

## **VARIANCE REVIEW STANDARDS ZONING ORDINANCE SECTION 15.04 (E) (2)**

Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

## BOARD OF ZONING APPEALS

The Board of Zoning Appeals is a group of seven of your neighbors or peers appointed by City Council to pass judgment on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty running with the land that would warrant the granting of the variance.

### PROCEDURE

The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairman, come up to the podium and sign in on the sheet provided. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairman. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairman to speak at one time.

At the conclusion of public comments the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or table (delay action) the request. In order for the request to pass a minimum of four votes for approval are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.



# ZONING BOARD OF APPEALS

## MEETING AGENDA

### REGULAR MEETING

500 W. Big Beaver  
Troy, MI 48084  
(248) 524-3364  
[www.troymi.gov](http://www.troymi.gov)  
[planning@troymi.gov](mailto:planning@troymi.gov)

Allan Kneale, Chair, and Glenn Clark, Vice Chair  
Michael Bartnik, Kenneth Courtney  
William Fisher, David Lambert, Thomas Strat  
Bruce Bloomingdale and Orestis Kaltsounis (Alternates)

---

**September 18, 2012**

**7:30 P.M.**

**Council Chamber**

---

1. ROLL CALL
2. APPROVAL OF MINUTES – July 17, 2012
3. APPROVAL OF AGENDA
4. HEARING OF CASES
  - A. **VARIANCE REQUEST, MAGED MICHAIL FOR MNAD PROPERTY LLC, 3424 ROCHESTER** – In order to construct additions to the existing building, 1) a 6 foot variance to the required 10 foot front yard setback and 2) a 65 foot variance to the required 75 foot rear yard setback.  
  
**SECTIONS: 4.13 (C) AND 4.13 (D) (1) (a)**
  - B. **VARIANCE REQUEST, MARK FLEMING, 3820 VICTORIA COURT** – In order to build a new house, 1) a 17 foot variance to the required 30 foot front yard setback and 2) a 27 foot variance to the required 40 foot rear yard setback.  
  
**SECTION: 4.06 (C)**
5. COMMUNICATIONS
6. MISCELLANEOUS BUSINESS – Discussion on Zoning Board implementing hand voting procedures
7. PUBLIC COMMENT
8. ADJOURNMENT

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

On July 17, 2012, at 7:30 p.m., in the Council Chambers of Troy City Hall, Chair Kneale called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bartnik  
Bruce Bloomingdale  
Glenn Clark  
Kenneth Courtney  
William Fisher  
Allen Kneale  
Thomas Strat

Also Present:

Paul Evans, Zoning and Compliance Specialist  
Allan Motzny, Assistant City Attorney  
Orestis Kaltsounis, Alternate (arrived at 7:42 p.m.)

Absent:

David Lambert

2. APPROVAL OF MINUTES – June 19, 2012

RESOLVED, to approve the June 19, 2012 meeting minutes.

Moved by Courtney  
Seconded by Kneale

Yes: All

MOTION PASSED

3. APPROVAL OF AGENDA – No changes

4. HEARING OF CASES

- A. VARIANCE REQUEST, MINAL GADA AND ASHISH MANEK, 4820 LIVERNOIS –  
In order to split the parcel into 3 separate parcels, a 2 foot variance from the requirement that the parcels be at least 100 feet wide.

Strat recuses and leaves the dais, Kaltsounis sits.

Moved by Bartnik  
Seconded by Bloomingdale

RESOLVED, to grant the variance.

Yes: All

MOTION PASSED

Strat returns to the room, Kaltsounis leaves the dais.

5. COMMUNICATIONS – None
6. MISCELLANEOUS BUSINESS – By informal consensus, the Board agreed there is no longer a need to require persons speaking to the Board sign their name at the sheet provided at the podium. Member Strat advised the Board of procedures of a neighboring community's ZBA.
7. PUBLIC COMMENT – None
8. ADJOURNMENT – The Zoning Board of Appeals meeting ADJOURNED at 8:22 p.m.

Respectfully submitted,

---

Allen Kneale, Chair

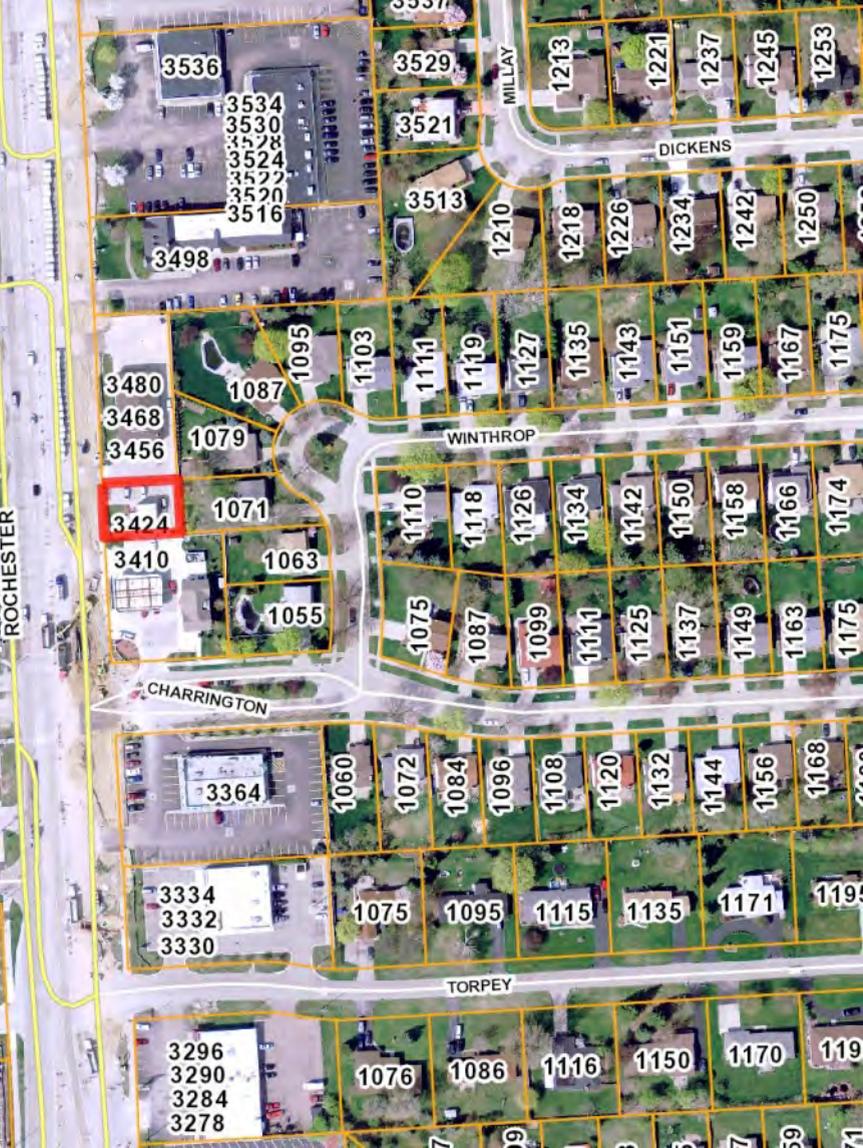
---

Paul Evans, Zoning and Compliance Specialist

4. HEARING OF CASES

- A. VARIANCE REQUEST, MAGED MICHAIL FOR MNAD PROPERTY LLC, 3424 ROCHESTER – In order to construct additions to the existing building, 1) a 6 foot variance to the required 10 foot front yard setback and 2) a 65 foot variance to the required 75 foot rear yard setback.

**SECTIONS: 4.13 (C) AND 4.13 (D) (1) (a)**



3495

3480

3468

3456

3424

3410

1087

1079

1071

1063

1055

109

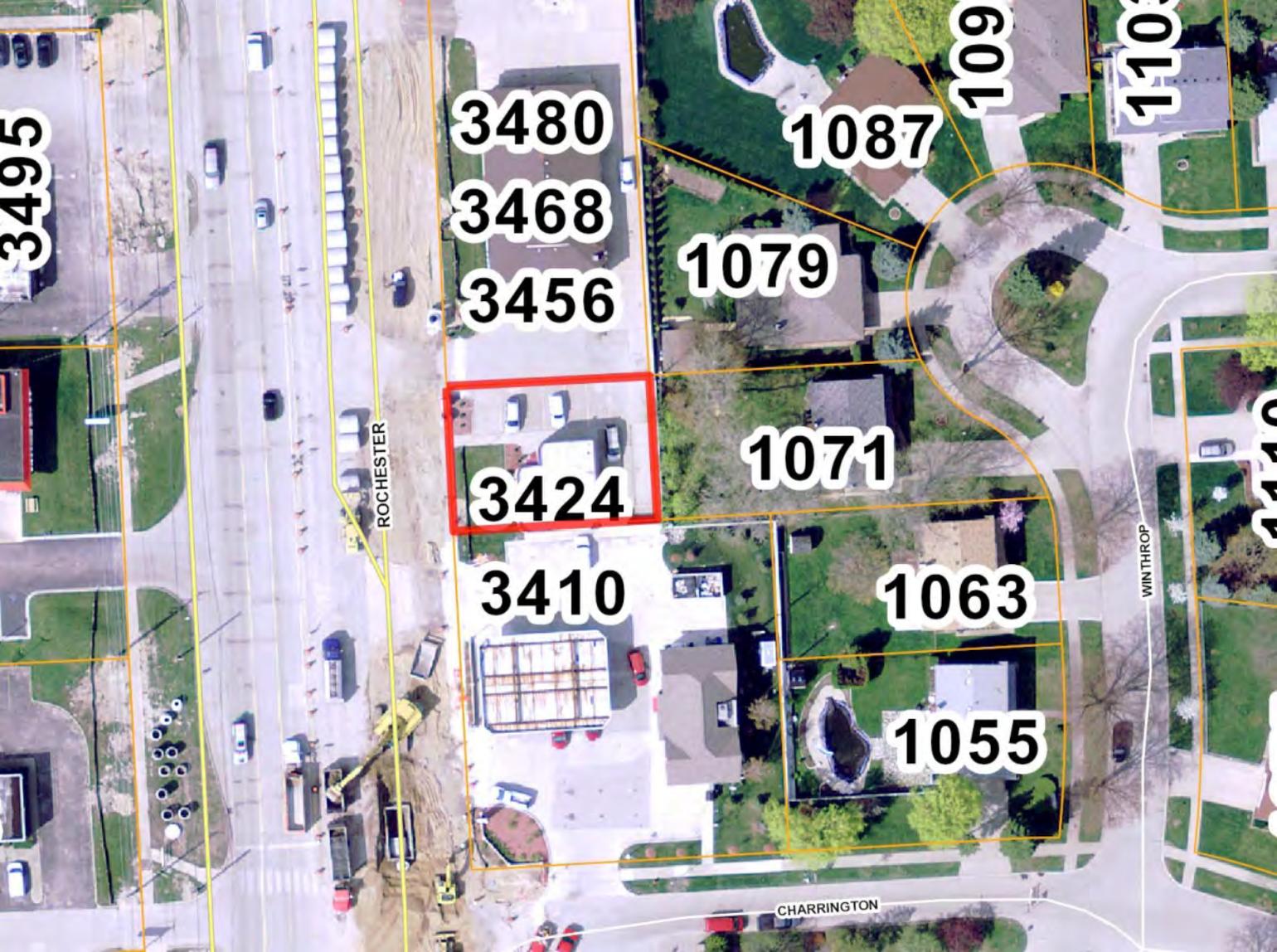
110

1140

ROCHESTER

WINTHROP

CHARRINGTON



**3456**

**1079**

ROCHESTER



**3424**

**10**

**3410**

3495

(CB)

3480

3468

3456

(CB)

3424

3410

(GB)

1087

1079

1071

1063

(R-1E)

1055

109

110

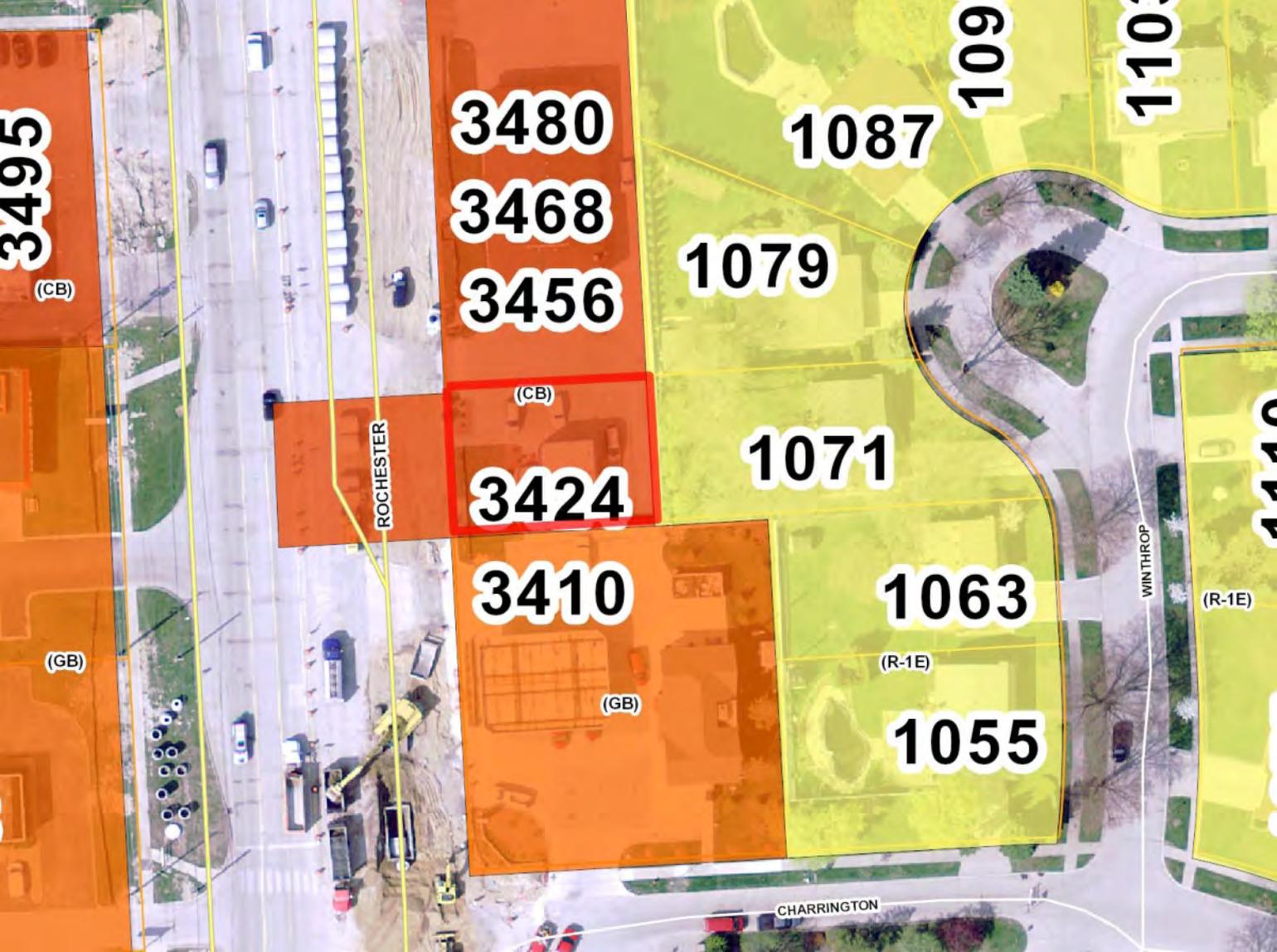
1140

(R-1E)

ROCHESTER

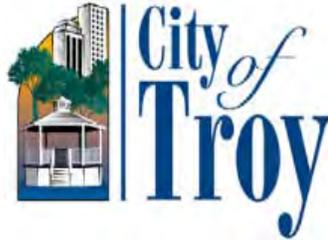
CHARRINGTON

WINTHROP



# ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT  
500 W. BIG BEAVER ROAD  
TROY, MICHIGAN 48084  
PHONE: 248- 524-3364  
E-MAIL: [evanspm@troymi.gov](mailto:evanspm@troymi.gov)  
<http://www.troymi.gov/CodeEnforcement/#>



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: \_\_\_\_\_

2. PROPERTY TAX IDENTIFICATION NUMBER(S): \_\_\_\_\_

3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: \_\_\_\_\_

4. REASONS FOR REQUEST: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*

5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: \_\_\_\_\_

6. APPLICANT:

NAME \_\_\_\_\_

COMPANY \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

AFFILIATION TO THE PROPERTY OWNER: \_\_\_\_\_

8. PROPERTY OWNER:

NAME \_\_\_\_\_

COMPANY \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

TELEPHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, \_\_\_\_\_ (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE M. Michael | DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

PROPERTY OWNER SIGNATURE M. Michael | DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Failure of the applicant or their authorized representative to appear before the Board, as scheduled, shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.



## Michail & Associates, CPA, P.C.

August 21st, 2012

Mr. R. Brent Savidant  
Planning Director  
Planning Department  
City of Troy

RE: 3424 Rochester Road  
MNAD Property, LLC

Dear Mr. Savidant,

### **Background**

Our firm since it was established and organized in 1997 has been operating here in the City of Troy with outstanding, professional reputation. The above property which is under MNAD Property, LLC; has been in our ownership since 2002.

When the City of Troy launched its expansion project for Rochester Road a few years ago, under eminent domain, we gave our full cooperation to the City. From this initiative, we have suffered from great economic distress due to the construction development.

### **Proposed Project**

Please review attached 3d images for proposed design, Exterior materials will be split face Architectural Block with different colors, and limited area of dryvit at entrances. The roof will be utilized to create an environmental friendly green roof

We are in need for additional space to provide for better work environment without adding any more staff or business.

The proposed plan calls for adding approximately equal to the existing space which distributed between the front and the back of the building and this shall be used temporary while renovating the existing space to carry on our business activities without interruption.



**Michail & Associates, CPA, P.C.**





## **Michail & Associates, CPA, P.C.**

Specifically this plan shall accommodate our needs for the following intentions:

- The need for more storage space as per IRS requirement, for the keeping of client files for a period of 7 years.
- The new additions and renovated space will meet all accessibility requirements as per newer applicable codes which are currently lack of.
- The need for additional restroom to separate the clients use from our staff use. Currently we have only restroom.
- To improve our staff working conditions by enhancing the space. Enhancement futures shall include but not limited to:
  - I. Giving the staff better working conditions and reasonable space to perform their duties.
  - II. Giving the staff a break space (lunch area), instead of now where they eat at their desk space.
  - III. Giving the staff additional restroom
  - IV. The need for more windows by increasing the existing windows in the north and west elevations, to increase daylight into our office space as well as reducing energy dependability.
  - V. Adding Skylights at roof and small glass block openings in the east side to bring daylight where is not possible to add windows.
- The need for a private area to provide more privacy to our clients while consulting and reviewing documents that the clients drop off. Currently, most of the meetings are done in the office lobby where there is no substantial privacy.
- The need for utility room that accommodate our computer server
- The need for a private office for our office manger while discussing billing issues with clients.
- We would like to upgrade our building image and appearance to comply with the City of Troy's beautiful sites.



## **Michail & Associates, CPA, P.C.**

### **Additional Planning Points**

- No plan to increase staffing.
- We are installing a green roof. Where the green area shall be more than 200% of the existing green area.
- Plan to upgrade our building image and appearance to comply with the City of Troy's beautiful sites. Enhancing the curb appeal of our building to keep the City of Troy elements more attractive and desirable.
- The existing plan have more than sufficient parking spaces; however, we are reaching an agreement with the neighboring gas station to have access to their 4 units parking space as needed (Draft agreement is attached).
- Upgrading our exterior and interior facilities to address the needs of our staff, clients and comply with the accessibility provisions of the latest building codes.

### **Neighbors**

- Making great considerations for our residential neighbors by:
  1. A complete privacy achieved for our neighbors.
  2. Relocating the existing east exit door that facing the residential properties to the north.
  3. Not adding any windows toward the east or south where our resident or commercial neighbors are located.
  4. Existing six foot masonry fence and tall trees to provide privacy as well as separate us from the residential properties as required by codes.
- Please refer to Arial view and pictures below documenting the existing privacy with the residential neighbors.



**Michail & Associates, CPA, P.C.**





**Michail & Associates, CPA, P.C.**



I am proud of the City of Troy, and I am sure with your professional staff, you will understand that this expansion is mainly for the storage of our files and for providing our staff with better working environment as well as to keeping us in doing business in the City of Troy.

Should you have any questions, comments, or concerns please let me know.

Sincerely,

Maged Michail, MSA, CPA

\* ALL DESIGN, DRAWINGS, PRINTS AND SPECS ARE THE PROPERTY OF SPACE DESIGN INNOVATION INC. AND ARE NOT TO BE COPIED OR REPRODUCED IN ALL OR IN PART WITHOUT A WRITTEN CONSENT OF SPACE DESIGN INNOVATION INC. \* AND MUST BE RETURNED UPON REQUEST. DRAWINGS ARE NOT TO BE SCALED, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IN WRITING TO SPACE DESIGN INNOVATION INC. BEFORE COMMENCING WORK - ALL DIMENSIONS ARE SUBJECT TO JOB SITE VERIFICATIONS. \* THE INFORMATION CONTAINED HEREIN IS PROPRIETARY IN NATURE AND MAY BE UTILIZED FOR THE THIS PROJECT ONLY. \* USER SHALL ASSUME ALL RISKS AND LIABILITIES RESULTING FROM THE USE OF THIS DATA & IT IS THE USER SOLE RESPONSIBILITY TO CHECK THE VALIDITY OF ALL INFORMATION CONTAINED HEREIN.



Existing Site Photo

**Property located in "CB Zone"**

Zoning Section 4.13 Community Business

Max. Height =	5 Stories, 75 ft Max.
Front Set Back =	10 ft Min.
Back Yard Set Back =	30 ft Min.
Side Yard Set Back =	20 ft Min. Each, Both 40 ft Total
Min Floor Area=	500 sq ft Min.
Back Yard Set Back =	30 ft Min.
Min Distance to Single Family Residential =	75 ft Min.
Min Side Yard Distance Required Along interior Side In Common With Non Residential =	10 ft Min. With Windows or 0 ft Without Windows
Max. Uninterrupted Facade Variations =	30 ft Max.

Site Area =	5,760 Sq. Ft.
Existing Building Site Coverage =	22.06%
Existing Building GFA =	1,271 Sq. Ft.
Existing Landscape Area [25 x (40+19)]=	1,475 Sq. Ft.
Existing Landscape Site Coverage =	39.05%

**EXISTING PARKING :**

Existing Parking Required: 1271 /200 =	6.4 Parking Spaces
Existing Parking Provided =	8.0 Parking Spaces

Addition & Parking Configuration **OPTION 5 : Variance Required** to extend 20' to the Back [East side], and partial 6' to the front [west side] of a total of 21'

**Addition & Parking Configuration OPTION 5 :**

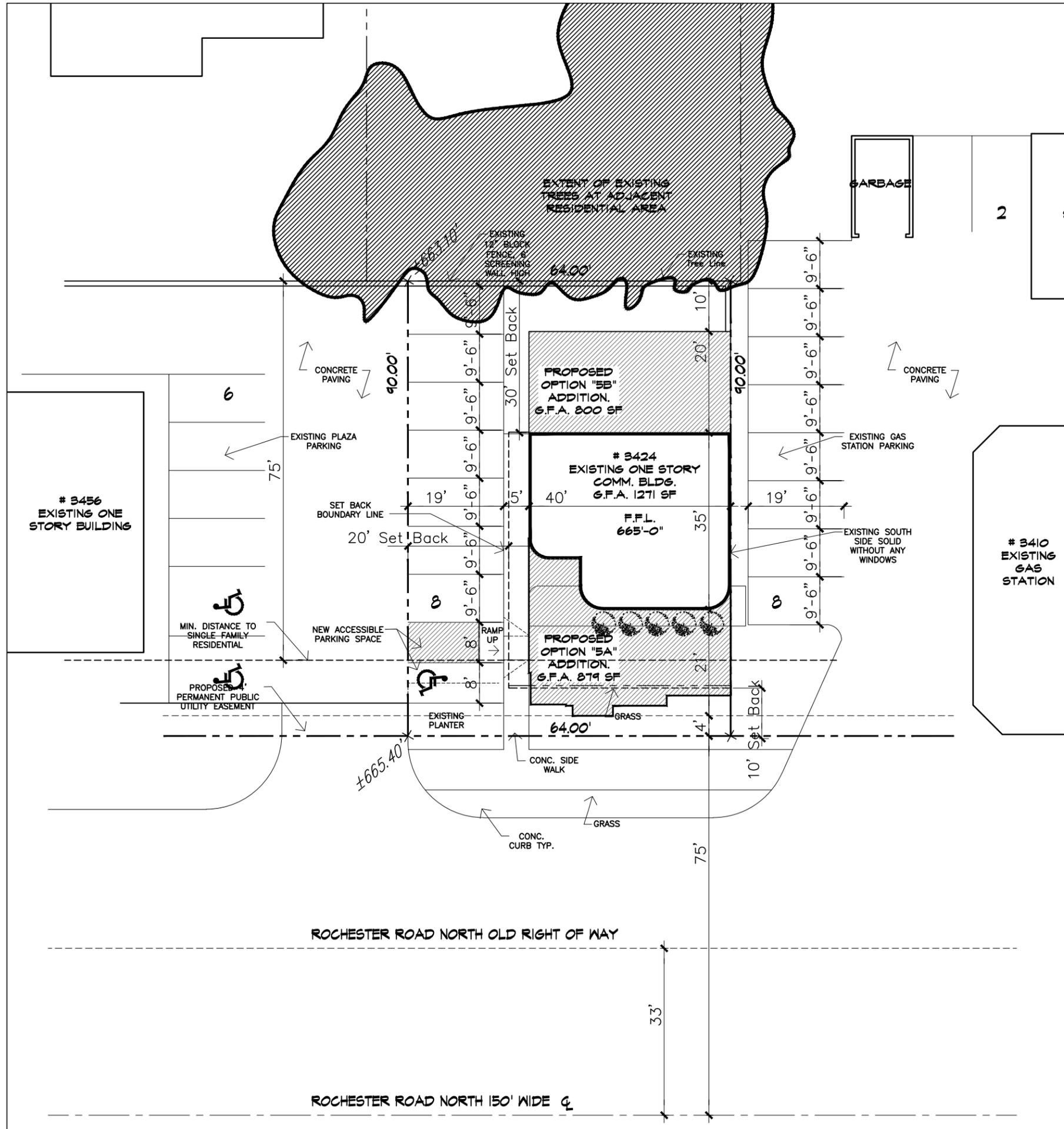
Additional Proposed Option "5A" Area:	879 Sq. Ft.
Additional Proposed Option "5B" Storage Area:	800 Sq. Ft.
Total Office Area after Option "5" Addition =	2,950 Sq. Ft.

Total Parking Required: 1271 + 879 =2150/200 =	10.75 Parking Spaces
Total Parking Required Storage Area 5B =	0.00 Parking Spaces

Actual Parking Required =	6 - 8 Parking Spaces
1 [Owner] + 3 : 5 [Staff] + 2 [Visitors]	
Existing Parking Provided =	8.0 Parking Spaces

Additional Leased / shared Parking If Spaces Required =	2 : 3 Parking Spaces
---	----------------------

New Building GFA =	2,950 Sq. Ft.
New Building Site Coverage =	51.21%
Exiting Landscape Area Front [10 x (40+19)]=	590 Sq. Ft.
New Landscape Area Back [10x 30] =	300 Sq. Ft.
Exiting Landscape Site Coverage 890/ 5760 =	15.45%
Additional Green Roof Landscape Site Coverage Required	263 Sq. Ft.
Additional Green Roof Landscape Site Coverage Provided	2,200 Sq. Ft.
Landscape Area Required [590 + 300+263] = 1153 Sq. Ft.	20.00%
Landscape Area Provided [1,153 + 2,200] = 3,353 Sq. Ft.	58.21%



**SPACE DESIGN INNOVATION**  
 4030 West 13 Mile Road  
 Royal Oak, MI 48073  
 T: 2 4 8 . 2 4 6 1 7 1 0  
 Space.design.innovation@gmail.com  
 Design & Project Management  
**Magdi Samwel**

Drawing Reduced 50%

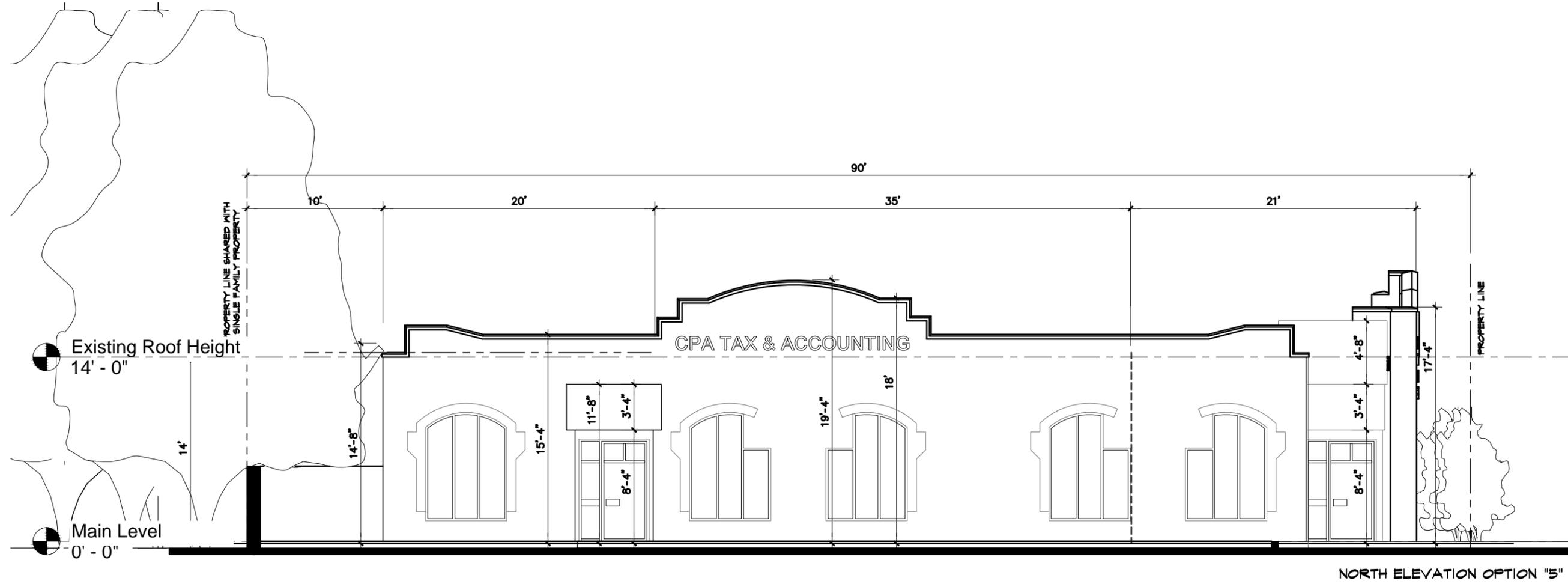
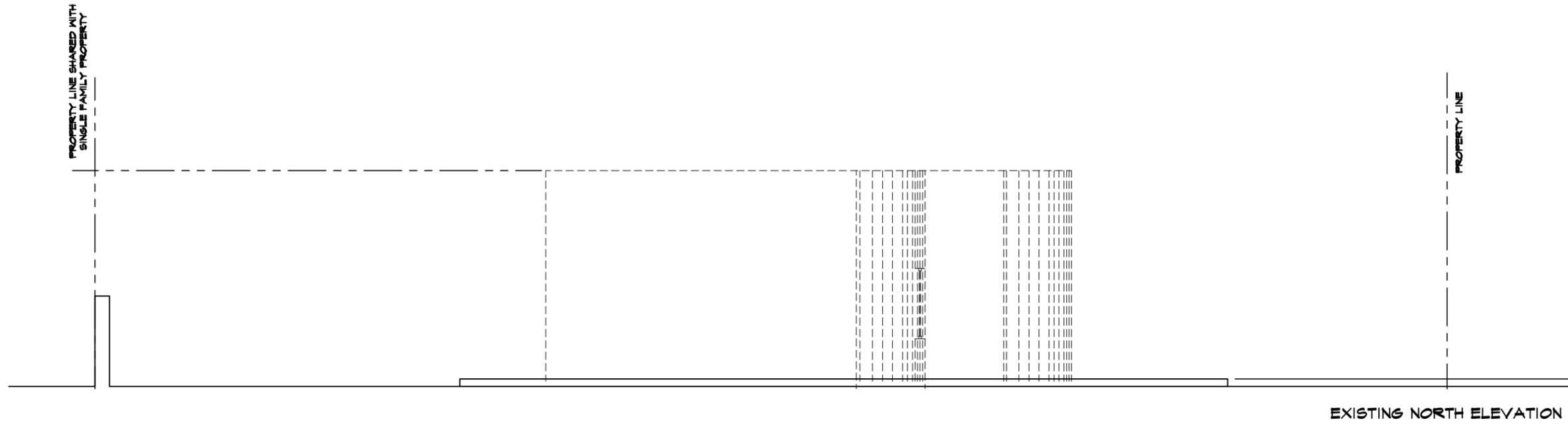
Date	Issued
	Revisions
Scale	1/16" = 1'-0"
Date	Jun. 2012
Design	MS
Approved	MS
Project	2012-03

Parcel No. 20-23-301-002  
 MNAD Property L.L.C.  
 3424 Rochester Road  
 Troy, MI 48083  
 Tel: 248 689 8866  
 Fax: 248 689 8877  
 Email: maged@micmail.us

**Building Addition And Renovations**

Sheet Title  
 Proposed Option "5"  
 Architectural Site Plan  
 Sheet No C 100

\* ALL DESIGN, DRAWINGS, PRINTS AND SPECS ARE THE PROPERTY OF SPACE DESIGN INNOVATION INC. AND ARE NOT TO BE COPIED OR REPRODUCED IN ALL OR IN PART WITHOUT A WRITTEN CONSENT OF SPACE DESIGN INNOVATION INC., AND MUST BE RETURNED UPON REQUEST. DRAWINGS ARE NOT TO BE SCALED, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IN WRITING TO SPACE DESIGN INNOVATION INC. BEFORE COMMENCING WORK - ALL DIMENSIONS ARE SUBJECT TO JOB SITE VERIFICATIONS. \* THE INFORMATION CONTAINED HEREIN IS PROPRIETARY IN NATURE AND MAY BE UTILIZED FOR THE THIS PROJECT ONLY. \* USER SHALL ASSUME ALL RISKS AND LIABILITIES RESULTING FROM THE USE OF THIS DATA & IT IS THE USER SOLE RESPONSIBILITY TO CHECK THE VALIDITY OF ALL INFORMATION CONTAINED HEREIN.



Drawing Reduced 50%

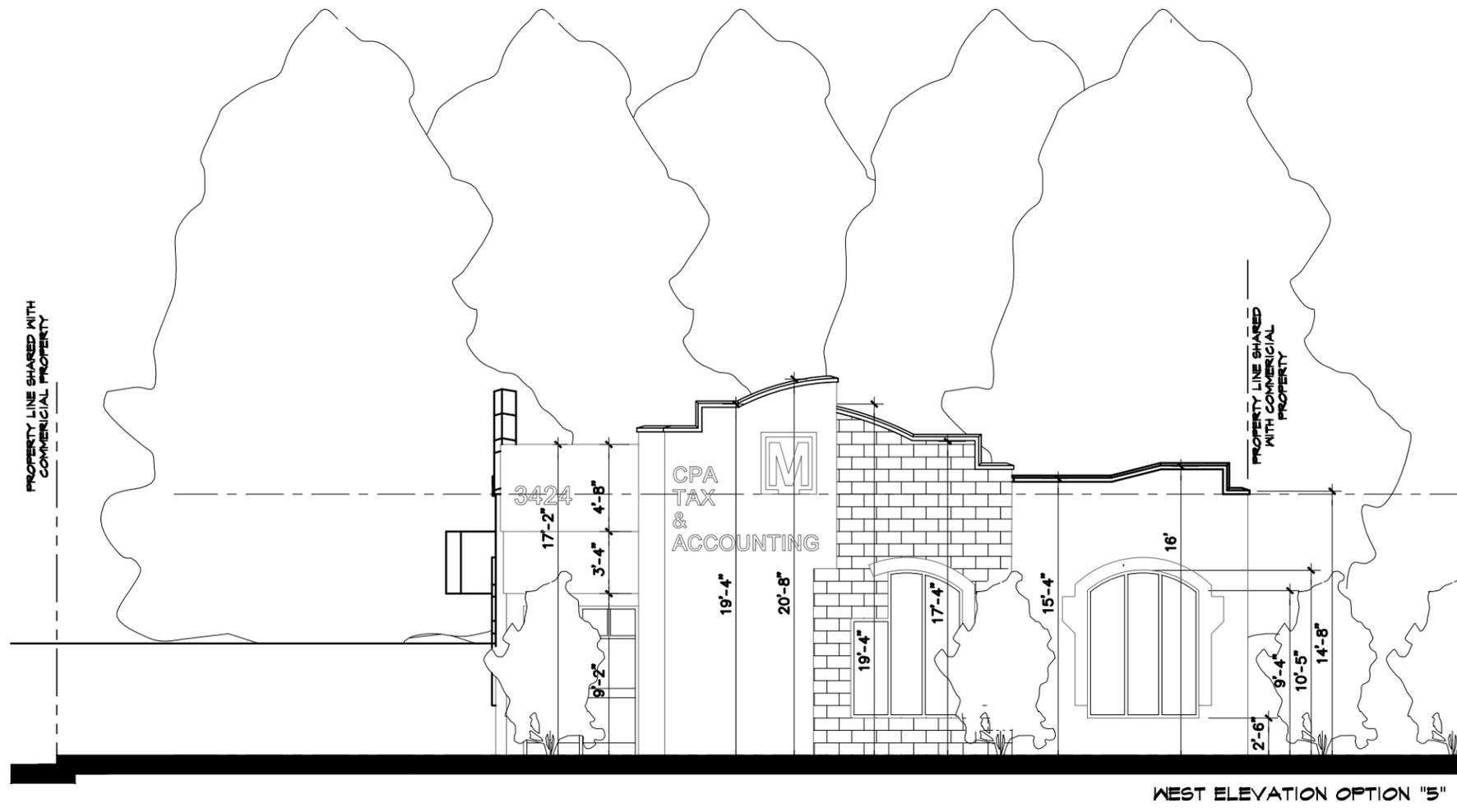
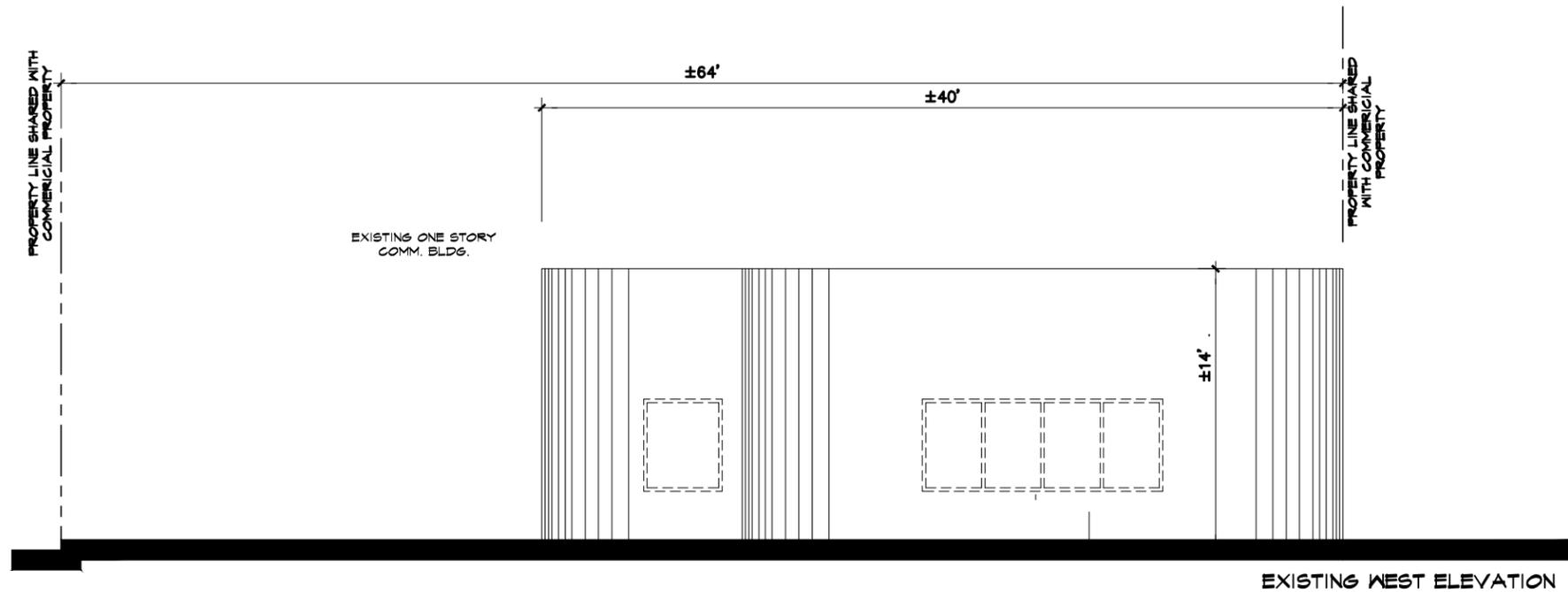
Date	Issued
	Revisions
Scale	1/4" = 1'-0"
Date	Jun. 2012
Design	MS
Approved	MS
Project	2012-03

Parcel No. 20-23-301-002  
 MNAD Property L.L.C.  
 3424 Rochester Road  
 Troy, MI 48083  
 Tel: 248 689 8866  
 Fax: 248 689 8877  
 Email: maged@michail.us

**Building Addition  
 And Renovations**

Sheet Title  
**Option "5"  
 North Elevation**  
 Sheet No A 302

\* ALL DESIGN, DRAWINGS, PRINTS AND SPECS ARE THE PROPERTY OF SPACE DESIGN INNOVATION INC. AND ARE NOT TO BE COPIED OR REPRODUCED IN ALL OR IN PART WITHOUT A WRITTEN CONSENT OF SPACE DESIGN INNOVATION INC., AND MUST BE RETURNED UPON REQUEST. DRAWINGS ARE NOT TO BE SCALED, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IN WRITING TO SPACE DESIGN INNOVATION INC. BEFORE COMMENCING WORK - ALL DIMENSIONS ARE SUBJECT TO JOB SITE VERIFICATIONS. \* THE INFORMATION CONTAINED HEREIN IS PROPRIETARY IN NATURE AND MAY BE UTILIZED FOR THE THIS PROJECT ONLY. \* USER SHALL ASSUME ALL RISKS AND LIABILITIES RESULTING FROM THE USE OF THIS DATA & IT IS THE USER SOLE RESPONSIBILITY TO CHECK THE VALIDITY OF ALL INFORMATION CONTAINED HEREIN.



Drawing Reduced 50%

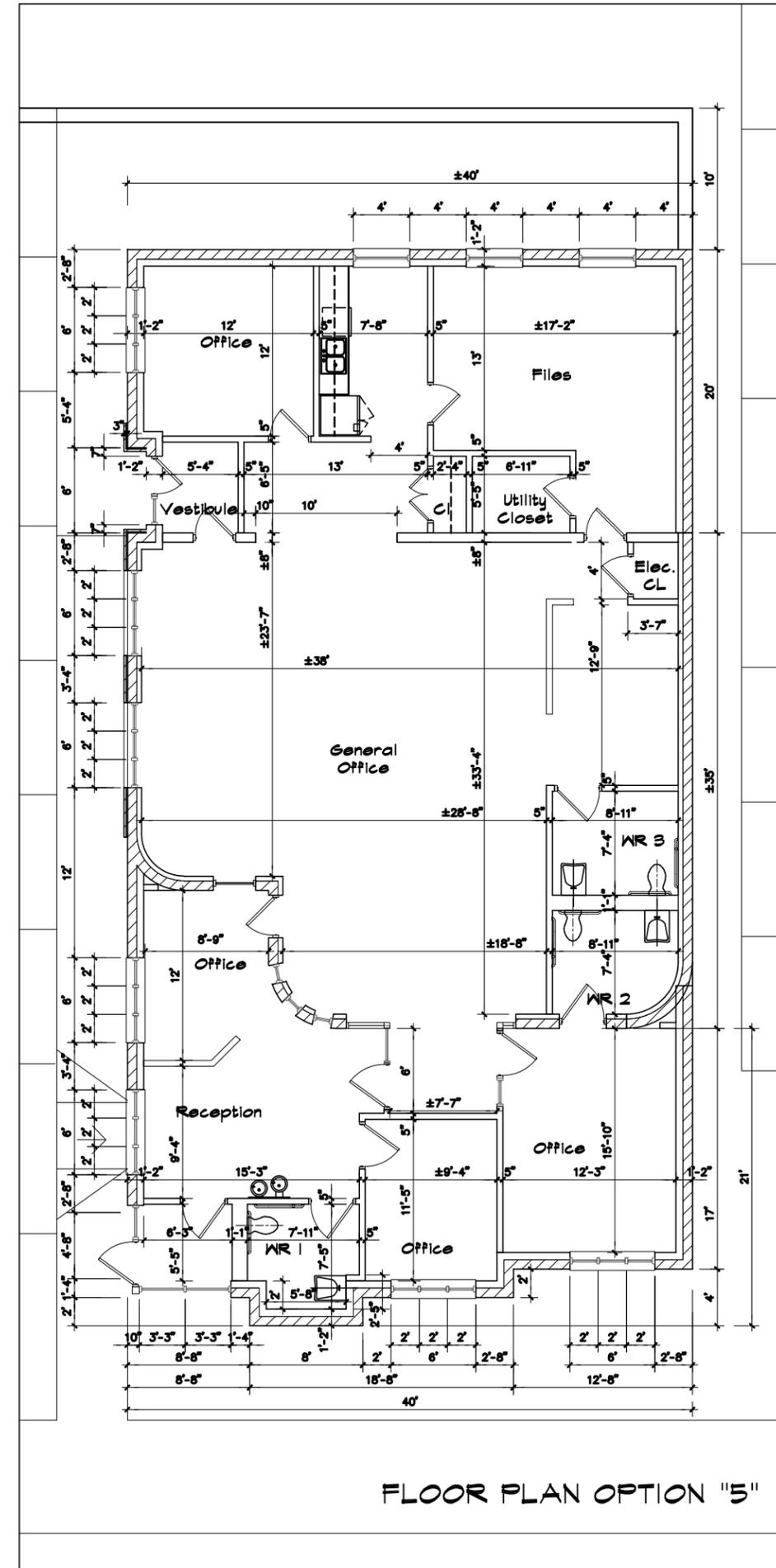
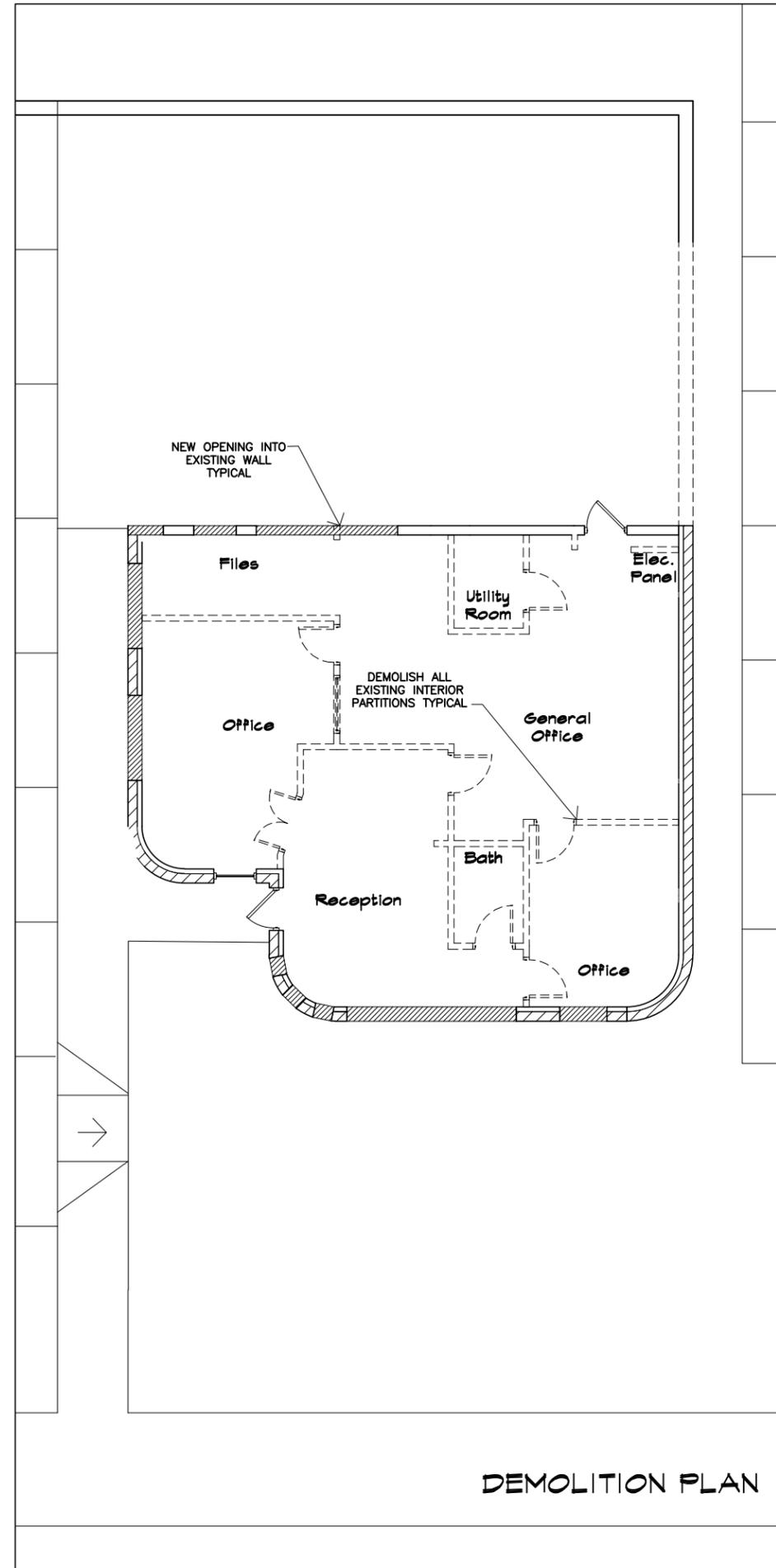
Date	Issued
	Revisions
Scale	1/4" = 1'-0"
Date	Jun. 2012
Design	MS
Approved	MS
Project	2012-03

Parcel No. 20-23-301-002  
 MNAD Property L.L.C.  
 3424 Rochester Road  
 Troy, MI 48083  
 Tel: 248 689 8866  
 Fax: 248 689 8877  
 Email: maged@michail.us

**Building Addition  
 And Renovations**

Sheet Title  
**Option "5"  
 West Elevation**  
 Sheet No A 301

\* ALL DESIGN, DRAWINGS, PRINTS AND SPECS ARE THE PROPERTY OF SPACE DESIGN INNOVATION INC. AND ARE NOT TO BE COPIED OR REPRODUCED IN ALL OR IN PART WITHOUT A WRITTEN CONSENT OF SPACE DESIGN INNOVATION INC. AND MUST BE RETURNED UPON REQUEST. DRAWINGS ARE NOT TO BE SCALED, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IN WRITING TO SPACE DESIGN INNOVATION INC. BEFORE COMMENCING WORK - ALL DIMENSIONS ARE SUBJECT TO JOB SITE VERIFICATIONS. \* THE INFORMATION CONTAINED HEREIN IS PROPRIETARY IN NATURE AND MAY BE UTILIZED FOR THE THIS PROJECT ONLY. \* USER SHALL ASSUME ALL RISKS AND LIABILITIES RESULTING FROM THE USE OF THIS DATA & IT IS THE USER SOLE RESPONSIBILITY TO CHECK THE VALIDITY OF ALL INFORMATION CONTAINED HEREIN.



**SPACE DESIGN INNOVATION**  
 4030 West 13 Mile Road  
 Royal Oak, MI 48073  
 T: 248.246.1710  
 Space.design.innovation@gmail.com  
 Design & Project Management  
**Magdi Samwel**

Drawing Reduced 50%

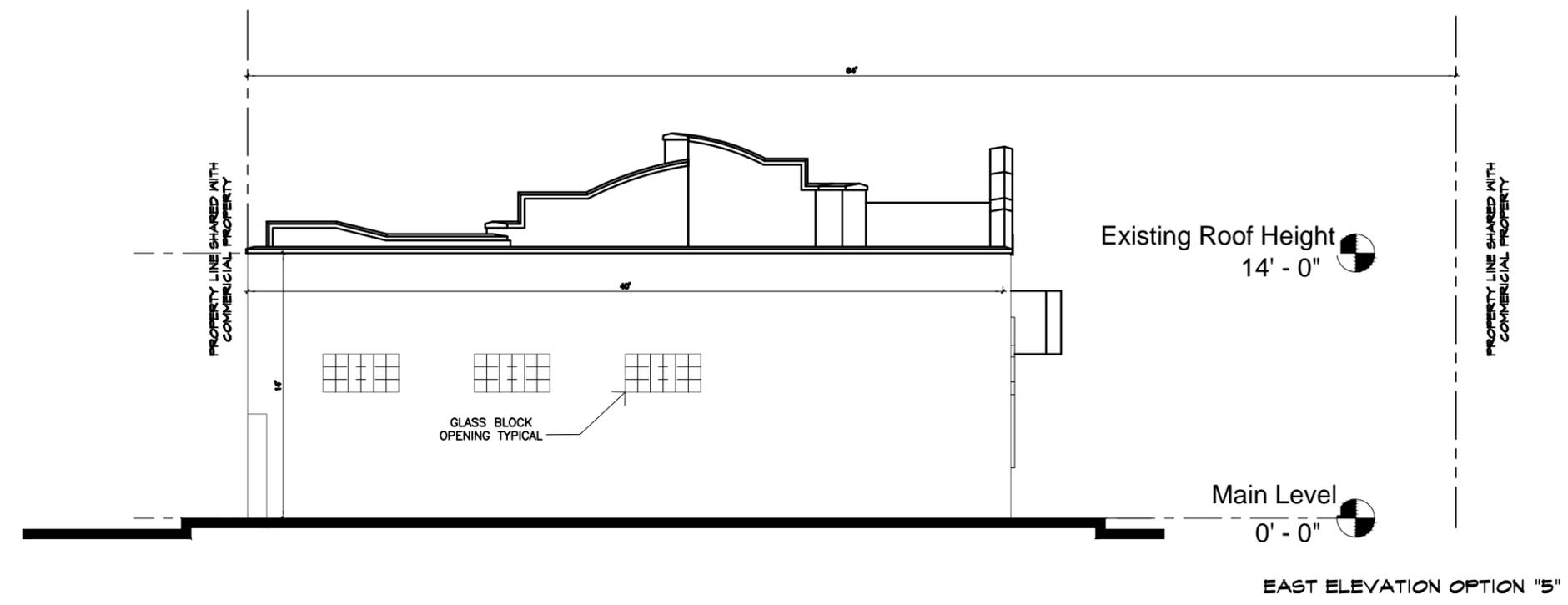
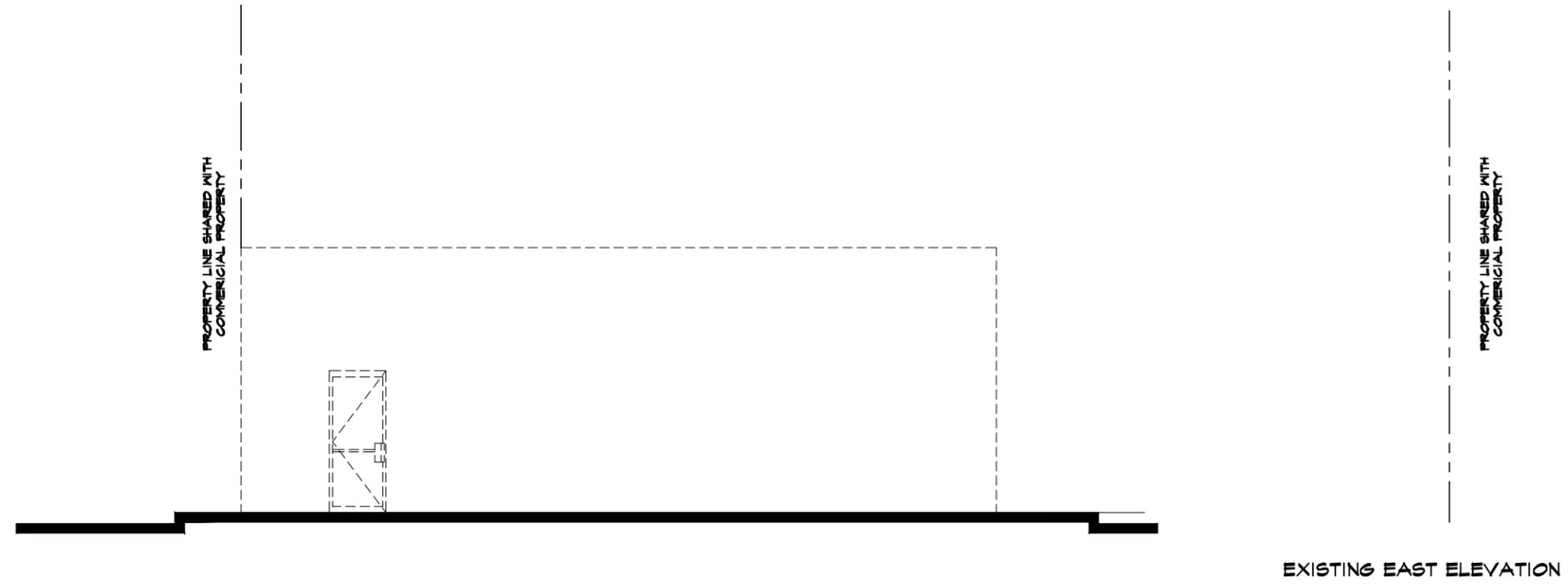
Date	Issued
	Revisions
Scale	1/4" = 1'-0"
Date	Jun. 2012
Design	MS
Approved	MS
Project	2012-03

Parcel No. 20-23-301-002  
 MNAD Property L.L.C.  
 3424 Rochester Road  
 Troy, MI 48083  
 Tel: 248 689 8866  
 Fax: 248 689 8877  
 Email: maged@michail.us

**Building Addition  
 And Renovations**

Sheet Title  
 Demo & Renovated Floor  
 Plans & of Option "5"  
 Sheet No A 100

\* ALL DESIGN, DRAWINGS, PRINTS AND SPECS ARE THE PROPERTY OF SPACE DESIGN INNOVATION INC. AND ARE NOT TO BE COPIED OR REPRODUCED IN ALL OR IN PART WITHOUT A WRITTEN CONSENT OF SPACE DESIGN INNOVATION INC. AND MUST BE RETURNED UPON REQUEST. DRAWINGS ARE NOT TO BE SCALED, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IN WRITING TO SPACE DESIGN INNOVATION INC. BEFORE COMMENCING WORK - ALL DIMENSIONS ARE SUBJECT TO JOB SITE VERIFICATIONS. \* THE INFORMATION CONTAINED HEREIN IS PROPRIETARY IN NATURE AND MAY BE UTILIZED FOR THE THIS PROJECT ONLY. \* USER SHALL ASSUME ALL RISKS AND LIABILITIES RESULTING FROM THE USE OF THIS DATA & IT IS THE USER SOLE RESPONSIBILITY TO CHECK THE VALIDITY OF ALL INFORMATION CONTAINED HEREIN.



Drawing Reduced 50%

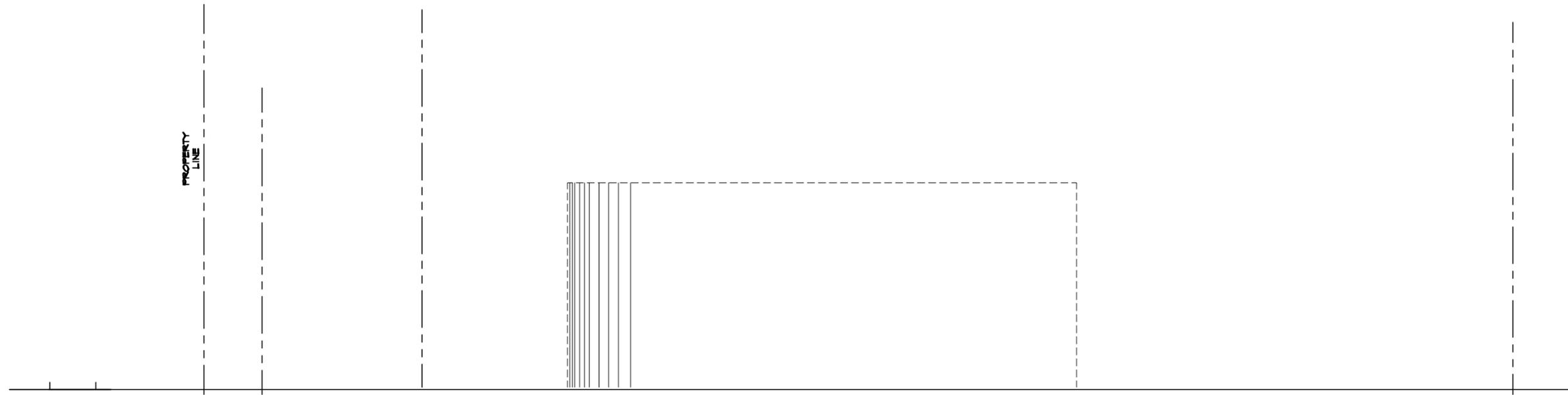
Date	Issued
	Revisions
Scale	1/4" = 1'-0"
Date	Jun. 2012
Design	MS
Approved	MS
Project	2012-03

Parcel No. 20-23-301-002  
 MNAD Property L.L.C.  
 3424 Rochester Road  
 Troy, MI 48083  
 Tel: 248 689 8866  
 Fax: 248 689 8877  
 Email: maged@michail.us

**Building Addition  
 And Renovations**

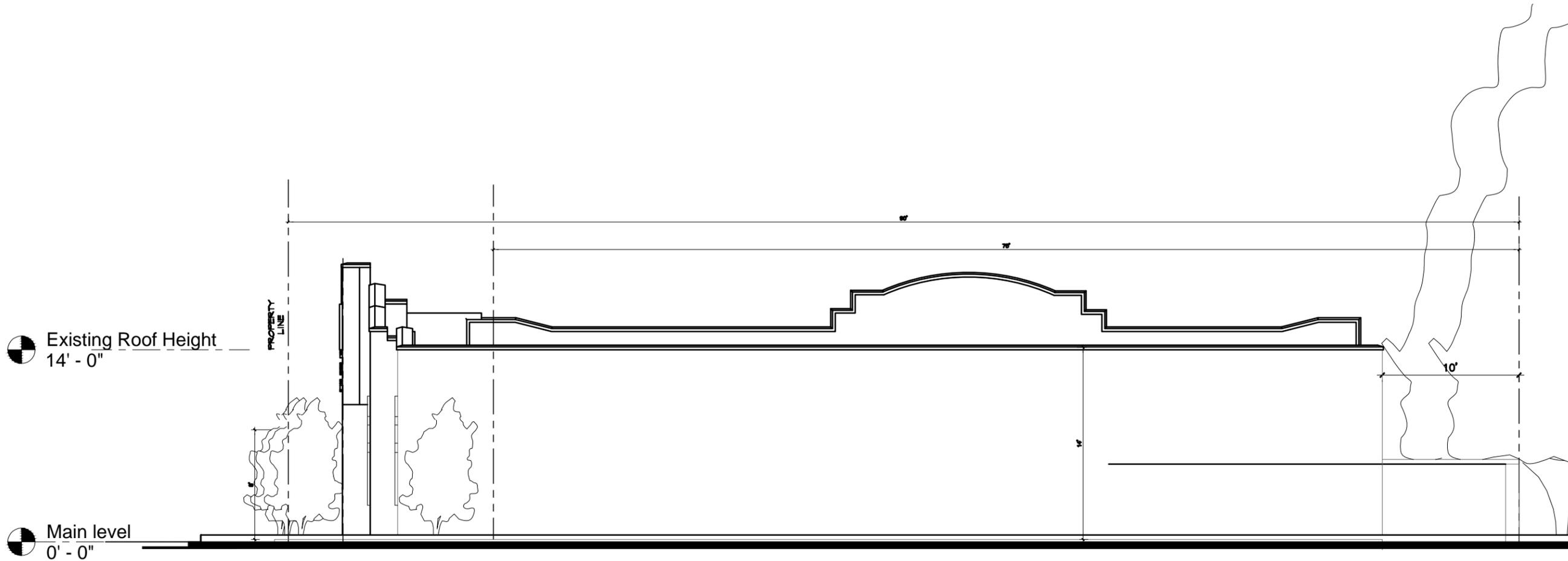
Sheet Title  
**Option "5"  
 East Elevation**  
 Sheet No A 303

\* ALL DESIGN, DRAWINGS, PRINTS AND SPECS ARE THE PROPERTY OF SPACE DESIGN INNOVATION INC. AND ARE NOT TO BE COPIED OR REPRODUCED IN ALL OR IN PART WITHOUT A WRITTEN CONSENT OF SPACE DESIGN INNOVATION INC., AND MUST BE RETURNED UPON REQUEST. DRAWINGS ARE NOT TO BE SCALED, CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IN WRITING TO SPACE DESIGN INNOVATION INC. BEFORE COMMENCING WORK - ALL DIMENSIONS ARE SUBJECT TO JOB SITE VERIFICATIONS. \* THE INFORMATION CONTAINED HEREIN IS PROPRIETARY IN NATURE AND MAY BE UTILIZED FOR THE THIS PROJECT ONLY. \* USER SHALL ASSUME ALL RISKS AND LIABILITIES RESULTING FROM THE USE OF THIS DATA & IT IS THE USER SOLE RESPONSIBILITY TO CHECK THE VALIDITY OF ALL INFORMATION CONTAINED HEREIN.



EXISTING SOUTH ELEVATION

Drawing Reduced 50%



Existing Roof Height  
14' - 0"

Main level  
0' - 0"

Date	Issued
	Revisions
Scale	1/4" = 1'-0"
Date	Jun. 2012
Design	MS
Approved	MS
Project	2012-03

Parcel No. 20-23-301-002  
 MNAD Property L.L.C.  
 3424 Rochester Road  
 Troy, MI 48083  
 Tel: 248 689 8866  
 Fax: 248 689 8877  
 Email: maged@micmail.us

**Building Addition  
 And Renovations**

Sheet Title  
**Option "5"**  
 South Elevation  
 Sheet No A 304

SOUTH ELEVATION OPTION "5"



GPA TAX & ACCOUNTING



3424

CRA  
TAX  
&  
ACCOUNTING

M





CPA TAX & ACCOUNTING

3424

M  
CPA TAX & ACCOUNTING

## MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding is entered into this \_\_\_\_ day of August 2012 by and between **MNAD PROPERTY, LLC** and Both **The Companions II, LLC**, (Property Owner) and **M&M Energy, LLC**. (Land Contract Owner)

### RECITALS

(A) MNAD Property, LLC proposes to undertake a minor expansion of the building located at 3424 Rochester Road, Troy, Michigan 48083, which said location currently operates as a certified public accountants' office.

(B) The Companions II, LLC. and M&M Energy, LLC are the immediate south side neighbor of MNAD Property, LLC and currently M&M Energy, LLC operates a gas station at the location, whose address is 3400 Rochester Road, Troy, Michigan 48083.

(C) In order for MNAD Property, LLC to undertake the proposed expansion of its building, MNAD needs to add additional parking spaces at its 3424 Rochester Road location.

(D) MNAD does not currently have additional land to add additional parking spaces at the location.

(E) The Companions II, LLC and M&M Energy, LLC have agreed, in the event the City of Troy approves MNAD's building expansion plan, to allow the use of its parking spaces for the clients/customers of MNAD Property, LLC, in order for MNAD Property, LLC to comply with the City of Troy's ordinances regarding the number of parking spaces required in relation to the square footage of a building.

**NOW, THEREFORE**, for good and valuable consideration, which the receipt and sufficiency of the consideration is hereby, acknowledged by the parties, it is agreed as follows:

The Companions II, LLC and M&M Energy, LLC have hereby agreed to allow MNAD Property, LLC the use of the four (4) parking spaces located at the immediate south side edge of 3424 Rochester Road, Troy, Michigan 48083.

The grant of this proposed use shall be memorialized in one of the two following ways: (1) the parties, once the City of Troy has approved MNAD's proposed building expansion, the parties shall reduce this Memorandum of Understanding to a lease with respect to the four (4) aforementioned parking spaces. The term of the lease shall be perpetual in years. The rent under said lease shall be three hundred sixty dollars 00/100 (\$360.00) per year. If the property is sold or otherwise transferred by MNAD at a future date, the lease shall be transferrable to any future buyer(s). MNAD shall purchase any required or additional insurance necessary with respect to the four (4) parking spaces as needed. MNAD shall insurance against and otherwise

be responsible for any issues which the clients of MNAD may cause as a result of MNAD's client's use of the four (4) parking spaces that are the subject of the Memorandum. The lease is to be drafted in recordable form; or, alternatively, (2) The Companions II, LLC and M&M Energy, LLC have shall grant MNAD Property, LLC a use easement to be recorded in the chain of title of the respective properties under similar terms and conditions as would be stated in a lease between the parties, and the easement shall be perpetual in nature.

**WARRANTIES AND REPRESENTATIONS.** The parties hereto mutually warrant and covenant that they have the authority to enter into this agreement and to perform the obligations hereunder. The parties are satisfied with the conditions as stated in this Memorandum.

**BROKERS.** There are no brokers to this transaction.

**CONDITIONS PRECEDENT.** This memorandum shall only become binding upon the parties upon the occurrence of two events: (1) the City of Troy shall approve the proposed building expansion of MNAD Property, LLC or a future proposed plan to expend the building at 3424 Rochester Road, Troy, Michigan 48083; and (2) after the approval by the City of Troy, the parties to this memorandum reduce this agreement to a final agreement acceptable to both parties. Any condition precedent set forth above or elsewhere in this Agreement may, at the option of the parties, be waived in writing.

**LAWS OF THE STATE OF MICHIGAN.** This memorandum shall be governed by, and construed in accordance with, the laws of the State of Michigan.

IN WITNESS WHEREOF, Parties have executed this Memorandum of Understanding on the date first written above.

**MNAD PROPERTY, LLC**  
3424 Rochester Road

\_\_\_\_\_  
By: Maged Michail  
Its: Managing Member

**The Companions II, LLC**  
3400 Rochester Road

\_\_\_\_\_  
By: Tarek Gayer  
Its: Managing Member

**M&M Energy, LLC**  
3400 Rochester Road

\_\_\_\_\_  
BY:  
Its: Managing Member

**From:** [osborn](#)  
**To:** [Paul M Evans](#); [Sheryl Sandford](#); [Kathy Gargagliano](#); [Jed Sprunger](#); [Chad](#); [Planning](#)  
**Subject:** Letter of Objection for proposed building variance  
**Date:** Tuesday, September 04, 2012 7:51:52 PM

---

This letter is to express objection to the addition and variances proposed by Maged Michail (Michail & Associates, CPA) at 3424 Rochester Road.

1. Customers of Mr. Michail utilize parking spaces designated for our tenants and customers on our side of the driveway at 3456 Rochester Road (Ablezone, Troy Chiropractic and Check n'Gold) without permission.

There is no written or verbal agreement that allows the sharing of our parking area. Our parking area is for the express use of our tenants and customers.

2. We own the entire driveway and our side of the parking lot. Our property line is 48' from the side of our building which includes the sidewalk, parking area and driveway. Mr. Michail has a Right of Way to use the driveway only.

In fact, the parking for 3424 Rochester Road presently encroaches on our property driveway at 3456 Rochester Road by approximately 1 foot.

3. Increasing the building space and employee/customer traffic will reduce the present parking area (located behind his building) which will mean additional pressure on our parking area and driveway property.

4. Where will the trash dumpster be located if the addition eliminates the space behind his building (the present location of the dumpster).

Based on the above information, we strongly object to the variance for the proposed building addition of Mr. Michail (Michail & Associates).

Sincerely,

Sandra S. Osborn  
Sheryl Sandford  
13685 Sperry Road  
Novelty, OH 44072  
(440)338-3045  
(440)897-7198

CC: S. Sandford, Ablezone, Troy Chiropractic, Check N'Gold

**From:** [osborn](#)  
**To:** [Planning; Sheryl Sandford](#)  
**Subject:** Additional information re: Michail application for zoning variance  
**Date:** Monday, September 10, 2012 1:06:02 PM

---

Dear Mr. Evans,

There were two additional concerns or questions regarding Mr. Mchail's application for variances.

1. In the past, very often their cars (at the Maged Michail cpa building) have been 'double parked' behind their building presumably to allow for their clients. I.e. four cars parked two in front and two behind each other. If there is 'sufficient parking'...why would double parking their cars (and parking on our side of the parking lot...as Mr. Michail himself has done) be necessary? If this space is taken away by enlarging their building, that means they will have less parking, not more.
2. Our second area of concern is that if there is presently insufficient parking with all their employees, where would the construction equipment, vehicles and materiel be located during construction if they do not have permission to park on our property.

I appreciate your coordinating this and forwarding our concerns to the zoning board.

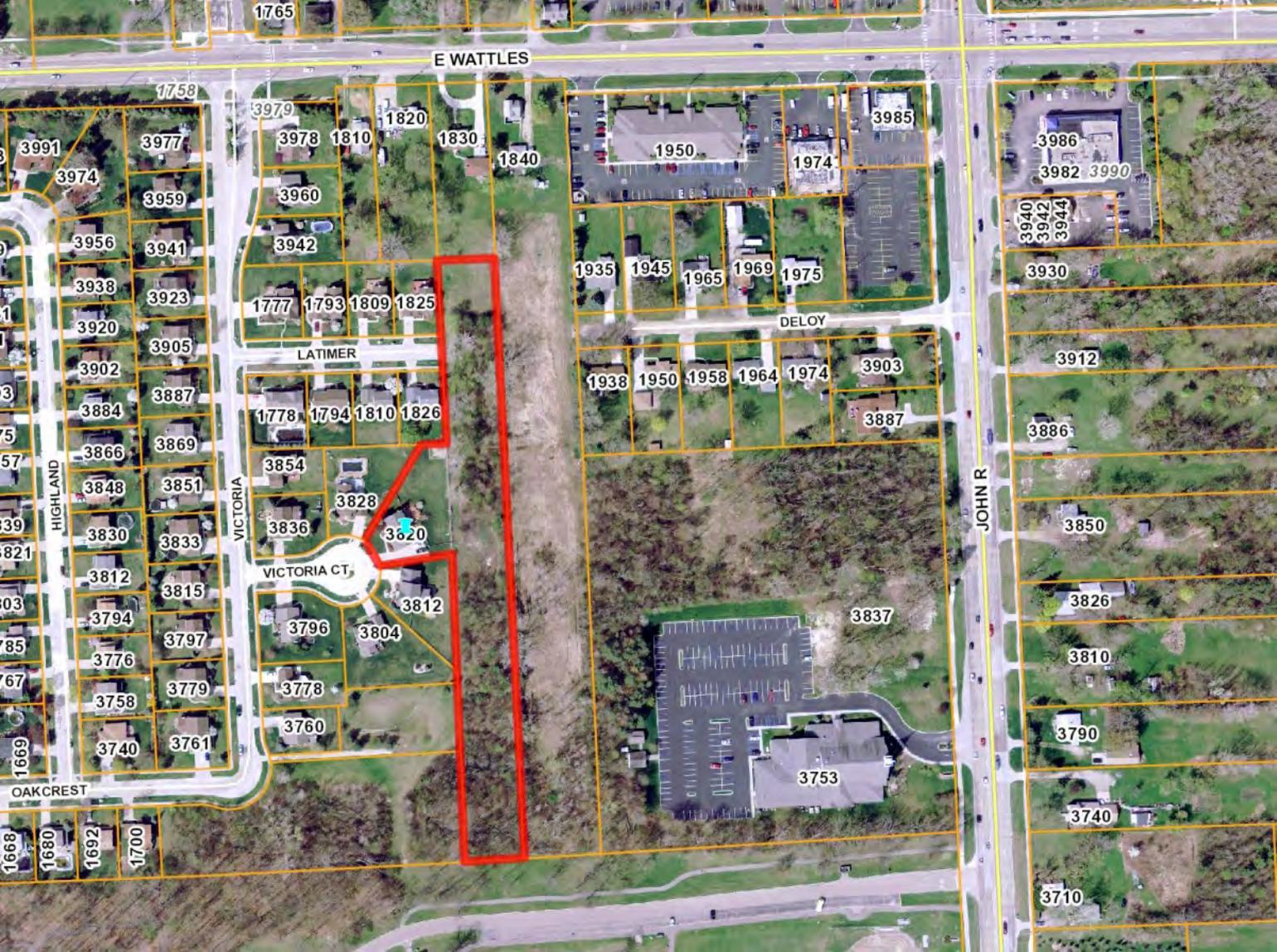
Sincerely,

Sandra Osborn

4. HEARING OF CASES

- B. VARIANCE REQUEST, MARK FLEMING, 3820 VICTORIA COURT – In order to build a new house, 1) a 17 foot variance to the required 30 foot front yard setback and 2) a 27 foot variance to the required 40 foot rear yard setback.

**SECTION: 4.06 (C)**



1765

E WATTLES

1758

3979

3978

1810

1820

1830

1840

3985

1974

1950

3986

3982

3990

3991

3977

3974

3959

3956

3941

3938

3923

3920

3905

3902

3887

3884

3869

3866

3848

3851

3830

3833

3812

3815

3794

3797

3776

3779

3758

3740

3761

3960

3942

1777

1793

1809

1825

LATIMER

1778

1794

1810

1826

3854

3828

3836

3812

VICTORIA CT

3796

3804

3778

3760

1935

1945

1965

1969

1975

DELOY

1938

1950

1958

1964

1974

3903

3887

3940

3942

3944

3930

3912

3886

3850

3826

3810

3790

3740

3710

HIGHLAND

VICTORIA

JOHN R

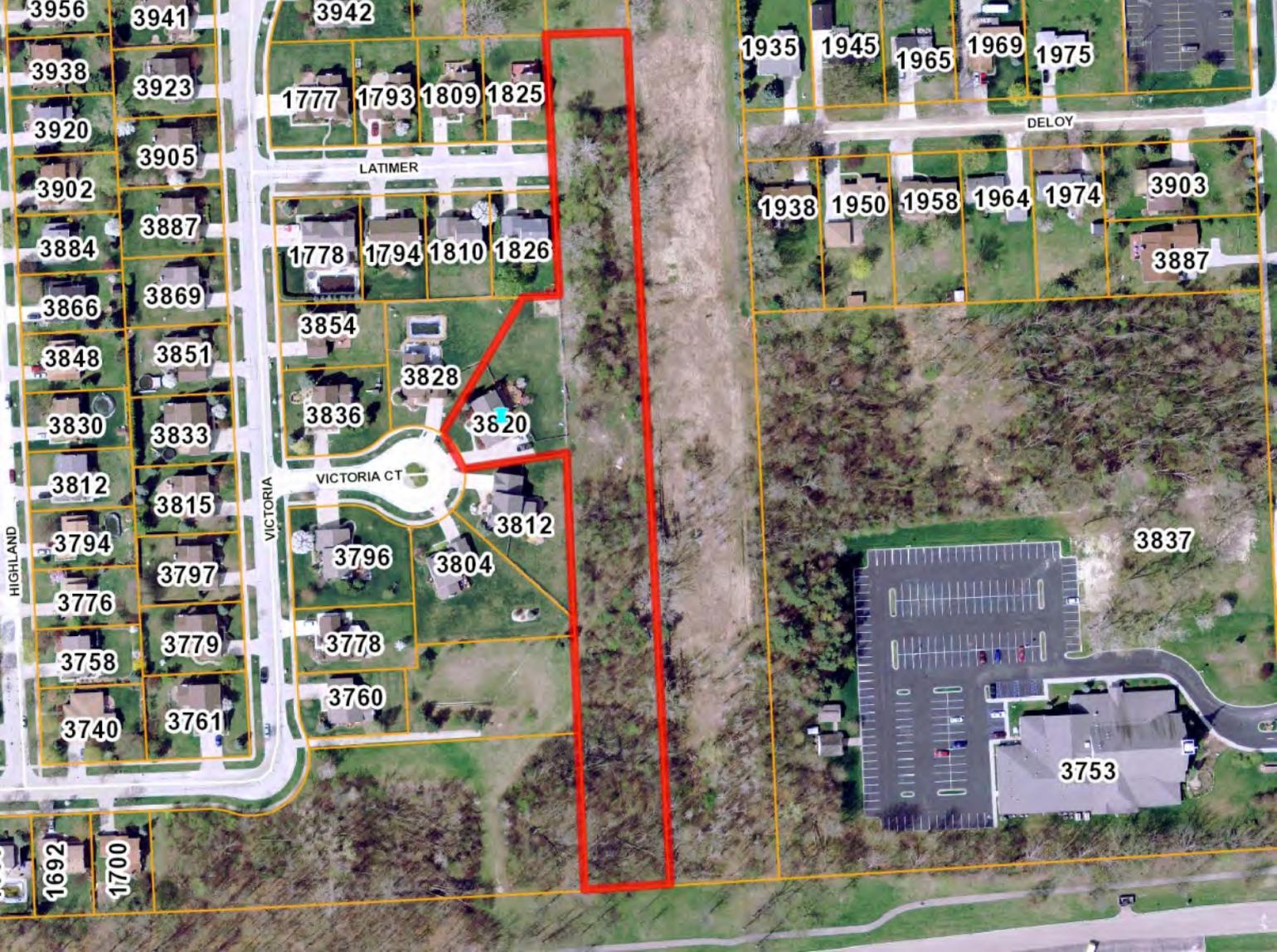
OAKCREST

1668

1680

1692

1700



3956  
3938  
3920  
3902  
3884  
3866  
3848  
3830  
3812  
3794  
3776  
3758  
3740  
1692  
1700

3941  
3923  
3905  
3887  
3869  
3851  
3833  
3815  
3797  
3779  
3761  
3942  
1777 1793 1809 1825  
1778 1794 1810 1826  
3854  
3828  
3836  
3820  
3812  
3796  
3804  
3778  
3760

LATIMER

VICTORIA CT

VICTORIA

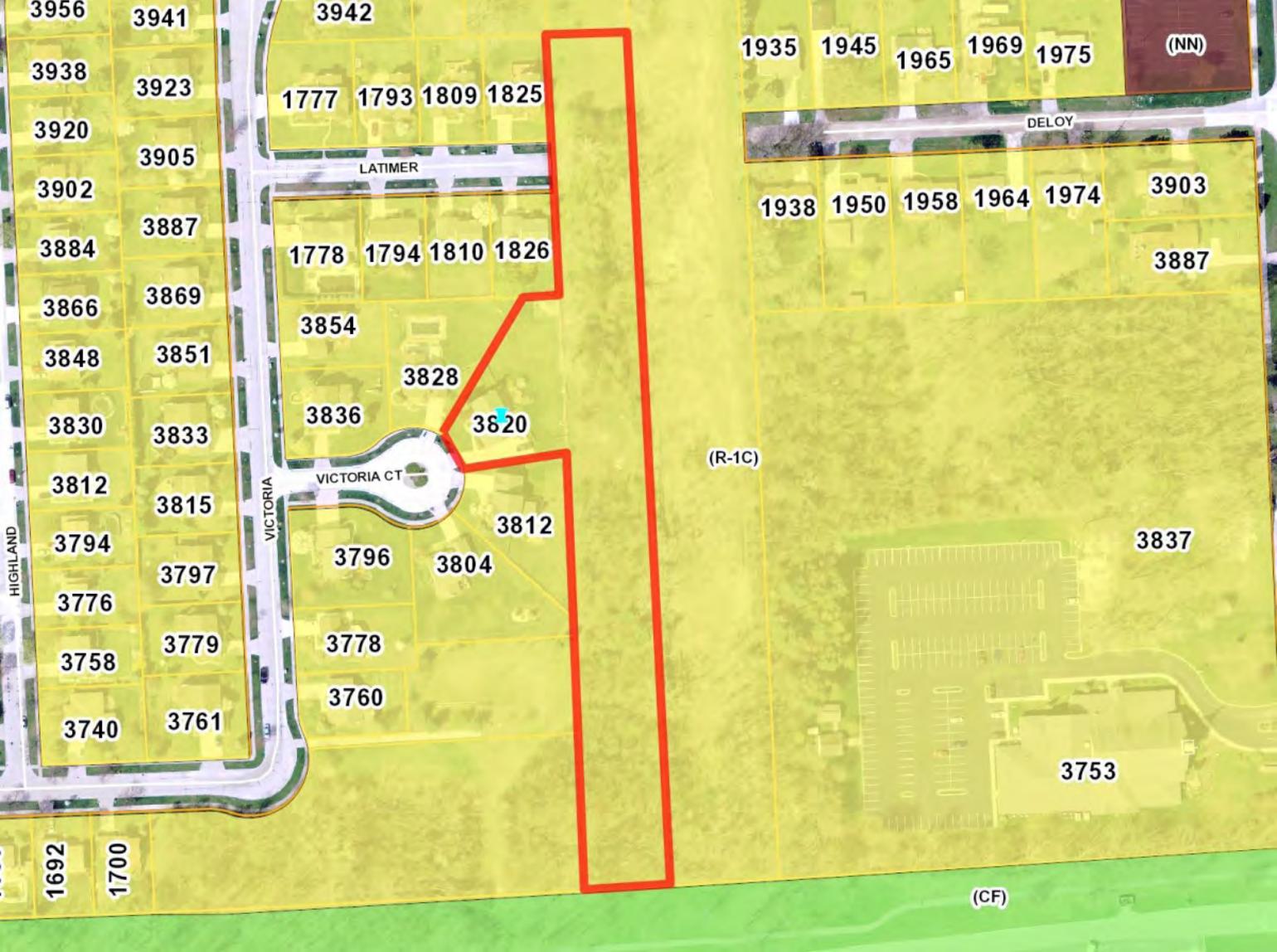
1935 1945 1965 1969 1975

DELOY

1938 1950 1958 1964 1974  
3903  
3887

3837

3753



3956 3941

3938 3923

3920 3905

3902 3887

3884 3869

3866 3851

3848 3833

3830 3815

3812 3794

3794 3776

3776 3758

3758 3740

3740 3761

1692 1700

3942

1777 1793 1809 1825

LATIMER

1778 1794 1810 1826

3854

3828

3836

3820

VICTORIA CT

3812

3796

3804

3778

3760

1935 1945

1965 1969

1975

(NN)

DELOY

1938 1950

1958 1964

1974

3903

3887

(R-1C)

3837

3753

(CF)

## ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT  
500 W. BIG BEAVER ROAD  
TROY, MICHIGAN 48084  
PHONE: 248- 524-3364  
E-MAIL: [evanspm@troymi.gov](mailto:evanspm@troymi.gov)  
<http://www.troymi.gov/CodeEnforcement/#>



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: TBD - Parcel A on site plot plan
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-23-200-057
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R-1C
4. REASONS FOR REQUEST: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
6. APPLICANT:  
NAME Mark Fleming  
COMPANY \_\_\_\_\_  
ADDRESS 3820 Victoria Ct  
CITY Troy STATE MI ZIP 48083  
PHONE 248-670-0712  
E-MAIL jmarkfleming1999@yahoo.com  
AFFILIATION TO THE PROPERTY OWNER: Son

8. PROPERTY OWNER:

NAME Wade Fleming  
COMPANY \_\_\_\_\_  
ADDRESS 3820 Victoria Ct  
CITY Troy STATE MI ZIP 48083  
TELEPHONE 248-528-9239  
E-MAIL wade.fleming@proforma.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Mark Fleming (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

PROPERTY OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Failure of the applicant or their authorized representative to appear before the Board, as scheduled, shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.

## Justification for the Requested Action

### VARIANCE REVIEW STANDARDS ZONING ORDINANCE SECTION 15.04 (E) (2)

Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.

**Our property is very narrow. With the required front and back yard setbacks, we would only be able to build a ~~32~~ 27 foot wide home. That would not be consistent with the other homes on the street.**

b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.

**The way that Latimer is positioned compared to the property makes it so the front and back yards are what we would like to use as side yards.**

c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.

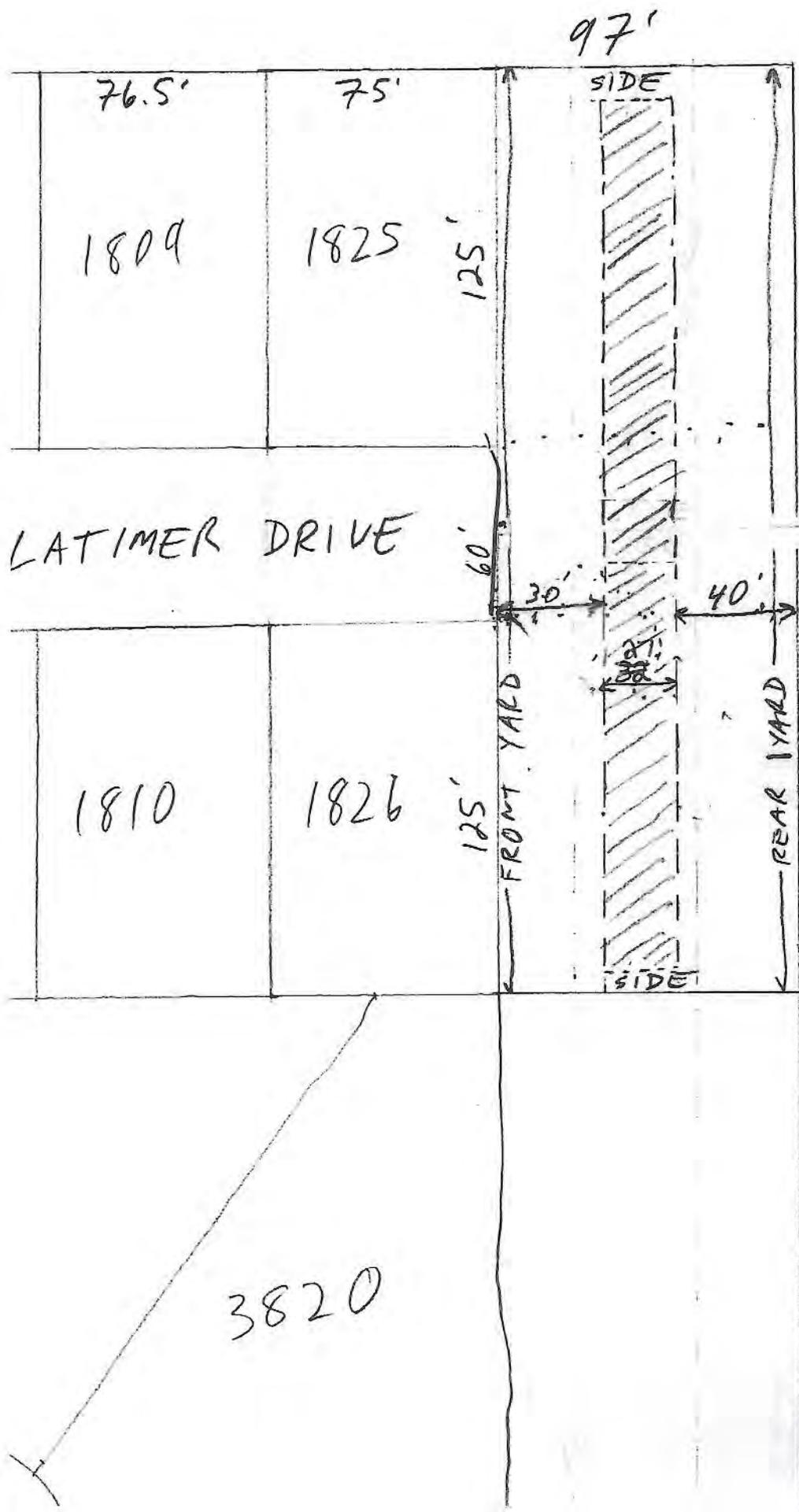
**The home we would like to build, in the position we want to build it in, fits in with the existing development pattern. It would also be at a reduced density compared to the surrounding homes.**

d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.

**The difficulties we are encountering are because of the shape of the property and not because of the current or previous owner.**

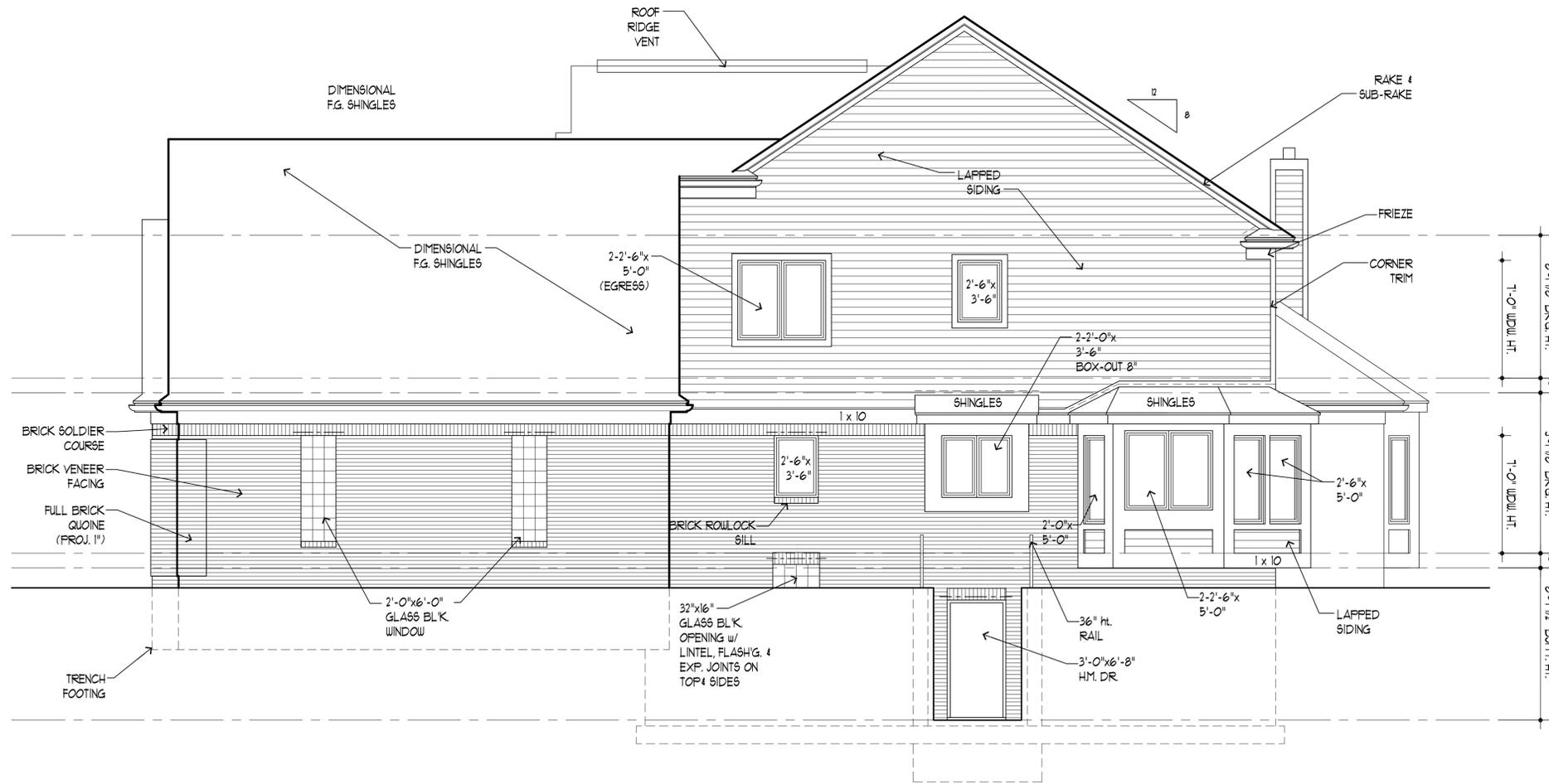
e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

**The home we would like to build would be in the same position as if we were to extend Latimer. We do not want to extend Latimer because we want to keep the current peaceful environment.**



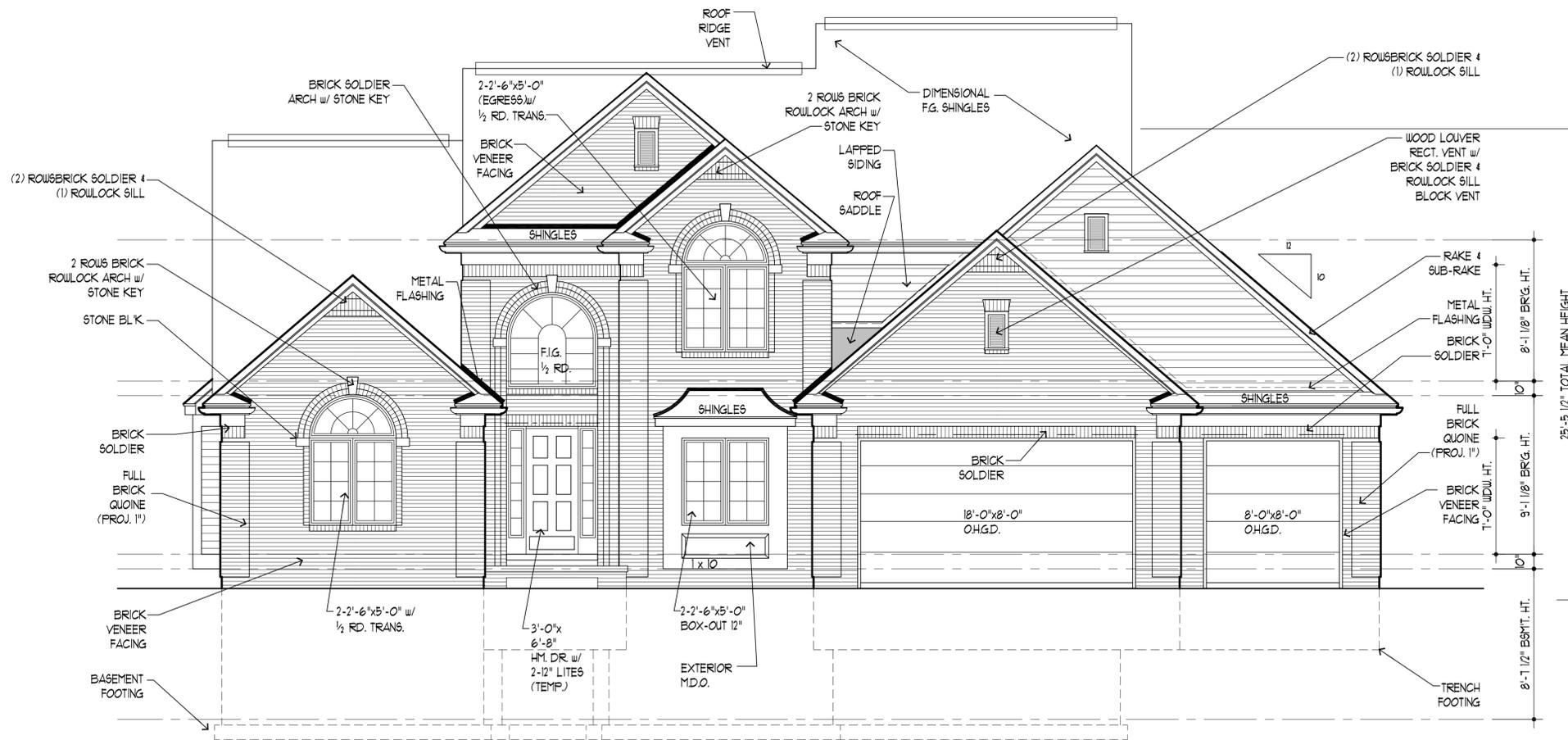
Zoned R-1C  
 Front yard setback  
 30'  
 Rear yard setback  
 40'  
 Building envelope  
~~32'~~  
 27' wide





2/A3.0 right building elevation

SCALE: 1/4" = 1'-0"



1/A3.0 front building elevation

SCALE: 1/4" = 1'-0"

Copyright 2012 - Preview Architecture + Planning, LLC

**preview**  
ARCHITECTURE + PLANNING, L.L.C.

728 Bliss Drive  
Rochester Hills, Michigan 48307  
Ph 248.303.1446

PROJECT:

**Parcel A**  
Latimer Drive

Troy, Michigan

CLIENT:

**Mr. & Mrs.**  
Mark Fleming

NO.	DESCRIPTION	DATE
1	PERMIT SET	01/11/12
2		

--	--	--	--	--	--

SHEET TITLE:

**EXTERIOR ELEVATIONS**

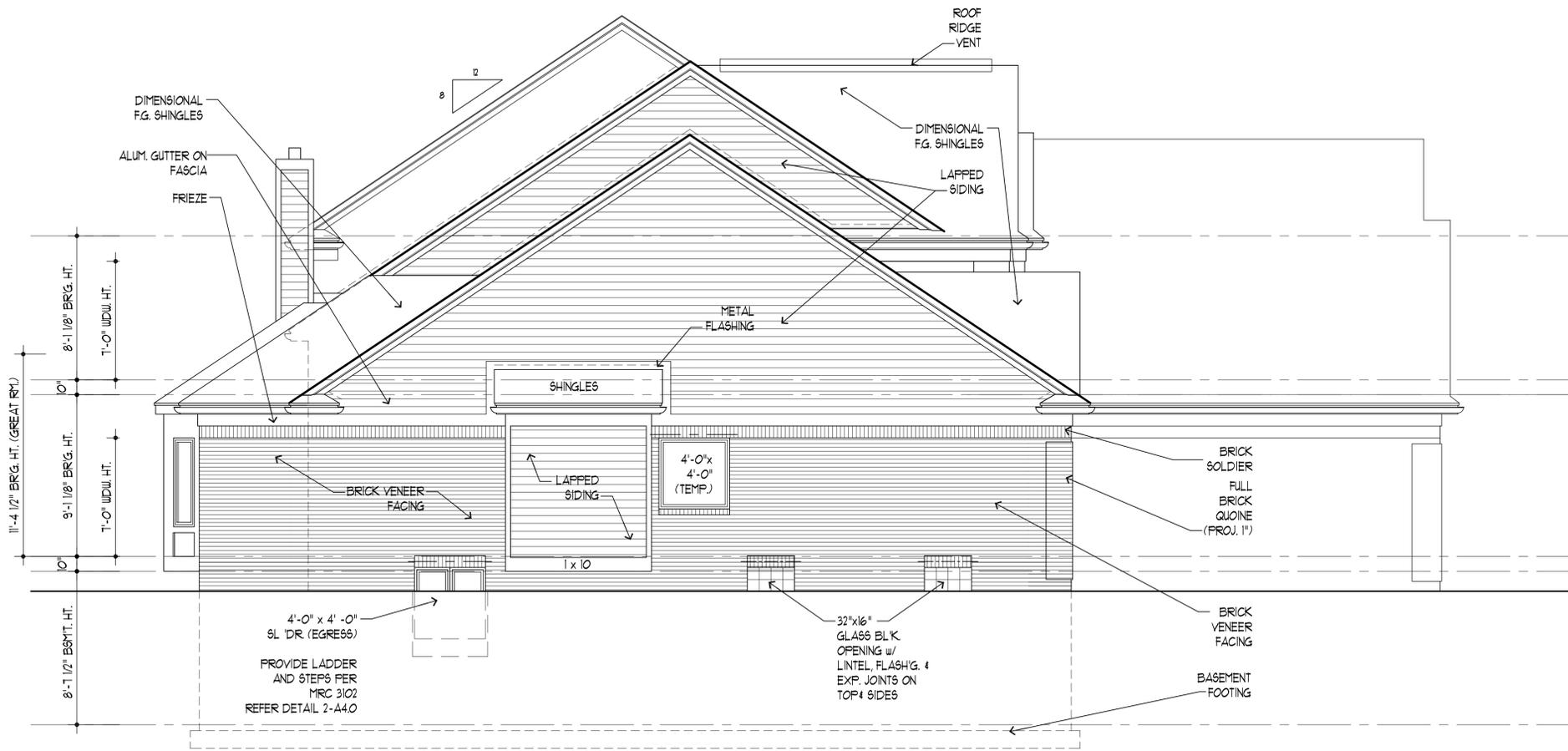
PROJECT NUMBER:  
2012-118

DRAWN BY:  
KMB

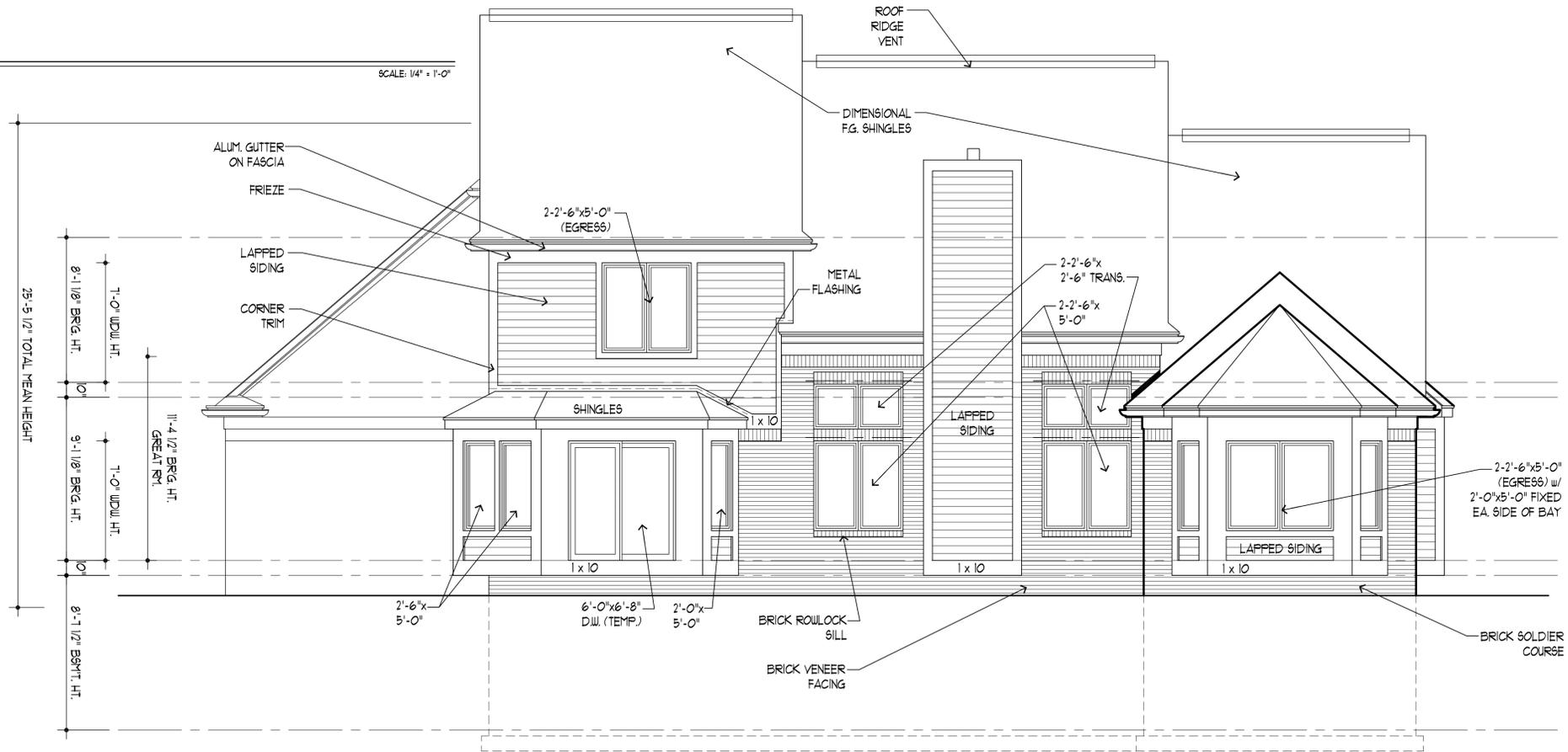
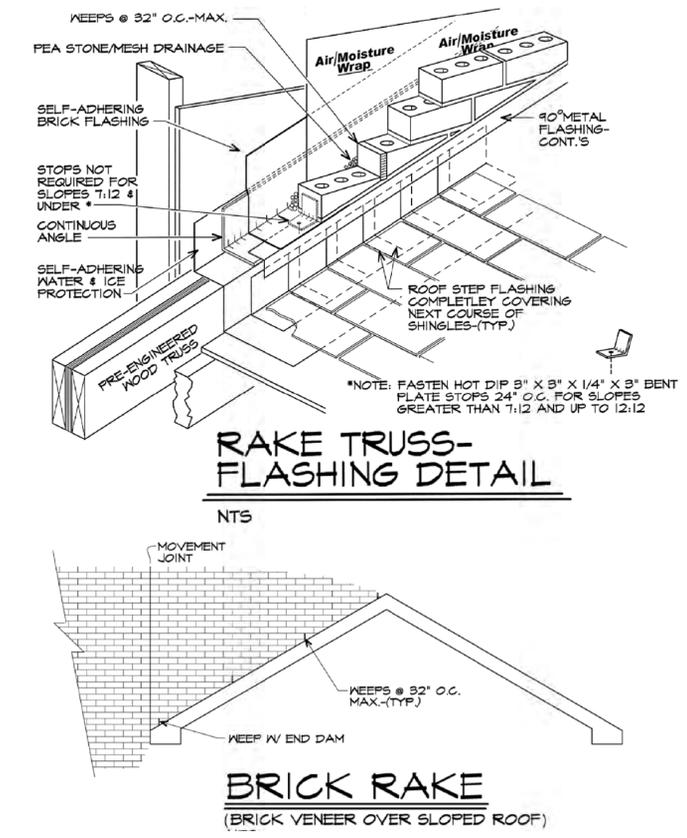
CHECKED BY:  
KMB

SHEET NUMBER:

**A 3.0**



2/A3.1 left building elevation



1/A3.1 rear building elevation

Copyright 2012 - Preview Architecture + Planning, LLC.  
**preview** ARCHITECTURE + PLANNING, L.L.C.  
 48307  
 Michigan  
 Rochester Hills  
 728 Bliss Drive  
 Ph 248.303.1446

PROJECT:  
**Parcel A**  
 Latimer Drive  
 Troy, Michigan

CLIENT:  
**Mr. & Mrs.**  
 Mark Fleming

NO.	DESCRIPTION	DATE
1	PERMIT SET	01/18/12
2		

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

PROJECT NUMBER:  
 2012-118  
 DRAWN BY:  
 KMB  
 CHECKED BY:  
 KMB  
 SHEET NUMBER:

**A 3.1**







**SOIL BEARING REQUIREMENTS**

1. ALL TOP SOIL, ORGANIC AND VEGETATIVE MATERIAL SHOULD BE REMOVED PRIOR TO CONSTRUCTION. ANY REQUIRED FILL SHALL BE CLEAN, GRANULAR MATERIAL COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-997.

2. FOUNDATIONS BEARING ON EXISTING SOILS ARE DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2500 PSF, UNLESS NOTED OTHERWISE. THE ALLOWABLE SOIL BEARING CAPACITY MUST BE VERIFIED BY A REGISTERED SOILS ENGINEER PRIOR TO THE START OF CONSTRUCTION AND IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

3. NOTIFY THE BUILDING DESIGN ENGINEER/ARCHITECT IF THE ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 2500 PSF SO THAT THE FOUNDATIONS CAN BE REDESIGNED FOR THE NEW ALLOWABLE BEARING CAPACITY.

**CONCRETE SPECIFICATIONS:**

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301-84. \*SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS\*, EXCEPT AS MODIFIED BY SUPPLEMENTAL REQUIREMENTS.

2. ALL CONCRETE SHALL HAVE A MINIMUM OF 3000 PSI 28 DAY COMPRESSIVE STRENGTH (511 LBS. CEMENT PER CUBIC YARD MINIMUM (5.5 BAGS) & A WATER/CEMENT RATIO NOT TO EXCEED 6 GALLONS PER BAG).

3. THE USE OF ADDITIVES SUCH AS FLY ASH OR CALCIUM CHLORIDE IS NOT ALLOWED WITHOUT PRIOR REVIEW FROM THE ENGINEER.

4. THE CONCRETE CONTRACTOR SHALL SUBMIT THE DESIGN MIX OF EACH TYPE FOR REVIEW BY THE ENGINEER AND ARCHITECT PRIOR TO PLACEMENT.

**STRUCTURAL STEEL SPECIFICATIONS:**

1. ALL STRUCTURAL STEEL SHAPES, PLATES, BARS, ETC. ARE TO BE ASTM A-36 (UNLESS NOTED OTHERWISE) DESIGNED AND CONSTRUCTED PER THE 1989 AISC \*SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS\*, AND THE LATEST EDITION OF THE AISC \*MANUAL OF STEEL CONSTRUCTION\*.

2. ALL STEEL PIPE COLUMNS SHALL BE ASTM A 501, FY = 36 KSI. ALL STRUCTURAL TUBING SHALL BE ASTM A500 GRADE B, FY = 46 KSI.

3. ALL WELDED CONNECTIONS SHALL CONFORM WITH THE LATEST AISC D11 \*SPECIFICATIONS FOR WELDING IN BUILDING CONSTRUCTION\*, AND SHALL UTILIZE E70XX ELECTRODES, UNLESS NOTED OTHERWISE.

4. ALL BOLTED CONNECTIONS SHALL UTILIZE ASTM A-325 BOLTS TIGHTENED TO A "SNUG TIGHT" CONDITION (UNLESS NOTED OTHERWISE).

5. THE STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER AND ARCHITECT PRIOR TO FABRICATION. ALLOW 10 WORKING DAYS MINIMUM FOR EACH STAGE OF THE REVIEW PROCESS.

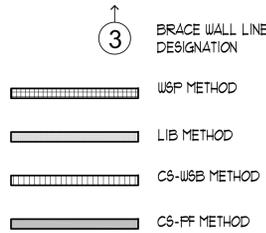
6. THE STEEL ERECTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY GUYS, BRACES, FALSEWORK, CRIBBING AND OTHER ELEMENTS REQUIRED FOR THE SAFE AND PROPER INSTALLATION OF ALL BUILDING ELEMENTS UNTIL THE STRUCTURE IS PERMANENTLY BRACED. THE FABRICATOR AND ERECTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH OSHA REQUIREMENTS.

7. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR OTHER JOB SITE CONDITIONS.

8. VERIFY THE EXACT SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS WITH MECHANICAL CONTRACTOR IF REQUIRED.

9. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.

**BRACING METHOD LEGEND**



**BRACE WALL DESIGN GUIDELINES**

WIND SPEED: LESS THAN 90 MPH  
EXPOSURE B  
SDC = A  
1ST FLOOR: 9'-0" HT.  
2ND FLOOR: 8'-0" HT.  
ROOF TO EAVE: 12'-0" HT.

USE TABLE 602.10.12 (1) - MRC 2009

MRC 2009 TABLE R602.10.1.2 (1) FOOTNOTES	NUMBERED WALL LINES	LETTERED WALL LINES
(b.) EXPOSURE CATEGORY	1.00	1.00
(c.) ROOF EAVE-TO-RIDGE HEIGHT	1.06	1.06
(d.) WALL HEIGHT	0.95	0.95
(e.) NUMBER OF BRACED WALL LINES	(4) 1.45	(4) 1.45
WIND FACTOR TOTAL	1.46	1.46

**ROOF DESIGN LOADS**

LIVE LOAD : 25 P.S.F.  
DEAD LOAD: 12 P.S.F.  
TOTAL LOAD: 37 P.S.F.

**UPPER LEVEL DESIGN LOADS - BEDROOM**

LIVE LOAD : 30 P.S.F.  
DEAD LOAD: 10 P.S.F.  
TOTAL LOAD: 40 P.S.F.

**UPPER LEVEL DESIGN LOADS - TILE AREAS**

LIVE LOAD : 40 P.S.F.  
DEAD LOAD: 25 P.S.F.  
TOTAL LOAD: 65 P.S.F.

**BRACE WALL LINE SCHEDULE - MRC 2009**

BRACED WALL LINE	BRACING METHOD	BRACED WALL LINE SPACING	REQUIRED BRACING	WIND FACTOR TOTAL	TOTAL GYPSUM FACTOR	PANELS w/ HOLD DOWNS	TOTAL REQUIRED BRACING	BRACING LENGTH PROVIDED	STATUS
------------------	----------------	--------------------------	------------------	-------------------	---------------------	----------------------	------------------------	-------------------------	--------

4 BRACE LINES SIDE TO SIDE, 4 BRACE LINES FRONT TO BACK

1	WSP	19.79'	7.5'	1.46	N/A	N/A	10.95'	18.0'	OKAY
2	LIB & WSP	19.79'	13.0'	1.46	N/A	N/A	18.98'	20.0'	OKAY
3	LIB & WSP	19.75'	13.0'	1.46	N/A	N/A	18.98'	24.0'	OKAY
4	WSP	14.5'	2.9'	1.46	N/A	N/A	4.23'	16.0'	OKAY
A	CS-WSP & PF	23.0'	1.25'	1.46	N/A	N/A	10.28'	10.5'	OKAY
B	LIB	23.0'	14.65'	1.46	N/A	N/A	21.39'	28.0'	OKAY
C	LIB & WSP	19.17'	1.0'	1.46	N/A	N/A	10.22'	16.0'	OKAY
D	LIB & WSP	19.17'	3.31'	1.46	N/A	N/A	4.82'	4.83'	OKAY

INTERPOLATED

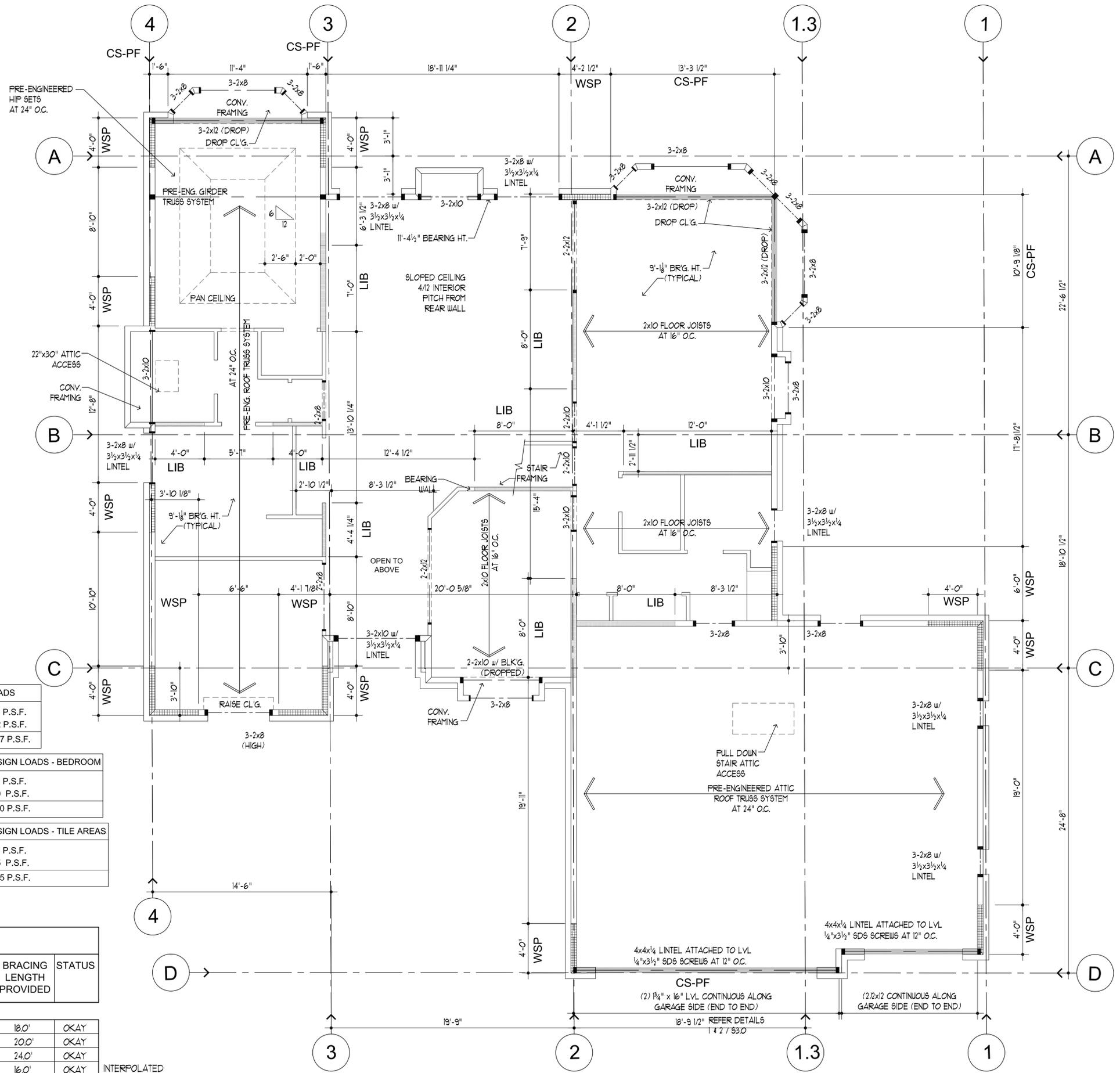
INTERPOLATED

INTERPOLATED

INTERPOLATED

**1/S2.0 structural - main level**

9'-1/8" BEARING HEIGHT (TYPICAL)



NOTE:

ALL EXTERIOR WALLS ARE 2x6 WOOD STUDS w/ R-21 F.G. BATT. INSULATION.

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	PERMIT SET	01/12
2		
3		
4		
5		
6		
7		
8		
9		
10		

SHEET TITLE:  
**STRUCTURAL-MAIN LEVEL**

PROJECT NUMBER:  
2012-118

DRAWN BY:  
KMB

CHECKED BY:  
KMB

SHEET NUMBER:

**S 2.0**

1	PERMIT SET	01/12
NO.	DESCRIPTION	DATE

--	--	--	--	--	--	--	--	--	--

**WOOD SPECIFICATIONS:**

- WOOD CONSTRUCTION SHALL BE GOVERNED BY THE LATEST ADDITION OF THE AITC MANUAL AND NDS NATIONAL DESIGN STANDARDS AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, 1991 EDITION.
- LAMINATED VENEER LUMBER (SUCH AS MICROLAM) SHALL HAVE THE FOLLOWING STRUCTURAL PROPERTIES: FB-18000 PSI, FV-1295 PSI, E-1,000,000 PSI.
- LAMINATED WOOD BEAMS (GLUE-LAM) SHALL BE VISUALLY GRADED WESTERN SPECIES 24F-V8 AITC DESIGNATION WITH THE FOLLOWING STRUCTURAL PROPERTIES: FB-14000 PSI, FV-1865 PSI, E-1,800,000 PSI.
- STUDS SHALL BE SPF#1UD (UMPA) OR BETTER GRADE, UNLESS NOTED OTHERWISE, AT MC IS MAXIMUM.
- STRUCTURAL DIMENSION LUMBER SUCH AS HEADERS AND JOISTS SHALL BE A MINIMUM OF #2 HEM FIR AT MC IS 3/4 MAXIMUM.
- ALL STRUCTURAL LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR LESS THAN 8" ABOVE GRADE SHALL BE PRESURE TREATED TO A MINIMUM OF 0.40 POUNDS PER CUBIC FOOT RETENTION WITH AMMONIACAL COPPER ARSENIATE (ACA), OR CHROMIATED COPPER ARSENIATE (CCA), OR APPROVED EQUAL TREATMENT.
- ALL LUMBER AT OR BELOW GRADE SHALL BE PRESURE TREATED TO A MINIMUM OF 0.60 POUNDS PER CUBIC FOOT RETENTION WITH AMMONIACAL COPPER ARSENIATE (ACA), OR CHROMIATED COPPER ARSENIATE (CCA), OR APPROVED EQUAL TREATMENT.
- ALL TREATED LUMBER WHICH IS CUT, DRILLED OR NOTCHED SHALL BE FIELD TREATED (BRUSHED ON EXPOSED SURFACES) BY ONE OF THE PRESERVATIVES LISTED ABOVE.
- AT EACH WALL OPENING ADD ONE HALF THE TOTAL NUMBER OF STUDS DISPLACED TO EACH SIDE OF THE OPENING (FULL HEIGHT) AND ADD 2 CRIPPLE STUDS BELOW THE HEADER UNLESS NOTED OTHERWISE.
- NOTCHING AND DRILLING OF STRUCTURAL MEMBERS IS PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE ENGINEER.
- ALL CONNECTIONS NOT NOTED ON THE DRAWINGS SHALL BE MADE WITH PREFABRICATED STEEL HANGERS SIZED FOR THE CARRIED LOAD AND MEMBER SIZE (I.E. A DOUBLE 2X10 MUST HAVE A SIMPSON U-210-2 HANGAR OR EQUAL) ETC.
- ALL POSTS SHALL EXTEND TO SOLID BEARING. REPEAT POSTS ON LOWER FLOORS BELOW UPPER POSTS, UNLESS NOTED OTHERWISE. BLOCK SOLID BELOW ALL POSTS TO SOLID BEARING BELOW.
- ALL EXTERIOR WALL AND ROOF SHEATHING SHALL BE 1/2" APA RATED EXTERIOR GRADE SHEATHING INSTALLED PER APA INSTALLATION GUIDE REQUIREMENTS (NAILING, SPACING, BLOCKING, STORAGE, HANDLING AND PROTECTION, ETC.)
- THIS PLAN DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR FOLLOWING MINIMUM GUIDELINES SET FORTH IN BOCA AND CABO BUILDING CODES (THOSE PUBLICATIONS ARE CONSIDERED PART OF THE STRUCTURAL SPECIFICATIONS).
- JOISTS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S REQUIREMENTS INCLUDING ALL REQUIRED BRACING, BLOCKING AND CONNECTION DETAILS. EXTRA JOISTS SHALL BE ADDED AT ALL INTERIOR PARTITIONS TO ACCOUNT FOR THE ADDITIONAL DEAD LOADS.

**HANDLING AND ERECTION SPECIFICATIONS:**

- HANDLING AND ERECTION OF THE TRUSSES ARE NOT THE RESPONSIBILITY OF THE BUILDING DESIGN ENGINEER OR THE ARCHITECT. TRUSSES ARE TO BE HANDLED WITH PARTICULAR CARE DURING FABRICATION, BUNDLING, LOADING, DELIVERY, UNLOADING AND INSTALLATION IN ORDER TO AVOID DAMAGE AND WEAKENING OF THE TRUSSES.
- MANDATORY TEMPORARY AND PERMANENT BRACING FOR HOLDING THE TRUSSES IN A STRAIGHT AND PLUMB POSITION SHALL BE DESIGNED AND INSTALLED BY THE ERECTING CONTRACTOR IN ACCORDANCE WITH "HIB-91" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. TEMPORARY BRACING DURING INSTALLATION INCLUDES CROSS BRACING BETWEEN THE TRUSSES TO PREVENT TOPPLING OR "DOMINOING" OF THE TRUSSES.
- PERMANENT BRACING SHALL BE INSTALLED IN ACCORDANCE WITH "HIB-91" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. PERMANENT BRACING CONSISTS OF LATERAL AND DIAGONAL BRACING NOT TO EXCEED SPACING REQUIREMENTS OF THE TRUSS FABRICATOR AND CONTACT TPI. AT (608) 933-5900 FOR FURTHER INFORMATION. TOP CHORDS MUST BE CONTINUOUSLY BRACED BY ROOF SHEATHING UNLESS OTHERWISE NOTED. SHOP DRAWINGS. BOTTOM CHORDS MUST BE BRACED AT INTERVALS NOT TO EXCEED 10'-0".
- CONSTRUCTION LOADS GREATER THAN THE DESIGN LOADS OF THE TRUSSES SHALL NOT BE APPLIED TO THE TRUSSES AT ANY TIME.
- NO LOADS SHALL BE APPLIED TO THE TRUSSES UNTIL ALL FASTENING AND REQUIRED BRACING IS INSTALLED.
- THE SUPERVISION OF THE TRUSS ERECTING SHALL BE UNDER THE DIRECT CONTROL OF PERSON(S) EXPERIENCED IN THE INSTALLATION AND PROPER BRACING OF WOOD TRUSSES. IMPROPER INSTALLATION AND BRACING OF TRUSSES CAN LEAD TO COLLAPSE AND POSSIBLE INJURIES TO WORKERS.
- FIELD MODIFICATIONS OR CUTTING OF PRE-ENGINEERED ROOF TRUSSES IS STRICTLY PROHIBITED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT AND DETAILS FROM A LICENSED PROFESSIONAL STRUCTURAL ENGINEER EXPERIENCED IN WOOD TRUSS DESIGN AND MODIFICATIONS.

**TEMPORARY CONSTRUCTION SHORING:**

- THE BUILDING DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT. THE CONTRACTOR AND HIS ENGINEER ARE RESPONSIBLE FOR THE DESIGN AND PROPER INSTALLATION OF ALL TEMPORARY SHORING REQUIRED FOR A SAFE AND STRUCTURALLY SOUND PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER SHORING AND BRACING DURING THE CONSTRUCTION PROJECT. ACCEPTANCE OF THE CONSTRUCTION PROJECT BY THE CONTRACTOR IS PROOF OF ACCEPTABLE OF THE ABOVE MENTIONED ITEMS.

**WOOD TRUSS SPECIFICATIONS:**

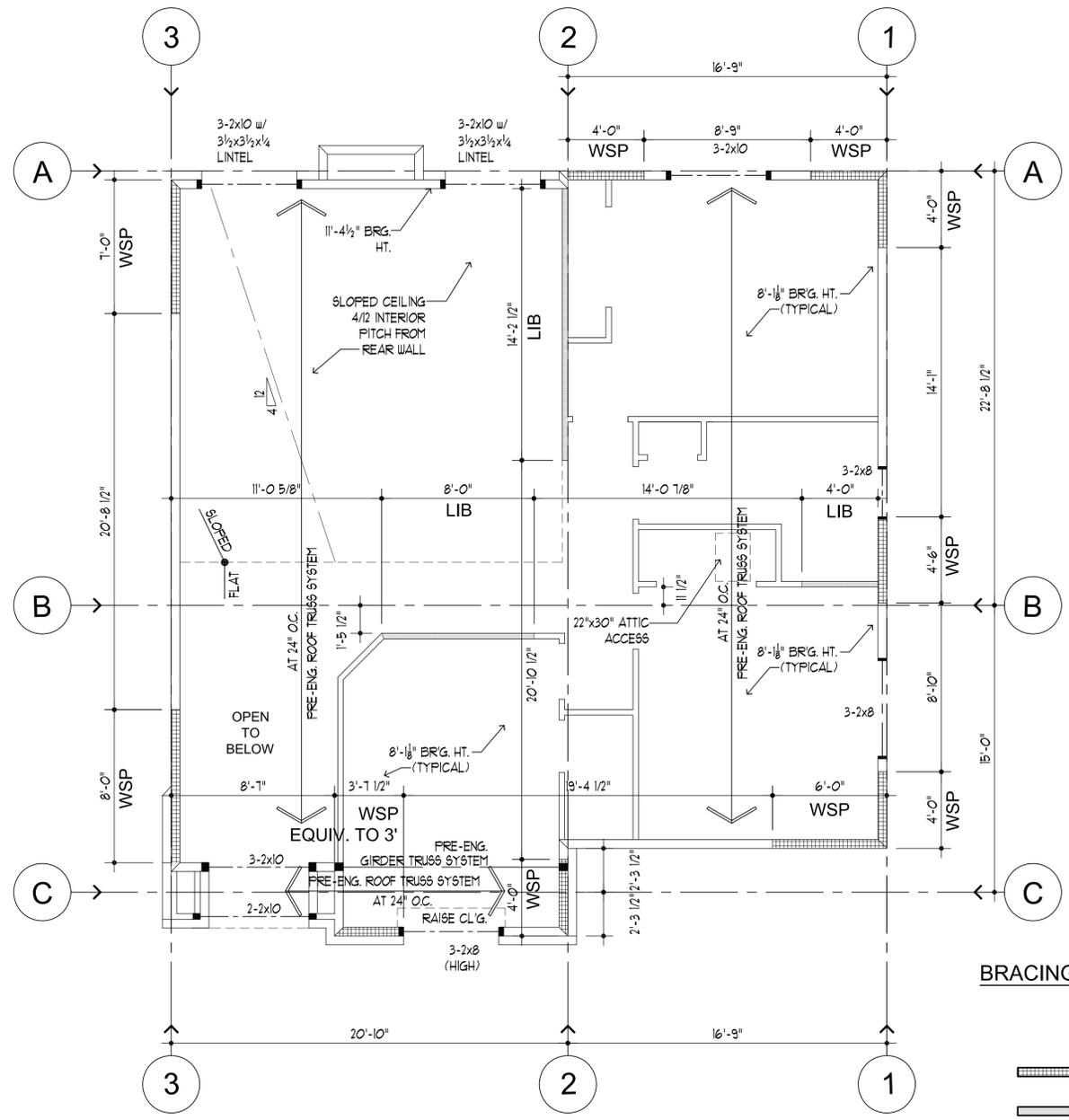
- DESIGNS SHALL CONFORM WITH THE LATEST VERSION OF (NDS) THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION AND DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE (T.P.I.)
- TRUSSES SHALL BE SPACED AS INDICATED ON THE PLANS UNLESS THE DESIGNER DETERMINES THAT DIFFERENT SPACING IS REQUIRED TO MEET THE DEFLECTION REQUIREMENTS.
- MAXIMUM DEFLECTION OF FLOOR TRUSSES SHALL BE LIMITED TO L/240 FOR TOTAL LOAD AND L/360 FOR LIVE LOAD. MAXIMUM DEFLECTION OF ROOF TRUSSES SHALL BE LIMITED TO L/180 FOR TOTAL LOAD AND L/240 FOR LIVE LOAD, UNLESS NOTED OTHERWISE.
- DESIGN LOADS:  
 ROOF: 30 PSF TOP CHORD LIVE LOAD + 1 PSF TOP CHORD DEAD LOAD + 10 PSF BOTTOM CHORD DEAD LOAD  
 \*A 15% INCREASE IN ALLOWABLE STRESSES FOR SHORT TERM LOADING IS ALLOWED. DRIFT LOADING SHALL BE ACCOUNTED FOR PER THE 1990 BOCA CODE REQUIREMENTS.  
 \*ADD ADDITIONAL ATTIC STORAGE LIVE LOADS PER THE 1990 BOCA CODE REQUIREMENTS.
- ADEQUATE CAMBER SHALL BE BUILT INTO ALL TRUSSES TO COMPENSATE FOR NORMAL DEAD LOAD DEFLECTION.

**MATERIALS AND FABRICATION SPECIFICATIONS:**

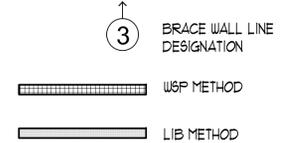
- STEEL GUSSET CONNECTOR PLATES
- CONNECTORS SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL. THE PLATES SHALL CONSIST OF PROJECTING TEETH PUNCHED OUT IN ROHS. THE FOLLOWING MINIMUM CONNECTOR PLATE SPECIFICATIONS SHALL BE MET (PER PAIR OF PLATES):  
 430 PSI HOLDING CAPACITY IN DOUG FIR OR SOUTHERN PINE  
 400 PSI HOLDING CAPACITY IN HEM FIR OR SPRUCE PINE FIR  
 486 PLI SHEAR RESISTANCE (PARALLEL TO TEETH)  
 800 PLI TENSION VALUE (LOADED PARALLEL TO TEETH)  
 (NOTE: HOLDING VALUES ARE FOR PARALLEL TO TEETH LOADING)
- LUMBER
- TRUSS CHORD MATERIALS SHALL BE #2 OR BETTER STRESS GRADED WITH A MOISTURE CONTENT (MC) NOT TO EXCEED 19%.
- QUALITY
- TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST T.P.I. QUALITY CONTROL GUIDELINES.

**SHOP DRAWINGS:**

- THE TRUSS FABRICATOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE SHOP DRAWINGS SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE TRUSSES WILL BE USED.
- THE FOLLOWING INFORMATION SHALL APPEAR ON ALL TRUSS SHOP DRAWINGS:  
 A. DESIGN CRITERIA INCLUDING LOAD INFORMATION ACCOUNTING FOR SNOW BUILDUP WHERE APPLICABLE.  
 B. CONNECTOR PLATE MANUFACTURER, GAUGE, SIZE AND LOCATION AT EACH TRUSS JOINT.  
 C. THE LUMBER GRADE AND SIZE OF ALL MEMBERS.  
 D. ALL REQUIRED STRUCTURAL LATERAL BRACING (SIZE, CONNECTION AND LOCATION).
- COMPLETE TRUSS LAYOUTS (FRAMING PLANS) SHALL BE PREPARED BY THE TRUSS FABRICATOR. LAYOUTS SHALL INDICATE TRUSS TYPE, BRACING AND CONNECTIONS. REQUIRED TRUSS HANGER CONNECTIONS SHALL BE INDICATED ON THE LAYOUTS. THE TRUSS LAYOUTS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.



**BRACING METHOD LEGEND**



**BRACE WALL DESIGN GUIDELINES**

WIND SPEED: LESS THAN 90 MPH  
 EXPOSURE B  
 5DC = A  
 1ST FLOOR: 9'-0" HT.  
 2ND FLOOR: 8'-0" HT.  
 ROOF TO EAVE: 12'-0" HT.

USE TABLE 602.10.1.2 (1) - MRC 2009

MRC 2009 TABLE R602.10.1.2 (1) FOOTNOTES	NUMBERED WALL LINES	LETTERED WALL LINES
(b.) EXPOSURE CATEGORY	1.00	1.00
(c.) ROOF EAVE-TO-RIDGE HEIGHT	1.06	1.06
(d.) WALL HEIGHT	0.90	0.90
(e.) NUMBER OF BRACED WALL LINES	(3) 130	(3) 130
WIND FACTOR TOTAL	126	126

**BRACE WALL LINE SCHEDULE - MRC 2009**

BRACED WALL LINE	BRACING METHOD	BRACED WALL LINE SPACING	REQUIRED BRACING	WIND FACTOR TOTAL	TOTAL GYPSUM FACTOR	PANELS w/ HOLD DOWNS	TOTAL REQUIRED BRACING	BRACING LENGTH PROVIDED	STATUS
------------------	----------------	--------------------------	------------------	-------------------	---------------------	----------------------	------------------------	-------------------------	--------

3 BRACE LINES SIDE TO SIDE; 3 BRACE LINES FRONT TO BACK

1	WSP	16.75'	3.35'	126	N/A	N/A	4.22'	12.0'	OKAY	INTERPOLATED
2	LIB 4 WSP	21.29'	7.32'	126	N/A	N/A	9.22'	18.11'	OKAY	INTERPOLATED
3	WSP	21.29'	3.82'	126	N/A	N/A	4.8'	17.0'	OKAY	INTERPOLATED
A	WSP	22.685'	3.9'	126	N/A	N/A	4.9'	8.0'	OKAY	INTERPOLATED
B	LIB	22.685'	7.67'	126	N/A	N/A	9.2'	12.0'	OKAY	INTERPOLATED
C	WSP	15.0'	2.75'	126	N/A	N/A	3.46'	9.0'	OKAY	INTERPOLATED

**1/S2.1 structural - roof**

8'-1/8" BEARING HEIGHT (TYPICAL)

SCALE: 1/4" = 1'-0"

ROOF DESIGN LOADS	
LIVE LOAD:	25 P.S.F.
DEAD LOAD:	12 P.S.F.
TOTAL LOAD:	37 P.S.F.

**NOTE:**

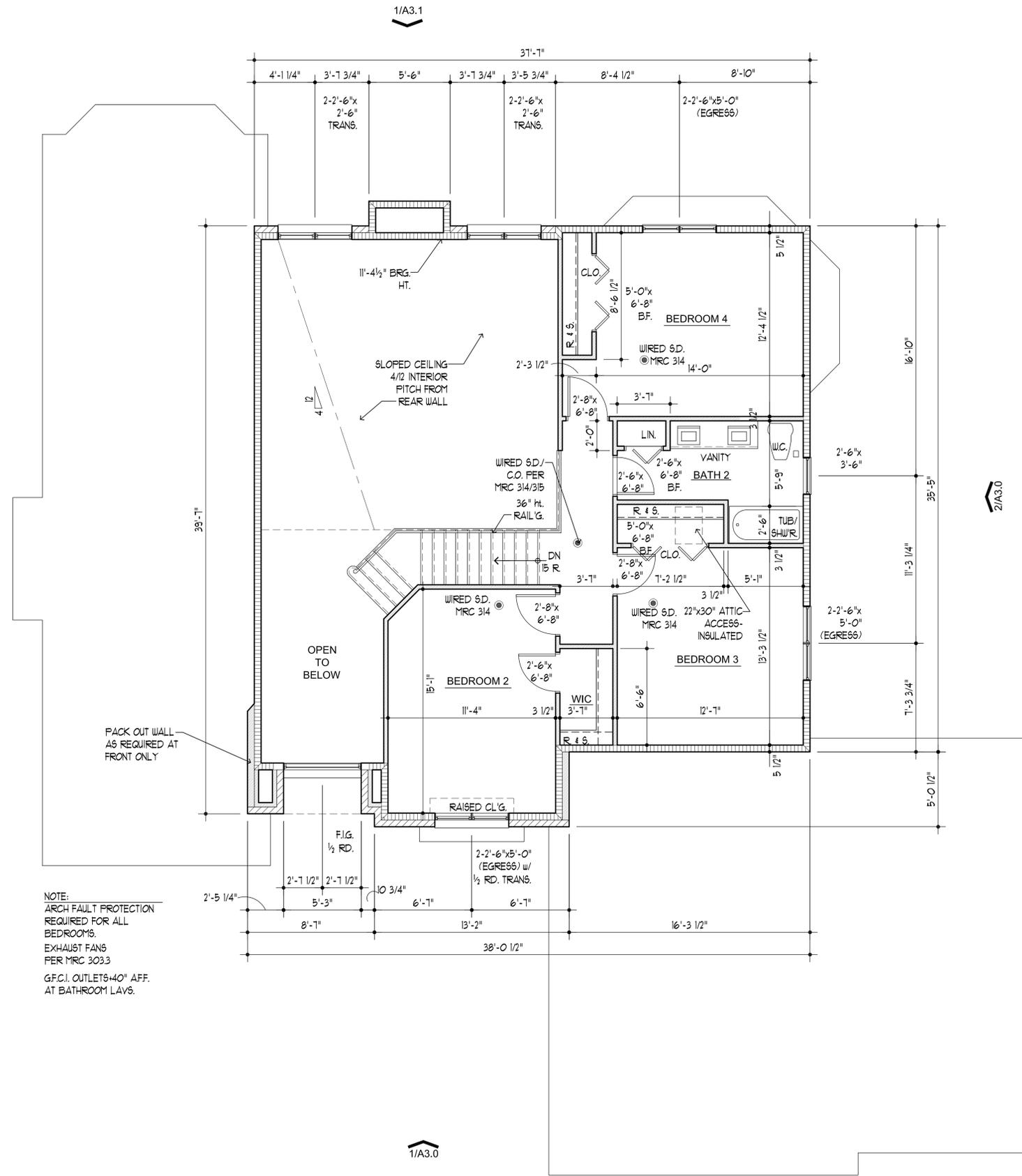
ALL EXTERIOR WALLS ARE 2x6 WOOD STUDS w/ R-21 F.G. BATT. INSULATION.

PROJECT:  
**Parcel A**  
 Latimer Drive  
 Troy, Michigan  
 CLIENT:  
**Mr. & Mrs.**  
 Mark Fleming

NO.	DESCRIPTION	DATE
1	PERMIT SET	01/11/12
2		

SHEET TITLE:  
**UPPER LEVEL FLOOR PLAN**  
 PROJECT NUMBER:  
 2012-118  
 DRAWN BY:  
 KMB  
 CHECKED BY:  
 KMB  
 SHEET NUMBER:  
**A 1.1**

2/A3.1



NOTE:  
 ARCH FAULT PROTECTION  
 REQUIRED FOR ALL  
 BEDROOMS.  
 EXHAUST FANS  
 PER MRC 3033  
 G.F.C.I. OUTLETS 40" AFF.  
 AT BATHROOM LAVS.

1/A1.1 floorplan - upper level

8'-1/8" BEARING HEIGHT  
 (TYPICAL)

SCALE: 1/4" = 1'-0"

**From:** [Paul M. Evans](#)  
**To:** [Kathy Czarnecki](#)  
**Subject:** 3820 Victoria Court ZBA variance public comment  
**Date:** Monday, September 10, 2012 1:45:26 PM

---

Kathy:

Resident at 1777 Latimer has no problem with the requested variance and asks staff advise the ZBA.

Could you include this information in the case file? Thanks.

Paul

6. MISCELLANEOUS BUSINESS – Discussion on Zoning Board implementing hand voting procedures

**From:** [Paul M Evans](#)  
**To:** [Paul M Evans](#)  
**Subject:** FW: August 2012 Troy ZBA meeting  
**Date:** Thursday, September 06, 2012 9:07:55 AM

---

**From:** Allen Kneale [mailto:knealeka@yahoo.com]  
**Sent:** Monday, July 30, 2012 11:34 AM  
**To:** Paul M Evans  
**Cc:** Allen Kneale  
**Subject:** Re: August 2012 Troy ZBA meeting

Paul,

Sounds good to me. Also, with the change in the process involving speakers where we no longer ask that they sign in, we will have to modify the primer statement that is read at the beginning of each meeting. We need to strike the language that directs them to sign in and write down their name and address.

If you can send me a MS Word version of the text, I can modify it for use in the next meeting. I would also like to review the language in general. It is good, I am just wondering if it can be shorter without losing meaning or direction.

I do have one item for discussion that can become part of the next meeting (i.e., August, September, etc.). In the interests of speeding up voting on motions, I want to discuss using a hand vote procedure (e.g., all in favor of said motion raise your hand, etc.). This would allow for a record to establish who voted yes or no, but allow for us to get away from the roll call votes. My thought is that it will be quicker. In the limited written minutes that we do maintain, we can still note board member names voting yes or no on a particular item.

I was thinking about this matter based on the input from Tom Strat. I believe he suggested a simple verbal vote, but without the use of a hand vote measure. To me that seems to much of a movement away from our current procedure and perhaps to much of a change in comparison to how council and planning operate.

Your thoughts on this are appreciated. Lastly, what would be the drop dead date whereas we would close August for a meeting assuming we get a last minute request?  
Sent from my Verizon Wireless BlackBerry