed Use (OM) for the back end of the property that fronts on New King Drive. The applicant should submit a survey which indicates the proposed lines of demarcation between CM and OM zoning. The proposed uses for the proposed CM portion include a freestanding McDonalds with a drive-thru, a two-story mixed use (office/retail) building with a drive-thru, and a free standing restaurant/retail building. A 4-to-5 story hotel is proposed for the OM portion of the development. Conditions proposed by the applicant include:



- The proposed plans, elevators, and site amenities will be built-in accordance with the approved plans.
- The immediate development of the first two building of Phase I once permits are obtained.

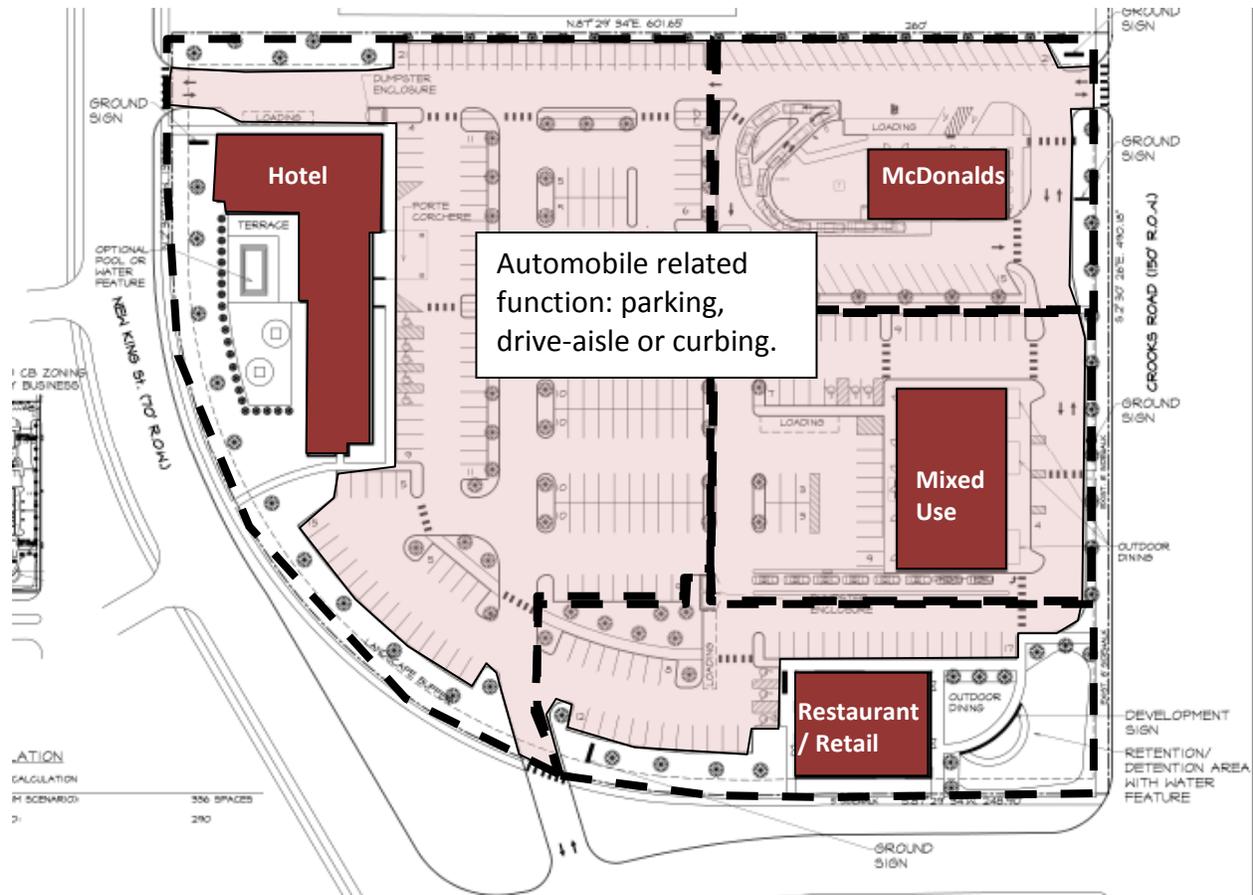
- The corner building of Phase I will not be marketed to a bank, a chain drug store or any other vehicular intensive use.
- The details of the building shall be subject to planning approval and be modified by administrative approval with-in their jurisdiction.

Please note that the McDonalds and mixed use building will require a Special Use Permit due to the proposed drive-thrus. The hotel in the OM district requires a Special Use. A full site plan review will consider both the standards for Special use and standards for conditional rezoning. The applicant has chosen OM and CB zoning districts in due to the applicant's desired uses, consideration of the surrounding zoning, and consideration of the Master Plan.

The site is surrounded by RC, Research Center and OM, Office Mixed Use zoning, and in proximity to CB, Community Business and O, Office zoning. This site is located in the Northfield area of the Master Plan, which calls for "...other uses primarily relating to the support of workers and activities in Northfield, such as supporting commercial uses, will also be considered on a limited basis." Medical, professional, general, service-related office uses, and research-based uses, is the primary focus in Northfield. However understanding the changing nature of the office market, a lack of commercial and dining amenities in the immediate area, proximity to I-75, and a renewed focus on providing a mix of land uses, the proposed additional use types are appropriate for this area. The proposed uses will fully support and compliment the surrounding office uses in the surrounding area. The conditional rezoning appears appropriate provided that specific site planning issues regarding circulation, parking layout, and building arrangement are addressed.

### **Site Planning**

Please note that we have not conducted a full-site plan review and these comments are preliminary based on the submitted plans. We compliment the applicant in providing a variety of uses on the site including office, retail, fast-food, and hotel. In addition, we support the applicant including a second story on the retail building. This adds a sense of desired scale and presence to the site. We note that this is a very tough site to develop due to curb cut issues and a parcel that fronts on three streets. However large parcels such as this present an opportunity to provide building integration and connectivity. We find this site to be an opportunity to develop a well-integrated site, with a mix of varied uses that support each other and neighboring properties. Yet the site as currently designed presents four separate building developments dominated by automobile related functions that lack overall site integration and cohesiveness. The building orientation, particularly those buildings along Crooks Road, appears to lack cohesiveness. The applicant is asked to consider a few small site planning changes that will assist in creating a more cohesive site.



We find that there are two issues influencing the site layout. The first is the site design for the McDonalds and the associated drive-through. We understand that McDonalds requires specific site planning requirements, and as such, the applicant has tried to accommodate that. However, the location of the McDonalds and drive-through adjacent to the primary entrance off Crooks Road somewhat limits the ability of the applicant to cohesively plan the remaining portions of the site. Taken on its face and reviewed in isolation of the remainder of the site, the layout of the proposed McDonalds and drive-through seem appropriate. However, any opportunity that the applicant can take to integrate the McDonalds portion of the site with the remainder of the site should be considered.

The second issue influencing the site layout is the proposed drive-through for the mixed use building. The second drive-through creates a number of development site planning and circulation issues for the site, which impact the entire site. As a result of the drive-through the mixed-use building has no orientation and is not well assimilated with the free-standing restaurant/retail. The two buildings can be better integrated by removing the drive-thru lane, the drive-aisle and parking in between. While the restaurant/retail building can remain a separate free standing entity, and not does have to be physically connected to the mixed use building, these two buildings can be linked via a public plaza or pedestrian walkway. Integration of these two buildings will create a better “building” wall along Crooks Road. Furthermore, the stacking area provided for this drive-through is deficient by two (2) stacking spaces. Adding the two (2) deficient spaces will create a more awkward and potentially dangerous situation by having the drive-through stacking area stick out even further into the parking lot and drive-aisle. By

removing the drive-thru the area behind the multi-use building can be reconfigured, and better integrated with the site parking area.

We encourage the applicant to remove the mixed use building drive-thru, eliminate any parking or drive aisle between the mixed use retail building and the free standing restaurant/retail building and connect via a plaza or pedestrian feature, reduce parking by seeking a parking deviation, move the buildings closer to Crooks Road or the corner of Corporate Drive/Crooks Road, and look holistically at the site to better assimilate the various buildings and uses. The opportunity for a cohesive and successful development at this location is tremendous.

Other general site planning comments that should be considered by the applicant and the Planning Commission include:

- The applicant is required to provide at least 20% site open space. This provision needs to be calculated and shown on the site plan.
- There is an opportunity for outdoor dining at the proposed McDonalds.
- Loading issues:
  1. The site contains 4 separate loading areas and 4 separate dumpster areas.
  2. The loading area for both hotel and McDonald's take up potential premium parking spaces.
  3. The dumpster for hotel is the first thing a visitor would see entering off New King Drive.

The applicant should consider providing one central loading/dumping area for the entire site.

- Applicant can provide 17-foot long parking spaces if they overhang open space or sidewalks at least 7 feet in width. This would reduce the total amount of asphalt on site and allow for more green space.
- Easements for cross access and parking are needed prior to Final Site Plan approval.
- Eliminate the bypass lane behind the McDonalds drive-thru lanes. There is ample opportunity to exit the McDonalds portion of the site. Convert this area to more green space.
- Access to McDonald's drive-through is not intuitive except from the Crooks Road entrance. From every other entrance, drivers will need to negotiate a number of turns to access the drive through aisle. Better assimilation of the McDonalds site is needed.
- 21 parking spaces at McDonald's at the Crooks Road entrance are angled. However the next 21 spaces to the west are perpendicular. Traffic is shown as two-way. This is confusing and counter-intuitive.
- The applicant should be creative in landscaping and stormwater management:
  1. Greenbelt trees shown as being planted 40 feet OC. Requirement is 30 feet OC.
  2. Opportunities for bio-swales/rain gardens on site.
  3. Use of native and drought tolerant species rather than turf grass
- 4 parallel spaces in front of retail not permitted in CB.
- Consider one large outdoor seating area for mixed use retail building rather than three, smaller isolated ones. One outdoor seating area can be more attractive and inviting.

**Summary**

We strongly encourage the development of this site and we applaud the applicants attempt to turn a vacant site into a viable commercial development. With the aforementioned small changes to the site plan this parcel is an opportunity to develop a well-integrated site with a mix of varied uses that support each other and neighboring properties.

Please contact me if you have any questions.

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**CARLISLE/WORTMAN ASSOCIATES, INC.**



---

**CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP**

# Troy Plaza

Troy, Michigan



**Moiseev/Gordon Associates, Inc.**  
 4351 Delamere Court  
 Royal Oak, MI 48073  
 248.549.4500 voice  
 248.549.7300 faxes  
 www.moiseev-gordon.com

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 Do not scale the drawings.

Client:  
**Tinelle Properties  
 LLC**  
 29850 NORTHWESTERN  
 HIGHWAY  
 SOUTHFIELD, MI 48034

Project Title:  
**Troy Plaza**  
 TROY, MI 48230

Sheet Title:  
**Title Sheet**

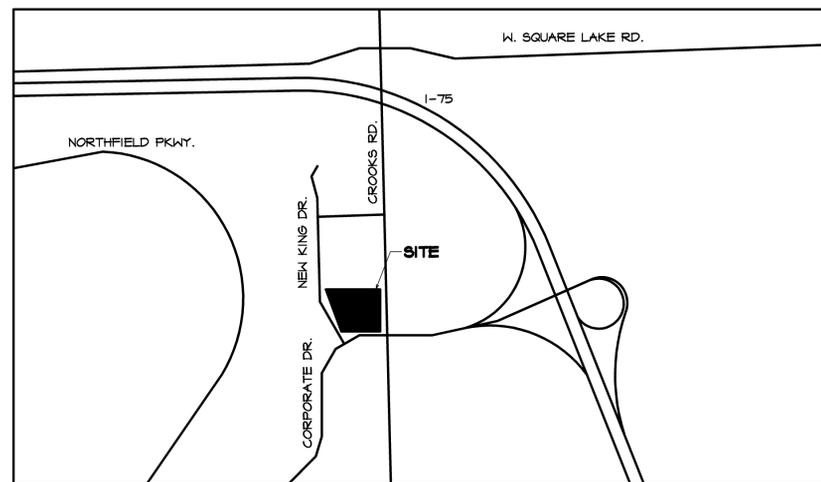
Project Number: 06418.02  
 Drawn By: AJM  
 Checked By:  
 Approved By:  
 Date: 08-09-06

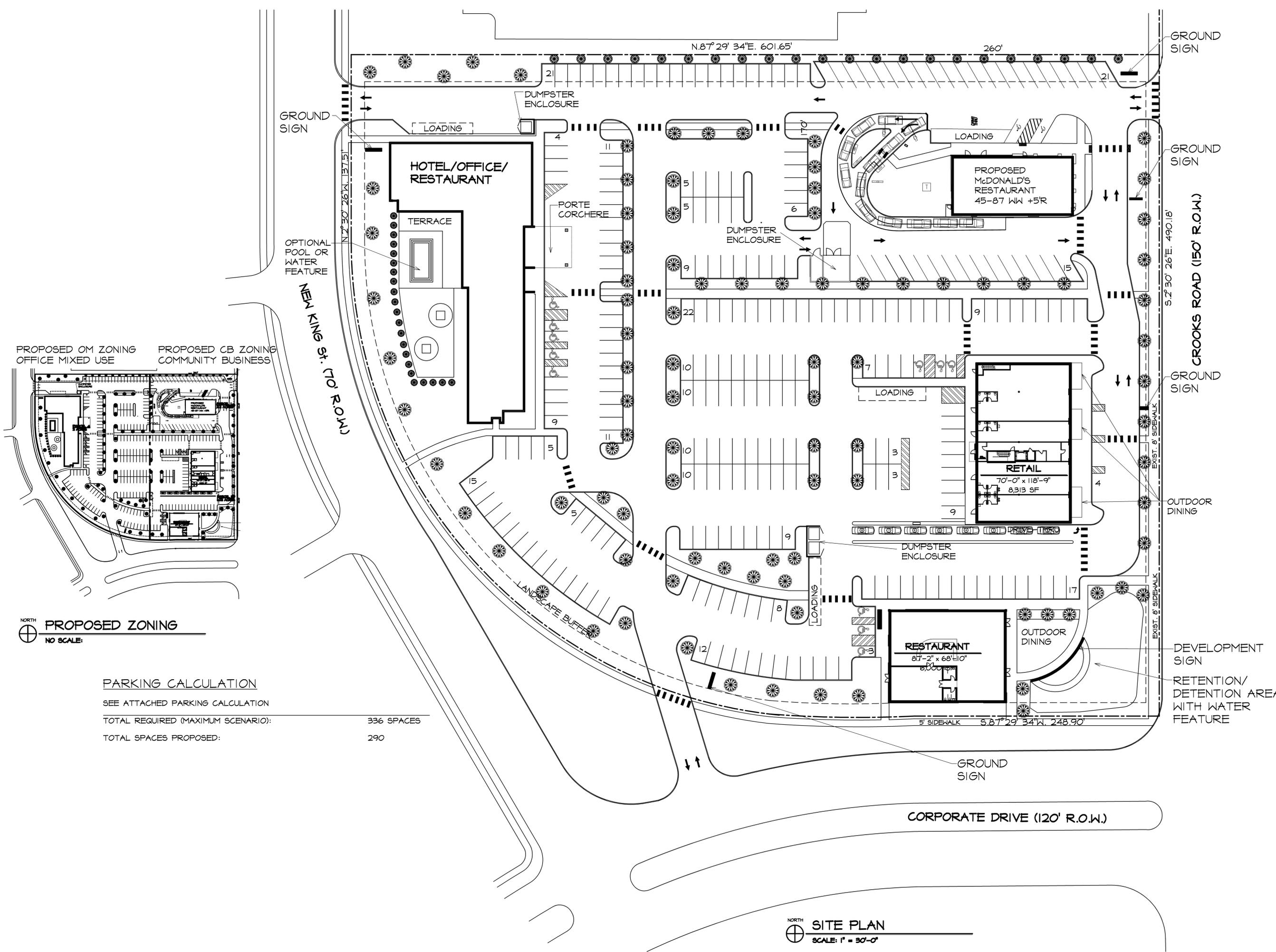
ISSUED:	Owner Review	Owner Review
02-07-12	02-07-12	04-30-12
02-14-12	02-14-12	Conditional
02-27-12	02-27-12	Rezoning
02-29-12	02-29-12	06-04-12
03-13-12	03-13-12	
03-20-12	03-20-12	
03-22-12	03-22-12	
04-11-12	04-11-12	

Sheet Number:  
**SP-1**

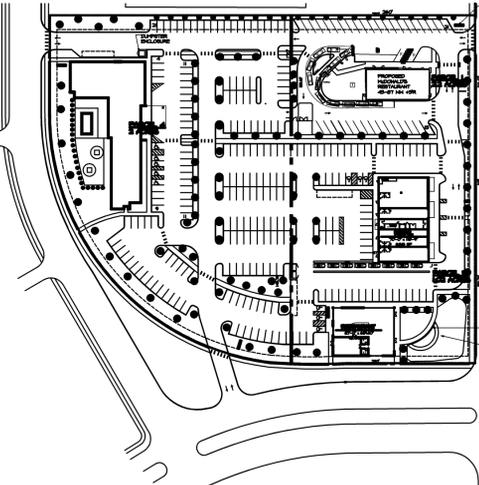
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Drawing Schedule	Issued	Issued	Issued	Issued	Issued	Issued	Issued
	Conditional Rezoning						
SP-1 Cover Sheet	06-04-12						
SP-2 Site Plan	06-04-12						
SP-3 Preliminary Landscape Plan	06-04-12						
C-1 Demolition Plan	06-04-12						
C-2 Grading Plan	06-04-12						
C-3 Utility Plan	06-04-12						
C-4 Soil Erosion & Sediment Control	06-04-12						
A-1 Retail Plan	06-04-12						
A-2 Restaurant Plan	06-04-12						
A-3 Retail Elevations	06-04-12						
A-4 Retail Elevations	06-04-12						
A-5 Restaurant Elevations	06-04-12						
A-6 Restaurant Elevations	06-04-12						
A1-0 Floor Plan McDonalds	06-04-12						
A2-0 Elevations McDonalds	06-04-12						
A2-1 Elevations McDonalds	06-04-12						





PROPOSED OM ZONING OFFICE MIXED USE  
PROPOSED CB ZONING COMMUNITY BUSINESS



NORTH  
PROPOSED ZONING  
NO SCALE:

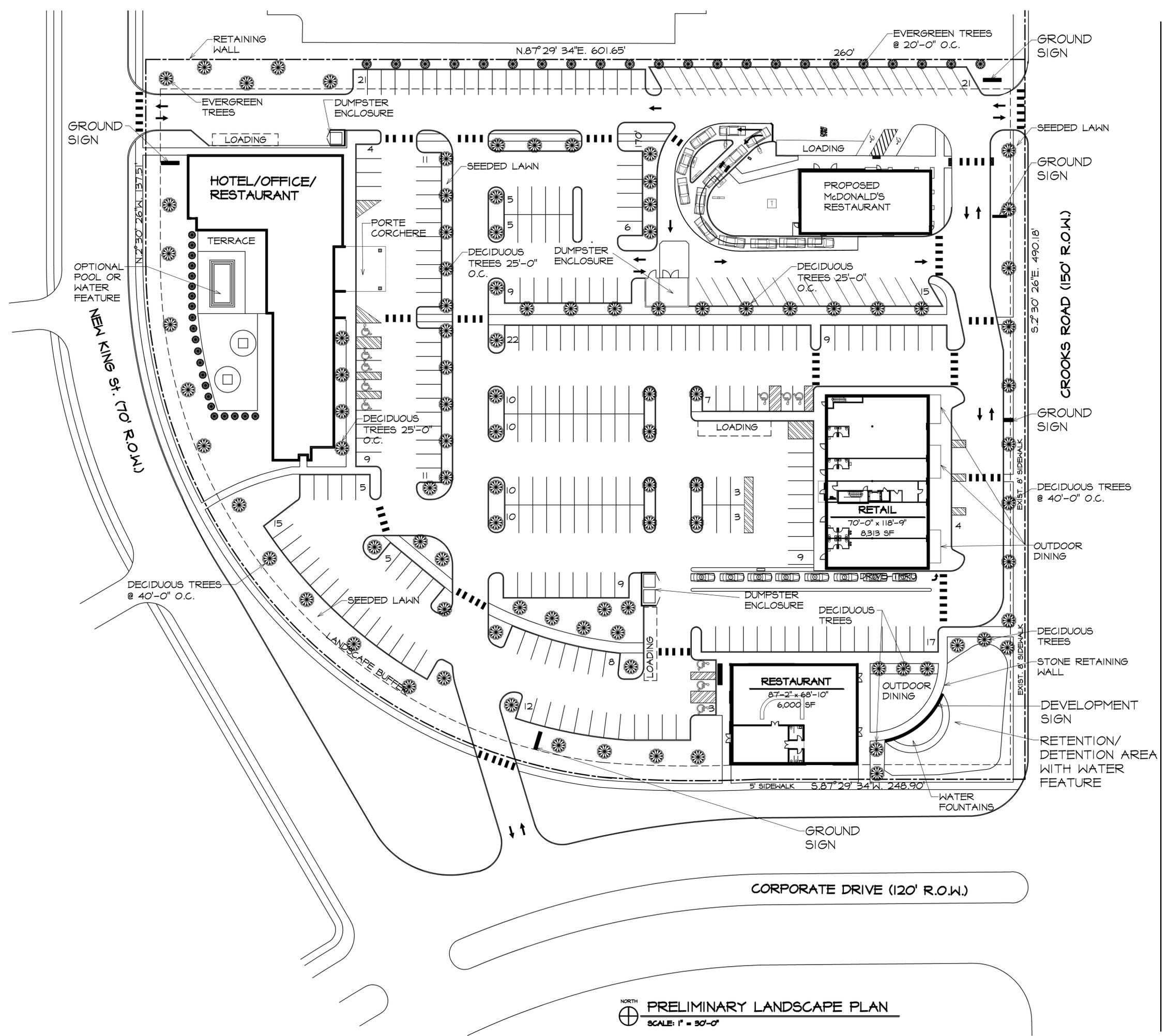
PARKING CALCULATION

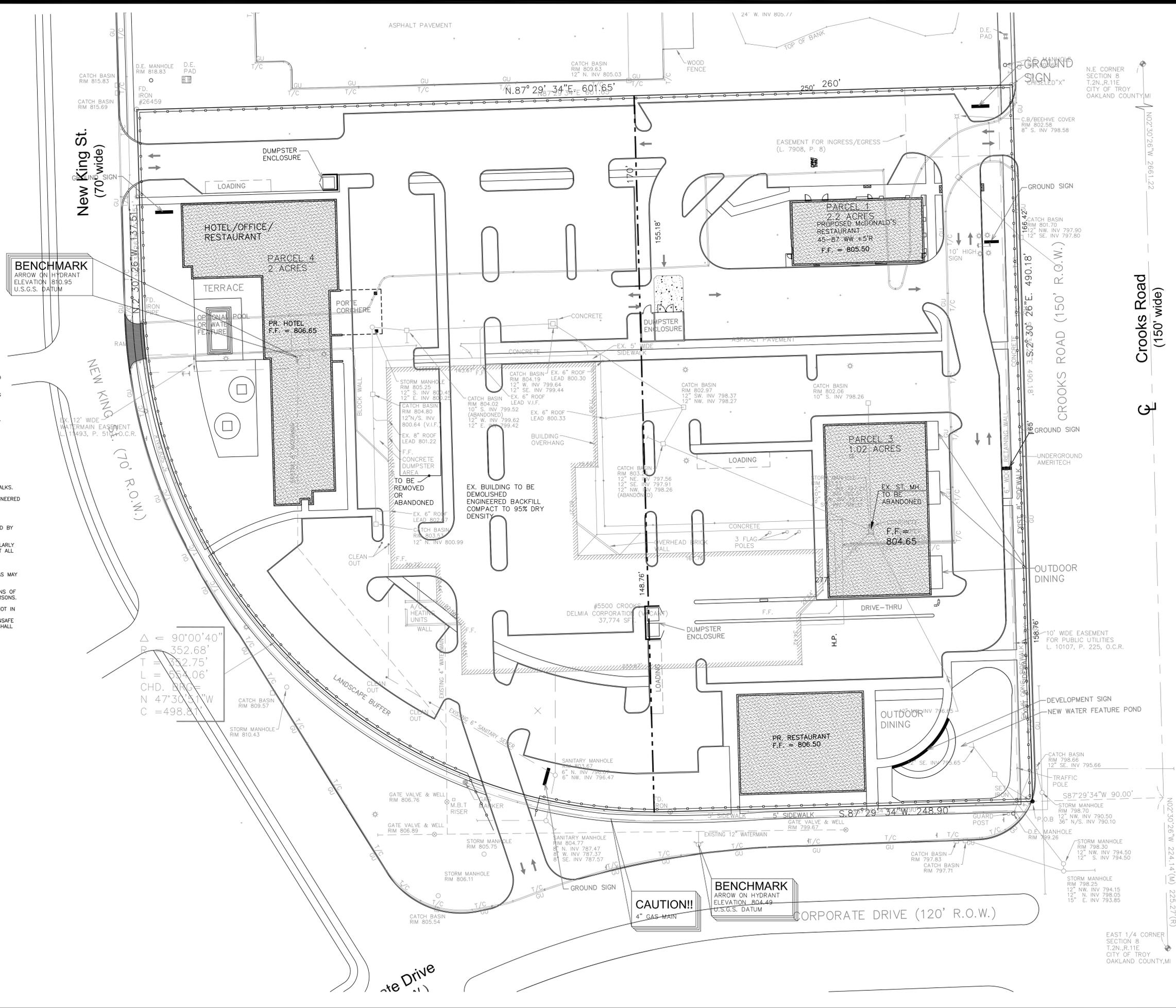
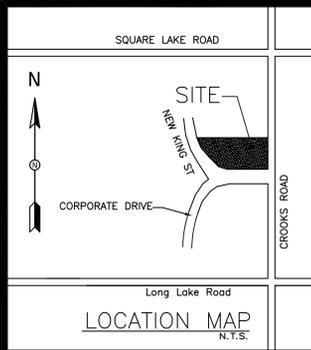
SEE ATTACHED PARKING CALCULATION

TOTAL REQUIRED (MAXIMUM SCENARIO): 336 SPACES

TOTAL SPACES PROPOSED: 290

NORTH  
SITE PLAN  
SCALE: 1" = 30'-0"





**STANDARD NOTES:**

1. NOTIFY THE CITY OF TROY ENGINEERING DEPARTMENT A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST BE CONFORMING TO CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF TROY.
3. UTILITIES TO BE UNDERGROUND.
4. CALL MISS DIG (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
5. ALL SOIL EROSION AND SILT FENCE MUST BE CONTROLLED AND CONTAINED ON-SITE.
6. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
8. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT AN ENGINEERING SITE INSPECTION IS REQUIRED.

**DEMOLITION AND SAFETY NOTES:**

1. INSTALL SOIL EROSION MEASURES AS REQUIRED.
2. REMOVE ALL EXISTING ON-SITE PAVEMENT, CURB AND CUTTER, AND SIDEWALKS.
3. REMOVE EXISTING BUILDING AND ABANDONED FOUNDATION, REFILL WITH ENGINEERED BACKFILL UP TO REQUIRED GRADES, SEE GRADING PLAN.
4. CLOSE EXISTING APPROACHES AND LANDSCAPE AS PER CITY STANDARDS.
5. REMOVE OR ABANDON EXISTING CIVIL AND GENERAL UTILITIES AS REQUIRED BY DESIGN PLANS, SEE GARDING AND UTILITY PLANS.
6. INSTALL NECESSARY SHORING, BARRICADES, SIGNS, COVERS AND ALL SIMILARLY REQUIRED MEASURE BY OSHA TO PROTECT THE WORKERS AND THE PUBLIC AT ALL TIMES.
7. IT SHALL BE THE RESPONSIBILITY OF THE PROPOERTY OWNER, DEVELOPER AND/OR CONTRACTOR TO INITIATE AND MAINTAIN OSHA REQUIRED MEASURES AS MAY BE NECESSARY.
8. SUCH PROGRAMS SHALL PROVIDE FOR FREQUENT AND REGULAR INSPECTIONS OF THE JOB SITES, MATERIALS, AND EQUIPMENT TO BE MADE BY COMPETENT PERSONS.
9. THE USE OF ANY MACHINERY, TOOL, MATERIAL, OR EQUIPMENT WHICH IS NOT IN COMPLIANCE WITH ANY APPLICABLE OSHA REQUIREMENT IS PROHIBITED. SUCH MACHINERY, TOOL, MATERIAL, OR EQUIPMENT SHALL EITHER BE IDENTIFIED AS UNSAFE BY TAGGING OR LOCKING THE CONTROLS TO RENDER THEM INOPERABLE OR SHALL BE PHYSICALLY REMOVED FROM ITS PLACE OF OPERATION.

$\Delta = 90^{\circ}00'40''$   
 $P = 352.68'$   
 $T = 352.75'$   
 $L = 654.06'$   
 $CHD. BRG =$   
 $N 47^{\circ}30'51''W$   
 $C = 498.81'$

**SITTO BUILDING & ENGINEERING**  
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034  
 TEL: (248) 709-0044 FAX: (248) 246-8800 EMAIL: IMAD@SITTOENGINEERS.COM

**PROJECT**  
 TROY PLAZA  
 5500 NEW KING ST. TROY, MI

**CLIENT**  
 TINELLE PROPERTIES  
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034

**REVISIONS**

**NOTES**  
 PLEASE DO NOT SCALE DRAWING

**Approved By**

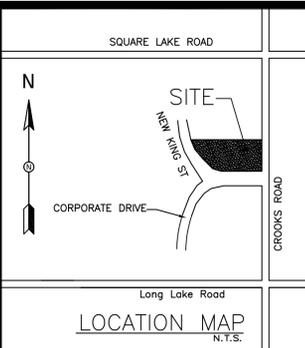
**SCALE**  
 1" = 30'

**DATE**  
 05/19/2012

**JOB NO.**  
 2012-32

**SHEET TITLE**  
 DEMOLITION PLAN

**SHEET NO.**  
 C-1



**DETENTION CALCULATIONS**

REQUIRED DETENTION VOLUME  
 $Q_p = (A) (0.2 \text{ CFS/ACRE}) = 1.23 \text{ CFS}$   
 $Q_s = Q_p/AC = 0.25 \text{ CFS/ACRE}$

STORAGE TIME FOR 25-YEAR STORM  
 $T = -25 + (8062.5/Q_p)^{1/2}$   
 $T = 155.70 \text{ MINUTES}$

$V_s = 12,900 (T/(T+25)) - 40(Q_p)(T)$   
 $V_s = 9,577.50 \text{ CUBIC FEET/ACRE-IMPERVIOUS}$

$V_T = V_s \times A \times C = 47,787.87 \text{ CF}$   
 $0.22 \text{ ACRE-FEET}$

**DETENTION SIZING (UNDERGROUND PIPE STORAGE)**

ALLOWABLE DISCHARGE ( $Q_d$ ) = 1.23 CFS  
 $Q = C A \sqrt{2gh}$   
 $C = 0.62$

ORIFICE CROSS SECTION AREA (A)  
 $GRAVITY (g) = 32.2 \text{ FEET/SEC}^2$   
 $H = \text{DISTANCE FROM HIGHWATER TO CENTER OF PIPE}$   
 $D = \text{DEPTH OF PONDING} = 5 \text{ FEET}$   
 $A = Q_d / (0.62 \times (2 \times 32.2 \times 5)^{0.5}) = 0.38 \text{ FT.} = 4.5 \text{ INCH.}$   
 USE 4 IN. PIPE RESTRICTOR

**ORIFICE CONTROL CALCULATIONS**

ALLOWABLE DISCHARGE ( $Q_d$ ) = 1.23 CFS  
 $Q = C A \sqrt{2gh}$   
 $C = 0.62$

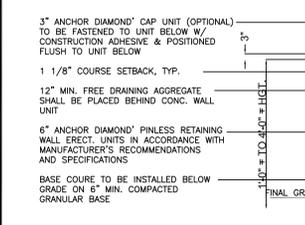
ORIFICE CROSS SECTION AREA (A)  
 $GRAVITY (g) = 32.2 \text{ FEET/SEC}^2$   
 $H = \text{DISTANCE FROM HIGHWATER TO CENTER OF PIPE}$   
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 $A = Q_d / (0.62 \times (2 \times 32.2 \times 5)^{0.5}) = 0.38 \text{ FT.} = 4.5 \text{ INCH.}$   
 USE 4 IN. PIPE RESTRICTOR

**WATER TREATMENT NOTE:**

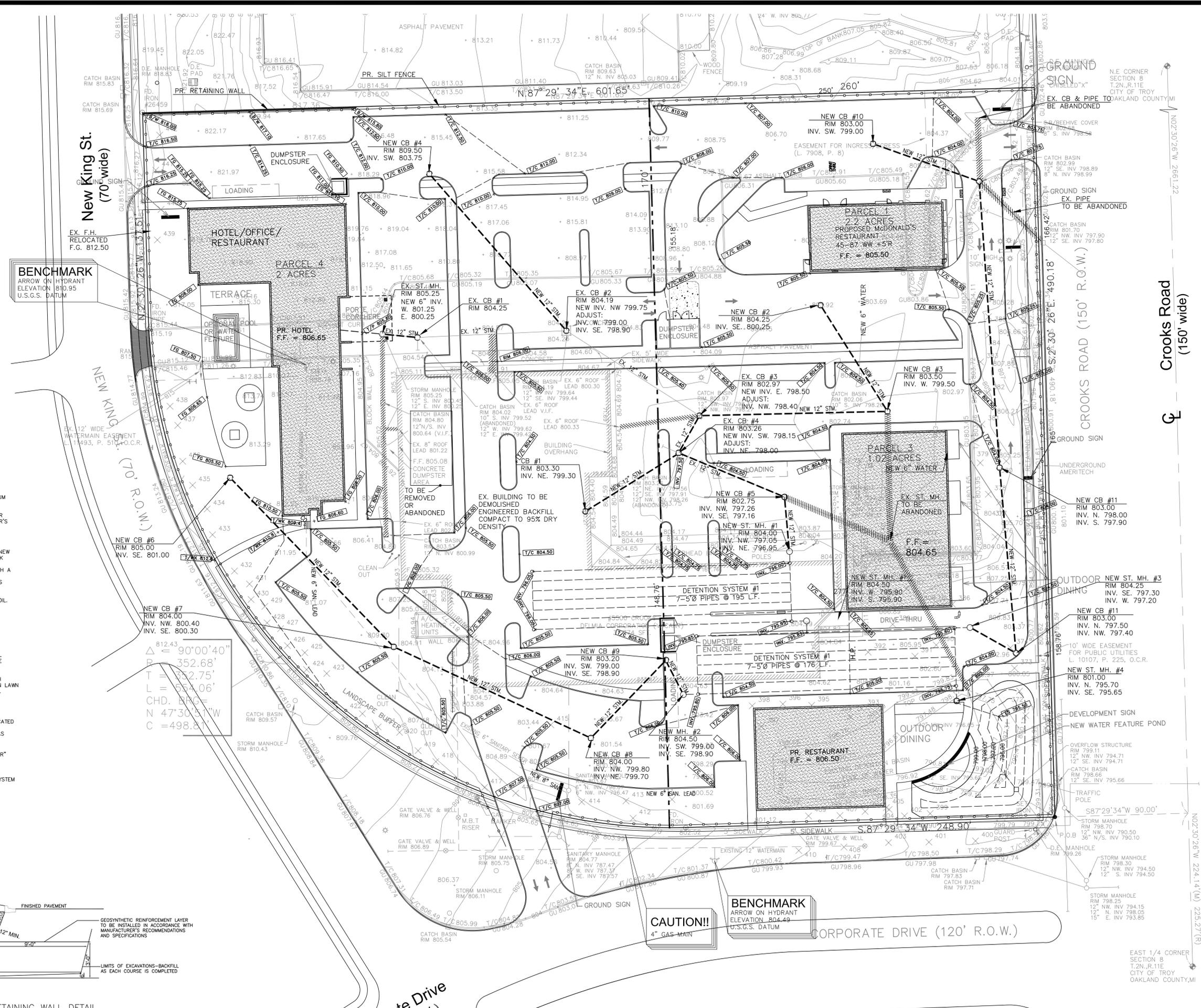
PRE-MANUFACTURED WATER TREATMENT MANHOLES WILL BE UTILIZED TO PROVIDE THE STORM WATER TREATMENT AS REQUIRED BY THE CITY OF TROY.

**GRADING NOTES:**

- SLOPE ALL PAVED SURFACES TO DRAIN TO STORM STRUCTURES. MINIMUM SLOPE ON NEW PAVED AREAS SHALL BE 0.6%, MAXIMUM SHALL BE 6%.
- CHECK LOCATION OF ALL UTILITY LINES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES AND/OR THE OWNER'S PROPERTY AND SHALL REPAIR, REPLACE, OR RESTORE SAME AT THE CONTRACTOR'S EXPENSE. CALL MISS DIG (3) WORKING DAYS BEFORE DIGGING AT 1-800-482-7171.
- SLOPE ALL SITE WORK UNIFORMLY BETWEEN NEW GRADES OR BETWEEN NEW GRADES AND EXISTING GRADES. THIS INCLUDES SLOPING ALL SITE WORK BETWEEN NEW GRADES AND RIM ELEVATION GRADES AT CATCH BASINS. TRANSITIONS BETWEEN CHANGE IN GRADES SHALL BE CONSTRUCTED WITH A MINIMUM 25 FOOT VERTICAL CURVE. PLAN GRADES INDICATE POINT OF INTERSECTION ELEVATIONS. ABRUPT GRADE CHANGES AT CATCH BASINS AND HIGH POINTS ARE NOT ALLOWED.
- AREA OF BUILDINGS, WALKS, AND PAVING SHALL BE STRIPPED OF TOPSOIL. TOPSOIL SHALL BE STORED ON THIS CONSTRUCTION SITE FOR RE-USE. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THIS CONSTRUCTION SITE.
- ALL FILL NECESSARY TO PROVIDE SUBGRADES FOR INTERIOR CONCRETE FLOOR SLABS, WALKS, DRIVEWAYS AND PARKING SPACES SHALL BE MICHIGAN DEPARTMENT OF TRANSPORTATION, CLASS II.
- OBTAIN PERMIT AND PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORD WITH COUNTY AND TOWNSHIP REQUIREMENTS. SEE EROSION CONTROL NOTES AND LEGEND.
- ALL STORM SEWER STRUCTURES AND COVERS SHALL BE IN ACCORD WITH MDT STANDARD SPECS. USE COVER "D" IN PAVED AREAS, COVER "E" IN LAWN AREAS, COVER "K" AT CURB LOCATIONS AND COVER "A" FOR MANHOLES.
- CONNECT ALL ROOF DOWNSPOUTS AND FOOTING DRAINS TO STORM STRUCTURES AND PROVIDE POSITIVE FLOW AWAY FROM BUILDING.
- DRAIN TILE FOR EDGE DRAINS AND SUB-PAVEMENT DRAINS WHERE INDICATED SHALL BE 6" POLYETHYLENE CORRUGATED PERFORATED DRAINAGE PIPE WITH NYLON SOCK. PROVIDE FITTINGS FOR TURNS AND CONNECTIONS AS REQUIRED. CONNECT TO STORM STRUCTURE.
- FOR THE PURPOSE OF THESE BIDDING DOCUMENTS THE TERM "DEVELOPER" SHALL BE CONTRACTOR.
- DEVELOPER SHALL OBTAIN APPROVAL FROM THE MACOMB COUNTY DRAIN COMMISSIONER AND THE MI DEO PRIOR TO CONSTRUCTING THE STORM SYSTEM AND DISCHARGE INTO THE COUNTY STORM DRAIN.
- STORM SEWER CATCH BASINS SHALL BE 4' DIA. TYPICAL.
- REFER TO CITY OF TROY DESIGN STANDARDS & DETAILS.



**ANCHOR DIAMOND PINLESS RETAINING WALL DETAIL**  
 N.T.S.



**SITTO BUILDING & ENGINEERING**  
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034  
 TEL: (248) 709-0044 FAX: (248) 248-8800 EMAIL: IMAD@SITTOENGINEERS.COM

**PROJECT**  
 TROY PLAZA  
 5500 NEW KING ST.  
 TROY, MI

**CLIENT**  
 TINELLE PROPERTIES  
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034

**REVISIONS**

**NOTES**  
 PLEASE DO NOT SCALE DRAWING

**Approved By**

**SCALE**  
 1" = 30'

**DATE**  
 05/19/2012

**JOB NO.**  
 2012-32

**SHEET TITLE**  
 GRADING PLAN

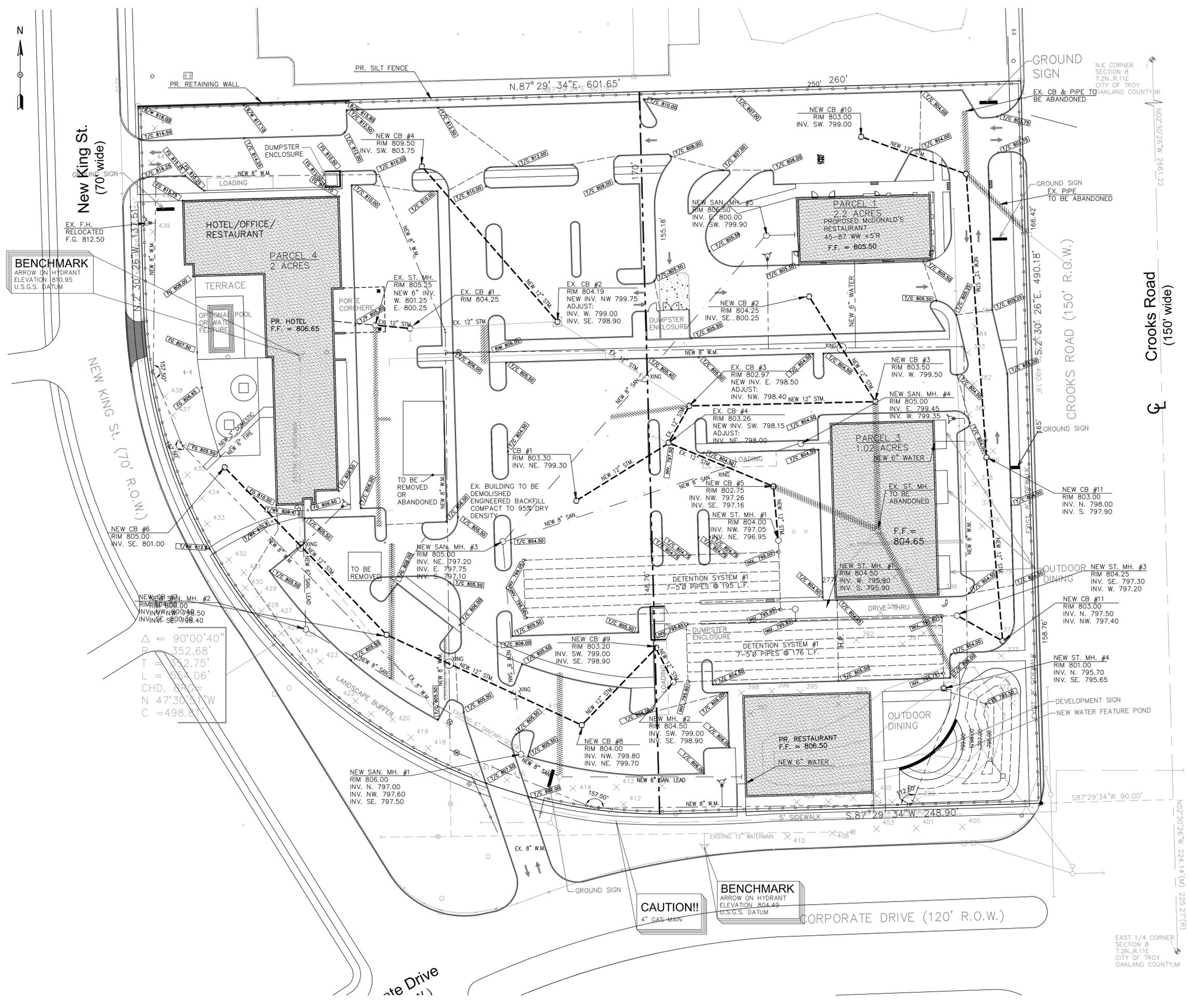
**SHEET NO.**  
 C-2



**BENCHMARK**  
ARROW ON HYDRANT  
ELEVATION 810.95  
U.S.G.S. DATUM

**BENCHMARK**  
ARROW ON HYDRANT  
ELEVATION 804.49  
U.S.G.S. DATUM

$\Delta = 90^{\circ}00'40''$   
 $P = 352.68'$   
 $T = 352.75'$   
 $L = 554.06'$   
 $CHD. BRG =$   
 $N 47^{\circ}30'51''W$   
 $C = 498.81'$



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**PROJECT**  
TROY PLAZA  
5500 NEW KING ST.  
TROY, MI

**CLIENT**  
TINELLE PROPERTIES  
29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034

**REVISIONS**

**NOTES**  
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**Approved By**

**SCALE**  
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**DATE**  
05/19/2012

**JOB NO.**  
2012-32

**SHEET TITLE**  
UTILITY PLAN

**SHEET NO.**  
C-3

N.E. CORNER SECTION 8 T.2N.,R.11E CITY OF TROY OAKLAND COUNTY,MI

N027°30'26"W 2661.22'

CROOKS ROAD (150' R.O.W.)

S.27°30'26"E 490.16'

GROUND SIGN EX. PIPE TO BE ABANDONED

NEW CB #11 RIM 803.00 INV. N. 798.00 INV. S. 797.90

NEW ST. M.H. #3 RIM 804.25 INV. SE. 797.30 INV. W. 797.20

NEW CB #11 RIM 803.00 INV. N. 797.50 INV. NW. 797.40

NEW ST. M.H. #4 RIM 801.00 INV. N. 795.70 INV. SE. 795.65

DEVELOPMENT SIGN NEW WATER FEATURE POND

NEW ST. M.H. #2 RIM 806.00 INV. NW. 800.98.50 INV. NE. 800.98.40

NEW CB #9 RIM 803.20 INV. SW. 799.00 INV. SE. 798.90

NEW SAN. M.H. #1 RIM 806.00 INV. N. 797.00 INV. NW. 797.60 INV. SE. 797.50

NEW CB #8 RIM 804.00 INV. NW. 799.80 INV. NE. 799.70

NEW M.H. #2 RIM 804.50 INV. SW. 799.00 INV. SE. 798.90

NEW SAN. M.H. #3 RIM 805.00 INV. NE. 797.20 INV. E. 797.75 INV. S. 797.10

NEW SAN. M.H. #4 RIM 805.00 INV. E. 799.45 INV. W. 799.35

NEW CB #3 RIM 803.50 INV. W. 799.50

NEW ST. M.H. #1 RIM 804.00 INV. NW. 797.05 INV. NE. 796.95

EAST 1/4 CORNER SECTION 8 T.2N.,R.11E CITY OF TROY OAKLAND COUNTY,MI

N027°30'26"W 224.14'(N) 225.27'(R)

**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

1. DEVELOPER/PROPERTY OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION & SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
2. CONSTRUCTION OPERATIONS SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING AND/OR GRADING OPERATIONS.
3. BORROW AND FILL DISPOSAL AREAS WILL BE SELECTED AND APPROVED AT TIME OF PLAN REVIEW.
4. SPECIAL PRECAUTIONS WILL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
5. CLEANUP WILL BE DONE IN A MANNER TO INSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
6. THE PROJECT WILL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE DEVELOPER WITHIN 24 HOURS.
7. TEMPORARY EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED BY THE DEVELOPER UPON ESTABLISHMENT OF PERMANENT CONTROL MEASURES.
8. PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE. IF THIS CANNOT BE ACHIEVED, THEN ALL TEMPORARY PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST STAY IN PLACE AND MUST BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED.
9. THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994 AS AMENDED. AN MDEQ PERMIT IS REQUIRED FOR WORK IN THE WATERCOURSE.
10. A GEOTECHNICAL REPORT PREPARED BY PSI ON 6/7/2001 INDICATES THAT THE SITE IS COMPRISED PRIMARILY OF FINE TO MEDIUM SAND, SANDY CLAY FILL AND SAND FILL.
11. GROSS ACREAGE DISTURBED BY THIS CONSTRUCTION ACTIVITY = 8.04.

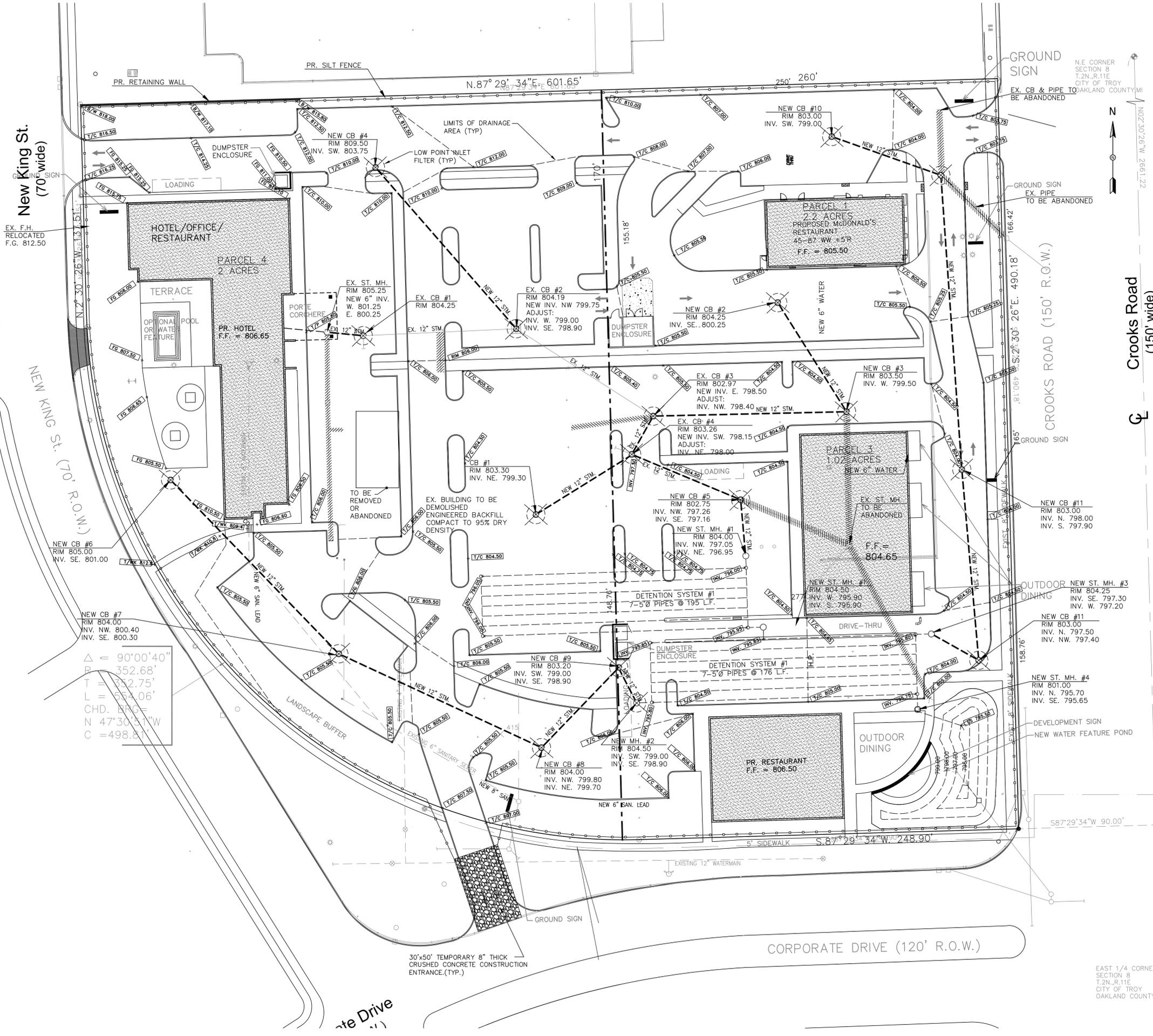
**CONSTRUCTION SEQUENCE**

1. DEMOLITION, EXCAVATION AND STOCKPIILING OF SOIL.
2. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING, DIVERSIONS AS REQUIRED IN FIELD, PROTECTION OF EXISTING UTILITIES AND FACILITIES.
3. PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
4. PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.

THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED. THE SOIL EROSION AND SEDIMENT CONTROL ACT.

**LEGAL DESCRIPTION (FURNISHED BY CLIENT)**

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 8, T2N., R11E, CITY OF TROY, OAKLAND COUNTY MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT N02°30'26"W 224.14 FEET ALONG THE SECTION LINE IN CROOKS ROAD AND S87°29'34"W 90.00 FEET TO THE WEST RIGHT OF WAY LINE, FROM THE EAST 1/4 CORNER OF SAID SECTION 8, THENCE S87°29'34"W 248.90 FEET; THENCE 554.06 FEET ALONG THE ARC OF A CURVE TO THE RIGHT (CHORD BEARING N47°30'51"W 498.81 FEET, RADIUS 352.68 FEET) THENCE N02°30'26"W 137.51 FEET; THENCE N87°29'34"E 601.65 FEET; THENCE S02°30'26"E 490.18 FEET ALONG THE WEST RIGHT OF WAY LINE OF SAID CROOKS ROAD (150' WIDE) TO THE POINT OF BEGINNING, CONTAINING 268,226 SQUARE FEET OR 6.16 ACRES, SIDELL #20-8-276-002



$\Delta = 90^{\circ}00'40"$   
 $R = 352.68'$   
 $T = 352.75'$   
 $L = 554.06'$   
 $CHD. BEG =$   
 $N 47^{\circ}30'51"W$   
 $C = 498.81'$

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**PROJECT**

TROY PLAZA  
 5500 NEW KING ST. TROY, MI

---

**CLIENT**

TINELLE PROPERTIES  
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034

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**REVISIONS**

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**NOTES**

PLEASE DO NOT SCALE DRAWING

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**Approved By**

---

**SCALE**

1" = 30'

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**DATE**

05/19/2012

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**JOB NO.**

2012-32

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**SHEET TITLE**

SOIL EROSION AND SEDIMENT CONTROL

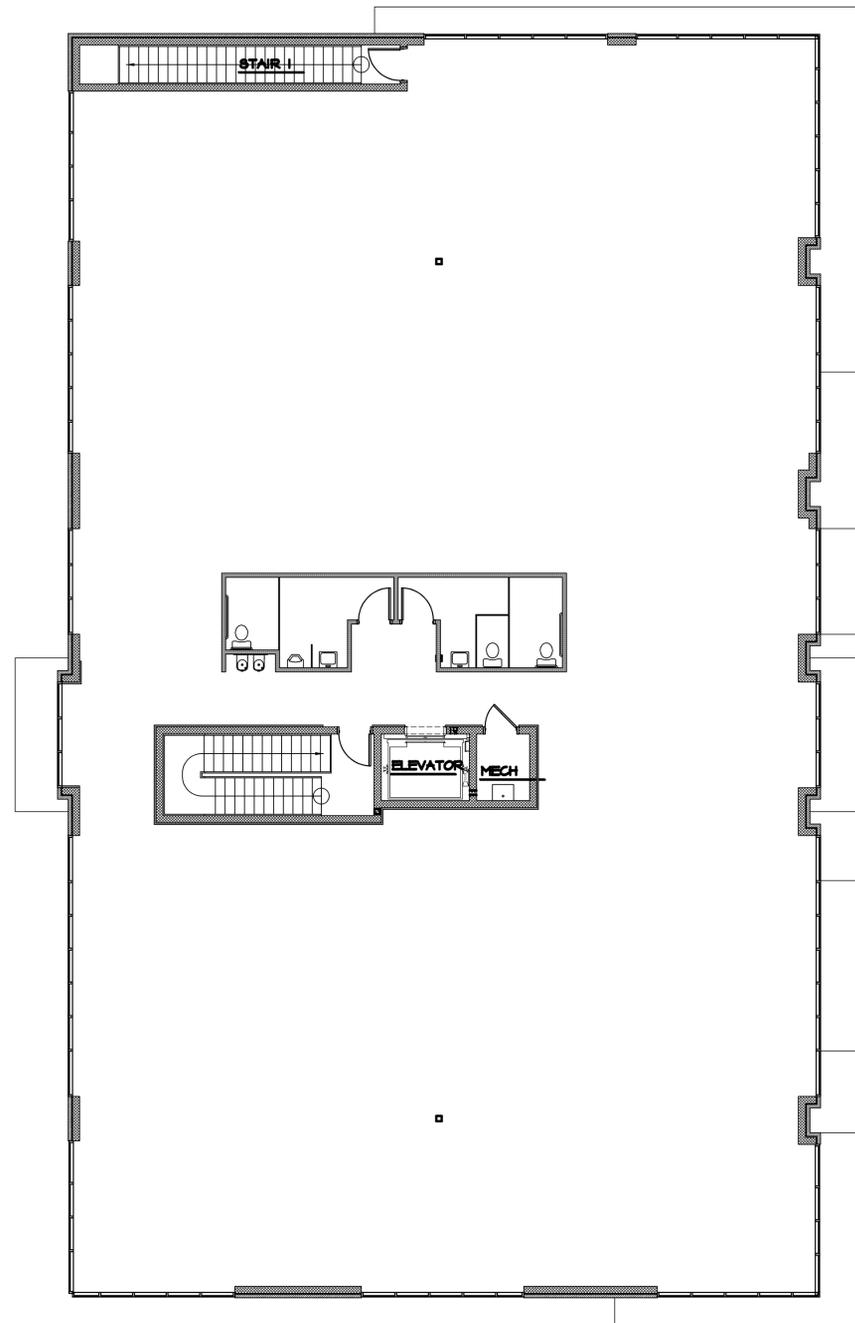
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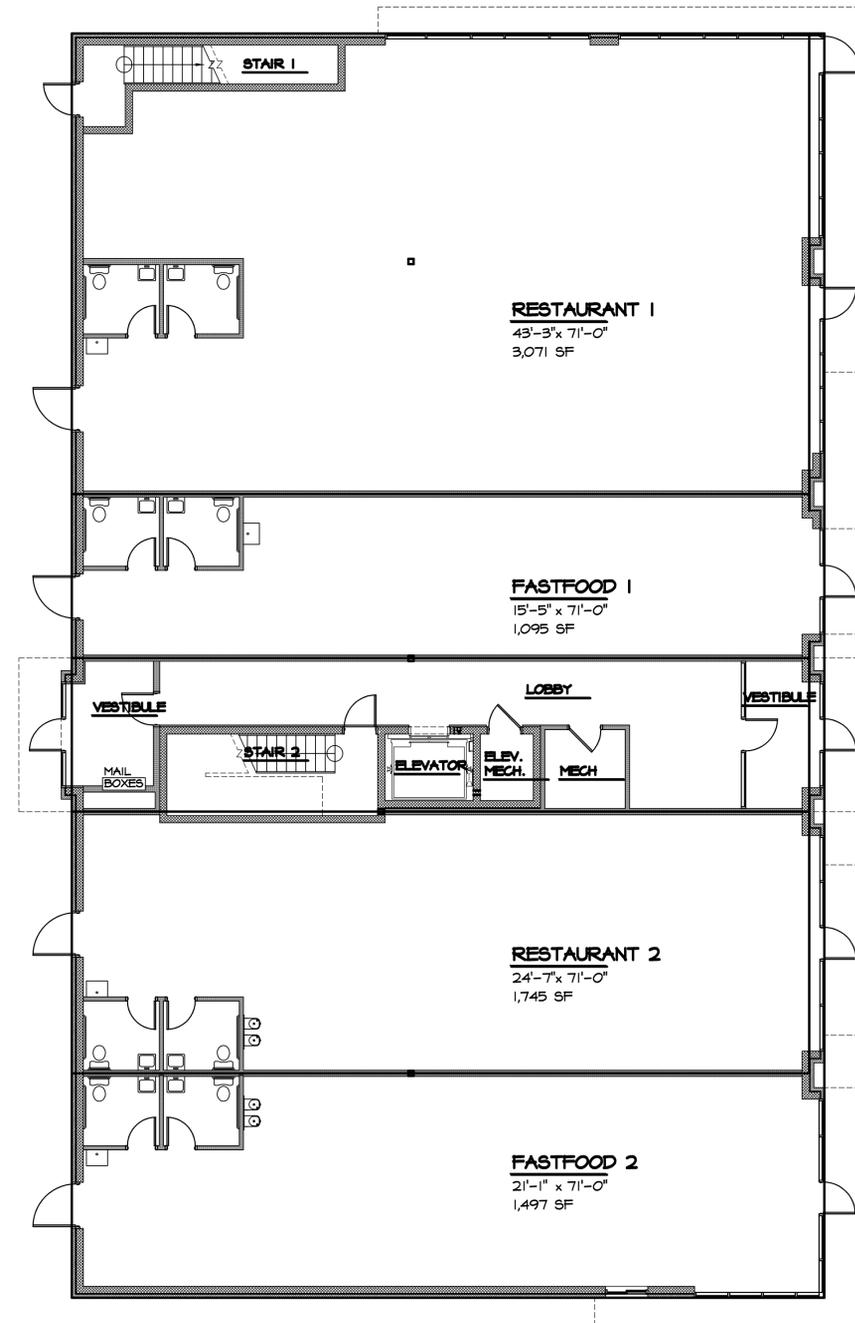
C-4

N02°30'26"W 224.14 (M) 225.27 (R)  
 N02°30'26"W 266.12 Z

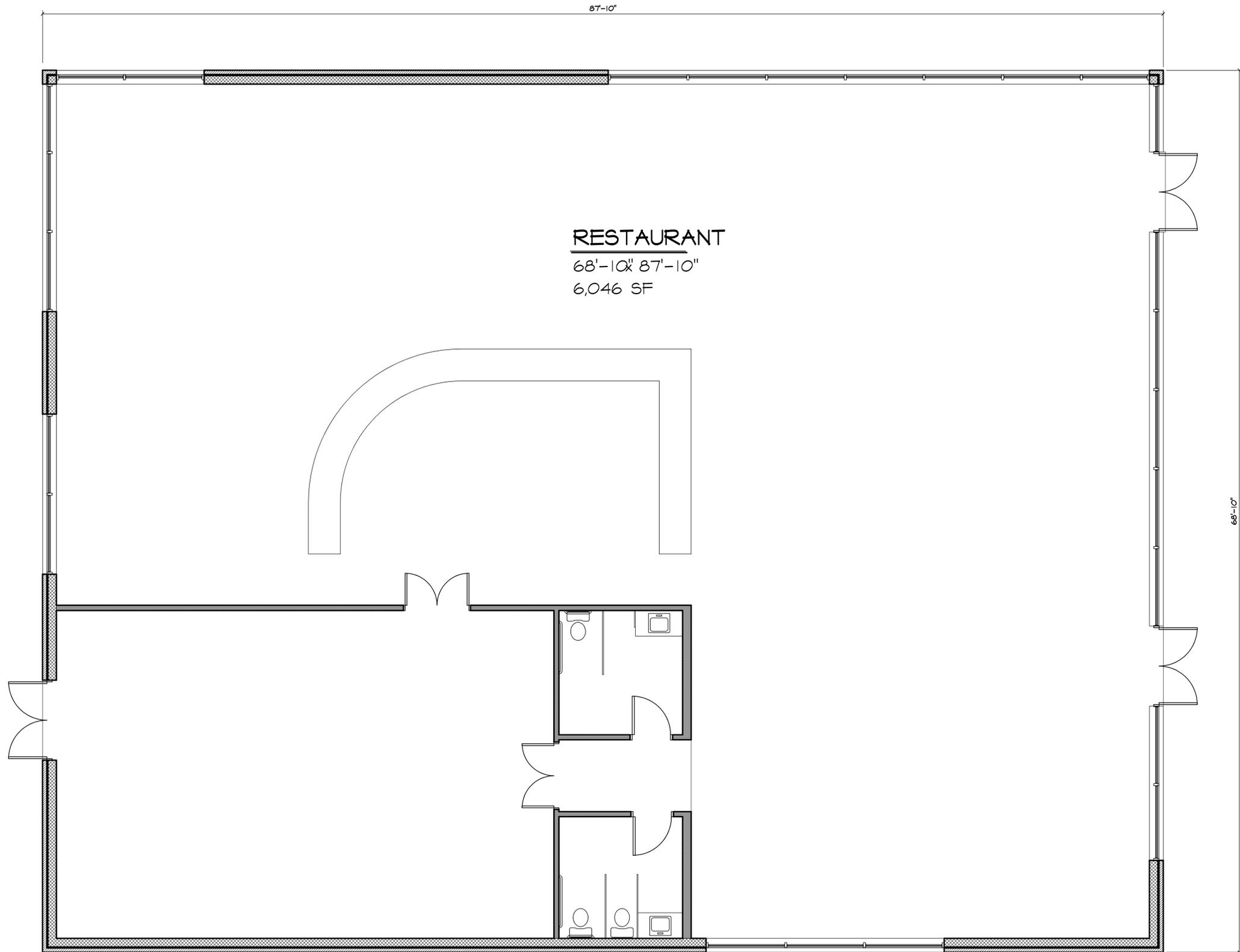
EAST 1/4 CORNER SECTION 8 T.2N., R.11E CITY OF TROY OAKLAND COUNTY, MI



NORTH  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

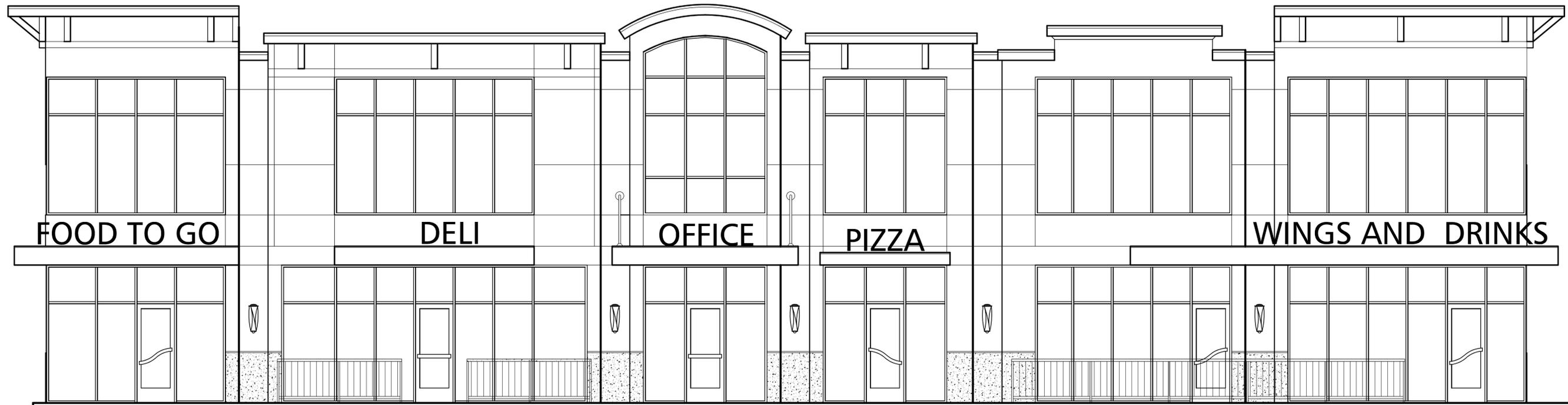


NORTH  
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

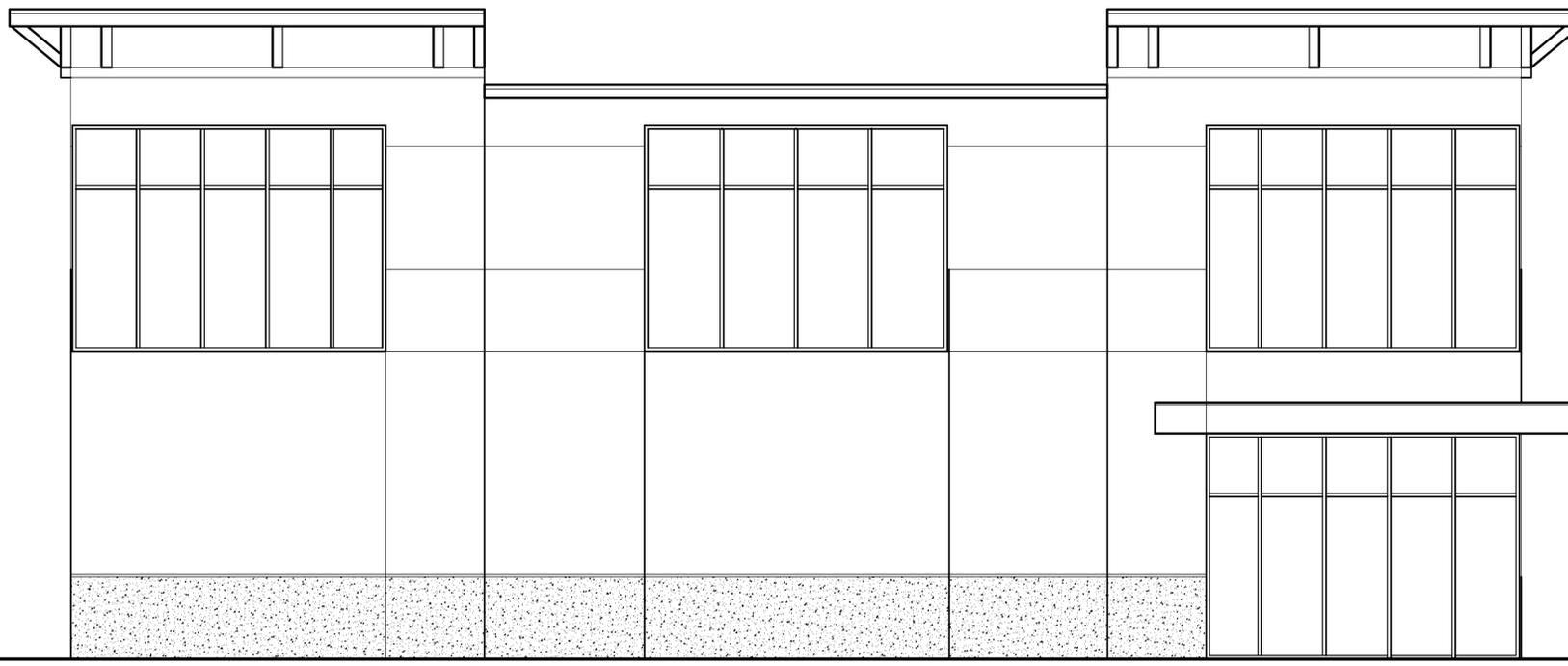


**RESTAURANT**  
68'-10" x 87'-10"  
6,046 SF

NORTH  
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

Project Title:  
**Troy Plaza**  
TROY, MI 48230

Sheet Title:  
**ELEVATIONS  
RETAIL  
BUILDING**

Project Number: 06418.02  
Drawn By: AJM  
Checked By:  
Date: 08-09-06

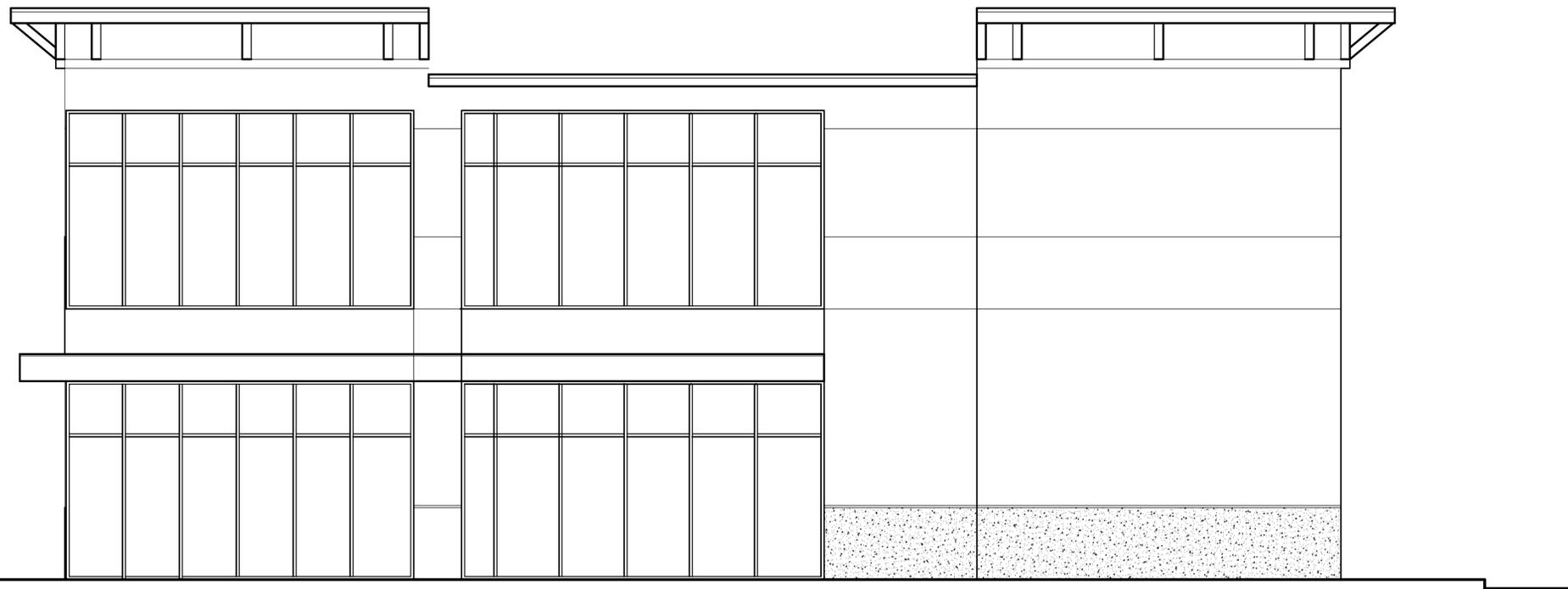
Issued:	Owner Review
02-07-12	04-30-12
Owner Review	Conditional
02-14-12	Reasoning
02-27-12	06-04-12
Owner Review	
02-29-12	
Owner Review	
03-13-12	
Owner Review	
03-20-12	
Owner Review	
03-22-12	
Owner Review	
04-11-12	

Sheet Number:

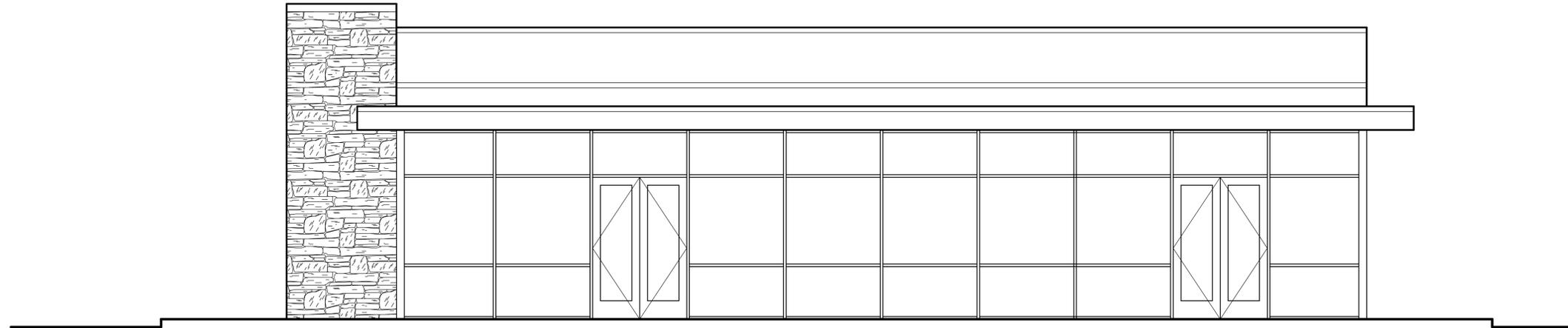
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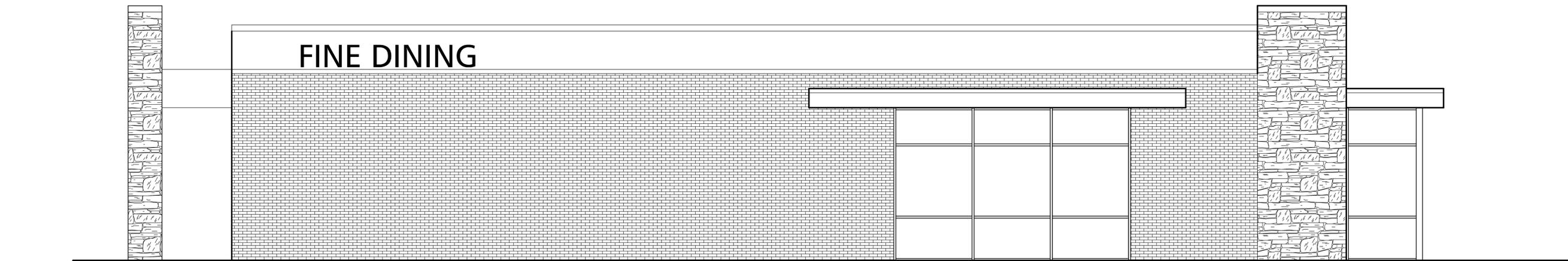
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



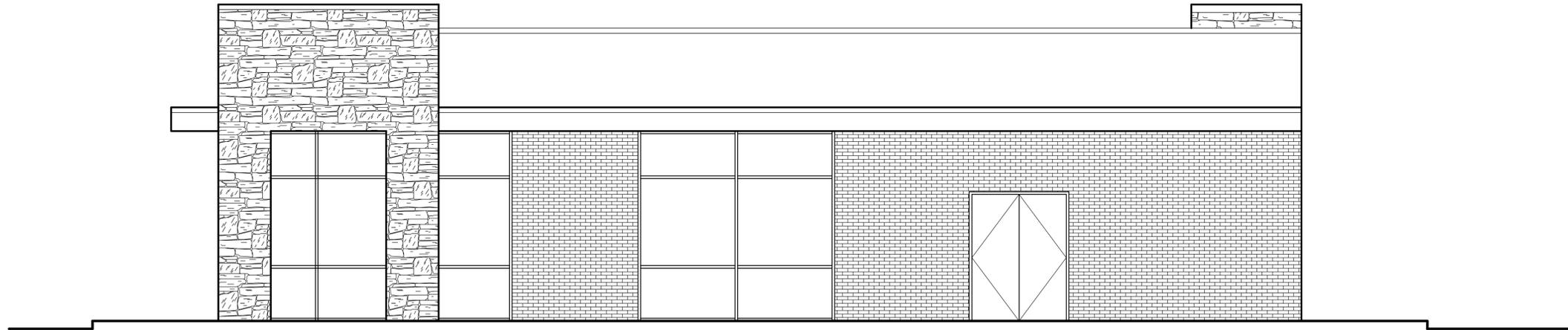
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



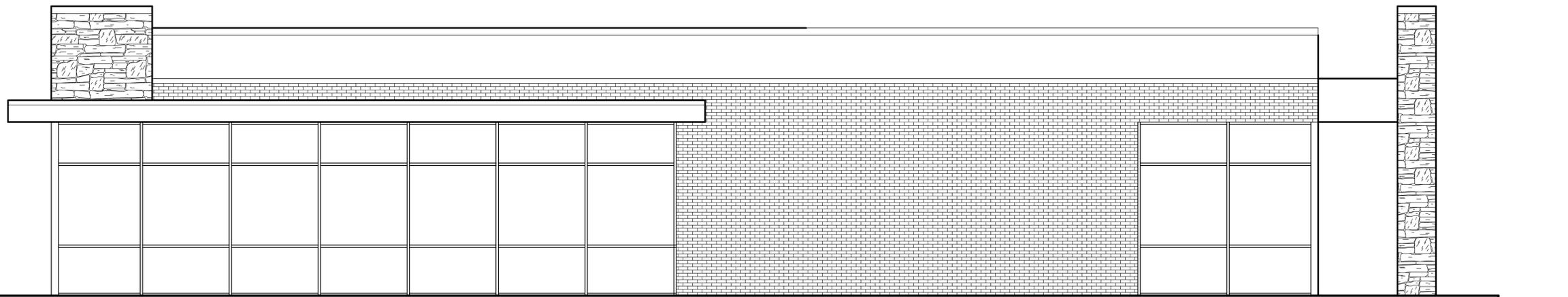
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



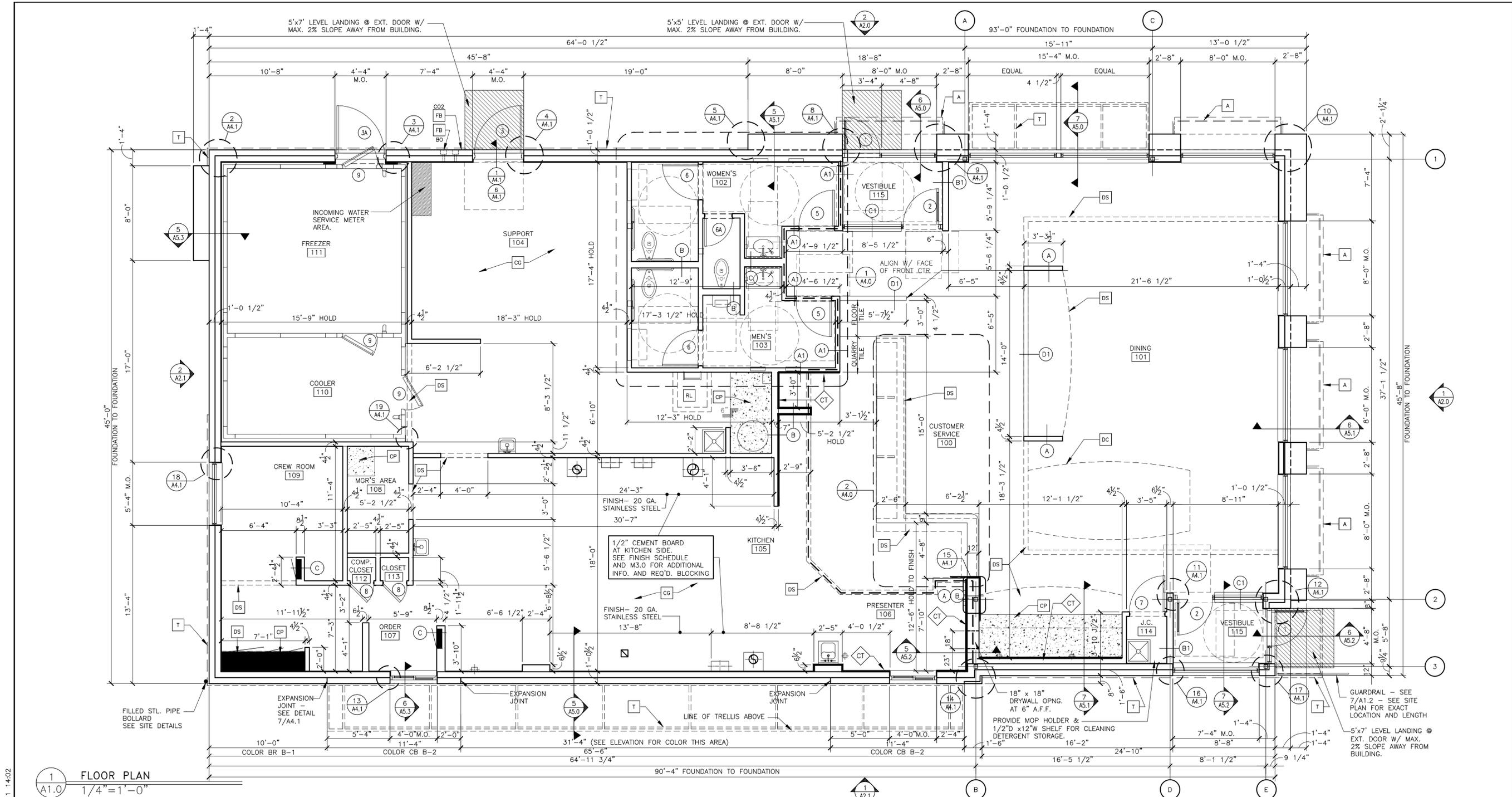
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



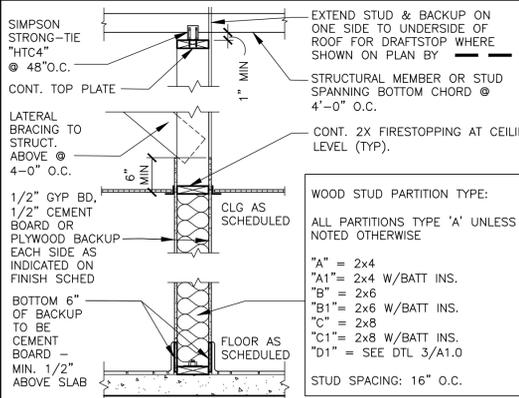
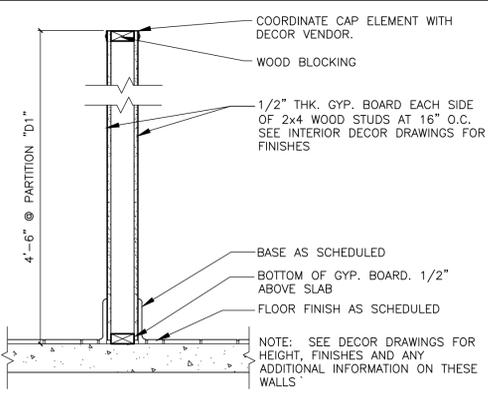
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN  
1/4" = 1'-0"



KEY NOTES

- A AWNING ABOVE - BY OTHERS
- CG G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA. CORNER GUARDS TO START AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING - BULLNOSE COVE BASE WHERE TILE MEETS STAINLESS STEEL CORNER
- CP CONCRETE EQMT PAD - SEE STRUCTURAL
- DC SUSPENDED DECORATIVE CEILING TREATMENT - SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
- DS DROPPED SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
- FB CO2 FILL BOX (EQUIPMENT SCHEDULE ITEM 49.00) CO2
- FB OPTIONAL BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) BO CONFIRM USE WITH MCDONALD'S PROJECT MANAGER

SYMBOL LEGEND

- A PARTITION TYPE TAG SEE 2/A1.0
- 7 DOOR TAG - SEE DOOR SCHEDULE ON A6.0
- CT CERAMIC WALL TILE @ CUSTOMER SERVICE AND KITCHEN SERVING AREAS - TO BE COORDINATED W/FINAL DINING DECOR SCHEME & MCDONALD'S AREA CONSTRUCTION MANAGER
- X KEY NOTE
- RL ROOF ACCESS LADDER W/HATCH ABOVE SEE STRUCTURAL FRAMING PLAN FOR LOCATING DIMENSIONS
- T TRELLIS SYSTEM ABOVE SEE 4/A5.0 FOR NOTES SEE ROOF PLAN FOR DIMENSIONS

GENERAL NOTES

1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF FINISH.
2. SEE 4/A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
4. SEE SHEET A6.0 FOR DOOR AND ROOM FINISH SCHEDULES
5. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8768 9292 1ST ST., BOX 588 www.forrestpermasigns.com NEW ROCHELLE, NY 10802
7. MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
8. ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
9. COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVINGS, ETC. FOR PROPER INSTALLATION HEIGHTS.

K:\DIV\CENTRAL\1-MICH\021-1893-00-0 TROY.M\A-PLAN.DWG 05-26-2011 14:02

DRAWN BY: VWS		DATE: MARCH 2009		REVIEWED BY: MR		DATE ISSUED: 5/18/2011		SITE ADDRESS: 72 W. MAPLE RD TROY, MICHIGAN	
TITLE: 2009 STANDARD BUILDING 4587+5 REAR - WOOD/WOOD		DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING PERMA-SIGN		SHEET NO: A1.0		FLOOR PLAN		REV. DATE. DESCRIPTION	
PREPARED FOR: McDonald's USA, LLC		PREPARED BY: Michael J. Ceferin		LICENSED ARCHITECT		2111 McDonald's Drive, Oak Brook IL 60523		PHONE: (630) 623-6204	
© 2011 McDonald's USA, LLC		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without the written authorization of McDonald's USA, LLC. The drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.							
DRAWN BY: VWS		DATE: MARCH 2009		REVIEWED BY: MR		DATE ISSUED: 5/18/2011		SITE ADDRESS: 72 W. MAPLE RD TROY, MICHIGAN	







**Troy Plaza Parking Calculation (Preliminary)**

Land Use	User	Code Required	6am	7am	8am	9am	10am	11am	Noon	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	Midnight	
Hotel-Business	Customer	136	129.2	122.4	108.8	95.2	81.6	81.6	74.8	74.8	81.6	81.6	88.4	95.2	102	102	108.8	115.6	129.2	136	136	
Hotel-Business	Employee	10	0.5	3	9	9	10	10	10	10	10	10	9	7.5	6	5.5	5.5	5.5	4.5	4.5	3	
Office	Employee	29	0.87	8.7	21.75	27.55	29	29	26.1	26.1	29	29	26.1	14.5	7.25	2.9	2.03	0.87	0.29	0	0	
Office	Visitor	3	0	0.03	0.6	1.8	3	1.35	0.45	1.35	3	1.35	0.45	0.3	0.15	0.06	0.03	0	0	0	0	
Fast Food	Customer	64	3.2	6.4	12.8	19.2	35.2	54.4	64	64	57.6	38.4	35.2	38.4	54.4	51.2	32	19.2	12.8	6.4	3.2	
Fast Food	Employee	17	2.55	3.4	5.1	6.8	12.75	17	17	17	16.15	11.9	10.2	11.9	15.3	15.3	10.2	6.8	5.1	3.4	3.4	
Standard Restaurant	Customer	138	0	0	0	0	20.7	117.3	124.2	117.3	103.5	55.2	69	103.5	131.1	138	138	138	131.1	103.5	34.5	
Standard Restaurant	Employee	20	0	4	10	15	18	18	18	18	18	15	15	20	20	20	20	20	20	17	7	
			417	136.32	147.93	168.05	174.55	210.25	328.65	334.55	328.55	318.85	242.45	253.35	291.3	336.2	334.96	316.56	305.97	302.99	270.8	187.1

- Office Building**
- 9,434 sq ft gross
- 6,745 sq ft net
- 1/300 sq ft gross area
- Corner Restaurant**
- 6000 sq ft
- 190 seats
- 1/2 seats
- McDonalds**
- 4,125 sq ft
- 3,321 sq ft net/70
- Restaurant 1**
- 2876 sq ft
- 85 seats
- Fast Food 1**
- 1095 sq ft Gross
- 950 sq ft net/70
- Restaurant 2**
- 2000 sq ft
- 40 seats
- Fast Food 2**
- 1,500 sq ft gross
- 1,320 sq ft net/70
- 19 spaces
- Hotel
- 136 Rooms
- Total

This is preliminary calculaiton of the required parking. Of the shared parking methodologies only the time of day has been utilized. Further analysis including modal shift, persons per car and adjustments for non-captive users.

- 29 Employee Spaces
- 3 Visitor Spaces
- 85 Customer spaces
- 10 Employee Spaces
- fastfood
- 40 Customer spaces
- 8 Employee Spaces
- 36 Customer spaces
- 7 Employee Spaces
- fastfood
- 9 Customer spaces
- 5 Employee Spaces
- 17 Customer spaces
- 3 Employee Spaces
- fastfood
- 15 Customer spaces
- 4 Employee Spaces
- Fast foot
- 64 Customer spaces
- 17 Employee Spaces
- Standard Restaurant
- 138 Customer spaces
- 20 Employee Spaces

Date: June 19, 2012  
To: Planning Commission  
From: R. Brent Savidant, Planning Director  
Subject: AMENDMENT OF PLANNING COMMISSION BYLAWS

Article IV, Section 3 of the Planning Commission By-laws includes provisions related to Planning Commission meetings. The provisions currently state that meetings will be held at 7:30 p.m. Meeting times were recently changed to 7:00 p.m. The following minor revision is proposed to Article IV, Section 3:

Section 3. Regular Meetings of the Planning Commission shall be held on the second Tuesday of each month at 7:00 ~~7:30~~ p.m. at the Troy City Hall, 500 West Big Beaver Road, Troy, Michigan. Special Meetings and Study Meetings may be held on the first and fourth Tuesday of each month at 7:00 ~~7:30~~ p.m., as necessary. Special Meetings shall be held at City Hall. Site Location Meetings may be scheduled at any reasonable time and notice of the time shall be included in the public notice of the Site Location Meeting. Any changes in the date or time of any meeting shall be posted and noticed in the same manner as originally established. When a Regular Meeting date falls on or near a legal holiday, the Planning Commission shall select a suitable alternate date in the same month.

A complete copy of the amended Planning Commission By-laws will be distributed to the Planning Commission electronically after the proposed revision is approved.

cc: File

G:\Planning Commission\By-Laws\Bylaws Memo 06 26 12.doc