



PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

July 10, 2012

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – June 26, 2012 Special/Study Meeting
4. PUBLIC COMMENTS – For Items Not on the Current Agenda

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

5. PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 396) – Proposed Golden Mustang Auto Repair, Southwest Corner of John R and Brinston (2251 John R), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

CONDITIONAL REZONING REQUEST

6. PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 006) – Proposed Troy Plaza, West side of Crooks, South of Square Lake (5500 New King), Section 8, From PUD 13 (Planned Unit Development 13) to CB (Community Business) and OM (Office Mixed Use) Districts

SITE CONDOMINIUM DEVELOPMENT

7. PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 1000' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

OTHER BUSINESS

8. REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

9. PUBLIC COMMENTS – For Items on Current Agenda

10. PLANNING COMMISSION COMMENTS

ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Tagle called the Special/Study meeting of the Troy City Planning Commission to order at 7:00 p.m. on June 26, 2012 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Michael W. Hutson
Tom Krent
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Absent:

Philip Sanzica

Also Present:

R. Brent Savidant, Planning Director
Susan Lancaster, Assistant City Attorney
Ben Carlisle, Carlisle/Wortman Associates, Inc.
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2012-06-038

Moved by: Edmunds
Seconded by: Schultz

RESOLVED, To approve the agenda as published.

Yes: All present (7)
Absent: Sanzica

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2012-06-039

Moved by: Krent
Seconded by: Strat

RESOLVED, To approve the minutes of the June 12, 2012 Regular meeting as submitted.

Yes: All present (7)
Absent: Sanzica

MOTION CARRIED

4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

5. ZONING BOARD OF APPEALS (ZBA) REPORT

Mr. Strat reported on the June 19, 2012 Zoning Board of Appeals meeting.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

Mr. Savidant reported there was no Downtown Development Authority meeting in June.

7. PLANNING AND ZONING REPORT

Mr. Savidant gave a brief report on potential development projects.

SITE CONDOMINIUM DEVELOPMENT

8. PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 1000' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

Mr. Carlisle gave a report on the proposed site condominium development and stated the proposed development meets all Zoning Ordinance requirements. Mr. Carlisle recommended approval contingent on the applicant satisfying the requirements as noted in his report, dated June 21, 2012.

Mr. Savidant announced correspondence was received by Ali Bazoun of 4855 Beach, of which the Board members received a copy in their agenda packet.

Chair Tagle opened the floor for public comment.

Kathy Kolbe, 4699 White Oaks Court, Troy; addressed public notification of meeting, natural beauty of site, proposed sidewalk, elevations and construction traffic.

Ali Bazoun, 4855 Beach Road, Troy; addressed house representation on site plan and asked petitioner to consider landscape buffer for his property.

Paul Bringer of Dawda, Mann, Mulcahy & Sadler, PLC, 39533 Woodward Avenue, Bloomfield Hills; represents John Abbott of 4751 Beach Road and submitted correspondence dated June 26, 2012.

Chair Tagle closed the floor for public comment.

The petitioner, Joe Maniaci of Mondrian Properties, and Jeremy Carnahan, project civil engineer of Professional Engineering Associates, were present.

There was discussion on:

- Preservation of trees/aesthetics of site.
- Stormwater detention; drainage; grading.
- Cluster development option as alternative.
- Creative development.
- Abutting residential property to south and north.
- Potential for sidewalk waiver.
- Elimination of berm.
- Detention basin maintenance.

Resolution # PC-2012-06-040

Moved by: Hutson

Seconded by: Krent

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, South of Long Lake, Section 18, within the R-1A (One Family Residential) District, be granted, subject to the following:

1. Obtain all appropriate wetland permits MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body prior to final site plan approval.
2. Selectively clear only those trees necessary and attempt to preserve as many significant trees as possible.
3. Show the proposed twenty (20) Norway Spruce allocated along the southern property line on the Landscape Plan.

Discussion on the motion on the floor.

Resolution # PC-2012-06-041

Moved by: Edmunds

Seconded by: Schepke

RESOLVED, To amend the Resolution to postpone the item for two weeks for the developer to come back with an alternate plan that takes into consideration comments made at tonight’s meeting.

Vote on the substitute motion on the floor.

Yes: Edmunds, Krent, Schepke, Schultz, Strat, Tagle

No: Hutson

Absent: Sanzica

MOTION CARRIED

Mr. Hutson said he opposes a postponement because the site plan meets all Zoning Ordinance requirements.

REZONING REQUEST

- 9. REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

Mr. Savidant gave a brief review of the proposed rezoning application postponed by the Board for an informal discussion.

The petitioner, Jason Horton and Daniel Stern of Lormax Stern Development Company, were present.

It was determined the petitioner would prepare a list of uses allowable within the IB zoning district that they project to be viable and residentially friendly.

Members of the Board were encouraged to review in detail the allowable uses within the IB zoning district in preparation to reach an agreement with the petitioner on potential uses.

Chair Tagle requested a recess at 8:35 p.m.

The meeting reconvened at 8:40 p.m.

CONDITIONAL REZONING

- 10. CONDITIONAL REZONING APPLICATION (File Number CR 006) – Proposed Troy Plaza Development, West side of Crooks, North side of New King (5500 New King), Section 8, From PUD (Planned Unit Development) to OM (Office Mixed Use) and CB (Community Business) Districts

Mr. Savidant announced the petitioner submitted three color renderings shown in the Board’s digital presentation this evening but were not available at the time the agenda packet was distributed.

Mr. Carlisle gave a brief report on the proposed conditional rezoning. Mr. Carlisle addressed site planning revisions to assist in creating a more cohesive and integrated site.

The petitioner, Michael Gordon of Moiseev/Gordon Associates, was present. Mr. Gordon addressed the reason for submitting a rezoning application versus a PUD development. He indicated the proposed development would be constructed in phases; first phase, McDonald’s restaurant; second phase, two-story office/retail building; third phase, free standing restaurant; and final phase, hotel.

There was general discussion on the following:

- Drive throughs; location, future uses.
- Position of buildings; closer to Crooks.
- Pedestrian traffic; walkability.
- Retention; stormwater management.
- Viability of hotel.
- Elimination of parking; provide additional green space.
- Internal directional signage.
- Outdoor restaurant seating.

Tom Geigich, real estate manager for McDonald’s corporate offices, was also present. Mr. Geigich addressed the restaurant customer base, internal directional signage relating to the restaurant entrance and drive through, and outdoor seating.

The Board gave a general nod of approval of the proposed conditional rezoning application.

OTHER BUSINESS

11. **PLANNING COMMISSION BYLAWS**

Resolution # PC-2012-06-042

Moved by: Schultz
 Seconded by: Edmunds

RESOLVED, To amend Article IV, Section 3, of the Planning Commission Bylaws to change the start time of meetings to 7:00 p.m.

Yes: All present (7)
 Absent: Sanzica

MOTION CARRIED

12. **PUBLIC COMMENT** – Items on Current Agenda

There was no one present who wished to speak.

13. PLANNING COMMISSION COMMENT

There was general Planning Commission discussion.

Mr. Carlisle received favorable comments from the Board and staff for his astute presentations and site planning observations.

The Special/Study meeting of the Planning Commission adjourned at 9:20 p.m.

Respectfully submitted,

John Tagle, Chair

Kathy L. Czarnecki, Recording Secretary

G:\Planning Commission Minutes\2012 PC Minutes\Draft\2012 06 26 Special Study Meeting_Draft.doc

DATE: July 5, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 396) – Proposed Golden Mustang Auto Repair, Southwest Corner of John R and Brinston (2251 John R), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

The petitioner Enright Architects PLLC submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a proposed Golden Mustang Auto Repair. An existing vacant commercial building will be renovated and repurposed.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SU 396

G:\SPECIAL USE\SU 396 Golden Mustang Auto Repair Sec 26\PC Memo 07 10 12.docx

PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 396) – Proposed Golden Mustang Auto Repair, Southwest Corner of John R and Brinston (2251 John R), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Resolution # PC-2012-07-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Golden Mustang Auto Repair, located on the southwest corner of John R and Brinston (2251 John R), Section 26, Currently Zoned IB (Integrated Industrial and Business) District, be granted, subject to the following:

1. Indicate proposed repairs and paint colors;
2. Remove driveway apron pavement off Brinston Avenue; and
3. Submit a landscape plan prepared in conformance with the City of Troy's Landscape Design Standards.

Yes:

No:

Absent:

MOTION CARRIED / FAILED



Legend

- Road Centerline
 - Major Road
 - Industrial Road
 - Local Road
- Ponds and Basins
- Streams and Creeks
- Parcels
- Aerial Photos - 2010
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



Scale 1: 1,029



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Legend

Road Centerline

- Major Road
- Industrial Road
- Local Road

Current Zoning Ordinance

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MRF) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MR) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Ponds and Basins

Streams and Creeks

Parcels

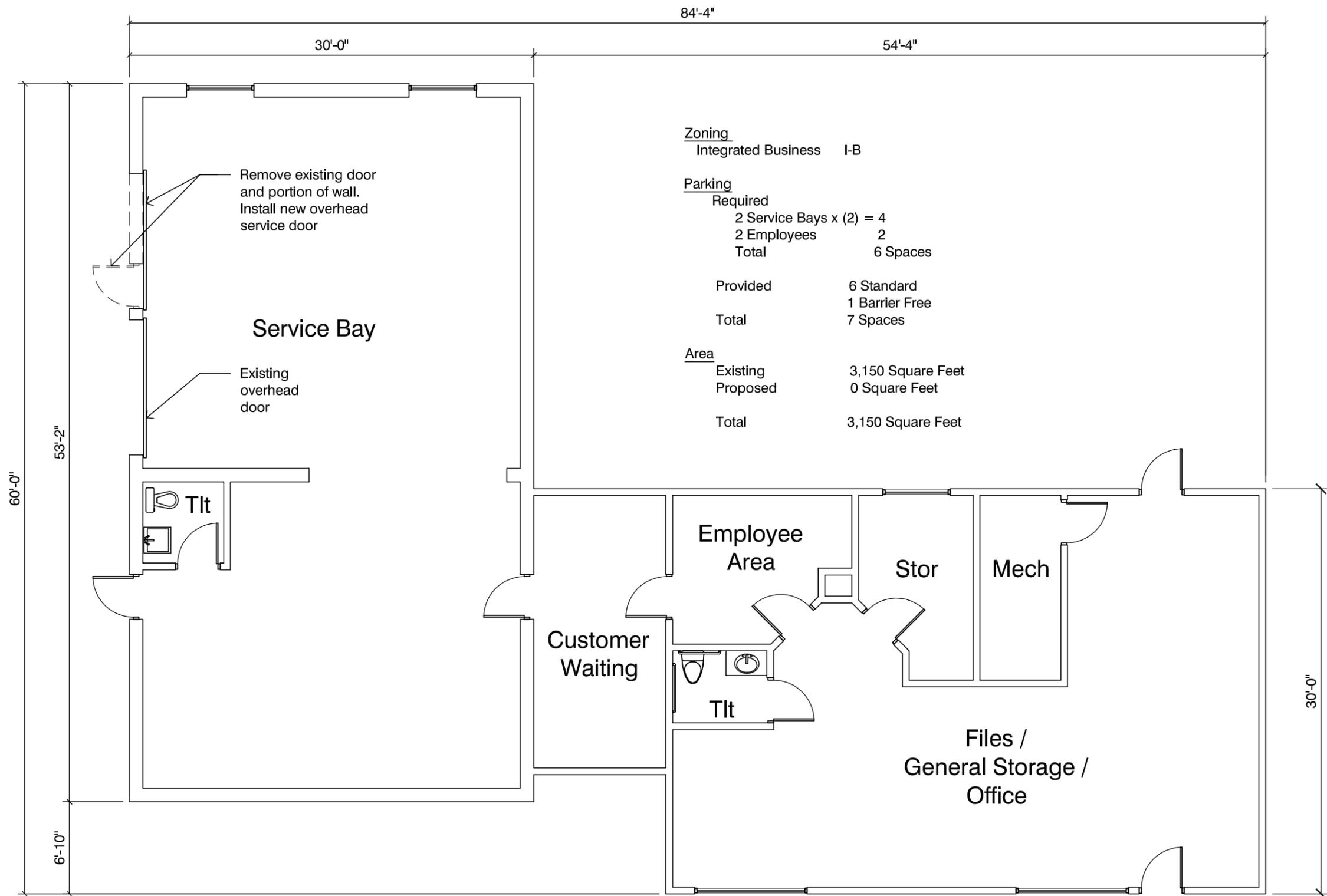
Aerial Photos - 2010

- Red: Band_1
- Green: Band_2
- Blue: Band_3

171 0 86 171 Feet

Scale 1: 1,029











Creative Kitchen & Bath

ASHWEN W. RD



CHRISTOPHER ENRIGHT ARCHITECTS

A PROFESSIONAL CORPORATION

Brent Savidant
Planning Director
City of Troy
500 West Big Beaver
Troy, MI 48084

RE Golden Mustang Auto Repair
2251 John R

May, 29 2012

Dear Brent,

Regarding the Special Use Application:

- Exterior of building to be cleaned, repaired and painted
- No additional area will be added to building
- No additional paving added to site
- Existing landscaping to remain (cleaned up)
- Building to be used for car repair only. No retail or other services ancillary to the main are planned
- Existing interior walls to remain
- No trees to be added or removed
- No exterior lighting to be added

Section 9.03 Special Use Standards

A.

1. Proposed use is compatible with surrounding uses. General industrial and mechanical uses surround site.
2. Use compatible with current zoning and Master Plan
3. No traffic impact. Very minor / low impact use. Maximum of 2 employees per shift and likely one customer waiting
4. Existing facility is adequately served by all essential services. No changes to public services are anticipated
5. All elements of zoning ordinance are met.

6. Overall environment shall not change. No negative impact on surrounding quality.
7. No comment required

B. Planning Commission Factors

1. Proposed use consistent / compatible with surrounding uses
2. Adequate parking and drive circulation is provided
3. No outdoor storage or repair to occur on site
4. Hours of Operation:
Monday through Friday 8 a.m. to 6 p.m. Saturday 8 a.m. to 4 p.m.
Closed Sunday
5. No production of traffic, noise, vibration, smoke, fumes, odors, dust, glare and light.

Respectfully,

Christopher Enright, NCARB

A handwritten signature in black ink, reading "Chris Enright", is written over a horizontal line. The signature is stylized and cursive.



CARLISLE/WORTMAN ASSOCIATES, INC.
Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

Date: July 3, 2012

Special Use Review and Preliminary Site Plan Review For City of Troy, Michigan

Applicant: Christopher Enright

Project Name: Golden Mustang Auto Repair

Plan Date: May 5, 2012

Location: 2251 John R Road

Zoning: IB, Integrated Industrial Business District

Action Requested: Special Use and Preliminary Site Plan Review

Required Information: Deficiencies noted

PROJECT AND SITE DESCRIPTION

The applicant is requesting a Special Use and Preliminary Site Plan review for an auto repair facility located at 2251 John R Road. The applicant is seeking approval to occupy the existing 1,950 sq/ft building and does not propose any building expansion. This site is zoned IB, Integrated Industrial Business District. All services will be conducted indoor, and towing is not part of the operation. Auto repair is a special use in the IB District and includes additional specific use standards as outlined in Section 6.26.

Location of Subject Property:

The property is located on the west side of John R Road, south of Brinston Avenue.



Size of Subject Property:

The parcel is approximately 20,500 sq/ft in area. Please note that the applicant does not propose to use the southern half of the property. Because this area will not be used and remain in its current state it was not shown on the submitted site plan.

Proposed Uses of Subject Parcel:

The applicant proposes to use the site for auto repair.

Current Use of Subject Property:

The subject property is currently vacant. It was previously used for Creative Kitchen and Bath.

Current Zoning:

The property is currently zoned IB, Integrated Industrial Business District.

Zoning Classification of Adjacent Parcels and Current Land Use:

Direction	Zoning	Use
North	IB, Integrated Industrial Business District	Office / Dental Lab
Northeast	R1-B, One-Family Residential	Free Will Baptist Church
South	IB, Integrated Industrial Business District	Vacant
East	R1-B, One-Family Residential	Single Family Residential
West	IB, Integrated Industrial Business District	Automobile Repair

The single-family residential neighborhood across John R Road to the east is screened with a 6-foot high board-on-board fence.

BUILDING LOCATION AND SITE ARRANGEMENT

The applicant is proposing to reoccupy the existing building and does not propose any building expansion. The proposed improvements include:

- Exterior of building to be cleaned, repaired and painted.
- No additional area will be added to building.
- No additional paving added to site.
- Existing landscaping to remain (clean up).
- Building to be used for car repair only. No retail or other services ancillary to the main is planned.
- Existing interior walls to remain.
- No trees to be added or removed.
- No exterior lighting to be added.

The applicant has not indicated proposed repairs and paint colors. The applicant needs to submit a landscape plan (see landscape plan section).

Items to be Addressed: 1). *Indicate proposed repairs and paint colors; and 2). Submit a landscape plan prepared in conformance with the City of Troy's Landscape Design Standards.*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Section 4.15.C establishes the dimensional requirements for the GB District. The requirements and the proposed dimensions are as follows:

	Required:	Provided:	Compliance
Minimum Lot Area	20,000 sq/ft	20,500 sq/ft	Complies
Front (John R)	30 feet minimum setback	2 feet	Does not Comply
Rear (south)	20 foot minimum setback	45 feet	Complies
Front (Brinston)	30 feet minimum setback	15 feet	Does not Comply
Side (west)	10 feet minimum setback	20 feet	Complies
Building Height	Maximum 5 stories, 50 feet	Under 50 feet	Complies
Lot Coverage by Buildings	40 percent	9.5%	Complies

The existing building is legal non-conforming. As such, the building may be continued to be used if the non-conformity is not enlarged. Since the applicant is not proposing to expand the building and only improve with minimal repairs, which is allowed to non-conforming structures, the reuse of this building is permitted.

Items to be Addressed: None.

PARKING

Proposed Parking:

The site plan shows six (6) total parking spaces located south of the existing building and accessed off John R. Road. In addition, the two (2) service bays can accommodate two (2) service bays. Including the two (2) bays, there are eight (8) spaces. The applicant notes that they do not anticipate any overnight parking. Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Vehicle Repair: 2 spaces for each service bay, adequate overnight parking, plus 1 space per 1 employee on the largest typical shift	2 service bays = 4 spaces 2 employees = 2 spaces	6 onsite spaces + 2 service bay spaces
Barrier Free	1	1
Bicycle Parking	0	0
Loading	0	0
Total	6	6 Automobile (1 barrier free) + 2 service bay spaces

Items to be Addressed: None

SITE ACCESS

Access to the site will remain via the existing curb-cut on John R Road. No additional curb cuts are proposed.

As can be seen from the aerial photo, there is a decaying driveway apron off Brinston Avenue. Since this driveway apron does not lead to a paved area, the applicant should remove this area. Outside of addressing this apron, Traffic Engineering has reviewed the plans and finds access sufficient.

Items to be Addressed: *Remove apron pavement off Brinston Avenue.*

NATURAL RESOURCES

The site is an existing vacant site with no site landscaping. The proposed plan would not impact any protected natural features. The applicant is required to submit a landscape plan, which will require landscape materials and will contribute to the quality of the site.

Items to be Addressed: *None.*

LIGHTING

The applicant indicates no new exterior lighting. In the future, if the applicant installs exterior lighting such lighting must comply with Section 13.05.

Items to be Addressed: *None.*

LANDSCAPING

While the applicant indicates that they are not proposing any new landscaping, the applicant is required to submit a landscape plan in accordance with Section 13.02. Specifically, the applicant shall provide landscaping in the greenbelt and landscaping to screen the parking area.

Items to be Addressed: *Submit a landscape plan prepared in conformance with the City of Troy's Landscape Design Standards.*

SPECIFIC and SPECIAL USE STANDARDS

In the IB District, vehicle service is permitted as a special use. In addition, Section 6.26 provides specific use requirements for vehicle repair facilities

Specific Use Standards

Section 6.26 provides specific use requirements for vehicle repair. The following standards apply:

- A. *Dismantled, wrecked or inoperable vehicles or any vehicle parts or scrap of any kind shall not be stored outdoors for a period exceeding sixty (60) days. Outdoor storage shall be enclosed by an*

opaque fence up to eight (8) feet in height and / or landscape screening meeting the standards set forth in Section 13.02.B.

Outside of potential vehicle parking, the applicant does not propose any outdoor storage. All activities will occur within the existing facility.

- B. *The minimum lot area shall be twenty thousand (20,000) square feet.*

Including the parcel to the south, which is under common ownership the site is 20,500 sq/ft. This standard is met.

- C. *All equipment including hydraulic hoists, pits, lubrication and repair facilities shall be entirely enclosed within a building.*

All activities will occur within the existing facility.

- D. *All repair and maintenance activities shall be performed entirely within an enclosed building.*

All activities will occur within the existing facility.

- E. *Retail sales shall be limited to those items necessary to carry out the vehicle repair occurring on the subject site.*

The applicant does not propose any retail or other services.

Special Use Standards of Approval

For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.” Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

The proposed use is intended for location within areas of high traffic. The adjacent uses to the south, west, and north are commercial or auto-oriented and auto-intense uses. The single-family residential neighborhood across John R Road to the east is screened with a 6-foot high board-on-board fence. The proposed use will not have any detrimental impact and will add a valuable service to the immediate commercial corridor.

2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

The use is common to regional commercial area, and complies with the Master Plan.

3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

With the nature of the use as one that does not have acute peak traffic times for very large populations, and which is located in a high-intensity area, this condition is satisfied.

4. *Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

We do not expect any additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.

5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

The proposed use complies with zoning ordinance. Any future enlargement, change in use, or substantial improvement to the building will require compliance with all zoning requirements.

The Planning Commission is also required to generally consider the following for any special use application:

1. *The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.*

See above. We believe that with conditions, the proposed use may be permissible.

2. *Vehicular circulation and parking areas.*

Parking and access requirements are met.

3. *Outdoor activity, storage and work areas.*

All operations will be interior to the building.

4. *Hours of operation.*

The proposed use is in an area where similar uses provide service to regional commercial customers from early morning to evening. This is a high-intensity area and automobile service uses are common in such areas.

5. *Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.*

The applicant is proposing minimal site improvements and no building build-out. There should be no negative impact of traffic, noise, smoke, fumes, dusk, glare, or light to adjacent properties. Furthermore the improvement and landscaping of a vacant site will greatly benefit adjacent properties and the surrounding areas.

Items to be addressed: None

RECOMMENDATIONS

We support the proposed project and believe the project does meet or exceed minimum requirements. The reoccupation, improvement, and landscaping of a vacant site will greatly benefit adjacent properties and the surrounding areas. We recommend the Planning Commission approve the special use request and preliminary site plan application conditioned on the applicant satisfying the following requirements for final site plan approval:

1. Indicate proposed repairs and paint colors;
2. Remove driveway apron pavement off Brinston Avenue; and
3. Submit a landscape plan prepared in conformance with the City of Troy's Landscape Design Standards.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

DATE: July 5, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: CONDITIONAL REZONING APPLICATION (File Number CR 006) – Proposed Troy Plaza Development, West side of Crooks, North side of New King (5500 New King), Section 8, From PUD (Planned Unit Development) to OM (Office Mixed Use) and CB (Community Business) Districts

The applicant, Moiseev/Gordon Associates, Inc. seeks a conditional rezoning of the subject parcel from Planned Unit Development to OM (Office Mixed Use) and CB (Community Business) Districts

The Master Plan classifies this area as Northfield. A description of this classification is attached.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

The Planning Commission discussed this item at the June 26, 2012 Special/Study meeting. The report prepared by CWA identified some issues and suggestions related to site design. The Planning Commission also made some suggestions at the meeting. We have not received any new submittal materials and the applicant has not indicated what, if any, revisions or conditions are proposed at this time. At this time the same site plan material that was provided at the June 26, 2012 meeting is included for this agenda. The public hearing has been scheduled for July 10, 2012.

It is recommended that the public hearing be opened to solicit public comment however, the closing of the public hearing and any action be postponed until such time that a complete application is submitted.

Attachments:

1. Maps
2. Rezoning statements
3. City of Troy Master Plan (excerpt)
4. Report prepared by Carlisle/Wortman Associates, Inc.

PROPOSED RESOLUTION

CONDITIONAL REZONING APPLICATION (File Number CR 006) – Proposed Troy Plaza Development, West side of Crooks, North side of New King (5500 New King), Section 8, From PUD (Planned Unit Development) to OM (Office Mixed Use) and CB (Community Business) Districts

Proposed Resolution # PC-2012-07-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission postpones consideration of the proposed conditional rezoning application until such time that the applicant submits a complete site plan showing the intended development.

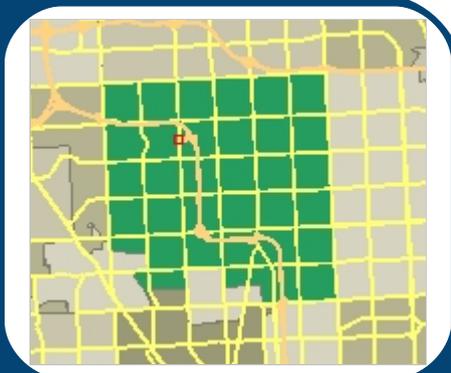
Yes:

No:

MOTION PASSED / FAILED

TROY PLAZA, 5500 NEW KING

City of Troy Planning Department



Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

234 0 117 234 Feet

Scale 1: 1,404

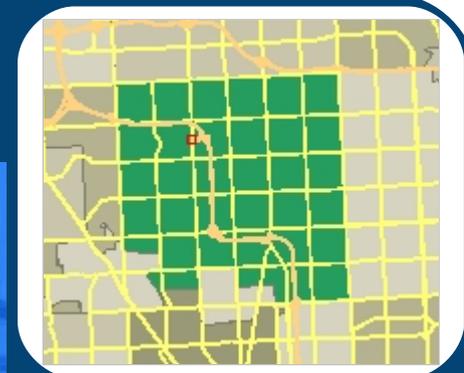
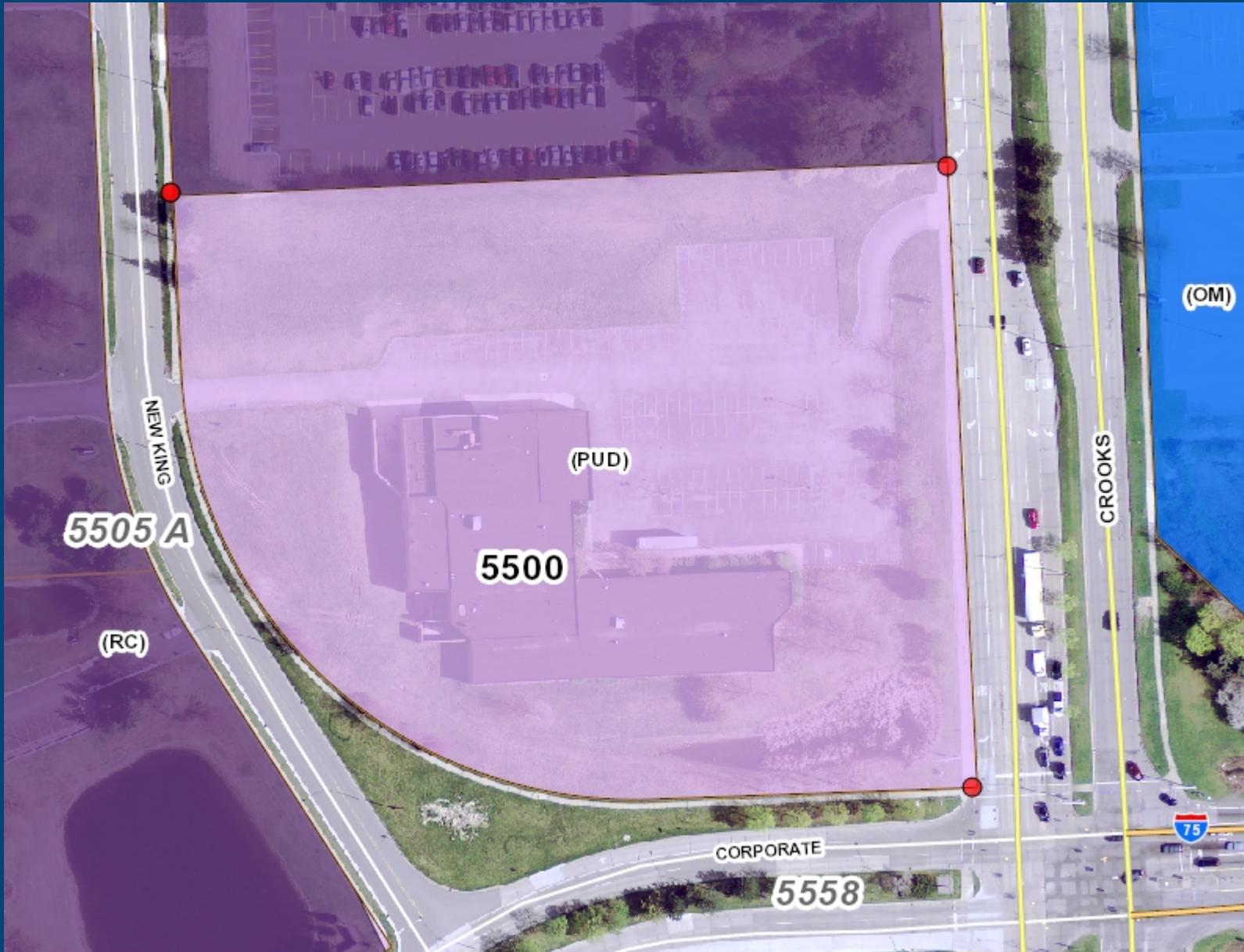


Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 6/12/2012

TROY PLAZA, 5500 NEW KING

City of Troy Planning Department



Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
- Current Zoning Ordinance**
 -  (PUD) Planned Unit Development
 -  (CF) Community Facilities District
 -  (EP) Environmental Protection District
 -  (BB) Big Beaver Road (Form Based)
 -  (MRF) Maple Road (Form Based)
 -  (NN) Neighborhood Nodes (A-U)
 -  (CB) Community Business
 -  (GB) General Business
 -  (IB) Integrated Industrial Business District
 -  (O) Office Building District
 -  (OM) Office Mixed Use
 - (P) Vehicular Parking District
 - (R-1A) One Family Residential District
 - (R-1B) One Family Residential District
 - (R-1C) One Family Residential District
 - (R-1D) One Family Residential District
 - (R-1E) One Family Residential District
 - (RT) One Family Attached Residential District
 - (MR) Multi-Family Residential
 - (MHP) Manufactured Housing
 - (UR) Urban Residential
 - (RC) Research Center District
 - (PV) Planned Vehicle Sales
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

234 0 117 234 Feet

Scale 1: 1,404



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 6/12/2012



May 31, 2012

City of Troy
Zoning Board of Appeals
500 W. Big Beaver Rd.
Troy, MI 48084
248-524-3364

Re: Troy Plaza
Job No. 06418.02

We are requesting a conditional rezoning of the above referenced property. This request is sought voluntarily and we will not modify the design, once approved, in any way that will be inconsistent with the conditions placed on the rezoning.

The proposed plans, elevators, site amenities, will be built-in accordance with the approved plans and all conditions agreed to will be executed with-in the parameters and constraints imposed by the agreement that the Appeal Board votes into place.

Additional conditions proposed include:

1. The immediate development of the first two building of Phase I once permits are obtained.
2. The corner building of Phase I will not be marketed to a bank, a chain drug store or any other vehicular intensive use.
3. The details of the building shall be subject to planning approval and be modified by administrative approval with-in their jurisdiction.

We thank you for consideration of our proposal.

Sincerely,

Moiseev/Gordon Associates

A handwritten signature in black ink, appearing to read 'Michael J. Gordon', is written over a light gray grid background.

Michael J. Gordon, RA



City of Troy
Zoning Board of Appeals
500 W. Big Beaver Rd.
Troy, MI 48084
248-524-3364

Re: Troy Plaza
Job No. 06418.02

May 31, 2012

We believe that the rezoning request is consistent with the master plan. This would provide much needed retail business and service uses for persons in the immediate areas specifically the adjacent office district. This district will allow and encourage the on-site integration of business and services lacking in the vicinity when you view the corridor along Crooks Road as a total community.

Further, the property rezoning matches a parcel, several parcels, south of the property which has a similar mix of uses as proposed here and the proposed CB district aligns in depth with the depth of that parcel.

The buildings will encourage pedestrian interaction with adjoining parcels which is further encouraged in the language of the district. The hotel will also encourage pedestrian traffic as well as extend the districts, lively hood into the morning and evening hours. This will enhance security as well as create a reduced need for parking as hours extend and uses intensity spreads over the day.

The property uses will enhance the marketability of the adjoining office districts by offering convenient and multiple dining and shopping options, as well as hotel rooms for business travelers. Further, the walk ability will further reinforce the location as a desirable place to do business.

We believe that the integration of this project into the adjacent developments will compliment, supplement and enhance the environment and build up the area as a desirable business address.

We hope you look favorably upon our request.

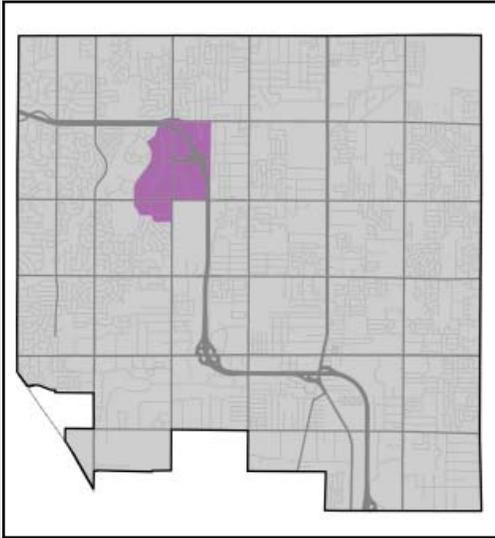
Sincerely,

Moiseev/Gordon Associates

A handwritten signature in black ink, appearing to read 'Michael J. Gordon', is written over a light gray grid background.

Michael J. Gordon, RA

Northfield: A Focus On Innovation



- *A complement to the Smart Zone, but with an even broader mix of uses*
- *Outlot development to provide services to workers in the area*
- *Consistent site design throughout the District to create a unique identity*

The Master Plan identifies two primary districts for the encouragement of 21st Century, Knowledge Economy business development. The Smart Zone is situated along Big Beaver Road and an area to the south, along Interstate 75. **Northfield, the second office and research area, is similar to the Smart Zone in its makeup, but will reflect its own unique style of development.**

In terms of use, the emphasis in Northfield will be placed on office and planned research-office uses. Other uses primarily relating to the support of workers and activities in Northfield, such as supporting commercial uses, will also be considered on a limited basis. Residential uses, traditional industrial uses, and regional commercial uses will be encouraged within mixed-use developments only when they are

designed to support the primary function of the Northfield area.

Medical, professional, general, service-related office uses, and research –based uses, especially those planned in a campus or park-like setting, will be the primary focus in Northfield. These uses are intended to be enclosed within a building, and in the case of research and development uses, external effects are not to be experienced beyond their property boundaries.

DESIGN CONCEPT

- The contemporary architectural image should be continued.
- Infill construction will provide a physical link between semi-isolated towers.
- Demarcated crosswalks, an internal and external walk system and plazas/pocket parks will support physical linkages.
- Higher-density housing of twenty units per acre will be encouraged at the immediate periphery.
- Streets will be framed and the public right-of-way space will be delineated.

SITE DESIGN ATTRIBUTES

- Primary parking areas will be within rear or interior side yards and separated into modest-sized components by storm water management and landscaping.

- Walks will connect businesses, adjacent developments and public sidewalks.
- Storm water detention should be captured in pedestrian friendly landscape designs.
- Outdoor cafes, plazas, pocket parks and similar pedestrian amenities will be key features.
- Mass transit stops should be accommodated (see page 115).

BUILDING DESIGN ATTRIBUTES

- Ground level story should have a minimum height of twelve feet from finished floor to finished ceiling.
- Facades should be half transparent glass.
- Entries should be well-defined.
- Fenestration on the ground level should be highlighted through the use of awnings, overhangs or trim detailing.



Successful infill development providing services to office developments in Northfield; Photo by Brent Savidant



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

MEMORANDUM

TO: R. Brent Savidant, AICP, Planning Director

FROM: Ben Carlisle, AICP

DATE: June 21, 2012

RE: Conditional Rezoning-Troy Plaza Development

We recently received a site plan and accompanying documents for a Conditional Rezoning for the parcel bounded by Crooks Road to the east, Corporate Drive to the south, and New King Street to the west. The applicant proposes to conditionally rezone the site from PUD to Community Business (CM) for the portion of the site that fronts on Crooks Road and Office Mixed Use (OM) for the back end of the property that fronts on New King Drive. The proposed development includes a McDonalds, a mixed use (office/retail) building, a free standing restaurant/retail building on the CM portion, and a hotel on the OM portion.



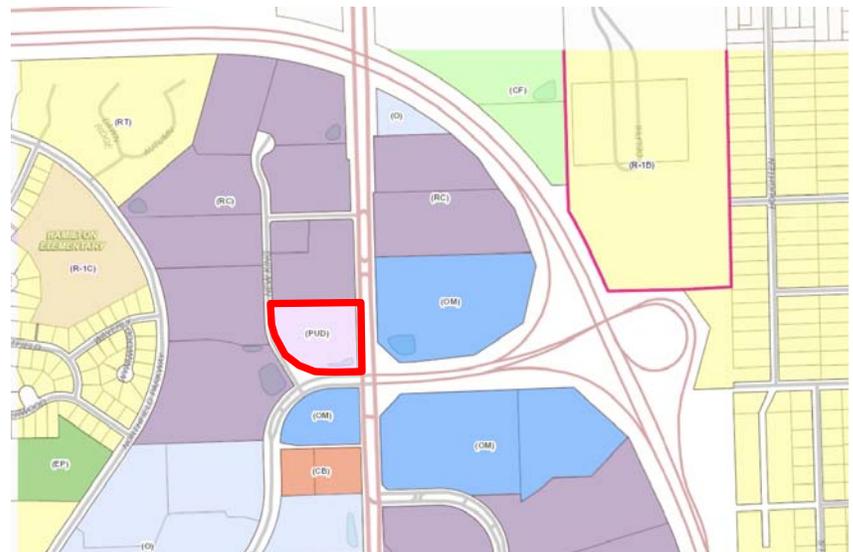
Because the application is incomplete we did not complete a full site plan review. As outlined in Section 8.05, the applicant is required to submit the following additional items:

- A certified topographic survey and a certified boundary survey of the property, prepared and sealed by a Licensed Land Surveyor
- Calculations for the following shall be included on the site plan:
 - Zoning requirements
 - Gross and net (after rights-of-way) site area
 - Gross and net (“usable”) building area
 - Required landscape and open space area, and statement of intent for each
- Complete and detailed landscape plan
- Stormwater detention information
- Lighting plan indicating proposed photometrics, height of light fixtures, proposed light fixtures, and proposed methods of shielding
- Floor plans and elevations for the hotel
- Samples, swatches, or manufacturer’s specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including walls and fences
- Special Use application for drive-throughs and hotel use

We most recently met with the applicant on March 29, 2012, and we applaud the applicant for considering many of our recommendations; however we offer the following comments for Planning Commission consideration:

Rezoning

The site is currently zoned Planned Unit Development. The applicant is proposing to conditionally rezone the property to Community Business (CM) for the portion of the site that fronts on Crooks Road, and Office Mixed Use (OM) for the back end of the property that fronts on New King Drive. The applicant should submit a survey which indicates the proposed lines of demarcation between CM and OM zoning. The proposed uses for the proposed CM portion include a freestanding McDonalds with a drive-thru, a two-story mixed use (office/retail) building with a drive-thru, and a free standing restaurant/retail building. A 4-to-5 story hotel is proposed for the OM portion of the development. Conditions proposed by the applicant include:



- The proposed plans, elevators, and site amenities will be built-in accordance with the approved plans.
- The immediate development of the first two building of Phase I once permits are obtained.

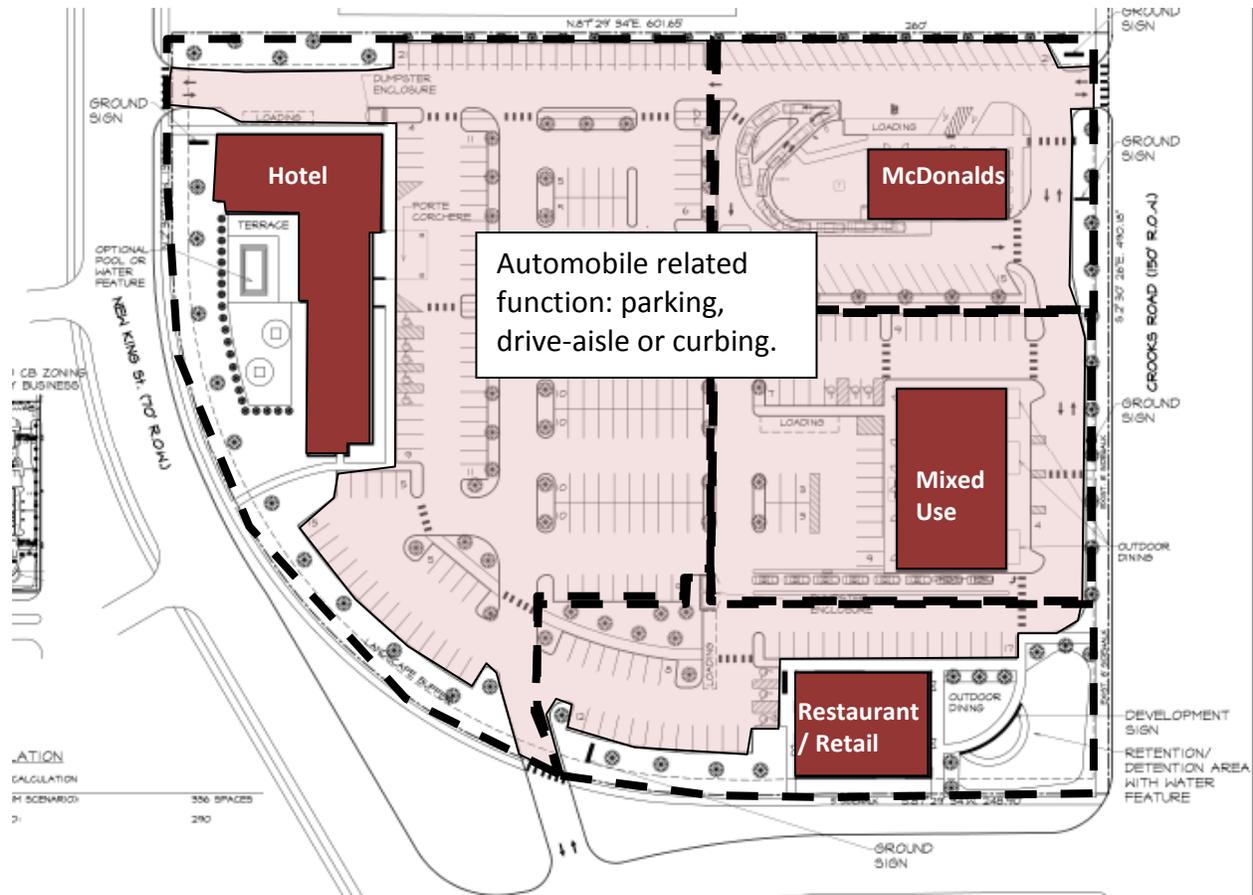
- The corner building of Phase I will not be marketed to a bank, a chain drug store or any other vehicular intensive use.
- The details of the building shall be subject to planning approval and be modified by administrative approval with-in their jurisdiction.

Please note that the McDonalds and mixed use building will require a Special Use Permit due to the proposed drive-thrus. The hotel in the OM district requires a Special Use. A full site plan review will consider both the standards for Special use and standards for conditional rezoning. The applicant has chosen OM and CB zoning districts in due to the applicant's desired uses, consideration of the surrounding zoning, and consideration of the Master Plan.

The site is surrounded by RC, Research Center and OM, Office Mixed Use zoning, and in proximity to CB, Community Business and O, Office zoning. This site is located in the Northfield area of the Master Plan, which calls for "...other uses primarily relating to the support of workers and activities in Northfield, such as supporting commercial uses, will also be considered on a limited basis." Medical, professional, general, service-related office uses, and research-based uses, is the primary focus in Northfield. However understanding the changing nature of the office market, a lack of commercial and dining amenities in the immediate area, proximity to I-75, and a renewed focus on providing a mix of land uses, the proposed additional use types are appropriate for this area. The proposed uses will fully support and compliment the surrounding office uses in the surrounding area. The conditional rezoning appears appropriate provided that specific site planning issues regarding circulation, parking layout, and building arrangement are addressed.

Site Planning

Please note that we have not conducted a full-site plan review and these comments are preliminary based on the submitted plans. We compliment the applicant in providing a variety of uses on the site including office, retail, fast-food, and hotel. In addition, we support the applicant including a second story on the retail building. This adds a sense of desired scale and presence to the site. We note that this is a very tough site to develop due to curb cut issues and a parcel that fronts on three streets. However large parcels such as this present an opportunity to provide building integration and connectivity. We find this site to be an opportunity to develop a well-integrated site, with a mix of varied uses that support each other and neighboring properties. Yet the site as currently designed presents four separate building developments dominated by automobile related functions that lack overall site integration and cohesiveness. The building orientation, particularly those buildings along Crooks Road, appears to lack cohesiveness. The applicant is asked to consider a few small site planning changes that will assist in creating a more cohesive site.



We find that there are two issues influencing the site layout. The first is the site design for the McDonalds and the associated drive-through. We understand that McDonalds requires specific site planning requirements, and as such, the applicant has tried to accommodate that. However, the location of the McDonalds and drive-through adjacent to the primary entrance off Crooks Road somewhat limits the ability of the applicant to cohesively plan the remaining portions of the site. Taken on its face and reviewed in isolation of the remainder of the site, the layout of the proposed McDonalds and drive-through seem appropriate. However, any opportunity that the applicant can take to integrate the McDonalds portion of the site with the remainder of the site should be considered.

The second issue influencing the site layout is the proposed drive-through for the mixed use building. The second drive-through creates a number of development site planning and circulation issues for the site, which impact the entire site. As a result of the drive-through the mixed-use building has no orientation and is not well assimilated with the free-standing restaurant/retail. The two buildings can be better integrated by removing the drive-thru lane, the drive-aisle and parking in between. While the restaurant/retail building can remain a separate free standing entity, and not does have to be physically connected to the mixed use building, these two buildings can be linked via a public plaza or pedestrian walkway. Integration of these two buildings will create a better “building” wall along Crooks Road. Furthermore, the stacking area provided for this drive-through is deficient by two (2) stacking spaces. Adding the two (2) deficient spaces will create a more awkward and potentially dangerous situation by having the drive-through stacking area stick out even further into the parking lot and drive-aisle. By

removing the drive-thru the area behind the multi-use building can be reconfigured, and better integrated with the site parking area.

We encourage the applicant to remove the mixed use building drive-thru, eliminate any parking or drive aisle between the mixed use retail building and the free standing restaurant/retail building and connect via a plaza or pedestrian feature, reduce parking by seeking a parking deviation, move the buildings closer to Crooks Road or the corner of Corporate Drive/Crooks Road, and look holistically at the site to better assimilate the various buildings and uses. The opportunity for a cohesive and successful development at this location is tremendous.

Other general site planning comments that should be considered by the applicant and the Planning Commission include:

- The applicant is required to provide at least 20% site open space. This provision needs to be calculated and shown on the site plan.
- There is an opportunity for outdoor dining at the proposed McDonalds.
- Loading issues:
 1. The site contains 4 separate loading areas and 4 separate dumpster areas.
 2. The loading area for both hotel and McDonald's take up potential premium parking spaces.
 3. The dumpster for hotel is the first thing a visitor would see entering off New King Drive.

The applicant should consider providing one central loading/dumping area for the entire site.

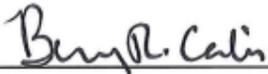
- Applicant can provide 17-foot long parking spaces if they overhang open space or sidewalks at least 7 feet in width. This would reduce the total amount of asphalt on site and allow for more green space.
- Easements for cross access and parking are needed prior to Final Site Plan approval.
- Eliminate the bypass lane behind the McDonalds drive-thru lanes. There is ample opportunity to exit the McDonalds portion of the site. Convert this area to more green space.
- Access to McDonald's drive-through is not intuitive except from the Crooks Road entrance. From every other entrance, drivers will need to negotiate a number of turns to access the drive through aisle. Better assimilation of the McDonalds site is needed.
- 21 parking spaces at McDonald's at the Crooks Road entrance are angled. However the next 21 spaces to the west are perpendicular. Traffic is shown as two-way. This is confusing and counter-intuitive.
- The applicant should be creative in landscaping and stormwater management:
 1. Greenbelt trees shown as being planted 40 feet OC. Requirement is 30 feet OC.
 2. Opportunities for bio-swales/rain gardens on site.
 3. Use of native and drought tolerant species rather than turf grass
- 4 parallel spaces in front of retail not permitted in CB.
- Consider one large outdoor seating area for mixed use retail building rather than three, smaller isolated ones. One outdoor seating area can be more attractive and inviting.

Summary

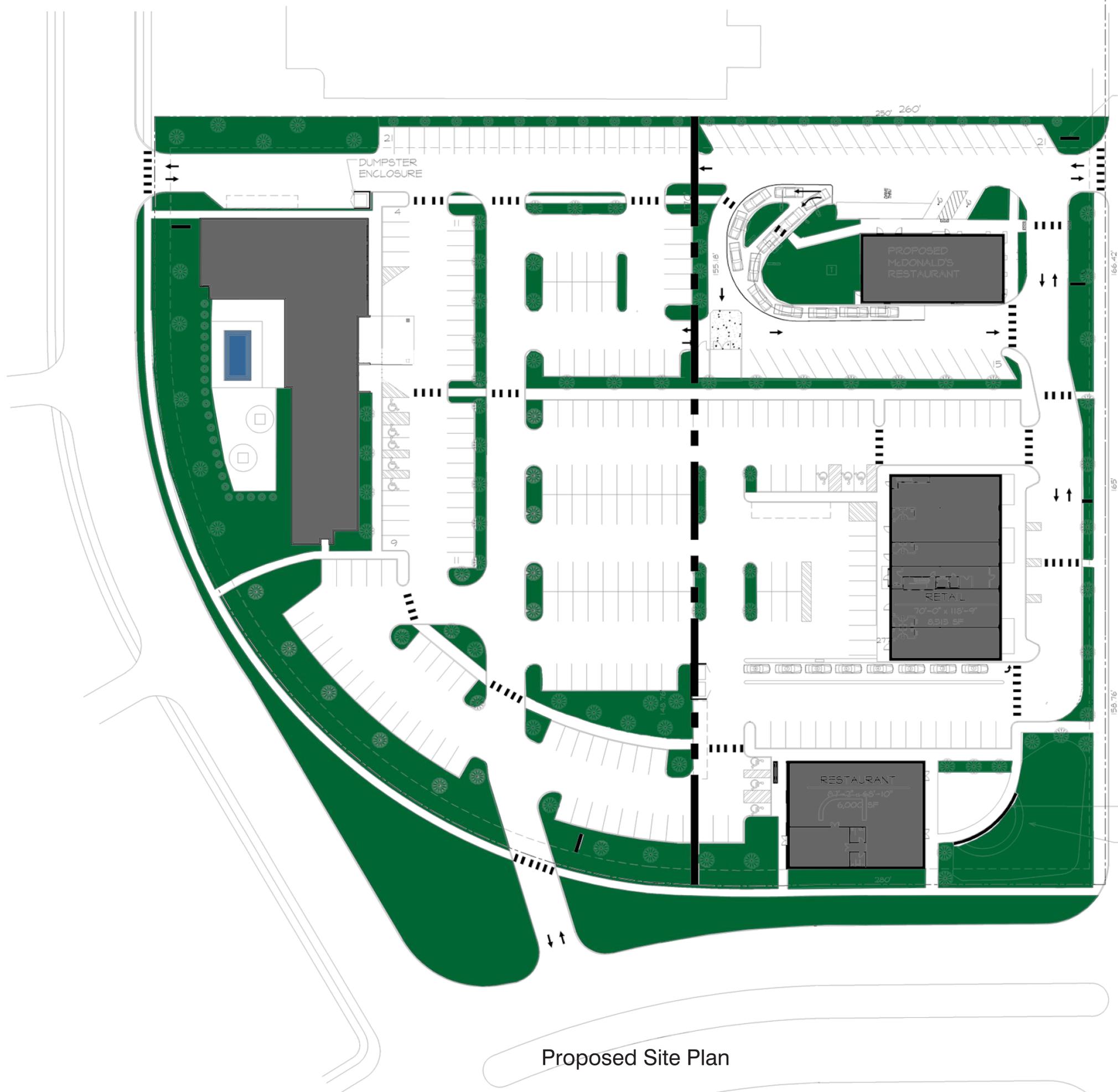
We strongly encourage the development of this site and we applaud the applicants attempt to turn a vacant site into a viable commercial development. With the aforementioned small changes to the site plan this parcel is an opportunity to develop a well-integrated site with a mix of varied uses that support each other and neighboring properties.

Please contact me if you have any questions.

CARLISLE/WORTMAN ASSOCIATES, INC.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



Proposed Site Plan

Troy Plaza Troy, MI
 Project Number 06418.02
 June 25, 2012



View from Southeast



Moiseev/Gordon Associates, Inc.
4351 Delemere Court Royal Oak, MI 48073
www.mga-architects.net

Troy Plaza Troy, MI
Project Number 06418.02
June 25, 2012

DEVELOPER:
TINELLE PROPERTIES LLC
29850 NORTHWESTERN HWY.
SOUTHFIELD MI 48034
248-557-5454

tinelle PROPERTIES LLC
a Commercial Management and Development Co.

Troy Plaza

Troy, Michigan



Moiseev/Gordon Associates, Inc.
 4351 Delemere Court
 Royal Oak, MI 48073
 248.549.4500 voice
 248.549.7300 faxes
 www.moiseev-gordon.com

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 by the Architect.

Use figured dimensions only.
 Do not scale the drawings.

Client:
**Tinelle Properties
 LLC**
 29850 NORTHWESTERN
 HIGHWAY
 SOUTHFIELD, MI 48034

Project Title:
Troy Plaza
 TROY, MI 48230

Sheet Title:
Title Sheet

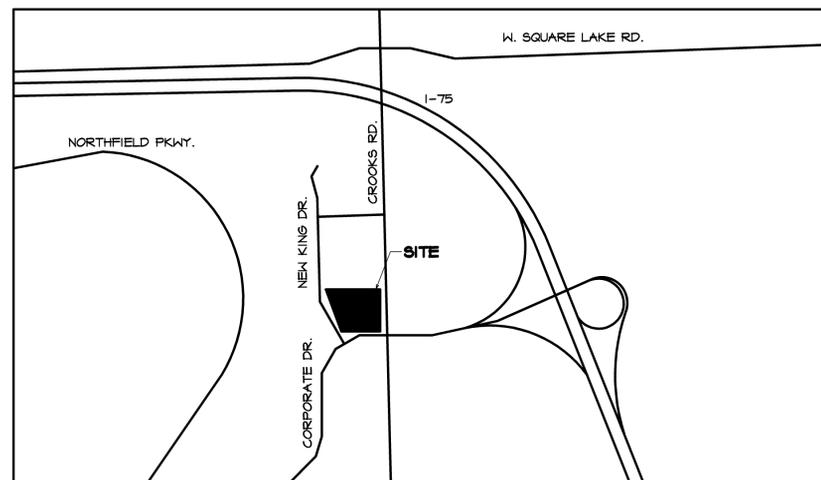
Project Number: 06418.02
 Drawn By: AJM
 Checked By:
 Approved By:
 Date: 08-09-06

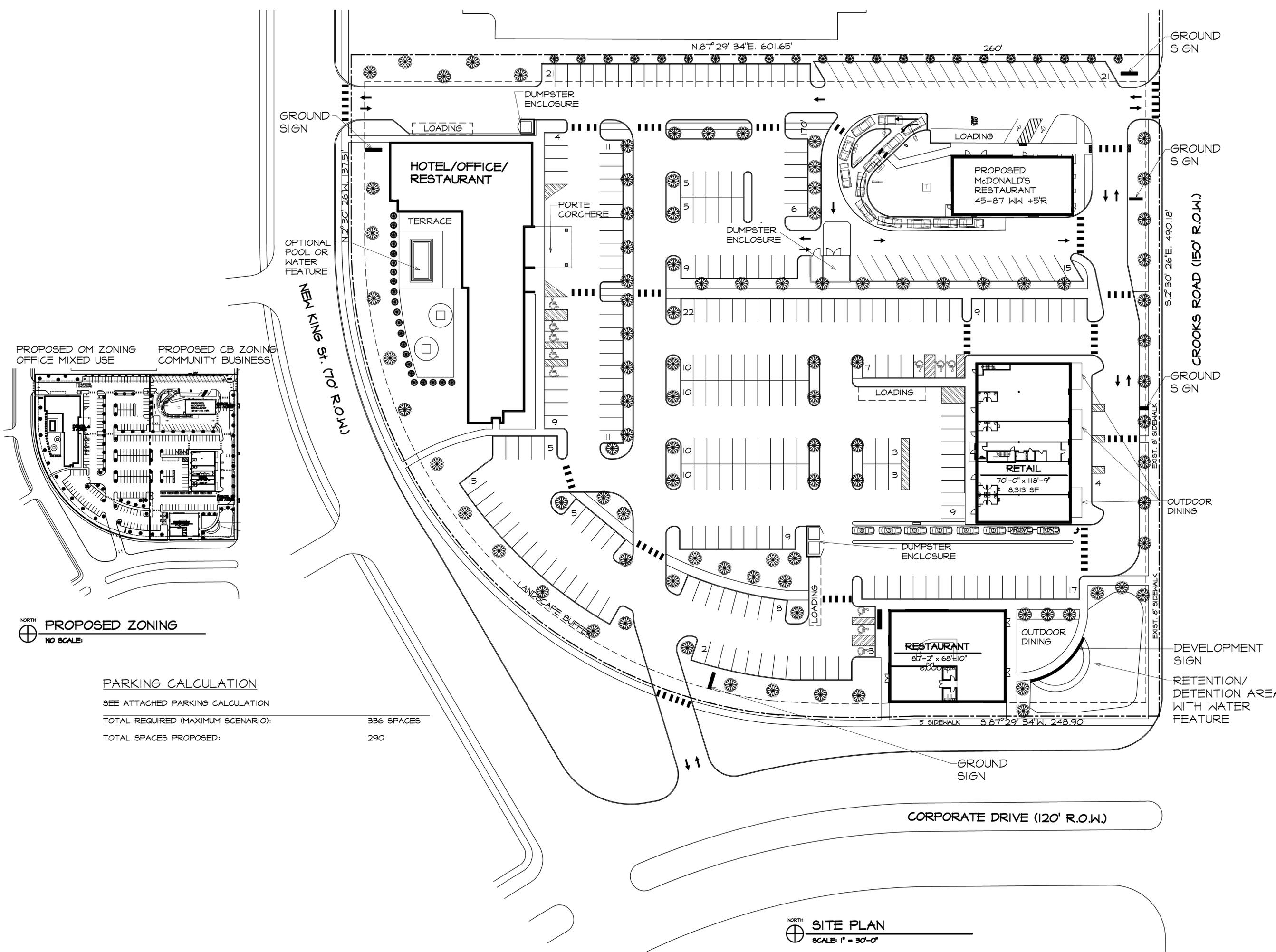
ISSUED:	Owner Review	Owner Review
Owner Review	04-30-12	04-30-12
02-07-12	Conditional	Conditional
Owner Review	Rezoning	Rezoning
02-14-12	06-04-12	06-04-12
Owner Review		
02-27-12		
Owner Review		
02-29-12		
Owner Review		
03-13-12		
Owner Review		
03-20-12		
Owner Review		
03-22-12		
Owner Review		
04-11-12		

Sheet Number:
SP-1

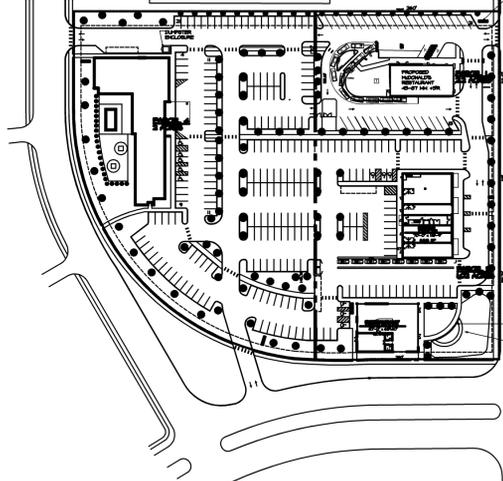
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Drawing Schedule	Issued	Issued	Issued	Issued	Issued	Issued	Issued
	Conditional Rezoning						
SP-1 Cover Sheet	06-04-12						
SP-2 Site Plan	06-04-12						
SP-3 Preliminary Landscape Plan	06-04-12						
C-1 Demolition Plan	06-04-12						
C-2 Grading Plan	06-04-12						
C-3 Utility Plan	06-04-12						
C-4 Soil Erosion & Sediment Control	06-04-12						
A-1 Retail Plan	06-04-12						
A-2 Restaurant Plan	06-04-12						
A-3 Retail Elevations	06-04-12						
A-4 Retail Elevations	06-04-12						
A-5 Restaurant Elevations	06-04-12						
A-6 Restaurant Elevations	06-04-12						
A1-0 Floor Plan McDonalds	06-04-12						
A2-0 Elevations McDonalds	06-04-12						
A2-1 Elevations McDonalds	06-04-12						





PROPOSED OM ZONING OFFICE MIXED USE
PROPOSED CB ZONING COMMUNITY BUSINESS



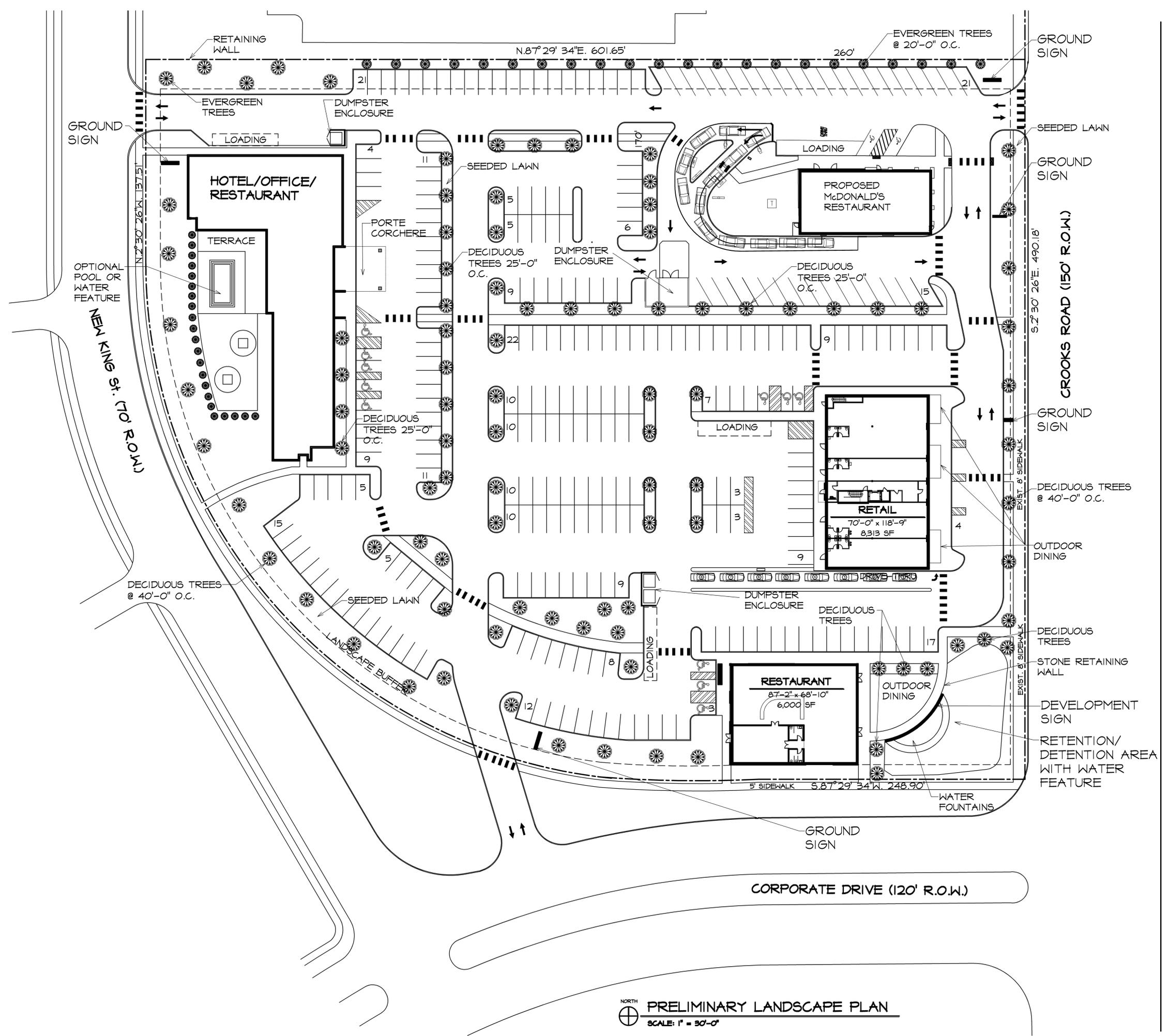
NORTH
PROPOSED ZONING
NO SCALE:

PARKING CALCULATION

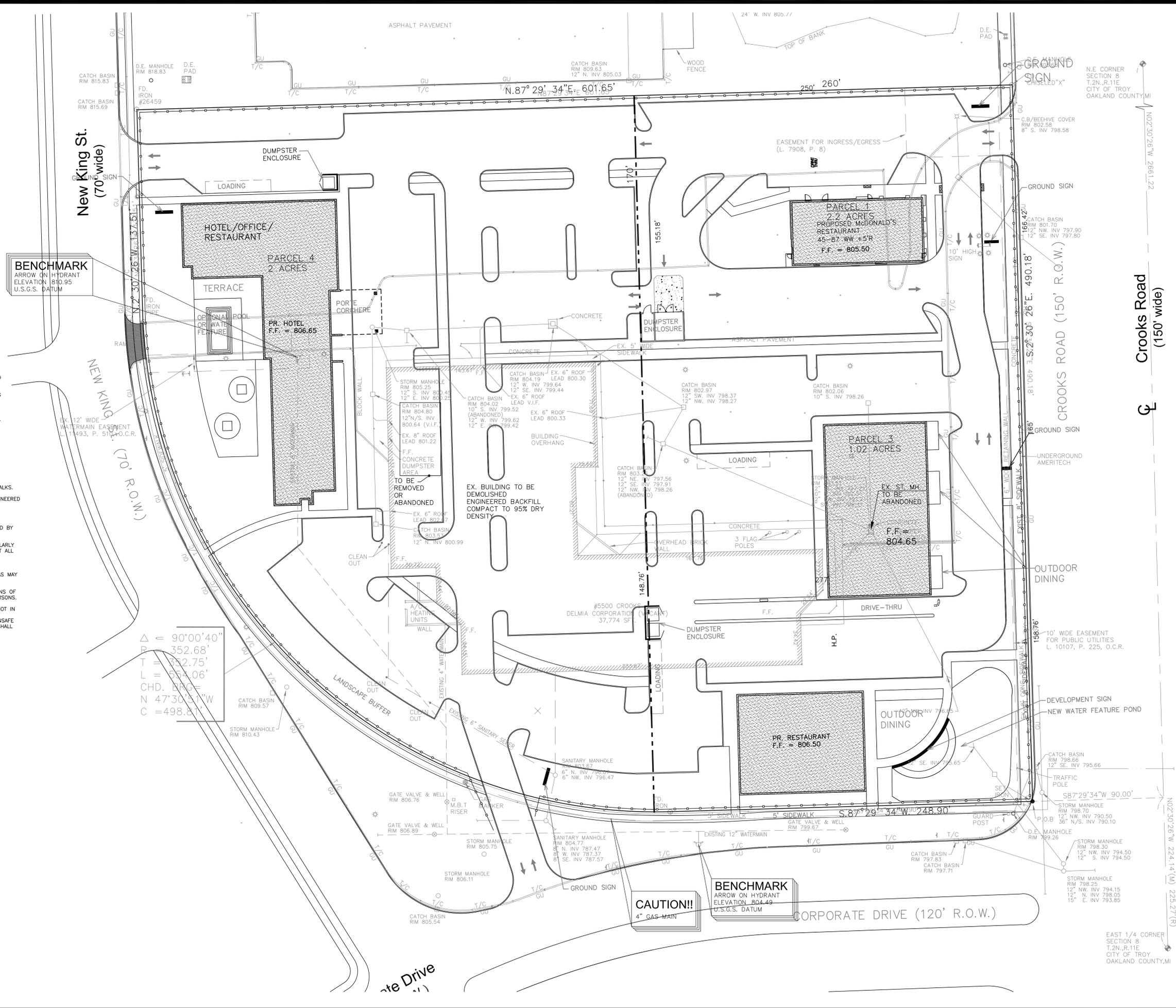
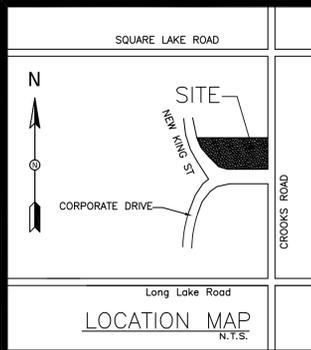
SEE ATTACHED PARKING CALCULATION

TOTAL REQUIRED (MAXIMUM SCENARIO):	336 SPACES
TOTAL SPACES PROPOSED:	290

NORTH
SITE PLAN
SCALE: 1" = 30'-0"



PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 30'-0"



STANDARD NOTES:

1. NOTIFY THE CITY OF TROY ENGINEERING DEPARTMENT A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL CONSTRUCTION MUST BE CONFORMING TO CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF TROY.
3. UTILITIES TO BE UNDERGROUND.
4. CALL MISS DIG (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
5. ALL SOIL EROSION AND SILT FENCE MUST BE CONTROLLED AND CONTAINED ON-SITE.
6. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
8. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT AN ENGINEERING SITE INSPECTION IS REQUIRED.

DEMOLITION AND SAFETY NOTES:

1. INSTALL SOIL EROSION MEASURES AS REQUIRED.
2. REMOVE ALL EXISTING ON-SITE PAVEMENT, CURB AND CUTTER, AND SIDEWALKS.
3. REMOVE EXISTING BUILDING AND ABANDONE FOUNDATION, REFILL WITH ENGINEERED BACKFILL UP TO REQUIRED GRADES, SEE GRADING PLAN.
4. CLOSE EXISTING APPROACHES AND LANDSCAPE AS PER CITY STANDARDS.
5. REMOVE OR ABANDONE EXISTING CIVIL AND GENERAL UTILITIES AS REQUIRED BY DESIGN PLANS, SEE GARDING AND UTILITY PLANS.
6. INSTALL NECESSARY SHORING, BARRICADES, SIGNS, COVERS AND ALL SIMILARLY REQUIRED MEASURE BY OSHA TO PROTECT THE WORKERS AND THE PUBLIC AT ALL TIMES.
7. IT SHALL BE THE RESPONSIBILITY OF THE PROPOERTY OWNER, DEVELOPER AND/OR CONTRACTOR TO INITIATE AND MAINTAIN OSHA REQUIRED MEASURES AS MAY BE NECESSARY.
8. SUCH PROGRAMS SHALL PROVIDE FOR FREQUENT AND REGULAR INSPECTIONS OF THE JOB SITES, MATERIALS, AND EQUIPMENT TO BE MADE BY COMPETENT PERSONS.
9. THE USE OF ANY MACHINERY, TOOL, MATERIAL, OR EQUIPMENT WHICH IS NOT IN COMPLIANCE WITH ANY APPLICABLE OSHA REQUIREMENT IS PROHIBITED. SUCH MACHINERY, TOOL, MATERIAL, OR EQUIPMENT SHALL EITHER BE IDENTIFIED AS UNSAFE BY TAGGING OR LOCKING THE CONTROLS TO RENDER THEM INOPERABLE OR SHALL BE PHYSICALLY REMOVED FROM ITS PLACE OF OPERATION.

$\Delta = 90^{\circ}00'40''$
 $P = 352.68'$
 $T = 352.75'$
 $L = 654.06'$
 CHD. BRG =
 $N 47^{\circ}30'51''W$
 $C = 498.81'$

SITTO BUILDING & ENGINEERING

29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034
 TEL: (248) 709-0044
 FAX: (248) 246-8800
 EMAIL: IMAD@SITTOENGINEERS.COM

PROJECT

TROY PLAZA
 5500 NEW KING ST.
 TROY, MI

CLIENT

TINELLE PROPERTIES
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034

REVISIONS

NO.	DESCRIPTION

NOTES

PLEASE DO NOT SCALE DRAWING

Approved By

SCALE

1" = 30'

DATE

05/19/2012

JOB NO.

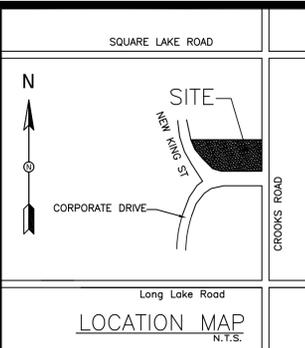
2012-32

SHEET TITLE

DEMOLITION PLAN

SHEET NO.

C-1



DETENTION CALCULATIONS

REQUIRED DETENTION VOLUME
 $Q_{av} = 0.16$ ACRES

$Q_a = (A) (0.2 \text{ CFS/ACRE}) = 1.23 \text{ CFS}$
 $Q_s = Q_a/AC = 0.25 \text{ CFS/ACRE}$

STORAGE TIME FOR 25-YEAR STORM
 $T = -25 + (8062.5/Q_a)^{1/2}$
 $T = 155.70 \text{ MINUTES}$

$V_s = 12,900 (T/(T+25) - 40/Q_a)(T)$
 $V_s = 9,577.50 \text{ CUBIC FEET/ACRE-IMPERVIOUS}$

$V_T = V_s \times A \times C = 47,787.87 \text{ CF}$
 0.22 ACRE-FEET

DETENTION SIZING (UNDERGROUND PIPE STORAGE)

$14 - 5" \text{ DIA. HDPE PIPES @ } 174 \text{ L.F.} = 47,818.68 \text{ CF}$

** PARKING LOT STORAGE MIGHT BE UTILIZED TO MINIMIZE THE SIZE OF THE UNDERGROUND STORAGE SYSTEM. A MORE DETAILED CALCULATION WILL BE PROVIDED FOR CITY OFFICIALS REVIEW AT THE FINAL DESIGN STAGE.

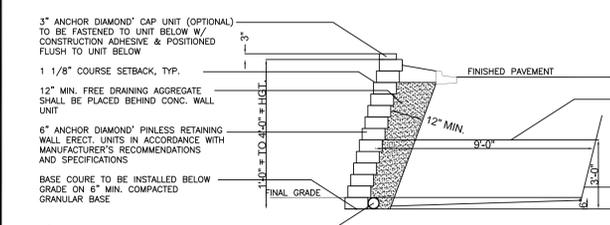
ORIFICE CONTROL CALCULATIONS

ALLOWABLE DISCHARGE (Q_a) = 1.23 CFS
 $Q = C A \sqrt{2gH}$
 $C = 0.62$

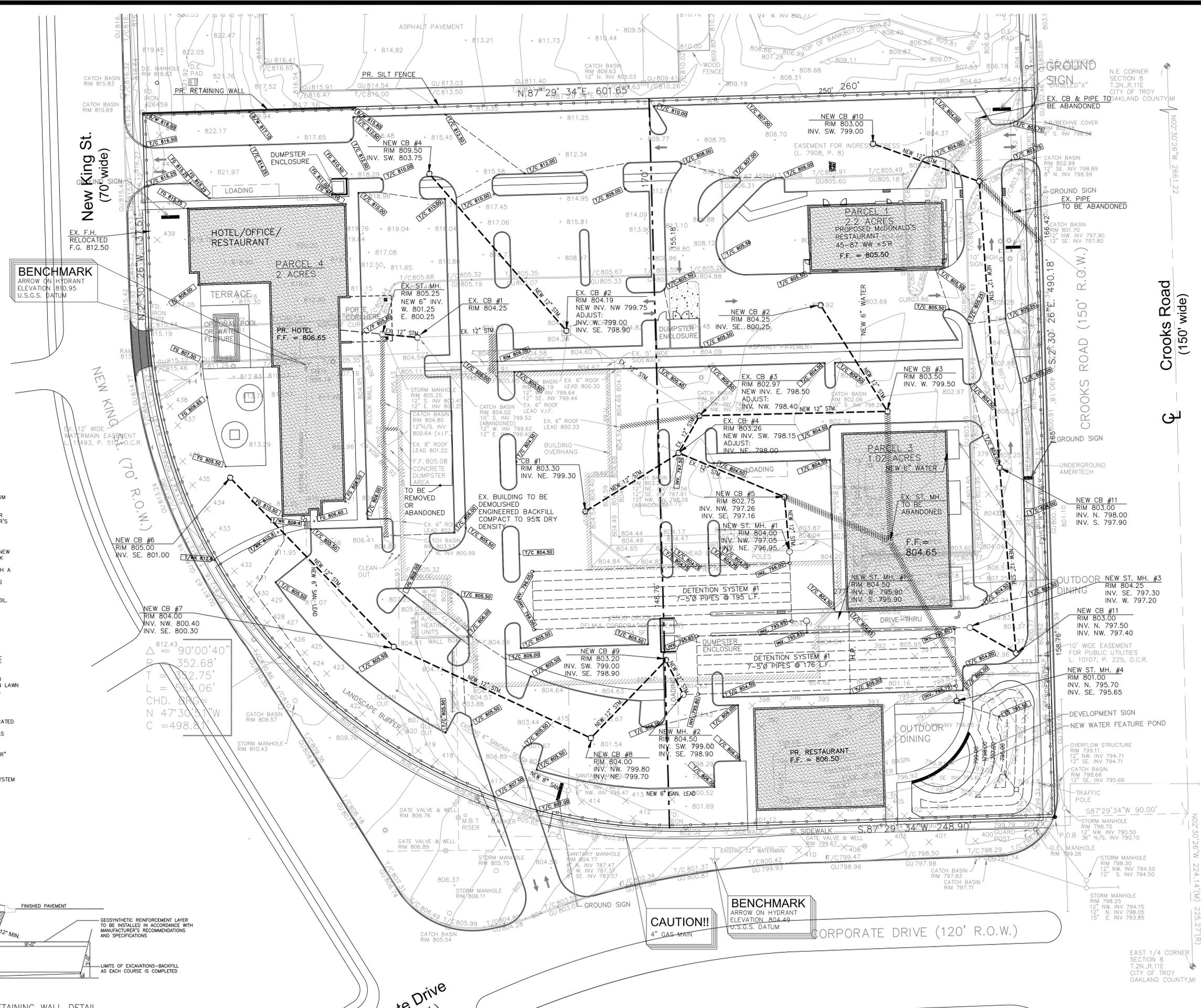
ORIFICE CROSS SECTION AREA (A)
 $GRAVITY (G) = 32.2 \text{ FEET/SEC}^2$
 $H = \text{DISTANCE FROM HIGHWATER TO CENTER OF PIPE}$
 $D = \text{DEPTH OF PONDING} = 5 \text{ FEET}$
 $A = Q_a / (0.62 \times (2 \times 32.2 \times 5)^{0.5}) = 0.38 \text{ FT.} = 4.5 \text{ INCH.}$
 USE 4 IN. PIPE RESTRICTOR

WATER TREATMENT NOTE:
 PRE-MANUFACTURED WATER TREATMENT MANHOLES WILL BE UTILIZED TO PROVIDE THE STORM WATER TREATMENT AS REQUIRED BY THE CITY OF TROY.

- GRADING NOTES:**
- SLOPE ALL PAVED SURFACES TO DRAIN TO STORM STRUCTURES. MINIMUM SLOPE ON NEW PAVED AREAS SHALL BE 0.6%, MAXIMUM SHALL BE 6%.
 - CHECK LOCATION OF ALL UTILITY LINES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES AND/OR THE OWNER'S PROPERTY AND SHALL REPAIR, REPLACE, OR RESTORE SAME AT THE CONTRACTOR'S EXPENSE. CALL MISS DIG (3) WORKING DAYS BEFORE DIGGING AT 1-800-482-7171.
 - SLOPE ALL SITE WORK UNIFORMLY BETWEEN NEW GRADES OR BETWEEN NEW GRADES AND EXISTING GRADES. THIS INCLUDES SLOPING ALL SITE WORK BETWEEN NEW GRADES AND RIM ELEVATION GRADES AT CATCH BASINS. TRANSITIONS BETWEEN CHANGE IN GRADES SHALL BE CONSTRUCTED WITH A MINIMUM 25 FOOT VERTICAL CURVE. PLAN GRADES INDICATE POINT OF INTERSECTION ELEVATIONS. ABRUPT GRADE CHANGES AT CATCH BASINS AND HIGH POINTS ARE NOT ALLOWED.
 - AREA OF BUILDINGS, WALKS, AND PAVING SHALL BE STRIPPED OF TOPSOIL. TOPSOIL SHALL BE STORED ON THIS CONSTRUCTION SITE FOR RE-USE. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THIS CONSTRUCTION SITE.
 - ALL FILL NECESSARY TO PROVIDE SUBGRADES FOR INTERIOR CONCRETE FLOOR SLABS, WALKS, DRIVEWAYS AND PARKING SPACES SHALL BE MICHIGAN DEPARTMENT OF TRANSPORTATION, CLASS II.
 - OBTAIN PERMIT AND PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORD WITH COUNTY AND TOWNSHIP REQUIREMENTS. SEE EROSION CONTROL NOTES AND LEGEND.
 - ALL STORM SEWER STRUCTURES AND COVERS SHALL BE IN ACCORD WITH MDT STANDARD SPECS. USE COVER "D" IN PAVED AREAS, COVER "E" IN LAWN AREAS, COVER "K" AT CURB LOCATIONS AND COVER "A" FOR MANHOLES.
 - CONNECT ALL ROOF DOWNSPOUTS AND FOOTING DRAINS TO STORM STRUCTURES AND PROVIDE POSITIVE FLOW AWAY FROM BUILDING.
 - DRAIN TILE FOR EDGE DRAINS AND SUB-PAVEMENT DRAINS WHERE INDICATED SHALL BE 6" POLYETHYLENE CORRUGATED PERFORATED DRAINAGE PIPE WITH NYLON SOCK. PROVIDE FITTINGS FOR TURNS AND CONNECTIONS AS REQUIRED. CONNECT TO STORM STRUCTURE.
 - FOR THE PURPOSE OF THESE BIDDING DOCUMENTS THE TERM "DEVELOPER" SHALL BE CONTRACTOR.
 - DEVELOPER SHALL OBTAIN APPROVAL FROM THE MACOMB COUNTY DRAIN COMMISSIONER AND THE MI DEO PRIOR TO CONSTRUCTING THE STORM SYSTEM AND DISCHARGE INTO THE COUNTY STORM DRAIN.
 - STORM SEWER CATCH BASINS SHALL BE 4' DIA. TYPICAL.
 - REFER TO CITY OF TROY DESIGN STANDARDS & DETAILS.



ANCHOR DIAMOND PINLESS RETAINING WALL DETAIL
 N.T.S.



SITTO BUILDING & ENGINEERING

29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034
 TEL: (248) 709-0044 FAX: (248) 248-8800 EMAIL: IMAD@SITTOENGINEERS.COM

PROJECT
 TROY PLAZA
 5500 NEW KING ST. TROY, MI

CLIENT
 TINELLE PROPERTIES
 29850 NORTHWESTERN HWY. SUITE 200 SOUTHFIELD, MI 48034

REVISIONS

NOTES
 PLEASE DO NOT SCALE DRAWING

Approved By

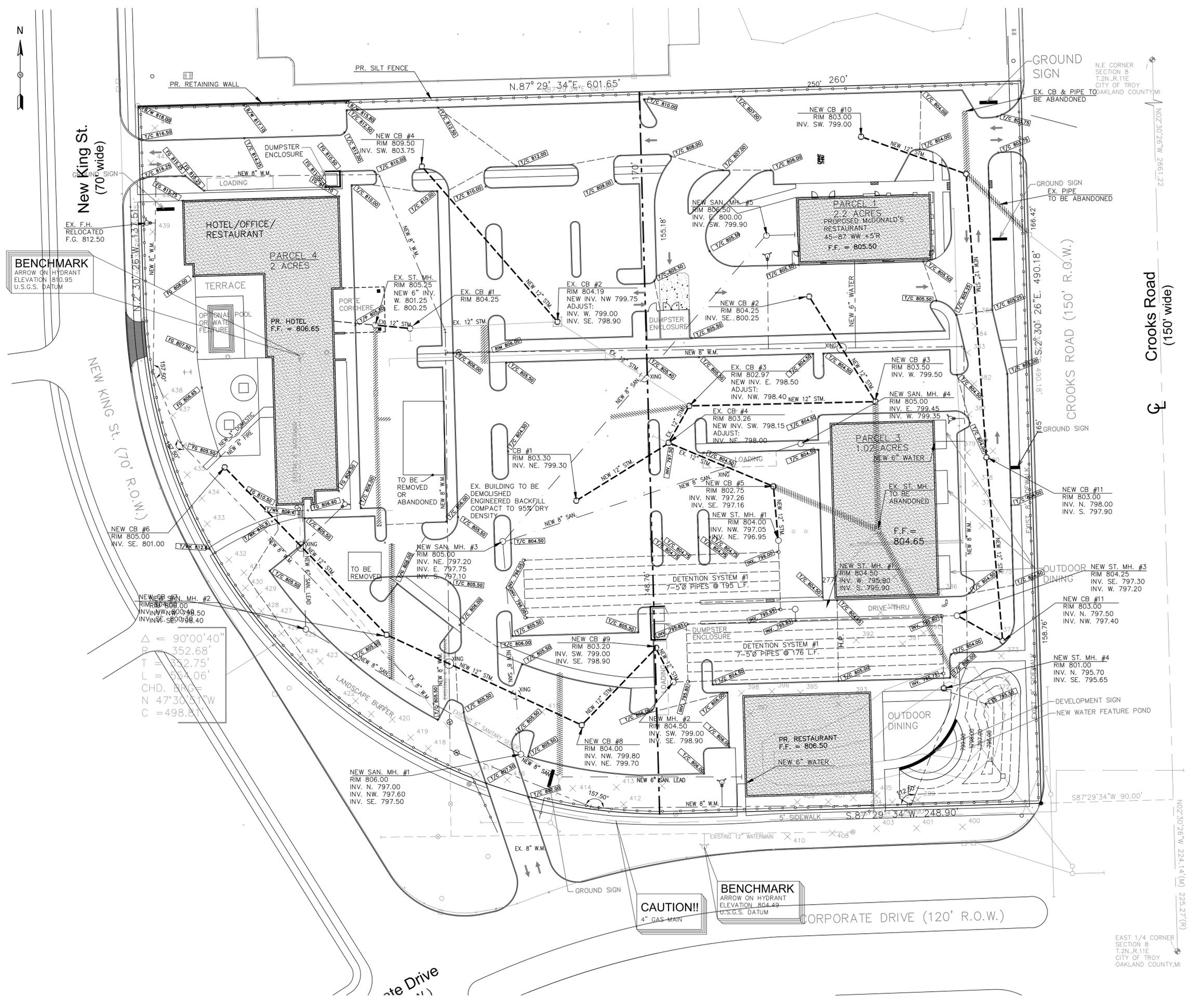
SCALE
 1" = 30'

DATE
 05/19/2012

JOB NO.
 2012-32

SHEET TITLE
 GRADING PLAN

SHEET NO.
 C-2



BENCHMARK
 ARROW ON HYDRANT
 ELEVATION 810.95
 U.S.G.S. DATUM

BENCHMARK
 ARROW ON HYDRANT
 ELEVATION 804.49
 U.S.G.S. DATUM

$\Delta = 90^{\circ}00'40"$
 $P = 352.68'$
 $T = 352.75'$
 $L = 554.06'$
 $CHD. BRG =$
 $N 47^{\circ}30'51"W$
 $C = 498.81'$

CAUTION!!
 4" GAS MAIN

SITTO BUILDING & ENGINEERING
 29850 NORTHWESTERN HWY.
 SUITE 200
 SOUTHFIELD, MI 48034
 TEL: (248) 709-0044
 FAX: (248) 246-8800
 EMAIL: IMAD@SITTOENGINEERS.COM

PROJECT
 TROY PLAZA
 5500 NEW KING ST.
 TROY, MI

CLIENT
 TINELLE PROPERTIES
 29850 NORTHWESTERN HWY.
 SUITE 200
 SOUTHFIELD, MI 48034

REVISIONS

NOTES
 PLEASE DO NOT SCALE DRAWING

Approved By

SCALE
 1" = 30'

DATE
 05/19/2012

JOB NO.
 2012-32

SHEET TITLE
 UTILITY PLAN

SHEET NO.
 C-3

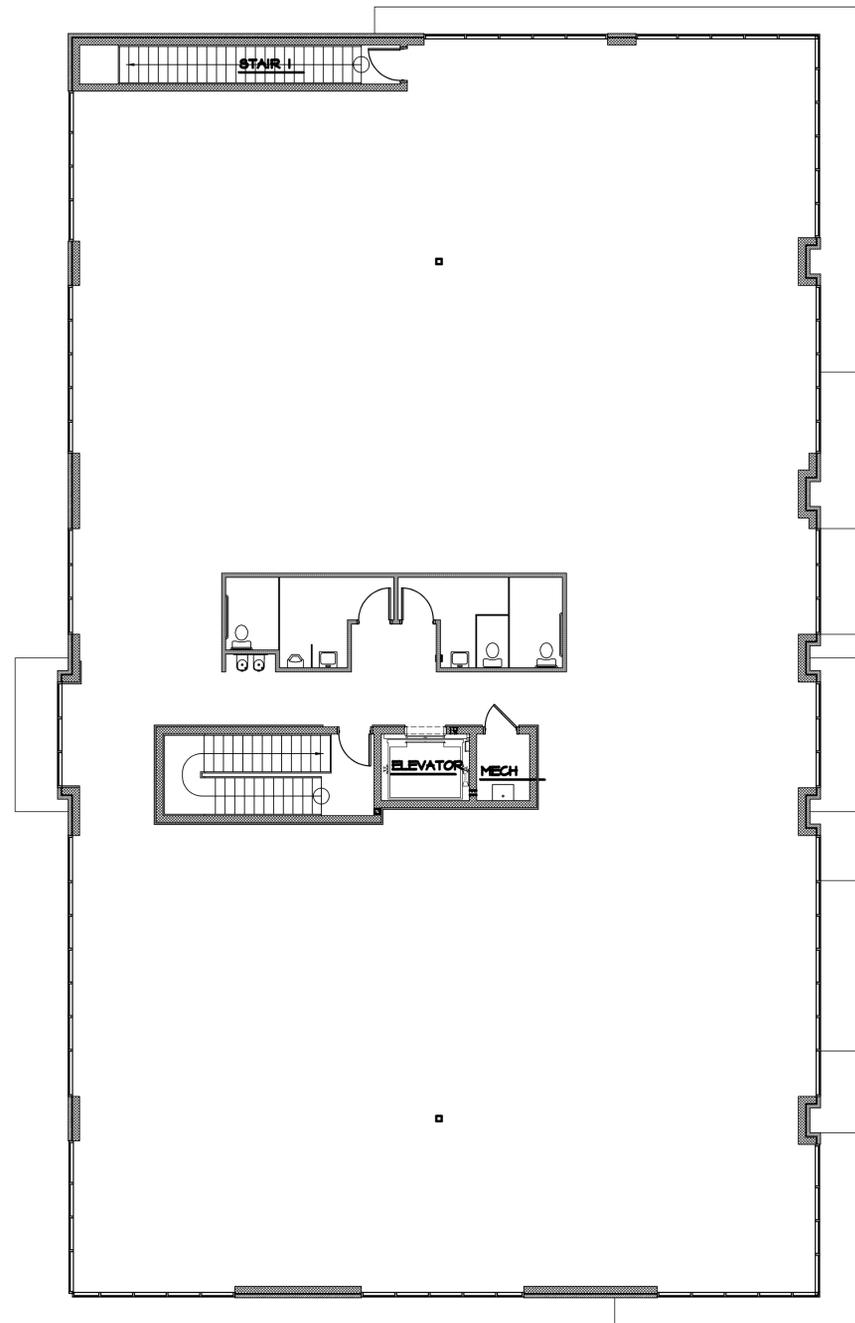
N.E. CORNER
 SECTION 8
 T.2N., R.11E
 CITY OF TROY
 OAKLAND COUNTY, MI

N027°30'26"W 2661.22'

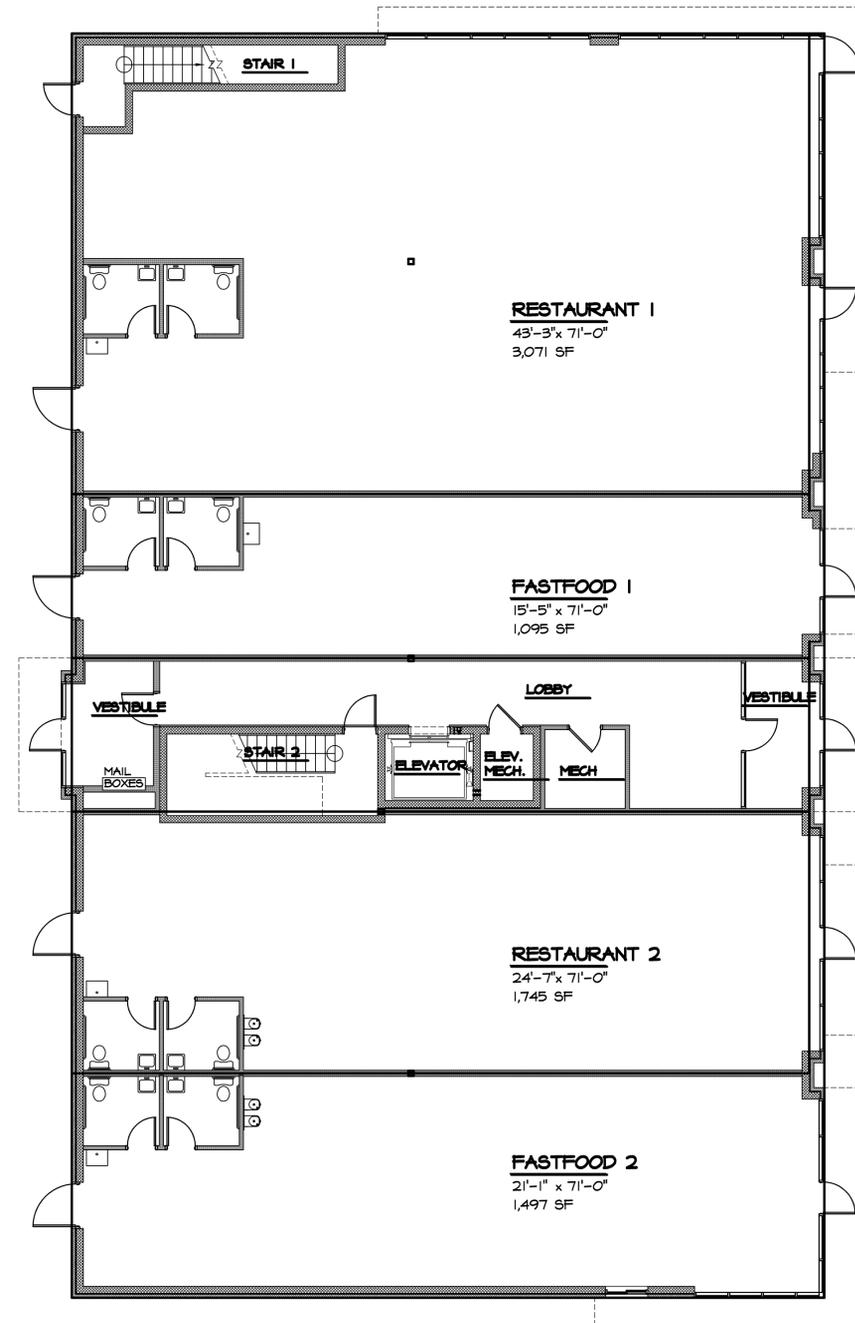
Crooks Road (150' R.O.W.)

N027°30'26"W 224.14'(M) 225.27'(R)

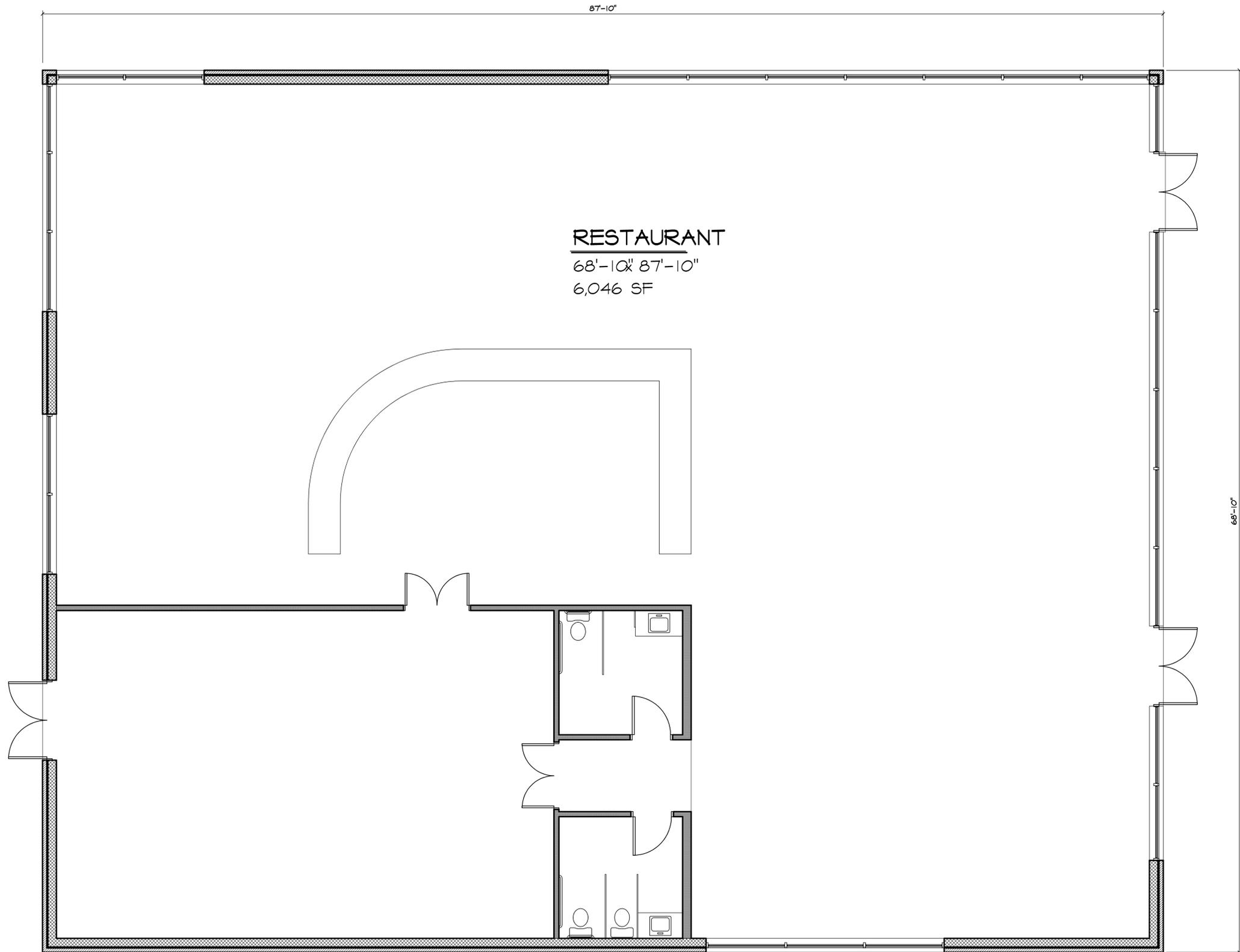
EAST 1/4 CORNER
 SECTION 8
 T.2N., R.11E
 CITY OF TROY
 OAKLAND COUNTY, MI



NORTH
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



NORTH
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

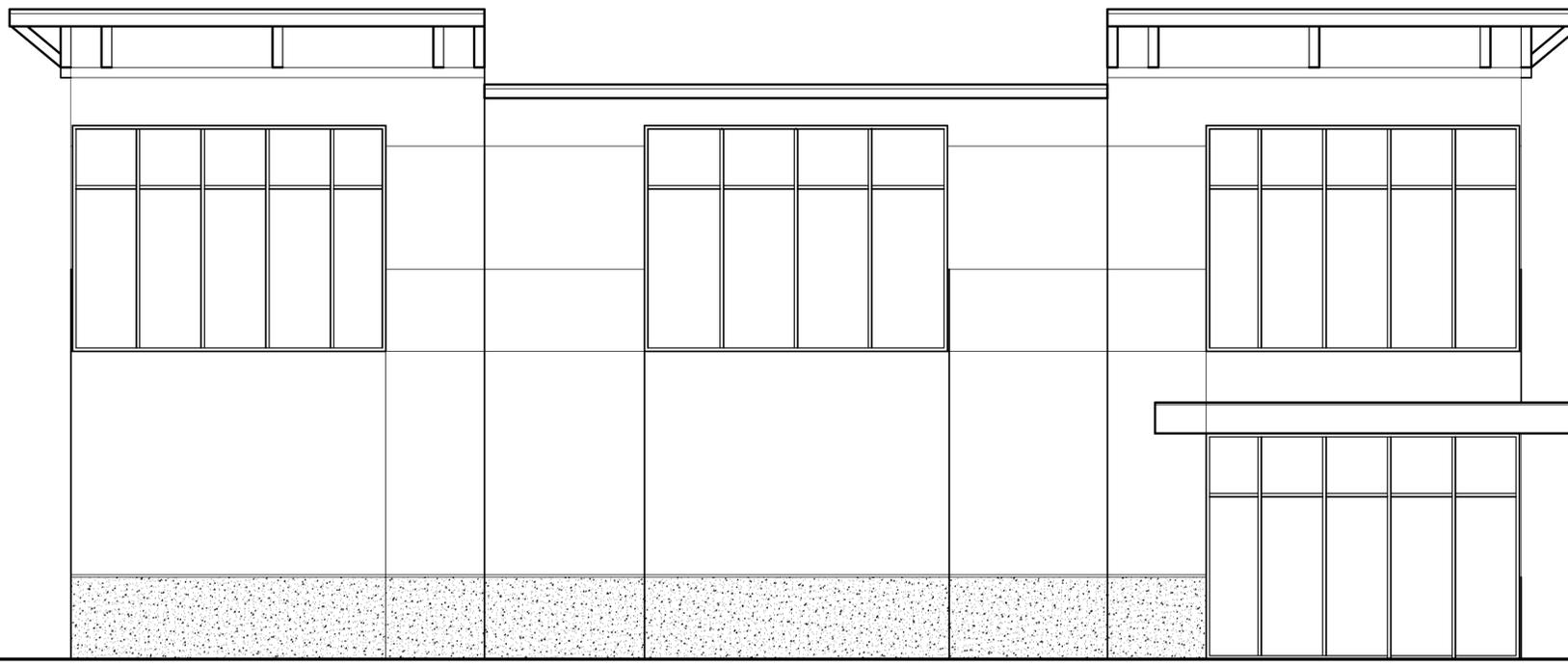


RESTAURANT
68'-10" x 87'-10"
6,046 SF

NORTH
FLOOR PLAN
SCALE: 1/4" = 1'-0"



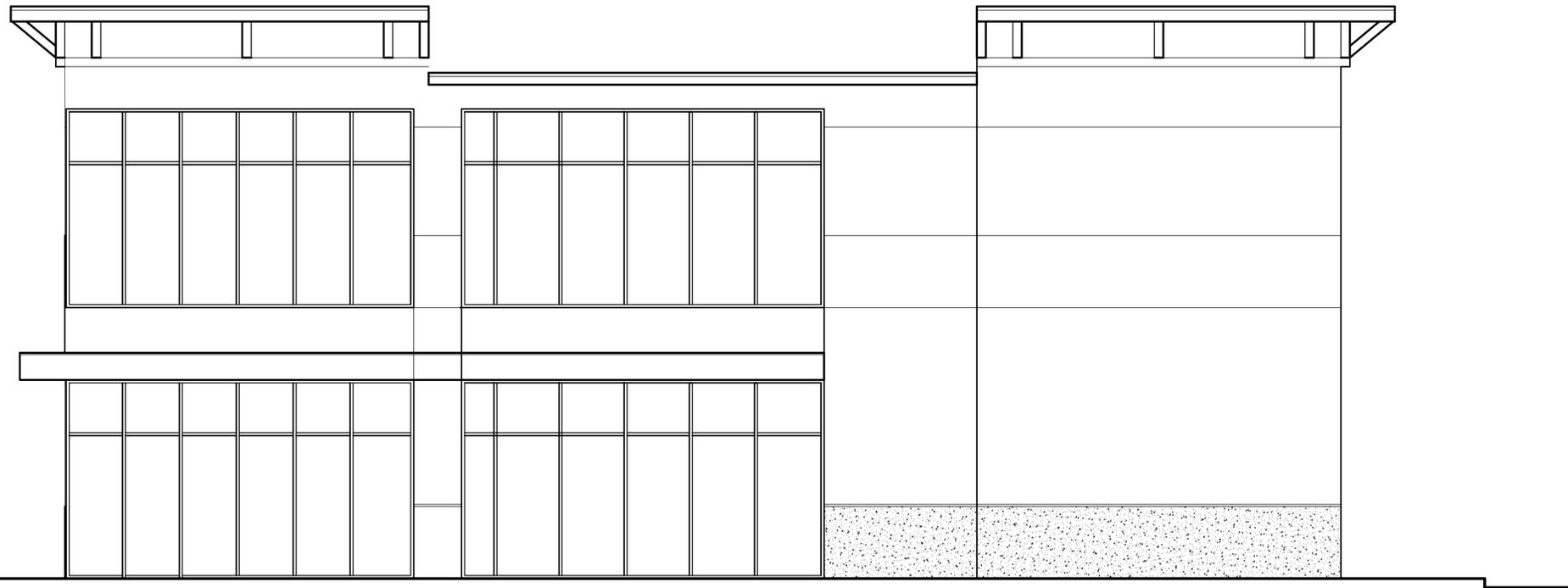
EAST ELEVATION
SCALE: 1/4" = 1'-0"



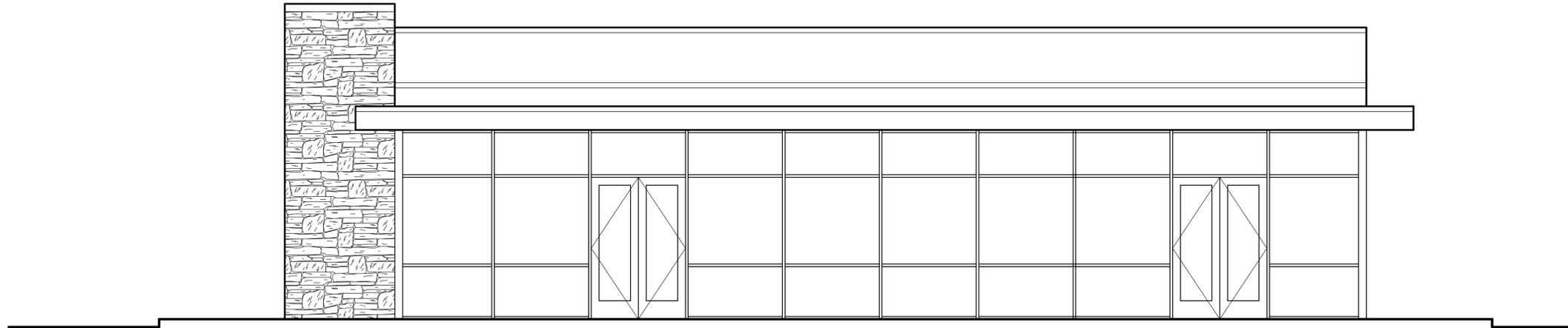
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



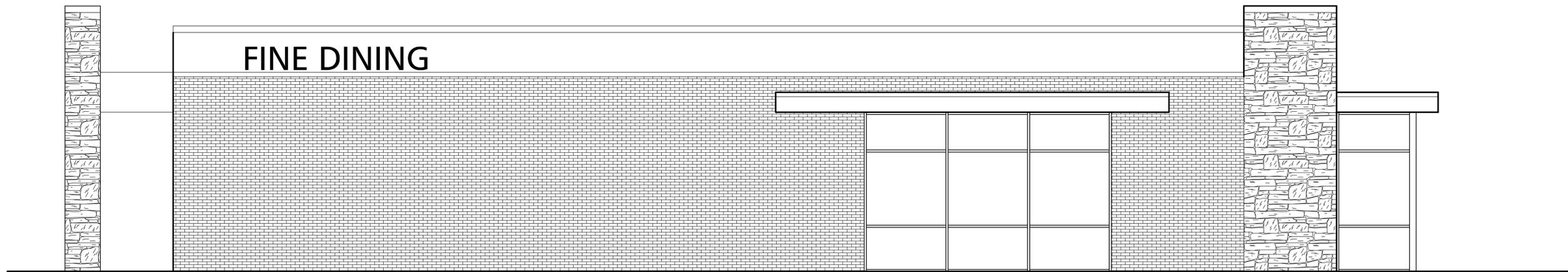
WEST ELEVATION
SCALE: 1/4" = 1'-0"



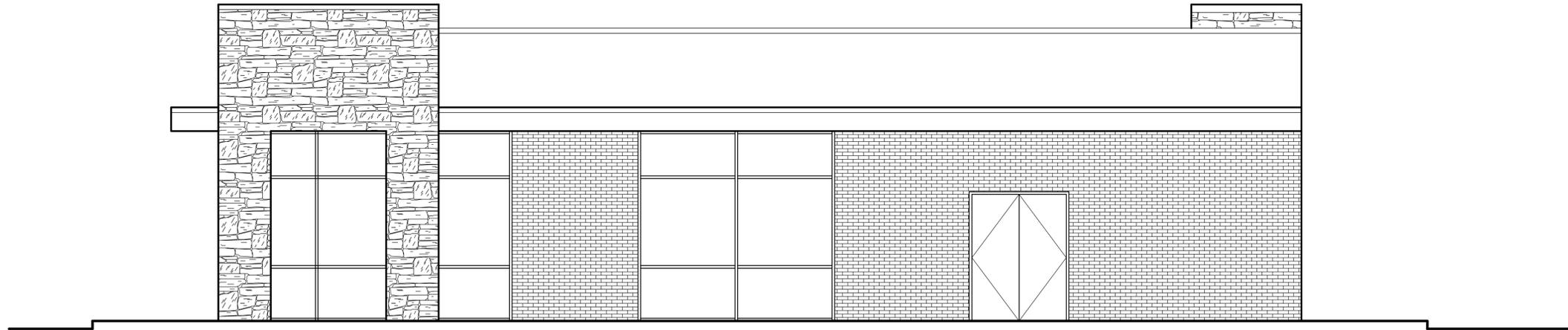
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



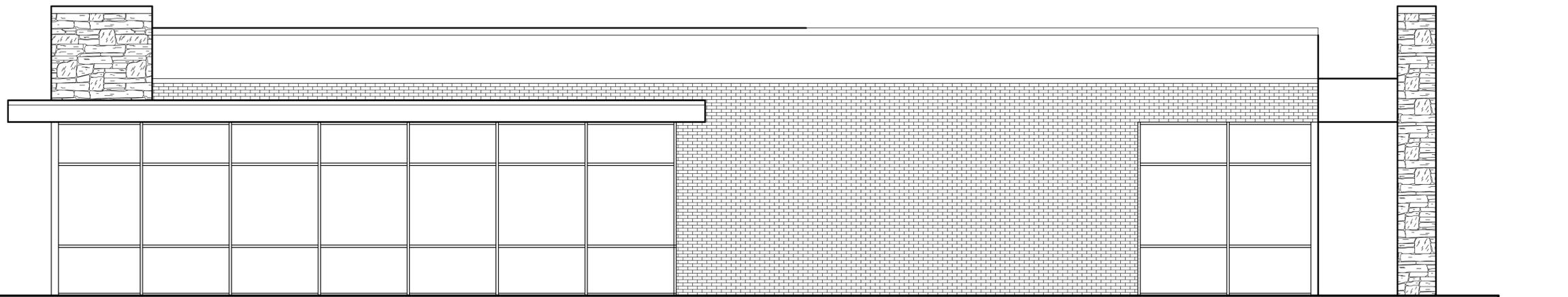
EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



Troy Plaza Parking Calculation (Preliminary)

Land Use	User	Code Required	6am	7am	8am	9am	10am	11am	Noon	1pm	2pm	3pm	4pm	5pm	6pm	7pm	8pm	9pm	10pm	11pm	Midnight	
Hotel-Business	Customer	136	129.2	122.4	108.8	95.2	81.6	81.6	74.8	74.8	81.6	81.6	88.4	95.2	102	102	108.8	115.6	129.2	136	136	
Hotel-Business	Employee	10	0.5	3	9	9	10	10	10	10	10	10	9	7.5	6	5.5	5.5	5.5	4.5	4.5	3	
Office	Employee	29	0.87	8.7	21.75	27.55	29	29	26.1	26.1	29	29	26.1	14.5	7.25	2.9	2.03	0.87	0.29	0	0	
Office	Visitor	3	0	0.03	0.6	1.8	3	1.35	0.45	1.35	3	1.35	0.45	0.3	0.15	0.06	0.03	0	0	0	0	
Fast Food	Customer	64	3.2	6.4	12.8	19.2	35.2	54.4	64	64	57.6	38.4	35.2	38.4	54.4	51.2	32	19.2	12.8	6.4	3.2	
Fast Food	Employee	17	2.55	3.4	5.1	6.8	12.75	17	17	17	16.15	11.9	10.2	11.9	15.3	15.3	10.2	6.8	5.1	3.4	3.4	
Standard Restaurant	Customer	138	0	0	0	0	20.7	117.3	124.2	117.3	103.5	55.2	69	103.5	131.1	138	138	138	131.1	103.5	34.5	
Standard Restaurant	Employee	20	0	4	10	15	18	18	18	18	18	15	15	20	20	20	20	20	20	17	7	
			417	136.32	147.93	168.05	174.55	210.25	328.65	334.55	328.55	318.85	242.45	253.35	291.3	336.2	334.96	316.56	305.97	302.99	270.8	187.1

- Office Building**
- 9,434 sq ft gross
- 6,745 sq ft net
- 1/300 sq ft gross area
- Corner Restaurant**
- 6000 sq ft
- 190 seats
- 1/2 seats fastfood
- McDonalds**
- 4,125 sq ft
- 3,321 sq ft net/70
- Restaurant 1**
- 2876 sq ft
- 85 seats fastfood
- Fast Food 1**
- 1095 sq ft Gross
- 950 sq ft net/70
- Restaurant 2**
- 2000 sq ft
- 40 seats fastfood
- Fast Food 2**
- 1,500 sq ft gross
- 1,320 sq ft net/70
- 19 spaces
- Hotel
- 136 Rooms
- Total

This is preliminary calculaiton of the required parking. Of the shared parking methodologies only the time of day has been utilized. Further analysis including modal shift, persons per car and adjustments for non-captive users.

- 29 Employee Spaces
- 3 Visitor Spaces
- 85 Customer spaces
- 10 Employee Spaces
- 40 Customer spaces
- 8 Employee Spaces
- 36 Customer spaces
- 7 Employee Spaces
- 9 Customer spaces
- 5 Employee Spaces
- 17 Customer spaces
- 3 Employee Spaces
- 15 Customer spaces
- 4 Employee Spaces
- Fast foot
- 64 Customer spaces
- 17 Employee Spaces
- Standard Restaurant
- 138 Customer spaces
- 20 Employee Spaces

DATE: July 5, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 1000' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

The petitioner Mondrian Properties submitted the above referenced Preliminary Site Plan Approval application for an 8-unit site condominium. The property is currently zoned R-1A (One Family Residential) District. The Planning Commission considered this item at the June 26, 2012 Special/Study meeting and postponed the item for two weeks for the developer to come back with an alternate plan that takes into consideration comments made at the meeting.

The petitioner is investigating the possibility of an alternative site layout but has not provided any plans to date. Therefore the Planning Commission may want to postpone this item until such time the applicant submits a complete site plan showing the intended development.

Attachments:

1. Minutes from June 26, 2012 Special/Study meeting (excerpt/draft)

cc: Applicant
File/Beachview Estates Site Condominium

G:\SUBDIVISIONS & SITE CONDOS\Beachview Estates Site Condominium Sec 18\Preliminary Review PC Memo 07 10 12.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 1000' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

Proposed Resolution # PC-2012-06-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, South of Long Lake, Section 18, within the R-1A (One Family Residential) District, be postponed until such time the applicant submits a complete site plan showing the intended development.

Yes:

No:

MOTION PASSED / FAILED

DATE: July 5, 2012

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

This item was discussed by the Planning Commission at the June 12, 2012 Regular meeting and the June 26, 2012 Special/Study meeting.

The applicant, Lormax Stern Development Company, seeks a rezoning of the subject parcel from O (Office) to IB (Integrated Industrial and Business) District. The parcel is approximately 7 acres in area. The applicant proposes maintaining a permanent 30-foot wide greenbelt open space along the western property line and a portion of the northern property line. Both property lines separate the subject property from residential neighborhoods.

The Master Plan classifies this area as 21st Century Industrial. A description of this classification is attached.

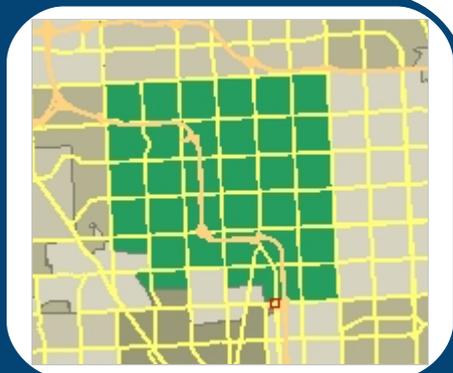
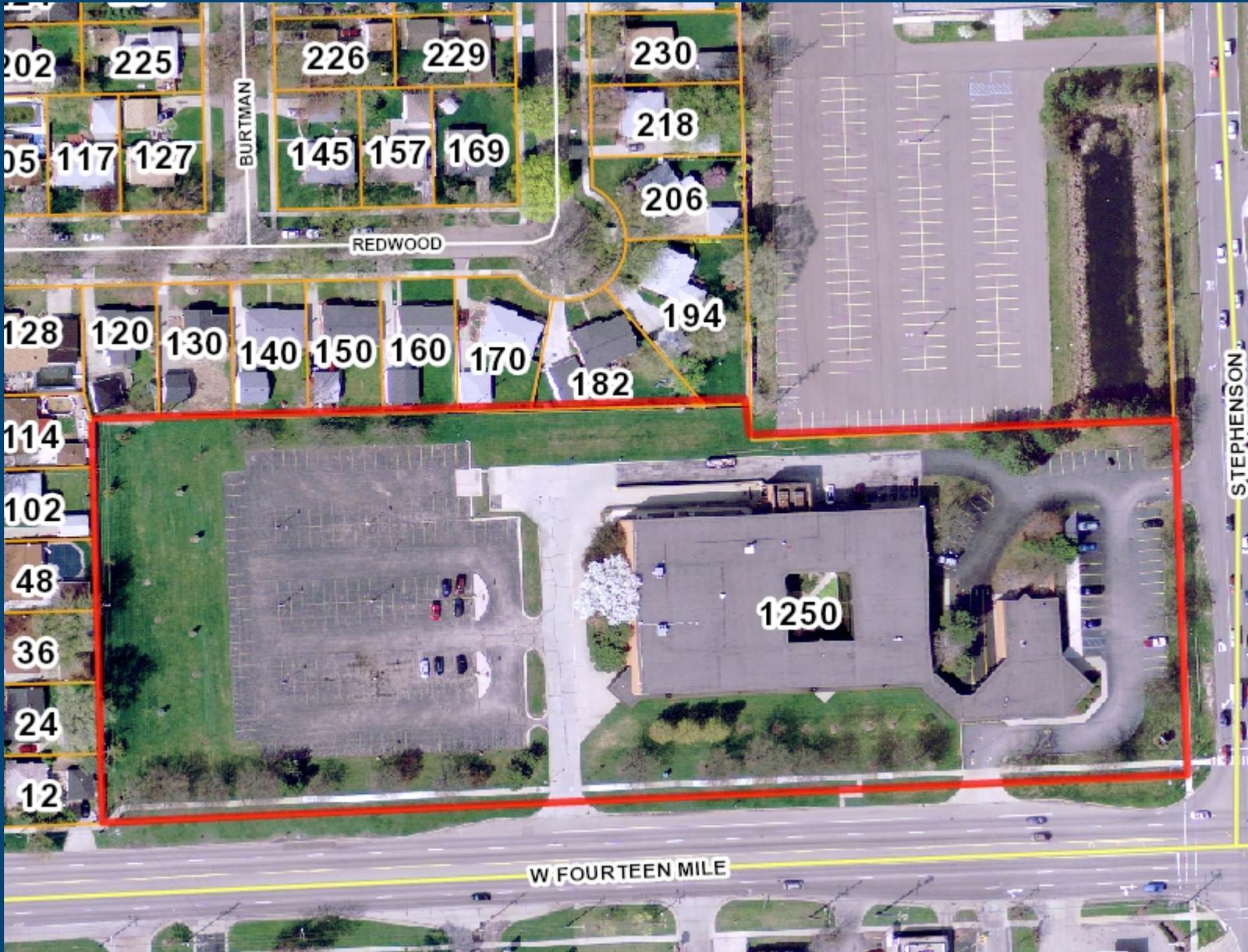
The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

The applicant intends to provide the following information to the Planning Commission at the meeting if not earlier: (1) a conceptual site plan drawing showing alternative site layouts; and (2) a list of uses that the applicant agrees will not be developed on this site.

Please be prepared to discuss this item at the July 10, 2012 Planning Commission Regular meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Report prepared by Carlisle/Wortman Associates, Inc.



Legend

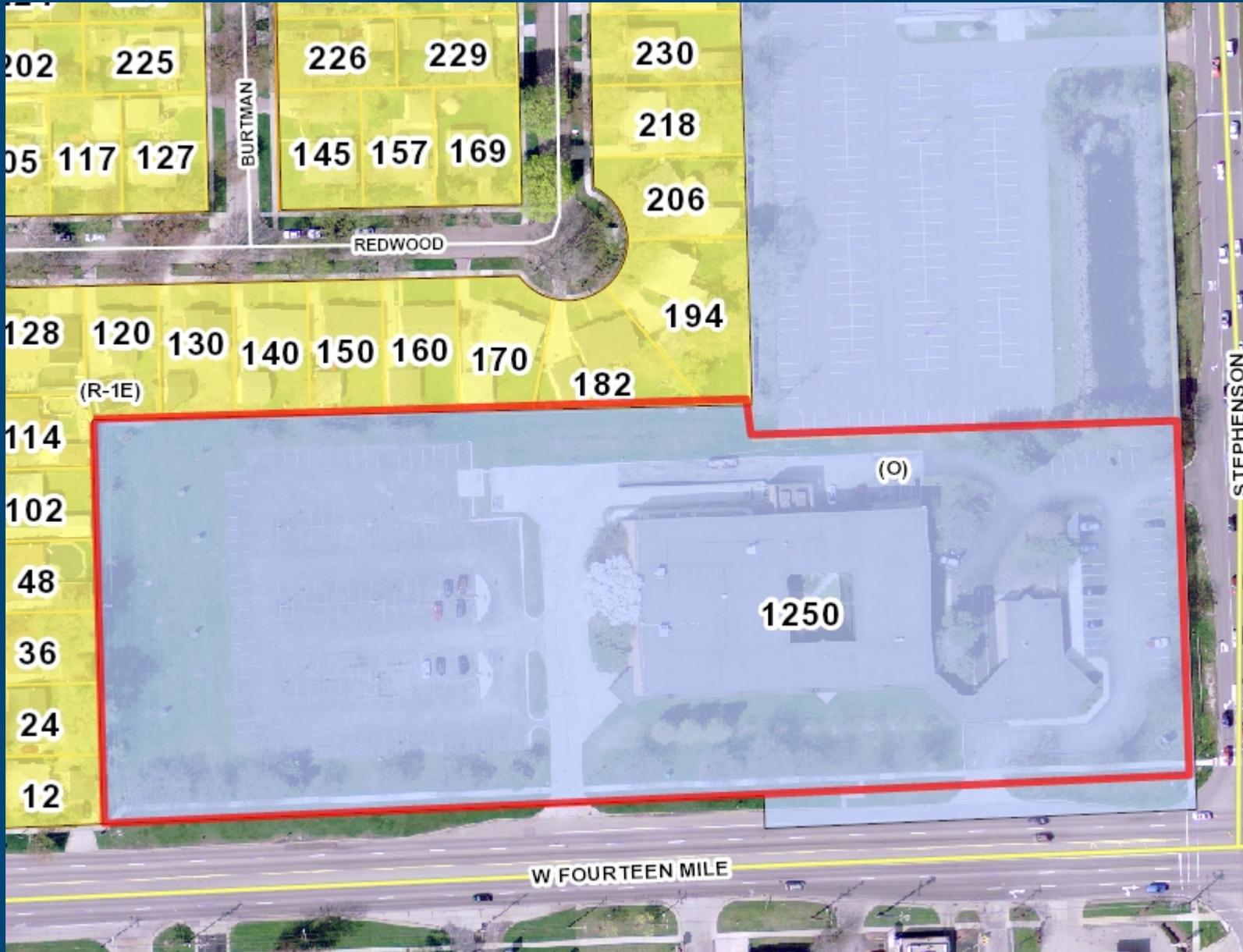
-  I-75
-  Road Centerline
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3



Scale 1: 1,498



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
- Current Zoning Ordinance**
 -  (PUD) Planned Unit Development
 -  (CF) Community Facilities District
 -  (EP) Environmental Protection District
 -  (BB) Big Beaver Road (Form Based)
 -  (MRF) Maple Road (Form Based)
 -  (NN) Neighborhood Nodes (A-U)
 -  (CB) Community Business
 -  (GB) General Business
 -  (IB) Integrated Industrial Business District
 -  (O) Office Building District
 -  (OM) Office Mixed Use
 -  (P) Vehicular Parking District
 -  (R-1A) One Family Residential District
 -  (R-1B) One Family Residential District
 -  (R-1C) One Family Residential District
 -  (R-1D) One Family Residential District
 -  (R-1E) One Family Residential District
 -  (RT) One Family Attached Residential District
 -  (MR) Multi-Family Residential
 -  (MHP) Manufactured Housing
 -  (UR) Urban Residential
 -  (RC) Research Center District
 -  (PV) Planned Vehicle Sales
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

250 0 125 250Feet

Scale 1: 1,498



STATEMENT OF APPLICANT

The City Master Plan designates the property as 21st Century Industrial. The proposed IB Integrated Industrial Business District zoning classification is entirely consistent with the Master Plan classification.

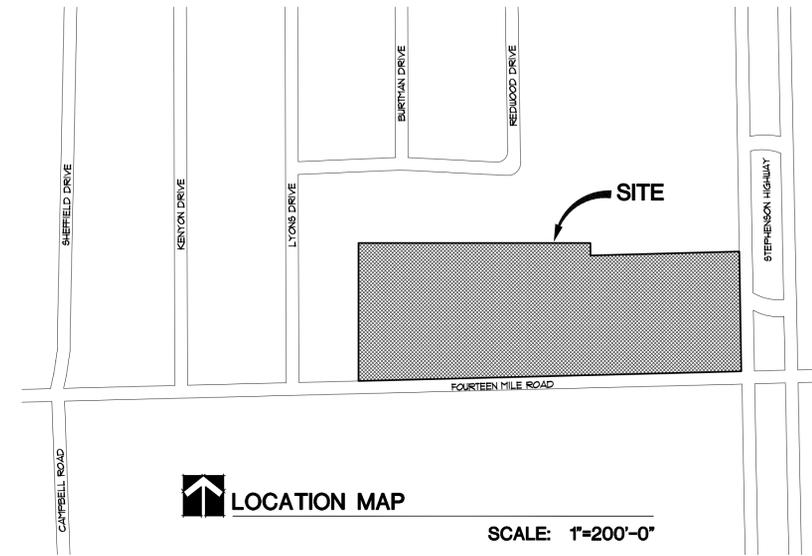
Adjacent parcels to the North along Stephenson Highway are already zoned IB and have rear yards abutting single family homes zoned R-1E. Adjacent single family homes West of the property on Lyons and North of the property on Redwood are also zoned R-1E.

Currently, boundary screen walls and landscaping in the rear and side yards buffer all adjacent single family residential homes from the existing vacant two story office building on the property. At such time as the property is redeveloped, appropriate additional site plan conditions can be imposed to further protect adjacent homes and other properties in the vicinity.

LEGAL DESCRIPTION

Land situated in the State of Michigan, County of Oakland, City of Troy described as follows:
 Parcel 1:
 Lots 1, 2 and 3, Mark Builders Subdivision, according to the plat thereof recorded in Liber 84, of plate Page(s) 14 and 15, Oakland County Records.
 Parcel 2:
 Part of the Southwest 1 of Section 35, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, being described as beginning at a point on the South line of Section 35 distant South 88 degrees 24 minutes 00 seconds East 664.61 feet; and South 88 degrees 13 minutes 12 seconds East 643.71 feet from the Southeast corner of said Section 35; thence continuing along the South section line, South 88 degrees 13 minutes 12 seconds East 354.61 feet thence along the West line of Stephenson Highway (1024 feet wide) North 01 degree 51 minutes 39 seconds East 358.88 feet thence North 88 degrees 35 minutes 21 seconds West 351.11 feet thence South 02 degrees 31 minutes 48 seconds West 356.63 feet to the point of beginning.
 For tax purposes, Parcel 2 is described as:
 T1N, R11E, SEC 35, MARK BUILDERS SUB LOTS 1, 2 & 3, ALSO PART OF SW 1 BEG AT FT DIST S 88-24-00 E 664.61 FT, TH S 88-13-12 E 643.71 FT FROM SW SEC COR, TH S 88-13-12 E 354.61 FT, TH N 01-51-39 E 358.88 FT, TH N 88-35-21 W 351.11 FT, TH S 02-31-48 W 351.14 FT TO BEG EXC S 60 FT TAKEN FOR RD
 1250 West Fourteen Mile, Troy
 Tax ID: 20-35-356-024

Based on a field survey all of the above being described as:
 Lots 1, 2 and 3, Mark Builders Subdivision, according to the plat thereof recorded in Liber 84, of plate Page(s) 14 and 15, Oakland County Records, also part of the Southwest 1 of Section 35, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, being described as: Commencing at the Southeast corner of said Section 35; thence South 88 degrees 24 minutes 00 seconds East 664.61 feet thence along the South line of said Section 35 South 88 degrees 21 minutes 01 seconds East 665.71 feet to the point of beginning; thence North 02 degrees 31 minutes 48 seconds East 60.07 feet to a point on the North Right-of-Way line of Fourteen Mile Road (102 feet wide) said point also being the Southeast corner of said Lot 1; thence along said North Right-of-Way line North 88 degrees 21 minutes 01 seconds West 343.31 feet to a point which is the Southeast corner of said Lot 3; thence along the West line of said Lot 3 North 02 degrees 34 minutes 30 seconds East 338.03 feet to a point which is the Northwest corner of said Lot 3; thence along the North line of said Lot 1, 2 & 3 South 81 degrees 05 minutes 30 seconds East 347.11 feet to a point which is the Northeast corner of said Lot 1; thence along the East line of said Lot 1 South 02 degrees 31 minutes 48 seconds West 253.33 feet thence South 88 degrees 43 minutes 31 seconds East 351.15 feet to a point on the West Right-of-Way line of Stephenson Highway (1024 feet wide) thence along said West Right-of-Way line South 01 degree 51 minutes 39 seconds West 358.88 feet to a point on said South line of Section 35; thence along said South line North 88 degrees 21 minutes 01 seconds West 354.61 feet to the point of beginning.

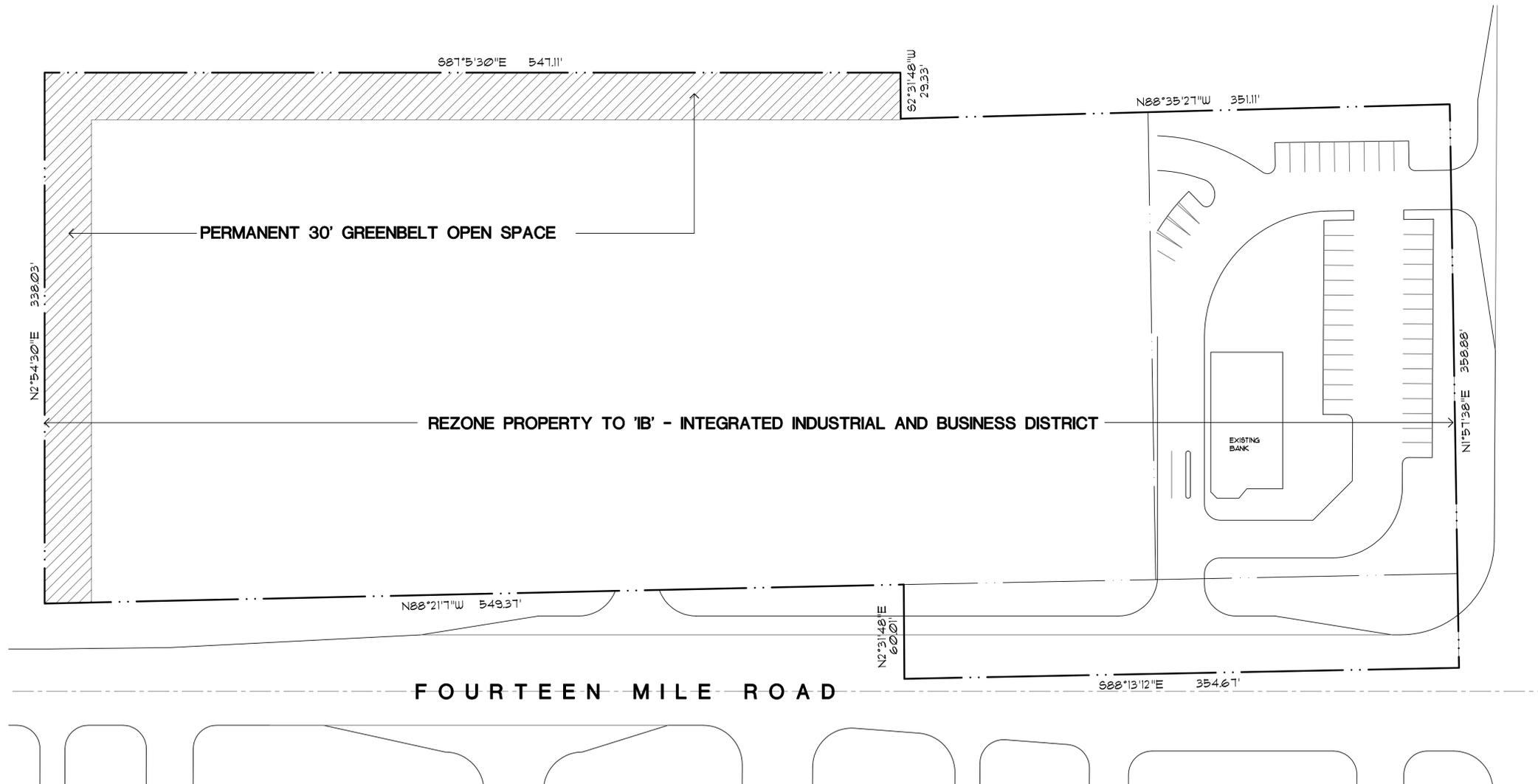


LOCATION MAP

SCALE: 1"=200'-0"

issued for:
 REVIEW: 13 APR. 12

project:



STEPHENSON HWY.

LAND DATA :	
LAND AREA :	
GROSS LAND AREA :	7.076 ACRES
ZONING :	
CURRENT ZONING :	'O' OFFICE DISTRICT
PROPOSED ZONING :	'B' INTEGRATED INDUSTRIAL AND BUSINESS DISTRICT

ROGVOY ARCHITECTS

32500 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404

PH 248.540.7700 FX 248.540.2710
 www.rogvoy.com

drawing:
Zoning Application Site Plan

DO NOT SCALE DRAWING

issue date: 09 APR. 12
 drawn: KL
 checked: MD
 approved: MD

file number: 12007
 sheet:

ZONING APPLICATION SITE PLAN

SCALE: 1"=40'-0"

© COPYRIGHT 2010 ROGVOY ARCHITECTS, P.C.

21st Century Industry: A New Opportunity for Growth



- *Continued encouragement of a variety of industrial uses*
- *Light industrial uses with no outdoor storage or external nuisances are especially encouraged*
- *The emphasis for site design should be on screening, landscaping, buffering, and effective transitioning to allow this important category to succeed without negative impacts on residential or commercial areas of the City*

The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. In addition to conventional industrial uses, shops, and warehousing, this category can be home to business-to-business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield. Suppliers, fabricators, printers, and many other supporting uses which strengthen the City's appeal as a home to 21st Century businesses are all encouraged in this category.

An alternative use that may be considered on a very limited basis in the 21st Century Industrial area is loft-style residential development in reclaimed industrial buildings. Opportunities for artist lofts and open-floorplan residential development may exist within new, innovative mixed-use projects. Such projects would be an ideal fit within the 21st Century Industrial area. Such housing will only be considered when all potential environmental limitations have been identified, and if necessary, neutralized.

The majority of the 21st Century Industrial lands in Troy surround the Maple Road category (see page 105), although they are intermingled with areas planned for the Automall, the Smart Zone, and the Transit Center. **Existing land uses along Maple Road vary widely, and do not have a clear, identifiable character.** Maple Road is primarily experienced as a series of nodes that center on north-to-south traffic leading into and out of Troy from the Big Beaver Corridor. For this reason, Maple Road is planned as a series of areas designed to support the Big Beaver Corridor and the Smart Zone, such as the business-to-business uses noted above.

DESIGN CONCEPT

- This area will recognize that manufacturing and distribution will continue to provide valuable jobs and a tax base. Emphasis will be on maintaining a strong image by concentrating on site and building maintenance as well as redevelopment, rather than redevelopment alone.
- Code enforcement will be a critical tool to maintain the visual and physical health of the district.
- As land becomes available, green space should double and storm water management should improve.

SITE DESIGN ATTRIBUTES

- Primary parking areas are located within rear or interior side yards.
- Front yards will be landscaped and well-maintained to continue an improved image.
- Green space will be placed along property perimeters to assist with controlling surface storm water runoff.

BUILDING DESIGN ATTRIBUTES

- The office portion of industrial developments will locate nearest the public street.



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street
Ste. 1
Ann Arbor, MI 48104
(734) 662-2200
(734) 662-1935 Fax

Date: June 5, 2012

Conditional Rezoning Analysis For City of Troy, Michigan

Applicant:	Jason Horton, Lomax Stern Development Company
Property Address:	125 Stephenson Highway
Current Zoning:	O-1, Office Building District
Requested Zoning:	IB, Integrated Industrial Business District
Action Requested:	Conditional Rezoning Request to: - IB, Integrated Industrial Business District
Required Information:	The required information for a rezoning has been provided.

DESCRIPTION

The applicant is requesting a Conditional Rezoning from O-1, Office Building District to IB, Integrated Industrial Business District for the parcel located at 125 Stephenson Highway. The 7-acre property is currently improved with a 29,600 sq/ft, two-story office building and a 3,600 sq/ft bank with drive-through. The two buildings are attached via a canopy. The applicant has not indicated a potential for redevelopment or the future use of the property.

PROPERTY BACKGROUND

Subject Site	
Approximate Site Area	7 acres
Current Use	Office and Bank
Master Plan Recommended Use	21 st Century Industrial

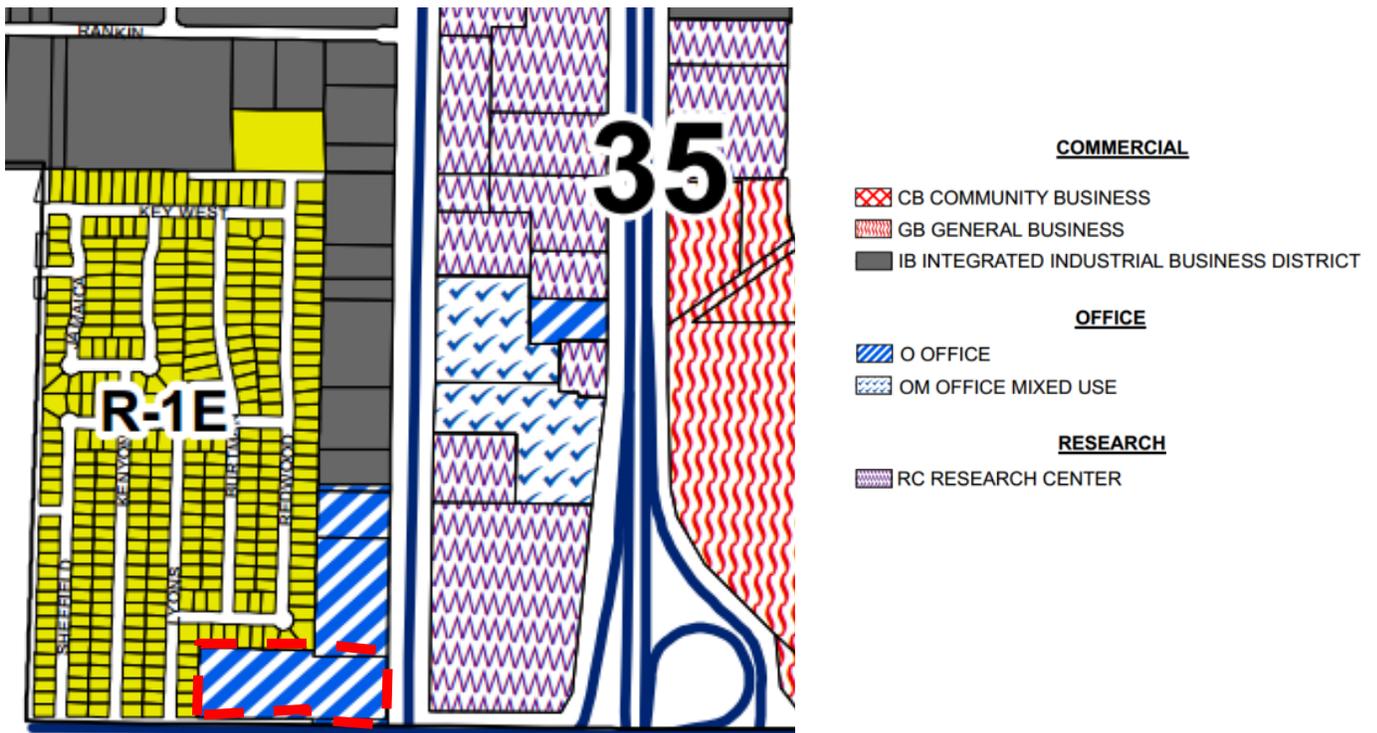


Subject Site of Proposed Conditional Rezoning

ADJACENT PROPERTIES

The existing zoning in the surrounding area is a mixture of Integrated Business (IB), Research Center (RC), Office (O-1) and One-family residential (R1-E). Adjacent zoning and land uses to the subject property is listed below:

Adjacent Properties		
	Existing Use	Zoning
North	Single-family residential (western half) Office (eastern half)	R-1E, One-family residential (western half) O-1, Office (eastern half)
South	Various commercial	Not Applicable (Madison Heights)
East	Valeo	RC, Research Center
West	Vacant	R-1E, One-family residential



An 8' high brick wall screens all adjacent single-family residents along the western half of the north property line and the entirety of the western property line.

Items to be addressed: None

CONDITIONAL REZONING PROCEDURE

Conditional rezonings such as the current proposal are enabled under Section 405 of the Michigan Zoning Enabling Act (PA 110 of 2006). Under this type of rezoning, conditions may be imposed on the rezoning request if voluntarily offered by the applicant. The Planning Commission is not authorized to offer or place any additional conditions upon the rezoning unless voluntarily offered by the applicant.

Items to be addressed: None

VOLUNTARILY IMPOSED CONDITIONS

The applicant has volunteered on their site plan a permanent 30' greenbelt open space dedication along all existing single-family residential uses. This 30' greenbelt open space runs along the entire western property line and western half of the northern property. It appears that a portion of the existing office building parking lot is within a part of the northern portion of the proposed 30' greenbelt. The applicant should confirm this.

Items to be addressed: Confirm if a portion of the existing office building parking lot is within the proposed 30' greenbelt.

MASTER PLAN RECOMMENDATION

The future land use plan of the Troy Master Plan has designated the subject property, as well as those parcels on the west side of Stephenson Highway, as 21st Century Industry. The 21st Century Industry use category focuses on properties in the southeast corner of the city around the Maple Road Category. This designation encourages a variety of general and light industrial uses including conventional manufacturing and assembly uses, but also promotes a broader spectrum of future higher technology industrial uses. The IB Zoning District mostly closely mirrors the intent of the 21st Century Industrial designation. While the future use of this property is unknown, the proposed IB designation and permitted uses are consistent with the 21st Century Industrial designation of the Master Plan.

Items to be addressed: None

IB ZONING APPLICABILITY

As noted the future use of this property is unknown. However, the IB district permits greater flexibility in use including permitting multiple family residential, additional retail, service, and entertainment uses, and limited light industrial and automotive uses. Unless additional conditions are volunteered by the applicant, the future redevelopment of this site will permit all those uses allowed in the IB District.

In regards to the potential for the creation of non-conformities, rezoning this parcel to the IB district will not create any new legal non-conformity. It is worth noting that the parking lot located between the existing building and the street is not permitted in the new ordinance for either the IB District or O district, thus redevelopment of this parcel will bring the site into conformance with the zoning ordinance.

While the rezoning of this parcel will not be adjacent to existing IB district, the rezoning will bring this parcel into greater conformance with the master plan. Furthermore as noted, the future redevelopment of this site, which is advanced by the proposed rezoning, will bring the site into conformance with the zoning ordinance. Future zoning considerations for those parcels remaining O, Office District zoning should be examined as development opportunities on those sites arise.

Items to be addressed: None

CONDITIONAL REZONING FINDINGS

Section 16.04.C.3

The Zoning Ordinance identifies five (5) findings that the Plan Commission should evaluate when considering a Conditional Rezoning petition ((Section 1299.037(3)). A Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a) The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

The only condition proposed by the applicant is a 30-foot permanent greenbelt. This 30-foot buffer does not permit any buildings, parking, or drive-aisles. In addition, there is a 50-foot building setback for all buildings within the IB District from the boundary of any single-family residential district. This 50-foot building setback only applies to buildings and thus would allow parking and drive-aisles between this 50-foot buffer and the 30-foot greenbelt. A 30-foot greenbelt used in combination with the 50-foot land use buffer advance public health, safety, and welfare.

- b) The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
 - I. A change in City policy since the Master Plan was adopted.
 - II. A change in conditions since the Master Plan was adopted.
 - III. An error in the Master Plan.

The proposed development is consistent with the Master Plan. The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. The IB District is consistent with the 21st Century Industry area of the Master Plan by encouraging redevelopment and reuse of existing buildings and sites by permitting other compatible uses.

- c) The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

The proposed 30-foot permanent greenbelt is in accordance with all terms of the IB zoning district and goes above and beyond the screening of differencing land use as required in the Landscaping Section of the Ordinance (Section 13.02.B).

- d) Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

All necessary public services, utilities, and facilities already adequately serve this site. Any permitted uses and development within the IB district would not require any additional public services and facilities; however private utilities including water will be reviewed as part of the building permit process.

- e) The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

While future development and reuse of this property is unknown, redevelopment of this site to uses and standards of the IB district is consistent with the Master Plan. Furthermore the site is surrounded by a mix of both commercial and industrial uses. The redevelopment and reuse of the site within the IB Zoning District would be compatible with the adjacent uses. Lastly, the proposed 30-foot greenbelt buffers and protects all adjacent single-family residential.

SUMMARY OF FINDINGS

After reviewing the current land use, adjacent zoning districts, and future plans for the subject properties and vicinity, we would recommend that the Planning Commission proceed with the rezoning request.

- A. The rezoning is supported by the Master Plan and advances the general and specific development policies of the Master Plan.
- B. The proposed rezoning would be consistent and non-disruptive to the surrounding land use pattern.
- C. Rezoning will facilitate redevelopment of this site, which would bring the site into conformance new zoning ordinance standards.

I look forward to discussing this with you at the next Planning Commission meeting.

Sincerely yours,



CARLISLE/WORTMAN ASSOCIATES, INC.
Benjamin R. Carlisle, LEED AP, AICP

REZONING REQUEST

6. **PUBLIC HEARING – REZONING APPLICATION (File Number Z 740)** – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

Mr. Carlisle reviewed the proposed rezoning request. Mr. Carlisle recommends that the Planning Department proceed with the rezoning request, contingent on the three conditions as noted in his report, dated June 5, 2012.

The petitioner, Jason Horton of Lormax Stern Development Company, was present.

There was discussion on potential future development on this site.

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED

The members and the petitioner agreed to table the item for further study. Chair Tagle announced a second Public Hearing would be scheduled and Meeting Notice published, should the request go forward.

Resolution # PC-2012-06-035

Moved by: Sanzica

Seconded by: Schultz

RESOLVED, To table the proposed rezoning request for further study.

Yes: All present (7)

Absent: Hutson

MOTION CARRIED

Mr. Hutson said he opposes a postponement because the site plan meets all Zoning Ordinance requirements.

REZONING REQUEST

- 9. REZONING APPLICATION (File Number Z 740) – Proposed Charter One Bank Branch, 125 Stephenson Highway and 1250 W. 14 Mile Road, Section 35, From O (Office) to IB (Integrated Industrial and Business) District

Mr. Savidant gave a brief review of the proposed rezoning application postponed by the Board for an informal discussion.

The petitioner, Jason Horton and Daniel Stern of Lormax Stern Development Company, were present.

It was determined the petitioner would prepare a list of uses allowable within the IB zoning district that they project to be viable and residentially friendly.

Members of the Board were encouraged to review in detail the allowable uses within the IB zoning district in preparation to reach an agreement with the petitioner on potential uses.

Chair Tagle requested a recess at 8:35 p.m.

The meeting reconvened at 8:40 p.m.

CONDITIONAL REZONING

- 10. CONDITIONAL REZONING APPLICATION (File Number CR 006) – Proposed Troy Plaza Development, West side of Crooks, North side of New King (5500 New King), Section 8, From PUD (Planned Unit Development) to OM (Office Mixed Use) and CB (Community Business) Districts

Mr. Savidant announced the petitioner submitted three color renderings shown in the Board’s digital presentation this evening but were not available at the time the agenda packet was distributed.

Mr. Carlisle gave a brief report on the proposed conditional rezoning. Mr. Carlisle addressed site planning revisions to assist in creating a more cohesive and integrated site.