

VARIANCE REVIEW STANDARDS ZONING ORDINANCE SECTION 15.04 (E) (2)

Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

ZONING BOARD OF APPEALS

The Board of Zoning Appeals is a group of seven of your neighbors or peers appointed by City Council to pass judgment on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty running with the land that would warrant the granting of the variance.

PROCEDURE

The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairman, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next door neighbor, live behind the property, etc.), state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairman. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairman to speak at one time.

At the conclusion of public comments the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or table (delay action) the request. In order for the request to pass a minimum of four votes for approval are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.



ZONING BOARD OF APPEALS

MEETING AGENDA

REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Allan Kneale, Chair, and Glenn Clark, Vice Chair
Michael Bartnik, Kenneth Courtney
William Fisher, David Lambert, Thomas Strat
Bruce Bloomingdale and Orestis Kaltsounis (Alternates)

October 16, 2012

7:30 P.M.

Council Chamber

1. ROLL CALL
2. APPROVAL OF MINUTES – September 18, 2012
3. APPROVAL OF AGENDA
4. HEARING OF CASES
 - A. VARIANCE REQUEST, CARL GIORDANO FOR BOND BILT HOME IMPROVEMENT, 3333 PADDINGTON – In order to construct an addition to the home, a 5 foot variance from the required 45 foot rear yard setback.

SECTION: 4.06 (C)
 - B. VARIANCE REQUEST, PASTOR SCOTT MORGAN FOR ZION CHRISTIAN CHURCH, 3668 LIVERNOIS – In order to conduct an outdoor special event (Fall Harvest Festival) on Wednesday, October 31, 2012, a variance from the requirement that the hours of operation end no later than 8:00 pm. Applicant requests the event end at 9:00 pm.

SECTION: 7.13 I (3)
 - C. VARIANCE REQUEST, SILVANA AND ZORAN INIC, 6285 ROCHESTER – In order to construct an addition to the house, a 15.84 foot variance to the required 40 foot front yard setback.

SECTION: 4.06 (C)

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

- D. **VARIANCE REQUEST, JIM BARDY FOR CONTINENTAL SERVICES, 700 STEPHENSON HWY** – A variance to place/construct the following improvements in the front yard: a trash container, a loading area, and a maneuvering area. The Zoning Ordinance does not allow these items in the front yard.

SECTIONS: 4.18 (D) (2) and 13.03 (B) (3)

- E. **VARIANCE REQUEST, GARY ABITHEIRA, 1024 ARTHUR** – In order to construct a duplex, an 80 square foot variance to the required 10,000 square foot minimum lot area.

SECTION: 4.07 (C)

- F. **VARIANCE REQUEST, GARY ABITHEIRA, VACANT LOT NEXT TO AND WEST OF 85 CLOVERIDGE** – In order to build a new house, a variance from the requirement that at least one side yard setback be at least 10 feet, and the total of two side yard setbacks be at least 20 feet. The proposed side yard setbacks are 9.5 feet and 6 feet.

SECTION: 4.07 (C)

- G. **VARIANCE REQUEST, JOE GUTOWSKI FOR ND INDUSTRIES, 1893 BARRETT** – In order to construct a building addition, a 10 foot variance from the required 20 foot rear yard setback.

SECTION: 4.15 (C)

5. COMMUNICATIONS
6. MISCELLANEOUS BUSINESS
7. PUBLIC COMMENT
8. ADJOURNMENT

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymt.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

On September 18 2012, at 7:30 p.m., in the Council Chambers of Troy City Hall, Chair Kneale called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Michael Bartnik
Glenn Clark
Kenneth Courtney
William Fisher
David Lambert
Allen Kneale
Thomas Strat

Also Present:

Bruce Bloomingdale, Alternate
Orestis Kaltsounis, Alternate
Paul Evans, Zoning and Compliance Specialist
Allan Motzny, Assistant City Attorney

2. APPROVAL OF MINUTES – July 17, 2012

RESOLVED, to approve the July 17, 2012 meeting minutes.

Moved by Clark
Seconded by Strat

Yes: All

MOTION PASSED

3. APPROVAL OF AGENDA – No changes

4. HEARING OF CASES

A. VARIANCE REQUEST, MAGED MICHAEL FOR MNAD PROPERTY LLC, 3424 ROCHESTER – In order to construct additions to the existing building, 1) a 6 foot variance to the required 10 foot front yard setback and 2) a 65 foot variance to the required 75 foot rear yard setback.

Moved by Bartnik
Seconded by Lambert

RESOLVED, to grant the variance.

Yes: Courtney, Fisher, Kneale, Lambert, Strat, Bartnik
No: Clark

MOTION PASSED

- B. VARIANCE REQUEST, MARK FLEMING, 3820 VICTORIA COURT – In order to build a new house, 1) a 17 foot variance to the required 30 foot front yard setback and 2) a 27 foot variance to the required 40 foot rear yard setback.

Moved by Bartnik
Seconded by Strat

RESOLVED, to grant the variance.

Yes: All

MOTION PASSED

5. COMMUNICATIONS – None
6. MISCELLANEOUS BUSINESS – The Board discussed hand voting procedures but took no action.
7. PUBLIC COMMENT – None
8. ADJOURNMENT – The Zoning Board of Appeals meeting ADJOURNED at 9:13 p.m.

Respectfully submitted,

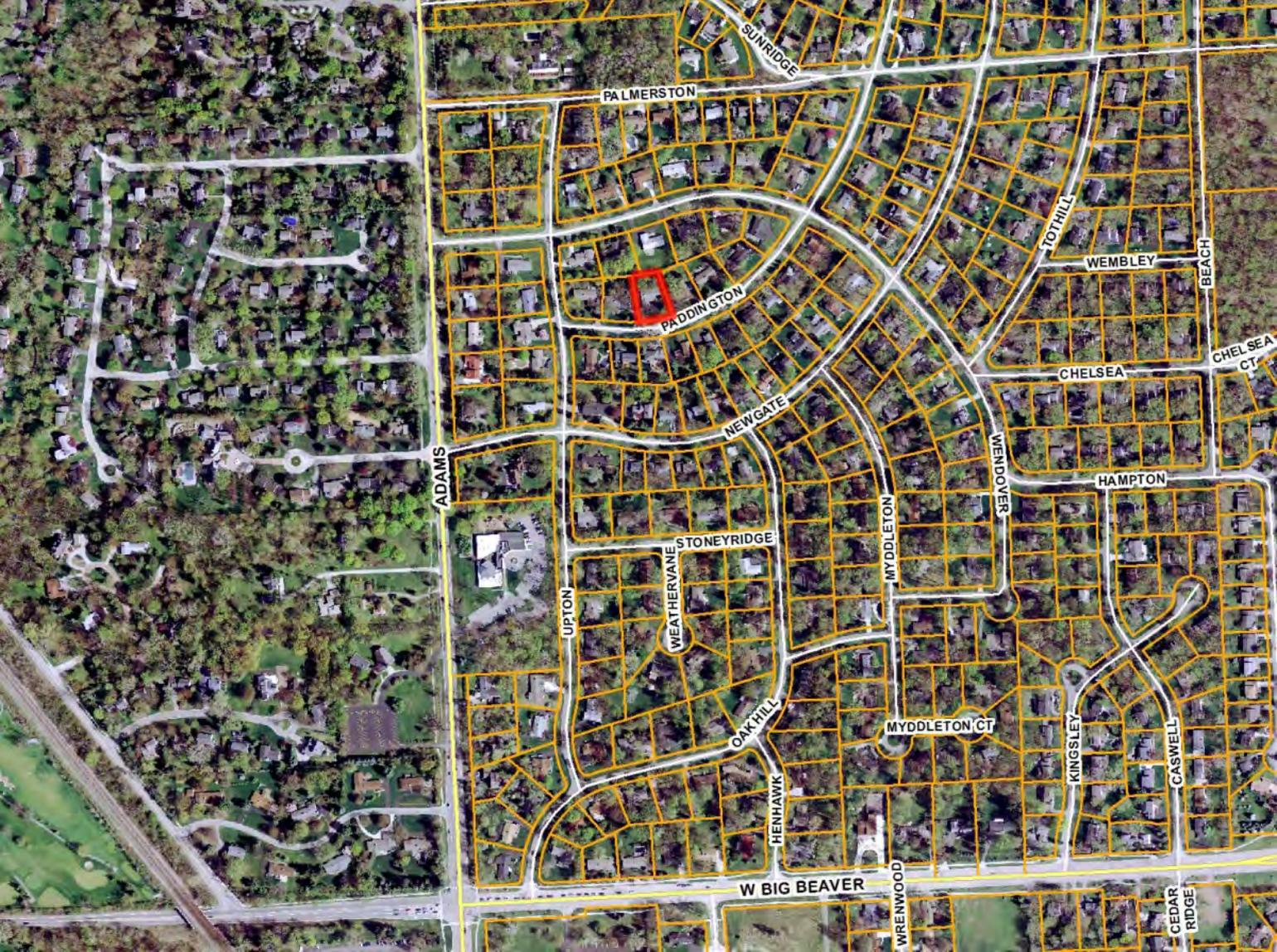
Allen Kneale, Chair

Paul Evans, Zoning and Compliance Specialist

4. HEARING OF CASES

- A. VARIANCE REQUEST, CARL GIORDANO FOR BOND BILT HOME IMPROVEMENT, 3333 PADDINGTON – In order to construct an addition to the home, a 5 foot variance from the required 45 foot rear yard setback.

SECTION: 4.06 (C)



PALMERSTON

SUNRIDGE

PADDINGTON

TOHILL

WEMBLEY

BEACH

CHELSEA

CHLSEA CT

NEWGATE

HAMPTON

ADAMS

UPTON

STONEYRIDGE

WEATHERVANE

MYDDLETON

WENDOVER

MYDDLETON CT

OAK HILL

KINGSLEY

CASWELL

W BIG BEAVER

WRENWOOD

CEDAR RIDGE

HENHAWK



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NO. 101

PADDINGTON

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ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov
<http://www.troymi.gov/CodeEnforcement/#>



REGULAR MEETING FEE \$150.00
SPECIAL MEETING FEE \$650.00

REGULAR MEETINGS OF THE CITY BOARD OF ZONING APPEALS ARE HELD ON THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION, WITH THE APPROPRIATE FEE, AT LEAST **27 DAYS BEFORE THE MEETING DATE.**

1. ADDRESS OF THE SUBJECT PROPERTY: 3333 Paddington Troy, Mi. 48084
2. PROPERTY TAX IDENTIFICATION NUMBER(S): _____
3. ZONING ORDINANCE SECTIONS APPLICABLE TO THIS APPEAL: Y
4. REASONS FOR APPEAL: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
6. APPLICANT INFORMATION:
NAME Carl Giordano
COMPANY Bond Built Home Improvement
ADDRESS 30140 Van Dyke Ste#103
CITY Warren STATE Mi. ZIP 48093
TELEPHONE 586-558-7500 cell# 586-634-5131
E-MAIL bondbuilt@gmail.com

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: Contractor

8. OWNER OF SUBJECT PROPERTY:

NAME Mike & Alejandra Barrera

COMPANY _____

ADDRESS 3333 Paddington

CITY Troy STATE mi. ZIP 48084

TELEPHONE (248) 434-7347

E-MAIL _____

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto

(PROPERTY OWNER) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT _____ DATE 8-21-12

PRINT NAME: Carl Giordano

Bono Built Home Improvement
SIGNATURE OF PROPERTY OWNER _____ DATE _____

PRINT NAME: _____

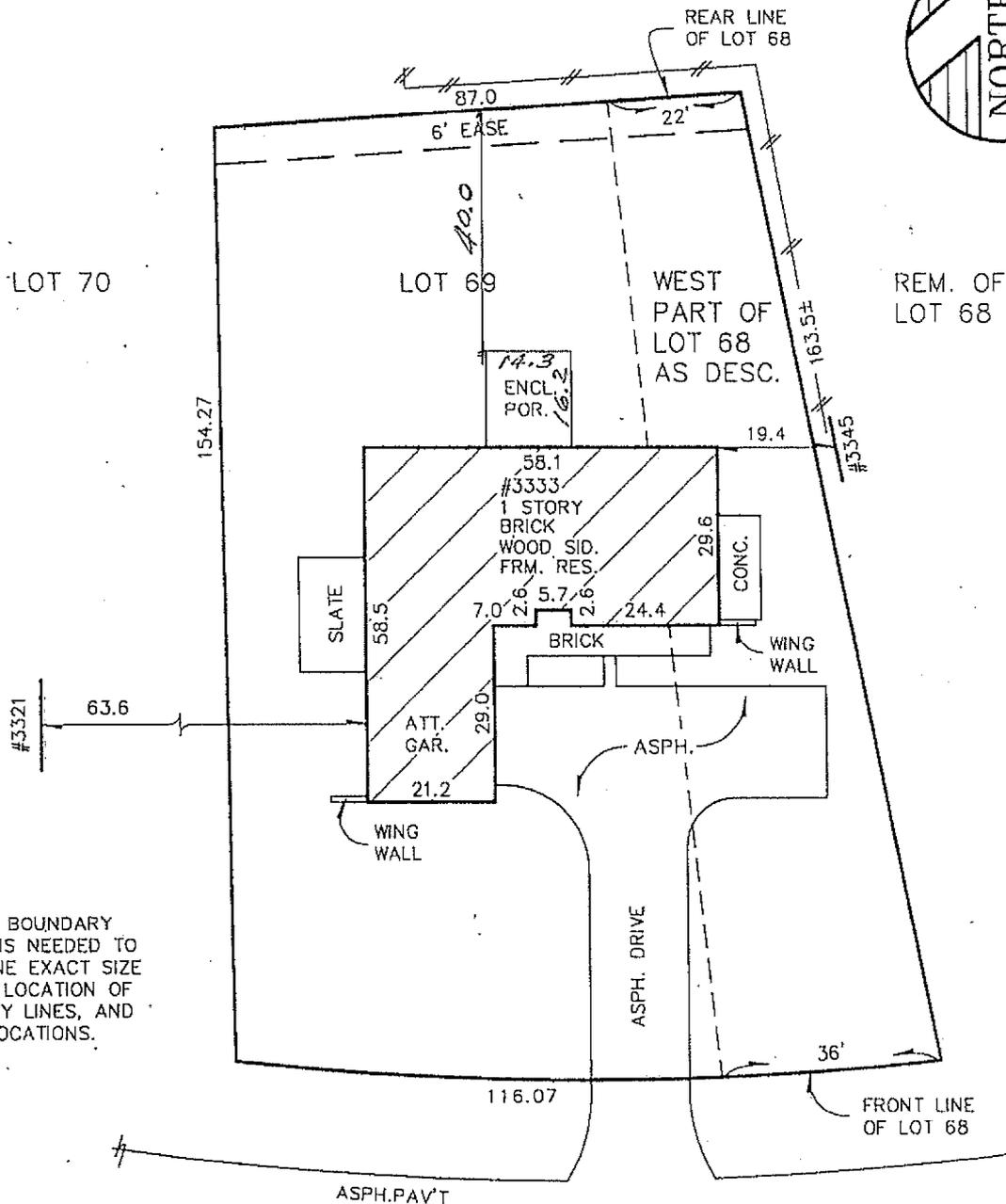
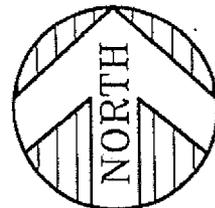
MORTGAGE SURVEY

Certified to: MICHAEL BARRERA

Applicant: MICHAEL BARRERA

Property Description:

Lot 69 and the West 22 feet at rear, and the West 36 feet of the front of Lot 68; WENDOVER, a subdivision of part of the S.W. 1/4 of Sec. 19, T.2 N., R.11 E., Troy Twp. (now City of Troy), Oakland County, Michigan, as recorded in Liber 43 of Plats, Page 36 of Oakland County Records.



NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES, AND FENCE LOCATIONS.

PADDINGTON ROAD 60' WD.



CERTIFICATE: we hereby certify that we have surveyed the above described property in accordance with the description furnished for the purpose of a mortgage loan to be made by the forementioned [redacted] and that the buildings located thereon do



Generated by REScheck-Web Software
Compliance Certificate

Project Title: paddington

Energy Code: 2009 IECC
 Location: Troy (Oakland), Michigan
 Construction Type: Single Family
 Project Type: Addition/Alteration
 Heating Degree Days: 6653
 Climate Zone: 5

Construction Site:
 3333 paddington
 troy, Michigan 48084

Owner/Agent:

Designer/Contractor:
 carl giordano
 bond built home improvement
 30140 van dyke, suite 103
 warren, Michigan 48093
 586-558-7500
 bondbuilt@gmail.com

Compliance Results

Compliance: **2.6% Better Than Code** Maximum UA: **78** Your UA: **76**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
 It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cond. R-Value	Glazing or Door U Factor	UA
Ceiling: Flat or Scissor Truss	232	49.0	0.0		6
Wall: Wood Frame, 24in. o.c.	376	19.0	0.0		14
Window: Vinyl Frame, 2 Pane w/ Low-E	85			0.300	26
Door: Glass	54			0.360	19
Floor: All-Wood Joist/Truss Over Uncond. Space	232	19.0	0.0		11

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2009 IECC requirements in REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

DANIEL B. SLOW, DRAFTSMAN *[Signature]* 7-19-12
 Name - Title Signature Date

VARIANCE REVIEW STANDARDS ZONING ORDINANCE SECTION 15.04 (E) (2)

Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
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- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.

a PROPERTY HAS A SLANTED REAR PROPERTY LINE THAT MAKES IT HARDER TO CONFORM - IRREGULAR SHAPE

B. IT IS, THIS LOT IS SLANTED

C. THEY ARE NOT

~~D~~

© THE EXISTING FOUNDATION & ENCLOSED PORCH THAT WE WANT TO UPGRADE IS THE EXACT SAME SIZE & LOCATION THAT HAS BEEN THERE FOR YEARS. THE LIGHT & AIR IS THE SAME, HAS NO BEARING ON CONGESTION IN THE STREETS IF ANYTHING THE PROPERTY VALUE WILL GO UP. IT WILL BE THE SAME SIZE AS EXISTING BUT WILL BE FRESHER & NEWER

4. HEARING OF CASES

- B. VARIANCE REQUEST, PASTOR SCOTT MORGAN FOR ZION CHRISTIAN CHURCH, 3668 LIVERNOIS – In order to conduct an outdoor special event (Fall Harvest Festival) on Wednesday, October 31, 2012, a variance from the requirement that the hours of operation end no later than 8:00 pm. Applicant requests the event end at 9:00 pm.

SECTION: 7.13 I (3)



CRESTFIELD

HANOVER

TANNER

E WATTLES

W WATTLES

VIRGILIA

MIRACLE

ELIZABETH

SCOTTSDALE

BARBARA

WENDELTON

RUTHLAND

KIRK

LIVERNOIS

MILLSTONE

TIMBERVIEW

CHERISHED VIEW

COLEBROOK

TROMBLEY



WENDELTON

KIRK

MILLSTONE

TIMBERVIEW

LIVERNOIS

COLEBROOK

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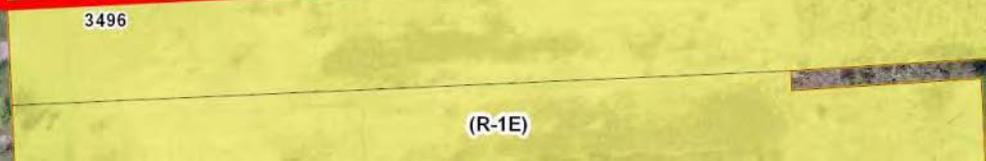
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LIVERNOS

ZONING BOARD OF APPEALS APPLICATION

RECEIVED

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov
<http://www.troymi.gov/CodeEnforcement/#>



SEP 10 2012
FEE \$150.00
PLANNING

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 3668 Livernois Rd.
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-22-101-034
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: 7.13
4. REASONS FOR REQUEST: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: Troy Family Daze Sept 2011 & 2012; Fall Harvest Festival Oct 31, 2011
6. APPLICANT:
NAME Pastor Scott Morgan
COMPANY Zion Christian Church
ADDRESS 3668 Livernois Rd.
CITY Troy STATE MI ZIP 48083
PHONE 248-524-2400
E-MAIL scott.morgan@zionchristian.org
AFFILIATION TO THE PROPERTY OWNER: Children's Ministry Pastor

8. PROPERTY OWNER:

NAME Zion Christian Church Foundation
COMPANY _____
ADDRESS 3668 Livernois Rd.
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-524-2400
E-MAIL richard.ramsdell@zionchristian.org

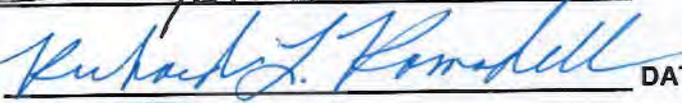
The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, ZCC Foundation (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 9/10/12

PRINT NAME: SCOTT D. MORGAN

PROPERTY OWNER SIGNATURE  DATE 9/10/12

PRINT NAME: RICHARD L. RAMSDELL

BUSINESS ADMINISTRATION EXECUTIVE

Failure of the applicant or their authorized representative to appear before the Board, as scheduled, shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.



September 10, 2012

City of Troy
Zoning Board of Appeals
500 W. Big Beaver
Troy, MI 48084

Re: Variance Request, Zion Christian Church
Fall Harvest Festival

The variance requested by Zion Christian Church is to allow our Fall Harvest Festival to last until 9:00 PM on October 31st. The church has held this Fall Harvest event between 6:00 PM and 9:00 PM on Halloween night for the past 18 years, without any adverse impact on the neighborhood or the community. This event represents a normal activity level when compared to our on-going church activities. The impact on the surrounding area is no greater than when we hold late evening services, or play softball or soccer on the athletic fields, in terms of cars arriving/leaving, noise levels, parking, lighting, etc. Our physical location and layout is such that it is unlikely any of our neighbors will even notice that a special event is occurring on the property that night. Physical distances and lines of sight are such that someone would probably have to come onto the property to be able to see or hear any evidence of the event.

Not being able to have the event last until 9:00 PM will present a practical difficulty for the families who are most likely to attend. Many family members don't get home from work until 6:00 PM or later, making it likely they cannot get to the festival until 7:00 PM at the earliest. Having the event last only until 8:00 PM makes attendance impractical for many families, and would significantly diminish the community benefit of the event. This is a Halloween night event, with Halloween falling on a Wednesday in 2012. It is our desire to make a night of games, candy and contests available to as many families as possible. Event hours from 6:00 PM to 9:00 PM will make it practical for families to come and to stay for a reasonable amount of time.

Granting of the variance has no impact on the property or the surroundings in a physical sense, and will not impact the neighbors or the community at large in any noticeable way.

We seek your approval for the one hour variance to allow us to avoid the practical difficulties presented by the 8:00 PM ordinance requirement. Thank you for your consideration.

Respectfully,

Pastor Scott Morgan
Children's Pastor

Richard L. Ramsdell
Business Administration Executive

3668 LIVERNOIS TROY MI 48083 PHONE 248.524.2400 FAX 248.524.1408 WEBSITE www.zionchristian.org

CITY OF TROY OUTDOOR SPECIAL EVENT APPLICATION

PROVIDE 3 COPIES OF A COMPLETED APPLICATION AND ALL ACCOMPANYING DOCUMENTS

CITY OF TROY PLANNING DEPARTMENT
 500 W. BIG BEAVER
 TROY, MICHIGAN 48084
 248-524-3364
 FAX: 248-524-3382
 E-MAIL: planning@troymi.gov



RECEIVED

SPECIAL EVENT FEE: (\$25.00)

SEP - 5 2012

PLANNING

1. NAME OF THE PROPOSED EVENT: ZCC FALL HARVEST FESTIVAL
 2. LOCATION OF THE SUBJECT EVENT: ZION CHRISTIAN CHURCH
 3. PROPERTY IDENTIFICATION NUMBER: 88-20-22-101-034

<p>4. APPLICANT FOR SPECIAL EVENT APPROVAL:</p> <p>NAME: <u>JACKIE DUNCAN</u></p> <p>COMPANY: <u>ZCC</u></p> <p>ADDRESS: <u>3148 S LIVERNOIS</u></p> <p>CITY: <u>TROY</u> STATE: <u>MI</u> ZIP: <u>48083</u></p> <p>TELEPHONE: <u>248-524-2400</u></p> <p>E-MAIL: <u>JACKIE.DUNCAN@ZIONCHRISTIAN.ORG</u></p>	<p>OWNER OF THE SUBJECT PROPERTY:</p> <p>NAME: <u>ZCC FOUNDATION</u></p> <p>COMPANY: _____</p> <p>ADDRESS: <u>3148 S LIVERNOIS</u></p> <p>CITY: <u>TROY</u> STATE: <u>MI</u> ZIP: <u>48083</u></p> <p>TELEPHONE: <u>248-524-2400</u></p> <p>E-MAIL: <u>RICHARD.RAMSDALE@ZIONCHRISTIAN.ORG</u></p>
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5. DATE(S) OF EVENT: Oct. 31 FROM: 6:00 AM/PM TO: 9:00 AM/PM

6. WILL TENTS BE ERECTED? (IF YES, SEE ATTACHMENT FROM FIRE DEPARTMENT) YES: NO:

7. WILL FOOD BE SOLD/SERVED? (IF YES, CALL OAKLAND COUNTY HEALTH DIVISION @ 248-424-7190) YES: NO:

8. TEMPORARY LIGHTING OR ELECTRICAL? (IF YES, OBTAIN ELECTRICAL PERMIT AND ARRANGE INSPECTION WITH TROY BUILDING DEPARTMENT 248 524-3344) YES: NO:

9. ADDITIONAL SIGNS? YES: NO:

10. SIGNATURE OF APPLICANT: Jackie Duncan DATE: 9/5/12

11. SIGNATURE OF PROPERTY OWNER: Richard L. Ramsdell DATE: 9/5/12

ZIONCHRISTIAN.ORG

ZCC Fall Harvest Festival Event October 31, 2012

Vision and Purpose:

To provide the community with an alternative to Halloween for families to enjoy wholesome, positive and fun-filled entertainment

To provide an outreach event which draws new families who are looking for a church home

To provide a time of fellowship and an opportunity for unified effort for the volunteers and members of Zion & the surrounding community

Offerings for the event:

We will offer carnival type games in both the gym and in the tent to be erected outside the gym for kids to play.

We will distribute candy to children who attend as rewards to games as well as general distribution.

We will provide a petting farm/pony ride experience.

We will provide outdoor activities including a variety of inflatables.

We will offer concessions inside the gym using the kitchen in the gym as our base for the food prep.

We will also host prize drawings, a costume contest, face painting and other activities in the gym over the course of the evening.

Additionally we offer a small hay ride for those who want to sit a few minutes with their kids as they ride on the hay trailer around our property.

Trash, Traffic and Restrooms:

Trash will be collected in containers strategically placed both inside and outside the gym. These will include containers close to the food area but also containers scattered around the activity areas for those who might need them.

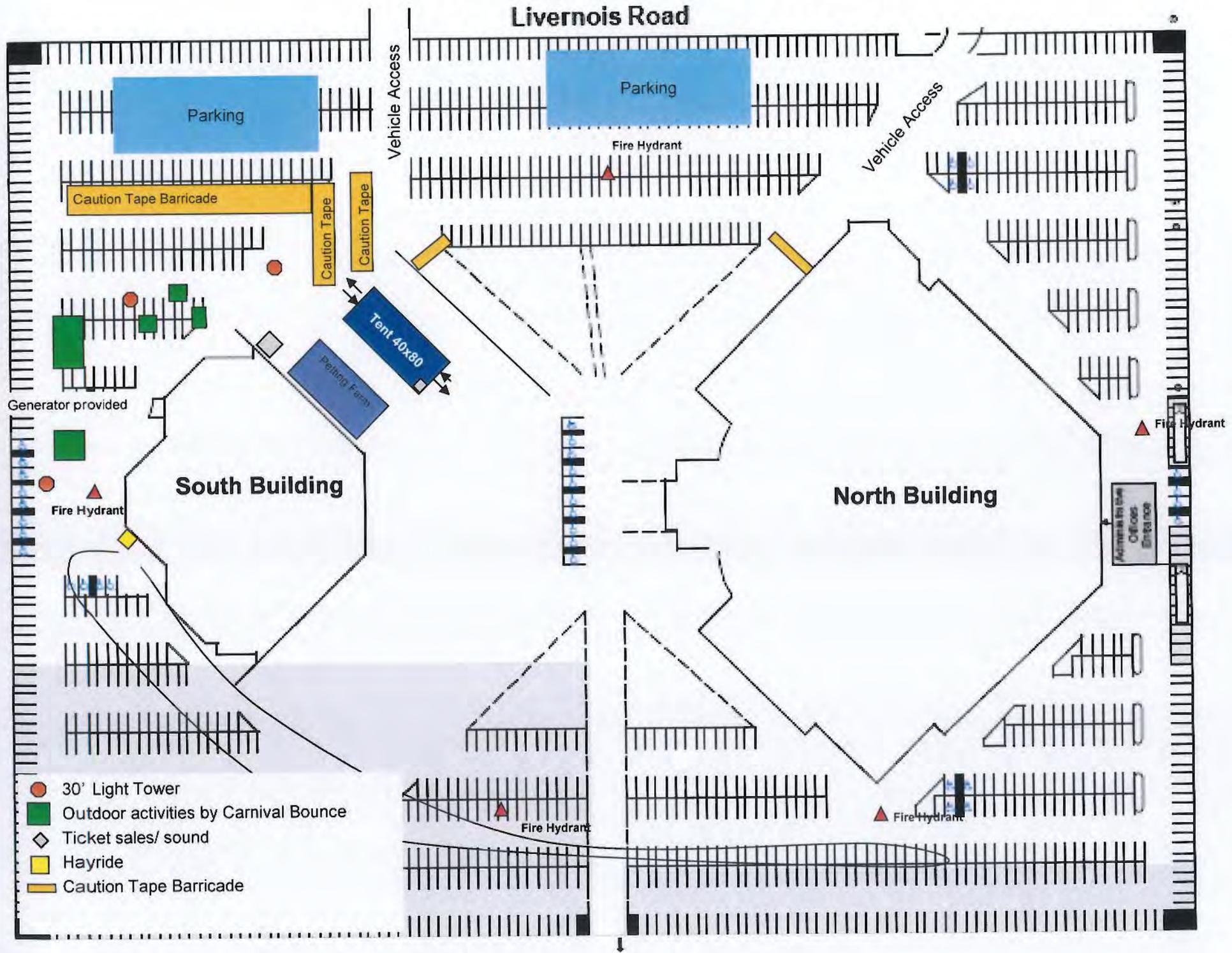
Traffic flow will be altered so that no vehicular traffic will be allowed near pedestrian or game areas. Parking will be on the west side of the parking area around the gym, closest to the west berm. Additional parking toward the North building will also be used.

Traffic flow will be managed by security personnel and by the use of cones or orange construction fencing which will provide a barrier around areas that require protection such as pedestrian traffic areas and game areas.

No regular traffic will be allowed behind the gym building.

Restrooms are available inside the gym building on either side of the gym area (2 for men, 2 for women). These will be monitored through the evening for supply and cleanliness.

ZCC Fall Harvest Festival, Oct 31, 2012



The Zoning Board of Appeals meeting was called to order by Chair Lambert at 7:30 p.m. on October 18, 2011, in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Michael Bartnik
Kenneth Courtney
William Fisher
Allen Kneale
David Lambert
Thomas Strat

Absent

Glenn Clark

Also Present:

Paul Evans, Zoning and Compliance Specialist
Susan Lancaster, Assistant City Attorney

2. APPROVAL OF MINUTES – September 20, 2011

Moved by Courtney
Seconded by Bartnik

RESOLVED, to approve the September 20, 2011 meeting minutes.

Yes: All present
Absent: Clark

MOTION PASSED

3. APPROVAL OF AGENDA – No changes

4. HEARING OF CASES

A. VARIANCE REQUEST, PASTOR SCOTT MORGAN, ZION CHRISTIAN CHURCH, 3668 LIVERNOIS – In order to conduct an outdoor special event (Fall Harvest Festival) on Monday, October 31, 2011, a variance from the requirement that hours of operation end no later than 8:00 p.m. Applicant requests the event end at 9:00 p.m.

Moved by Courtney
Seconded by Fisher

RESOLVED to grant the variance as requested.

Yes: All present
Absent: Clark

MOTION PASSED

5. COMMUNICATIONS – Chairman Lambert confirmed Board member's receipt of the most recent edition of the Michigan Association of Planning magazine. Chair Lambert advised the Board that Member Kneale and himself were reappointed to the Board for 3 year terms.
6. PUBLIC COMMENT – No public present.
7. MISCELLANEOUS BUSINESS – The Board requested information from the City Attorney's Office and Staff concerning the acceptability of the content of their written meeting minutes. Board member Neale asked if staff could examine the possibility of indexing the online videos of the Board meetings to make it easier for users to get to specific meeting items.
8. ADJOURNMENT – The Zoning Board of Appeals meeting ADJOURNED at 9:00 p.m.

Respectfully submitted,

David Lambert, Chair

Paul Evans, Zoning and Compliance Specialist

4. HEARING OF CASES

- C. VARIANCE REQUEST, SILVANA AND ZORAN INIC, 6285 ROCHESTER
– In order to construct an addition to the house, a 15.84 foot variance to the required 40 foot front yard setback.

SECTION: 4.06 (C)

358

340

322

304

6325

6295

6285

6273

6245

1055

1057

1059

1061

1056

1058

1060

1062

ROCHESTER

VILLA PARK

358

340

322

304

6325

6295

6285

6273

6245

(R-1B)

1055

1057

1059

1061

1056

1

1

1

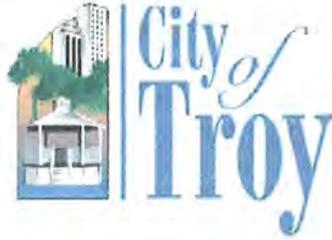
1

ROCHESTER

VILLA PARK
(R-1D)

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov
<http://www.troymi.gov/CodeEnforcement/#>



REGULAR MEETING FEE \$150.00
SPECIAL MEETING FEE \$650.00

REGULAR MEETINGS OF THE CITY BOARD OF ZONING APPEALS ARE HELD ON THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION, WITH THE APPROPRIATE FEE, AT LEAST **27 DAYS BEFORE THE MEETING DATE.**

1. ADDRESS OF THE SUBJECT PROPERTY: 6285 Rochester Road, Troy., MI 48085
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-03-401-023
3. ZONING ORDINANCE SECTIONS APPLICABLE TO THIS APPEAL: _____
4. REASONS FOR APPEAL: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
6. APPLICANT INFORMATION:
NAME Silvana and Zoran Inic
COMPANY _____
ADDRESS 6285 Rochester Road
CITY Troy STATE MI ZIP 48085
TELEPHONE (586) 306-1491
E-MAIL silvana731@yahoo.com

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: owners

8. OWNER OF SUBJECT PROPERTY:

NAME Silvana and Zoran Inic

COMPANY _____

ADDRESS 6285 Rochester Road

CITY Troy STATE MI ZIP 48085

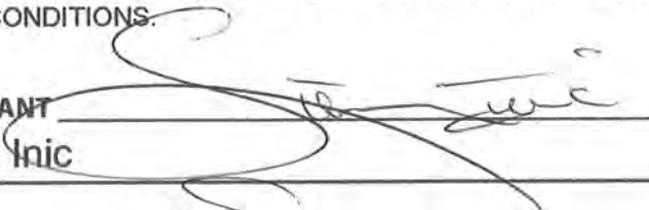
TELEPHONE (586) 306-1491

E-MAIL silvana731@yahoo.com

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto

I, Silvana Inic (PROPERTY OWNER) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT  DATE 09-17-2012

PRINT NAME: Silvana Inic

SIGNATURE OF PROPERTY OWNER  DATE 09-17-2012

PRINT NAME: Silvana Inic

CERTIFICATE OF SURVEY

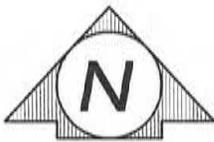
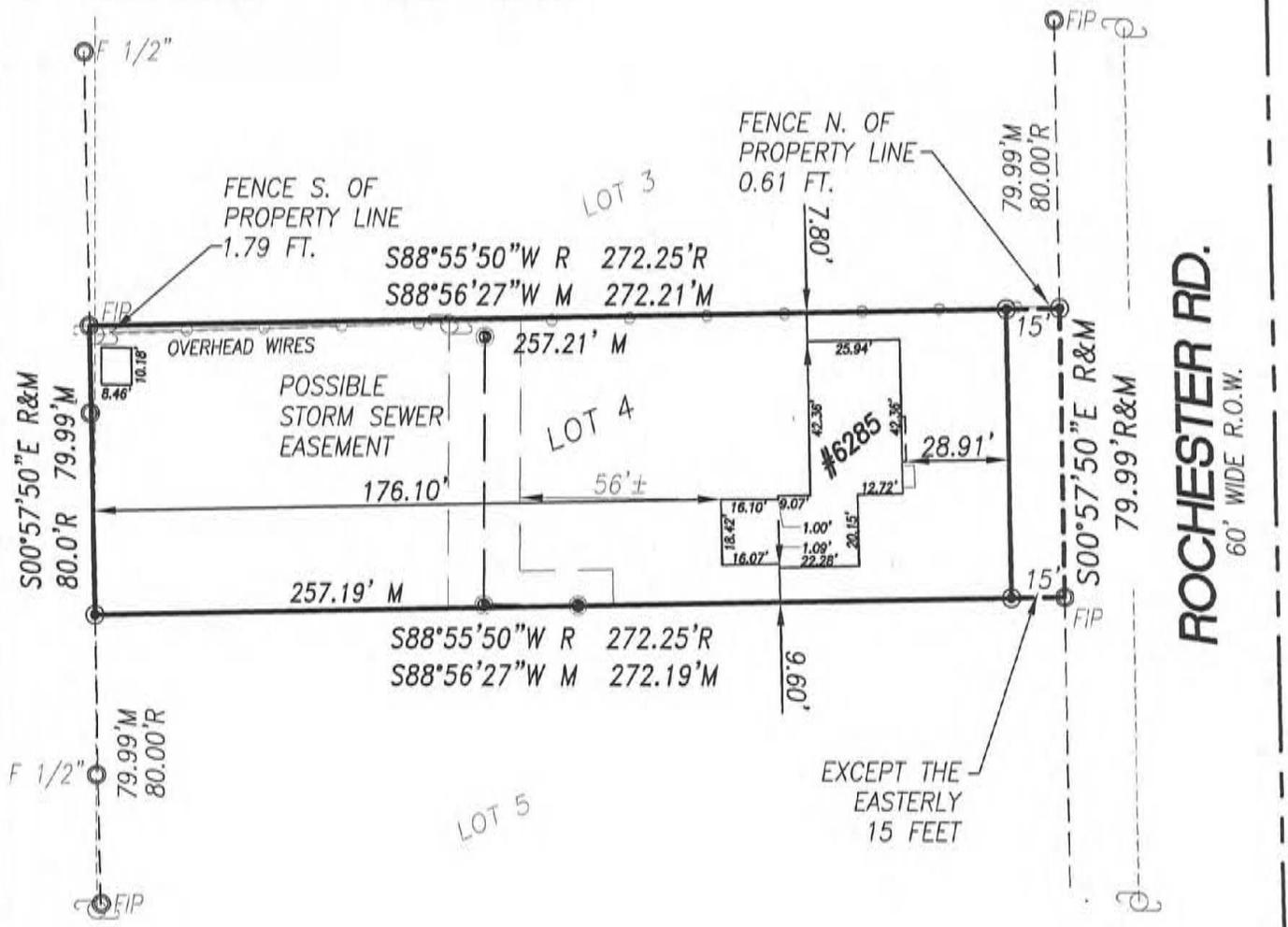
LOT 4 EXCEPT THE EASTERLY 15 FEET TAKEN FOR ROCHESTER ROAD OF "GOLF ESTATES" A SUBDIVISION OF A PART OF THE S.E. 1/4 OF SECTION 3, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.58 OF PLATS, P.23, O.C.R.

LEGEND:

- FOUND IRON
- SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE
- ⊙ STORM MANHOLE

ZONING:

RESIDENTIAL R-1B
 SETBACKS:
 FRONT = 40 FT.
 SIDE = 10 FT.
 REAR = 45 FT.



SCALE: 1" EQ. 50'

I HEREBY STATE THAT I HAVE SURVEYED AND MAPPED THE LAND PLATTED AND/OR DESCRIBED ABOVE ON MARCH 13, 2012 AND THAT ALL OF THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970, AS AMENDED, HAVE BEEN COMPLIED WITH.

BASIS OF BEARING: THE EAST LINE OF LOT 4 PER PLAT (S00°57'50"E)

PREPARED FOR:
 ZORAN & SILVANA INIC
 6285 ROCHESTER ROAD
 TROY, MI 48085
 586 306-1491

SHEET: 1 OF 1



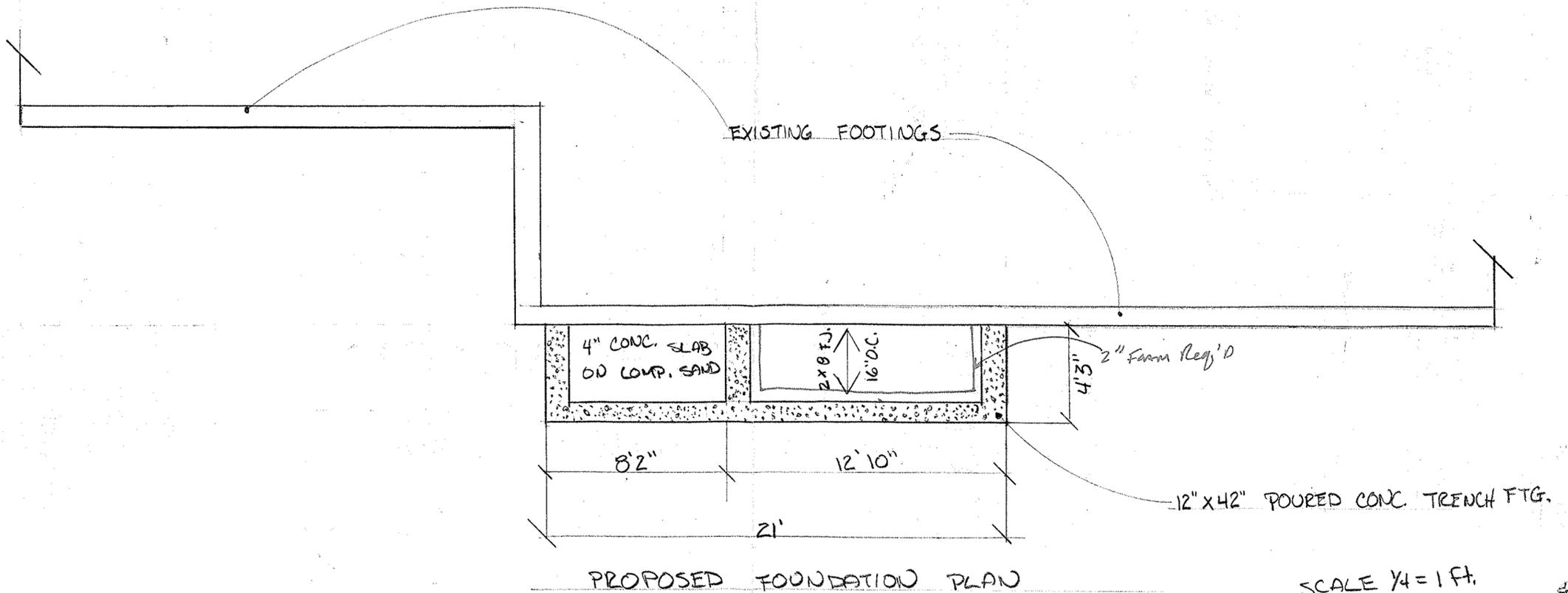
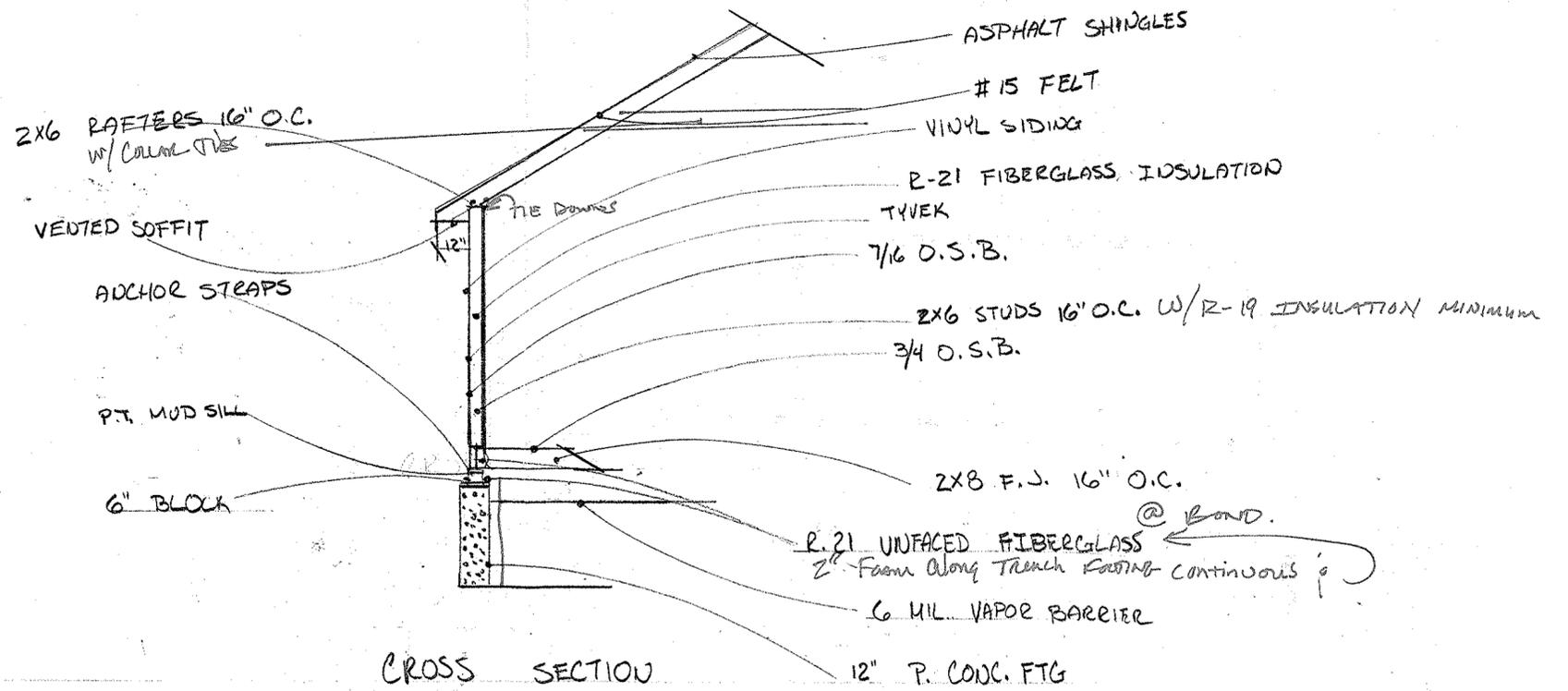
Bradley G. Reichert
 BRADLEY G. REICHERT P.S. #55923

Scale: 1"=50'
 Date: 3/13/12
 Job No. G12-018
 Drawn: B.G.R.

REICHERT SURVEYING INC.
 140 FLUMERFELT LANE
 ROCHESTER, MICH. 48306
 P:(248) 651-0592 F:(248) 656-7099
 EMAIL:MAIL@REICHERTSURVEYING.COM

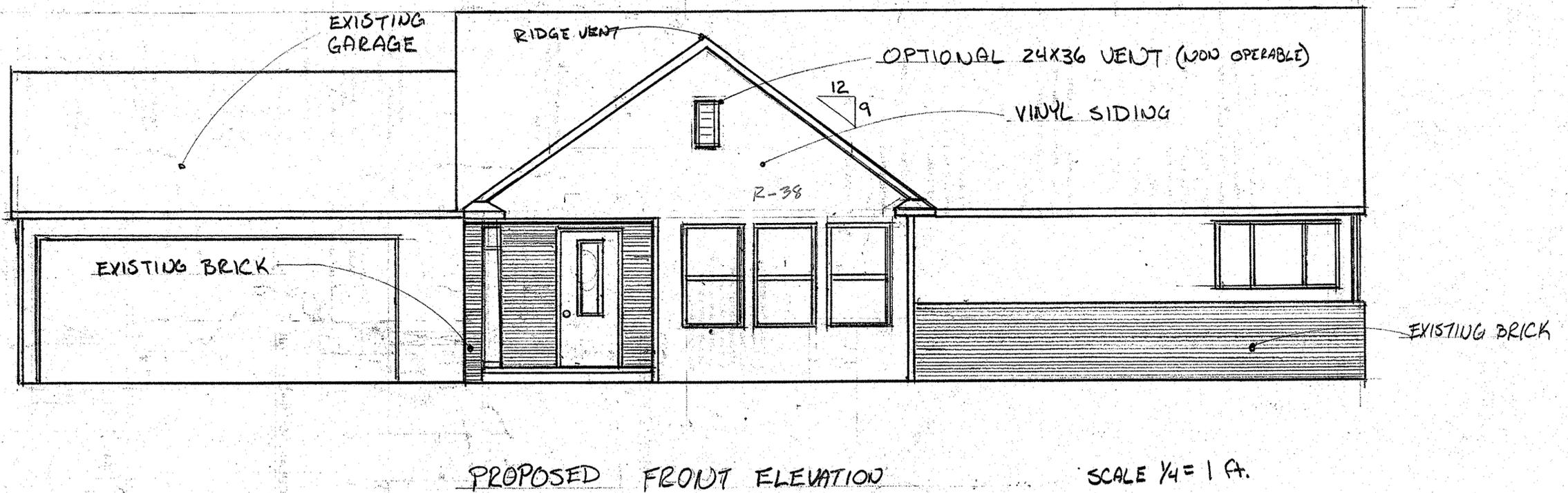
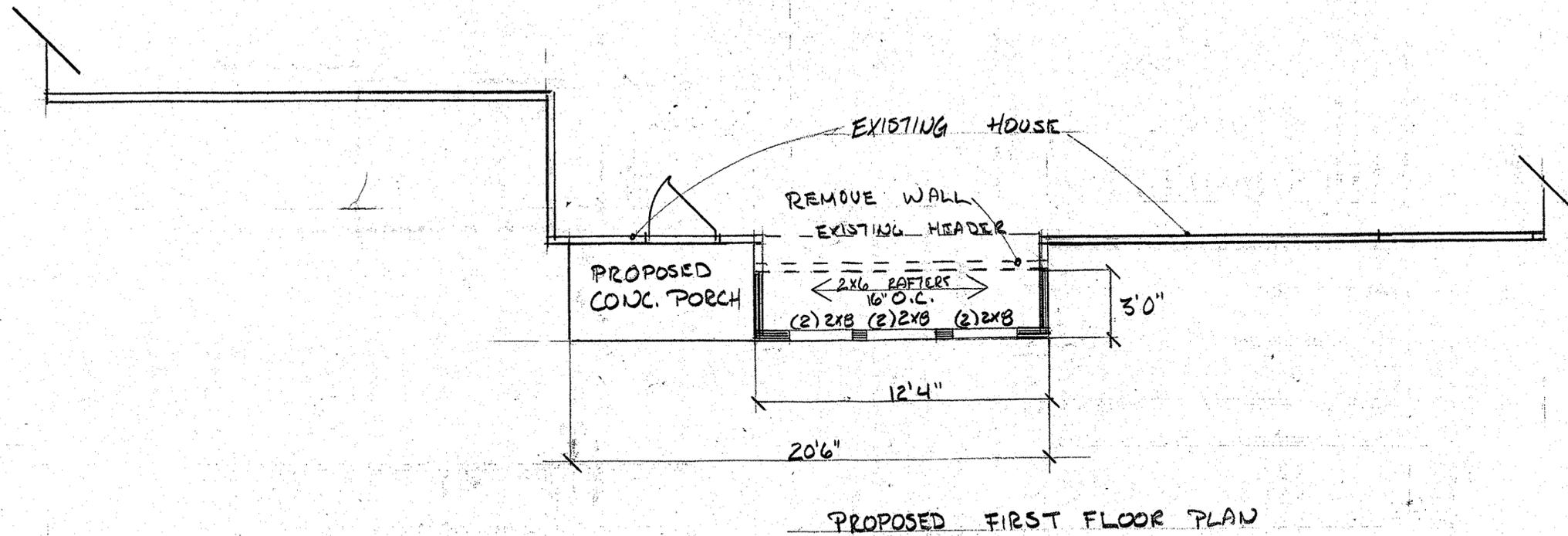


DATE:	REV. BY:



SCALE 1/4" = 1 FT.

EPT.



RECEIVED
 FEB 28 2012
 CITY OF TROY
 BUILDING DEPT.



6285

September 17, 2012

City of Troy Planning Department
Zoning Board of Appeals

RE: Proposed project at 6285 Rochester Road

My name is Silvana Inic. My husband and I purchased our very first home back in 2010 and ever since that day, we have been cleaning up the property with great hope that our children can have a safe environment to grow up in.

Currently we have an elevated, boxed window with no footings and a broken down porch. We need to have proper footings with good insulation. We also have no type of overhead protection from rain or snow when entering our home from the front porch and these are the reasons that we would like to add the new bump-out with a new roof over it and a porch that is sturdy and proper.

The wall will be brought up so that the windows will not sit at floor level where kids can break or shatter them and get hurt; safety is very important, yet this is what we currently have.

This project will in no way be a hazard to any of our neighbors nor will it be something that would impair light, air or any type of congestion to the surroundings. The new look for this home will not take away from the original building, it will only enhance it and give it that look as though it had always been there. The roof, eaves and siding will match that of the existing structure. All demolition, debris and clean up will be done properly and efficiently so that we do not interfere or impair the safety of our neighbors or even the general public.

I have enclosed a copy of our site plan which shows our existing dimensions and setbacks, pictures of the boxed window and porch as well as the plans for the new construction; and at this time request for a zoning/setback variance so that we may begin on this project.

The current required front yard setback is 40' and we are at 28.91' which means I need a variance of 15.84' from the front yard setback for this proposed project.

Please feel free to visit the property and take a closer look at the current condition.

I would like to thank you in advance for taking the time to review my request.

Sincerely,


Silvana Inic

Variance Review:

- a) Exceptional characteristics of the property will be in compliance within the zoning district once the variance is approved. The front yard setback for our area is 40' and our house sits at 28.91' which means we would need an approval of 15.84' to comply.
- b) The location in question is at 6285 Rochester Road, Troy MI 48085. Please feel free to visit the location and examine the existing structure of the elevated, boxed window that has no footings, no insulation, no overhead protection from natural elements like rain or snow and a porch that is falling apart.
- c) The current condition is a hazard to even a simple pizza delivery or ups delivery or even a neighbor stopping by. The porch is in horrible shape and is falling apart. We would love to complete the entire project at the same time; meaning the window, the roof and porch so that we do not have trucks and material coming in all of the time, which will make for a simple and clean project.
- d) The home was built in 1954 and was never remodeled, that's the reason that everything is falling apart. It would be great to have a home with no fixing necessities; unfortunately that is not the case here.
- e) This project will in no way be a hazard to any of our neighbors nor will it be something that would impair light, air or cause any type of congestion to the surroundings. The new look for this home will not take away from the original building, it will only enhance it and give it that look as though it had always been there. The roof, eaves, siding, etc., will match that of the existing structure. All demolition, debris and clean up will be done properly and efficiently so that we do not interfere or impair the safety of our neighbors or even the general public who might be simply taking a walk down the street.

**RE: Addition**

Thursday, August 30, 2012 2:07 PM

From: "Steve Burns" <S.Burns@troy.mi.gov>
To: "Silvana Todorovska" <silvana731@yahoo.com>

Silvana,

Your zoning district requires a 40' front yard setback from structures to the lot line.

We know that your house is 28.91' from the front lot line and you want to add 4'-3" towards that lot line. That would put the front of the structure at 24.16' from the lot line.

Therefore you would need a variance of 15.84' from the required 40' front yard setback.

Best of luck.

Steve Burns
Building Official

City of Troy
Building Department
248-524-3348

Nothing in this message is intended to constitute an electronic signature unless a specific statement to the contrary is included.

Confidentiality Note: This message is intended only for the person or entity to which it is addressed. It may contain confidential and/or privileged material. Any review, transmission, dissemination or other use, or taking of any action in reliance upon this message by persons or entities other than the intended recipient is prohibited and may be unlawful. If you received this message in error, please contact the sender and delete it from your computer.

From: Silvana Todorovska [mailto:silvana731@yahoo.com]
Sent: Thursday, August 30, 2012 12:41 PM
To: Steve Burns
Subject: Re: Addition

Hi Steve,

It's been a while since I initially approached you with my plans about the addition at my home on 6285 Rochester Road. I still have intentions on moving forward to apply for the zoning variance with the planning department, but I have a question for you about the encroachment. You previously told me that I would be at a 4'-3" encroachment into the required setback. How much of an encroachment would I be at now, knowing that the front yard setback requirement is 40', my structure sits at 28.91' and with the dimensions of the new addition being proposed?

If you have the time, could you please take a look at the plan that I have given you, provided you still have it and give me an answer. How do you calculate that information anyway, I have no clue?

Thank you so much for your time and help, I really appreciate it.

Silvana Inic

--- On Wed, 2/29/12, Steve Burns <S.Burns@troymt.gov> wrote:

From: Steve Burns <S.Burns@troymt.gov>
Subject: Addition
To: silvana731@yahoo.com
Date: Wednesday, February 29, 2012, 10:35 AM

Silvana,

We are in receipt of your plans and application to construct a porch and first floor addition. We are complete with our review per the 2009 MRC with notes as discussed at the counter.

However, we cannot further process your application at this time due to zoning ordinance setback requirements. Per Article 4 Chapter 39 of the zoning ordinance your home is located in the R1-B zoning district. The R1-B zoning district requires a 40' front yard setback from the front property line. Our records currently show your existing structure is at 30'. This would equal a 4'-3" encroachment into the required front yard setback.

You may print a copy of this email and apply for a zoning variance at the City of Troy Planning Department if you would like.

Without a setback variance from the Board of Zoning Appeals we cannot further process your permit.

Please feel free to contact me if you have any questions.

Thanks,

Steve Burns
Building Official
SAFEbuilt®
City of Troy
Building Department
248-524-3348

**Addition**

Wednesday, February 29, 2012 10:35 AM

From: "Steve Burns" <S.Burns@troymt.gov>
To: silvana731@yahoo.com

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Without a setback variance from the Board of Zoning Appeals we cannot further process your permit.

Please feel free to contact me if you have any questions.

Thanks,

Steve Burns
Building Official
SAFEbuilt®
City of Troy
Building Department
248-524-3348

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The screenshot displays a GIS web application interface. On the left, a **Layer List** panel contains the following items: Aerial Photography, Administrative, Base Map Layers, Document Management, Engineering, Parcel Data, Parks & Recreation, Planning & Landuse, Site Location, Transportation, Utilities, and Golf Course. Below this list is a **Show Legend** button. The **Selection** panel below that includes **Zoom To All**, **Report**, and **Clear** buttons, and a text area showing **Parcels (1)**. The main map area shows aerial photography with three parcels outlined in black and labeled with large white numbers: **6295** (top), **6285** (middle), and **6273** (bottom). A toolbar at the top contains various icons for navigation and analysis, including **M**, **Out**, **Pan**, **Back**, **Forward**, **Full**, **Identify**, **Measure**, **Search**, **Rect**, **Export**, **Print**, **Link**, and **Map Top**. A **Toolbox** icon is also present. At the bottom of the map area, a scale of **1:495** and a **Section 1** dropdown menu are visible.

WINDOWS

Remove this label after final inspection; SAVE for future reference



Pella Corporation
 25 Premium New Construction
 Double Hung
 Annealed
 One Wide
 Advanced Low-E
 Argon Gas
 Vinyl Frame



ENERGY PERFORMANCE RATINGS

U-Factor	Solar Heat Gain Coefficient
0.30 <small>(U.S./I-P)</small>	0.28
1.70 <small>(Metric/SI)</small>	

ADDITIONAL PERFORMANCE RATINGS

Visible Transmittance	--
0.53	

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use. For more information, call (641)621-3114 or visit Pella's web site at www.pella.com or visit NFRC's web site at www.nfrc.org

Wind Load Design Pressure (DP) (psf)
+35/-35
 Per ASTM E330

ENERGY STAR® Qualified in Highlighted Regions



WDMA WINDOW AND DOOR MANUFACTURERS ASSOCIATION www.wdma.com	HALLMARK	CERTIFIED	R35 (Performance Grade 35) Tested to ANSI/AAMA/NWDA 101A.9.2-97 H-R35 36,000"x62.00 Tested to AAMA/WDMA/CGA 101A.9.2/A440-08 HR35 914x1574 (36,000"x62.0
WDMA License Number: 411-H-859			
<small>Manufacturer Stipulates Conformance to the applicable standards</small>			

WDMA Hallmark Certification. Pella products labeled with the Window & Door Manufacturers Association (WDMA) Hallmark Certification are tested in accordance with applicable WDMA performance standards, which requires products be tested for air infiltration, water infiltration, and structural performance. Performance of Pella products will change over time depending upon the conditions of use. For details on Hallmark Certification, go to www.wdma.com.

Complies with HUD 111 (Gettysburg, PA)
 Meets or exceeds M.E.C., C.E.C., and I.E.C.C. Air Infiltration Requirements
 Florida Product Approval System (FPAS) Number: FL11152

Glazing type and thickness: Annealed, 2.5MM both panes, designed per ASTM E1300
 Window or Door Actual Size: 31.500" wide by 53.500" tall

RECEIVED
 FEB 28 2012
 CITY OF TROY
 BUILDING DEPT.



6285



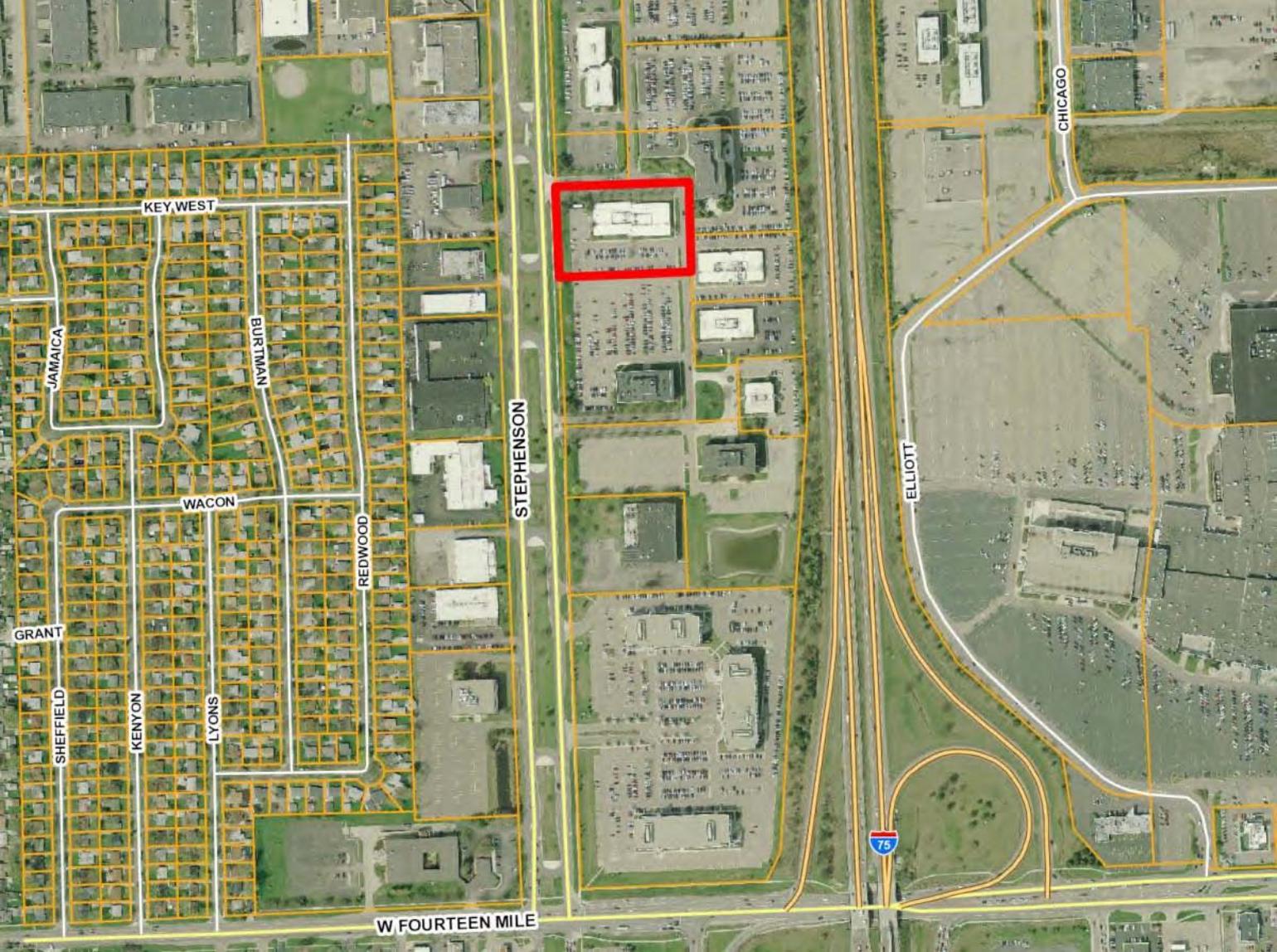


6285

4. HEARING OF CASES

- D. **VARIANCE REQUEST, JIM BARDY FOR CONTINENTAL SERVICES, 700 STEPHENSON HWY** – A variance to place/construct the following improvements in the front yard: a trash container, a loading area, and a maneuvering area. The Zoning Ordinance does not allow these items in the front yard.

SECTIONS: 4.18 (D) (2) and 13.03 (B) (3)



KEY WEST

JAMAICA

BURTMAN

WACOU

REDWOOD

STEPHENSON

GRANT

SHEFFIELD

KENYON

LYONS

W FOURTEEN MILE

CHICAGO

ELLIOTT

75



755

711

601

STEPHENSON

700

750

650

600

75

(IB)

755

(IB)

711

601

STEPHENSON

(RC)

700

750

650

(OM)

(O) 600

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov
<http://www.troymi.gov/CodeEnforcement/#>



REGULAR MEETING FEE **\$150.00**
SPECIAL MEETING FEE **\$650.00**

REGULAR MEETINGS OF THE CITY BOARD OF ZONING APPEALS ARE HELD ON THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE APPLICATION, WITH THE APPROPRIATE FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 700 Stephenson Hwy, Troy, MI 48083
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-35-327-019
3. ZONING ORDINANCE SECTIONS APPLICABLE TO THIS APPEAL: Section 13.03 & 4.18.D.2
4. REASONS FOR APPEAL: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No. Revision to approval granted March 2012
6. APPLICANT INFORMATION:
NAME Jim Bardy
COMPANY Continental Services
ADDRESS 35710 Mound Road
CITY Sterling Heights STATE MI ZIP 48310
TELEPHONE 586-939-3600
E-MAIL j.bardy@continentalserv.com

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: Owner

8. OWNER OF SUBJECT PROPERTY:

NAME Jim Bardy

COMPANY Continental Services

ADDRESS 35710 Mound Road

CITY Sterling Heights STATE MI ZIP 48310

TELEPHONE 586-939-3600

E-MAIL j.bardy@continentalserv.com

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto

I, Jim Bardy (PROPERTY OWNER) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT [Signature] DATE 9/18/12

PRINT NAME: JAMES BARDY

SIGNATURE OF PROPERTY OWNER [Signature] DATE 9/18/12

PRINT NAME: JAMES BARDY

**WRITTEN EXPLANATION FOR ZONING APPEAL
PROPERTY: 700 STEPHENSON HWY**

September 19, 2012



**ZONING BOARD OF APPEALS
CITY OF TROY MICHIGAN**

Though further refinement of our design and to speed up the time that trucks are on the South side site we found that it was necessary to eliminate the truck docks. This elimination puts the truck up to the loading door at grade and creates less maneuvering time on the site.

This facilitated a need to relocate some of the landscape areas in the front yard of the site. The landscaping at the SW corner of the building and the movement of the traffic island allowed the trucks ease of movement to the delivery door. That allowed us to eliminating cutting out the berm along Stephenson Hwy giving a greater landscape buffer to the south side of the building.

Overall the green space for the site and the front yard has increased. We hope the board understands that this revision as a slight improvement to the development of the concept based on further study. We feel this new development is still within the spirit of the initial concept.

Thanks,

Jim Bardy, President



700 STEPHENSON TROY, MI ZONING APPEAL OCTOBER '12
ROBBINS EXECUTIVE PARK WEST ASSOCIATION



ZONED: RC RESEARCH CENTER



PROPOSED LANDSCAPING SCREEN

STEPHENSON HWY.

2,770 SF

proposed increase in paved site

4,000 SF

proposed increase in greenscape



1/32"=1'-0"

N.01 13'00"E 305.00'

R.O.W.

2,200 SF

FRONT YARD SETBACK

S.88 47'00"E 305.00'

ROBBINS EXECUTIVE PARK DRIVE

BRICK SCREEN REPLACED WITH LANDSCAPING SCREEN

EASEMENT

PROPOSED OUTDOOR INGRADE PATIO

SELF CONTAINED WASTE RECEPTACLE WITH BRICK SCREEN

620 SF

TRUCK TRUCK

100 SF

previous design

PROPOSED ENTRY AND APPROACH

PROPOSED LANDSCAPING

800 SF

980 SF

570 SF

600 SF

N.88 47'00"W 447.28'

S.01 13'00"W 305.00'

1	LOBBY/DINING	3,000 SF
2	KITCHEN	9,500 SF
3	RESEARCH	1,000 SF
4	LOADING	1,500 SF
5	WASTE RECEPTACLE	500 SF
6	RESTROOMS	1,000 SF
7	GUEST KITCHEN/DINING	1,300 SF
8	FLEX SPACE - CORPORATE ADMINISTRATION/SEATING	9,600 SF
9	CULINARY OFFICES	3,200 SF

PROPOSED LANDSCAPING

PROPOSED LANDSCAPING SCREEN

STEPHENSON HWY.

3,250 SF

proposed increase in paved site

3,690SF

proposed increase in greenscape



1/32"=1'-0"

N:01-13'00"E 305.00'

FRONT YARD SETBACK

2,150 SF

SELF CONTAINED WASTE RECEPTACLE WITH BRICK SCREEN

TRUCK TRUCK

1,775 SF

BRICK SCREEN REPLACED WITH LANDSCAPING SCREEN

ROBBINS EXECUTIVE PARK DRIVE

EASEMENT

PROPOSED OUTDOOR INGRADE PATIO

previous design

530 SF

PROPOSED ENTRY AND APPROACH

PROPOSED LANDSCAPING

400 SF

1	LOBBY	1,630 SF
2	KITCHEN	12,800 SF
3	RESEARCH	1,000 SF
4	LOADING	860 SF
5	WASTE RECEPTACLE	500 SF
6	RESTROOMS	600 SF
7	GUEST KITCHEN/DINING	1,870 SF
8	FLEX SPACE - CORPORATE ADMINISTRATION/SEATING	4,300 SF
9	CULINARY OFFICES	6,500 SF

PROPOSED LANDSCAPING

585 SF

570 SF

400 SF

N:88 47'00"W 447.28'

S:01-13'00"W 305.00'

PROPOSED LANDSCAPING SCREEN

STEPHENSON HWY.

ROBBINS EXECUTIVE PARK DRIVE

SCREEN REPLACED WITH LANDSCAPING

1,775 SF

10 FEET

TRUCK

TRUCK

SELF CONTAINED WASTE RECEPTACLE WITH BRICK SCREEN

2,150 SF

30 FEET

150 FEET

530 SF

530 SF

PROPOSED LANDSCAPING

400 SF

FRONT YARD SETBACK

N.01 13'00"E 305.00'

R.O.W.

2,680 SF

proposed increase in paved site

2,705 SF

proposed increase in greenscape



1/32"=1'-0"

TOTAL AREA OF FRONT YARD: WITHIN R.O.W. (NOT INCLUDING ROBBINS EXEC DRIVE): 35,210 SQFT.

EXISTING HARDSCAPE: 16,800 SQFT.

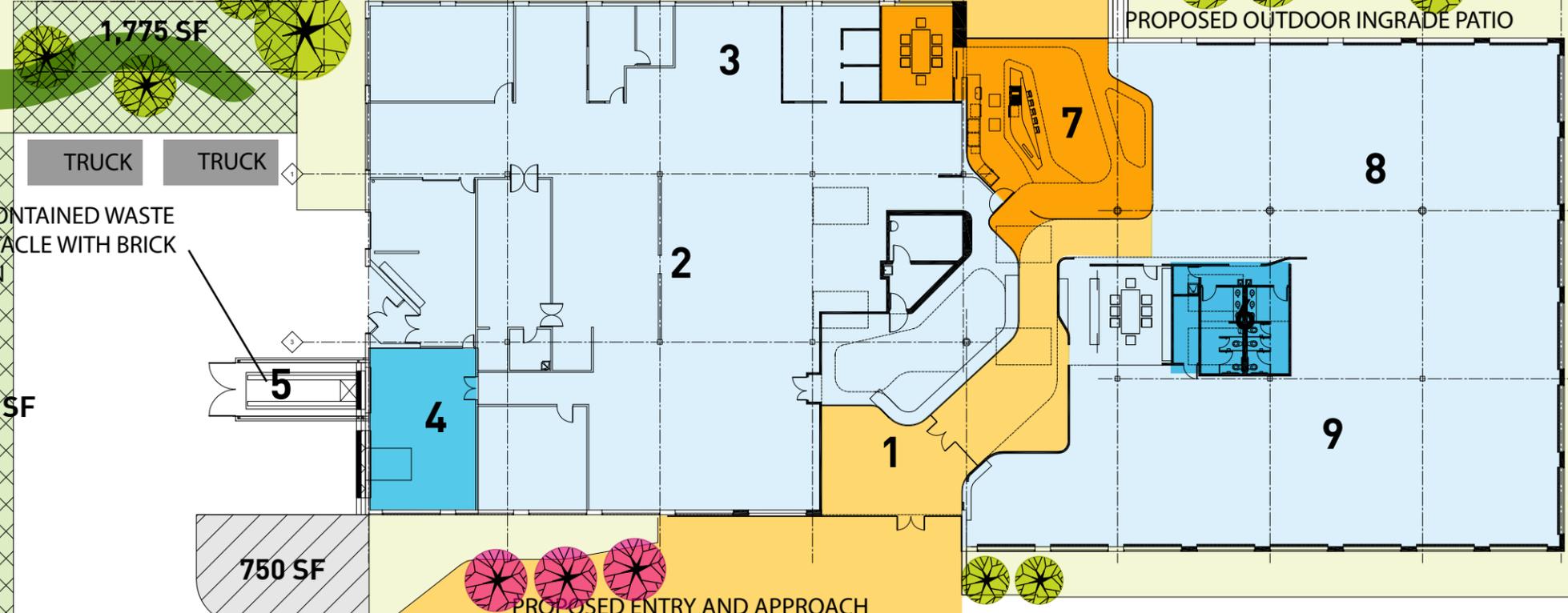
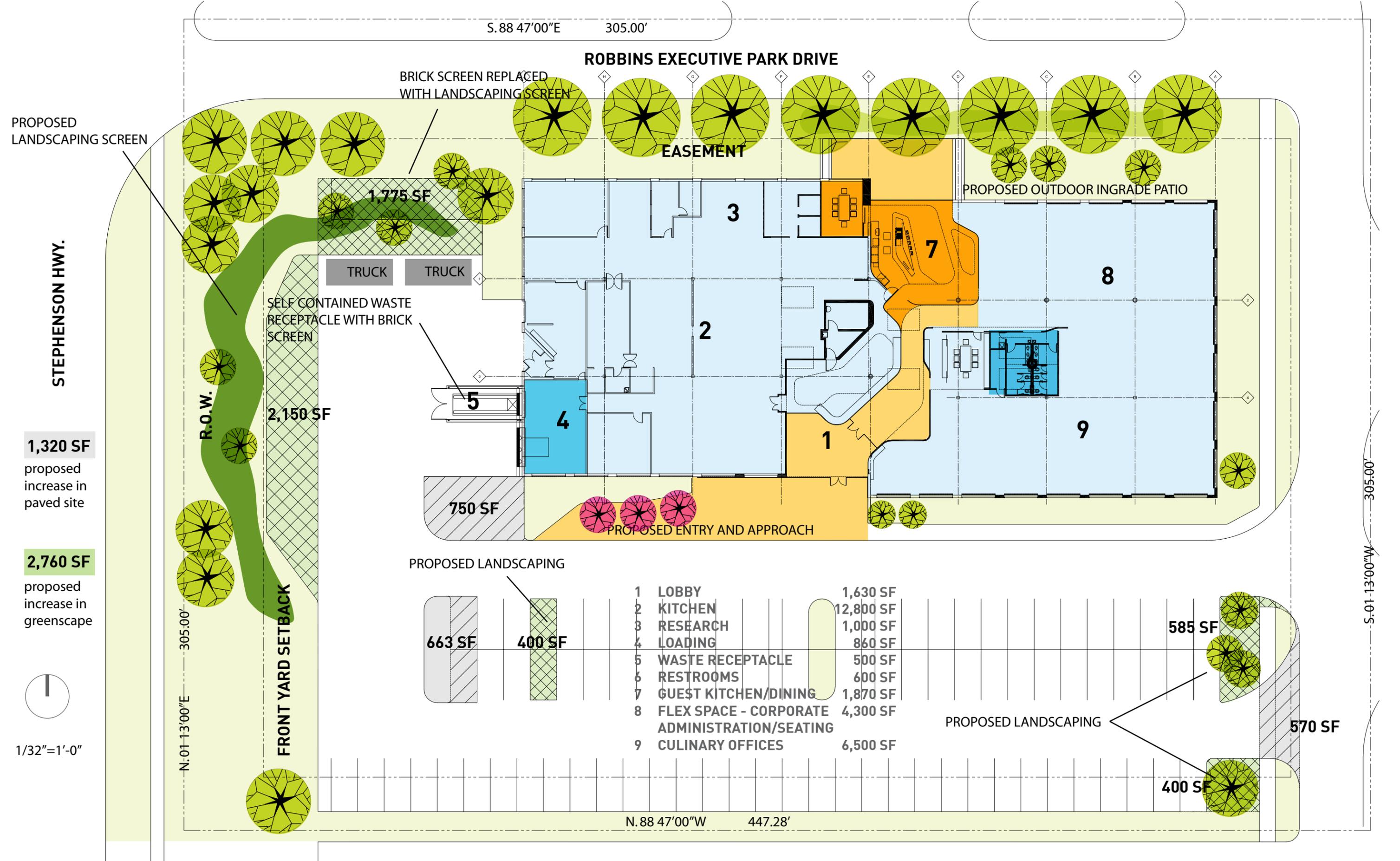
ADDITIONAL HARDSCAPE: 1,413 SQFT.

HARDSCAPE CONVERTED TO GREENSCAPE: 2,705 SQFT.

PROPOSED TOTAL HARDSCAPE IN FRONT YARD: 16,438 SQFT.

WASTE RECEPTACLE BRICK SCREEN (LWH): 28'X12'X8'

previous design



1	LOBBY	1,630 SF
2	KITCHEN	12,800 SF
3	RESEARCH	1,000 SF
4	LOADING	860 SF
5	WASTE RECEPTACLE	500 SF
6	RESTROOMS	600 SF
7	GUEST KITCHEN/DINING	1,870 SF
8	FLEX SPACE - CORPORATE ADMINISTRATION/SEATING	4,300 SF
9	CULINARY OFFICES	6,500 SF

PROPOSED LANDSCAPING SCREEN

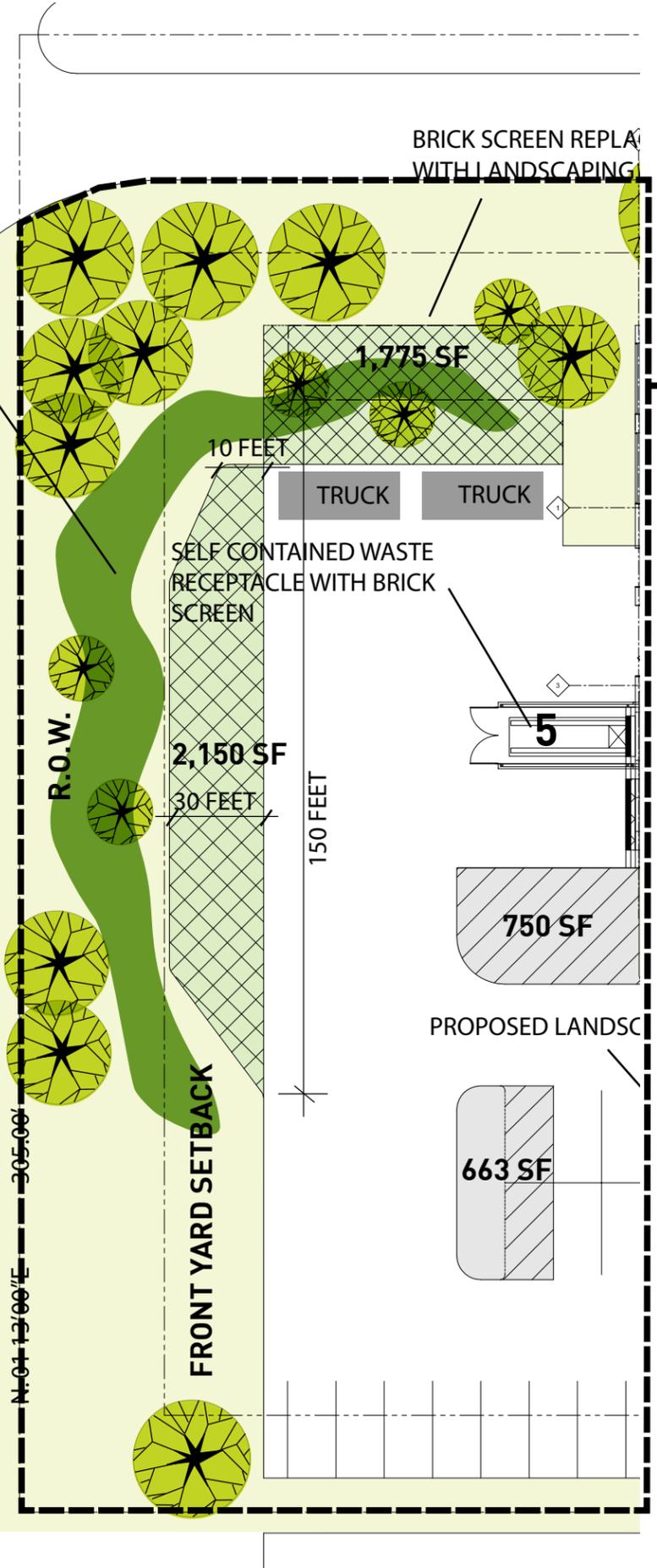
STEPHENSON HWY.

1,413 SF
proposed increase in paved site

1,775 SF
proposed increase in greenscape



1/32"=1'-0"



TOTAL AREA OF FRONT YARD: WITHIN R.O.W. (NOT INCLUDING ROBBINS EXEC DRIVE): 35,210 SQFT.

EXISTING HARDSCAPE: 16,800 SQFT.

ADDITIONAL HARDSCAPE: 2,680 SQFT.

HARDSCAPE CONVERTED TO GREENSCAPE: 1,775 SQFT.

PROPOSED TOTAL HARDSCAPE IN FRONT YARD: 16,775 SQFT.

WASTE RECEPTACLE BRICK SCREEN (LWH): 28'X12'X8'

CONTINENTAL DELIVERY TRUCKS

TRUCK LENGTH: 25'

TOTAL TIME ON SITE: TWO TRUCKS STORED ON SITE



SUPPLY TRUCKS

TRAILER AND CAB LENGTH: 45' (60' SHOWN)

TOTAL TIME ON SITE: 1 TO 3 HOURS PER WEEK

4-6 DELIVERIES PER WEEK | 20 MINUTES PER DELIVERY





EXITING SOUTH ENTRY



ENTRY AT SOUTH TO BE RENOVATED

4. HEARING OF CASES

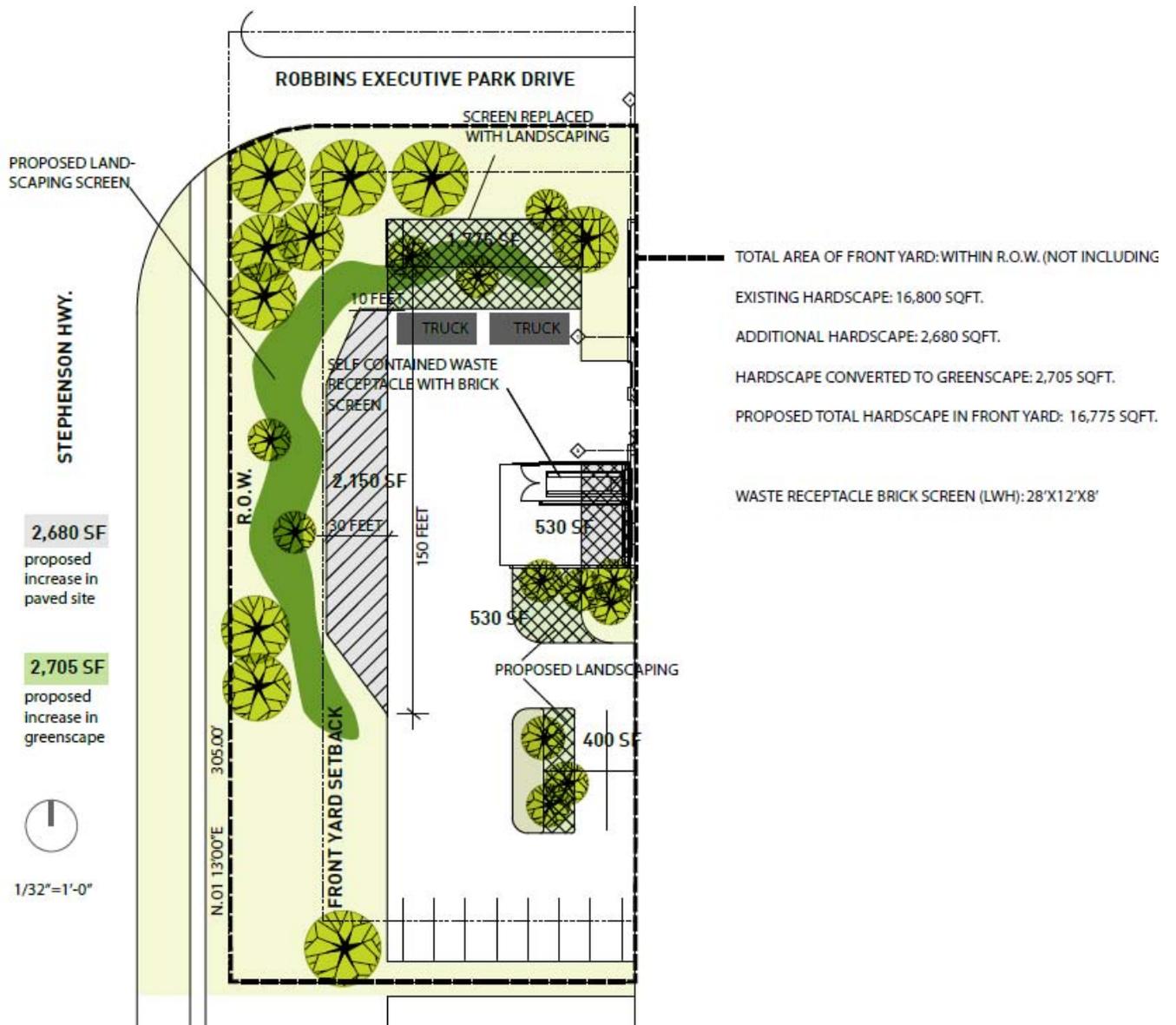
- A. VARIANCE REQUEST, JIM BARDY OF CONTINENTAL SERVICES, 700 STEPHENSON HIGHWAY – A variance to place/construct the following improvements in the front yard: a trash container, a loading area, and a maneuvering lane. The Zoning Ordinance does not allow these items in the front yard.

Moved by Courtney
Seconded by Bartnik

RESOLVED to grant the variance as requested with the following conditions:

- That the existing berm be extended north and west as depicted on the attached drawing.
- That the new berm height and massing match that of the existing berm.
- That the new berm be undulating.
- That the new berm not be required where it will interfere with existing screening trees.
- That additional screening vegetation be installed in the front yard and on the berm.
- That the aforementioned vegetation species, height, and placement effectively screen the view of the trucks located in the front yard from Stephenson Highway.
- That the vegetation provides year round screening.
- That the greenscape created would exceed the amount lost.

MOTION PASSED



4. HEARING OF CASES

- E. VARIANCE REQUEST, GARY ABITHEIRA, 1024 ARTHUR – In order to construct a duplex, an 80 square foot variance to the required 10,000 square foot minimum lot area.

SECTION: 4.07 (C)



2020
2000

1015

1025

1031

1043

1045

1047

1065

ROCHESTER

ARTHUR

1986

1012

1024

1036

1044

1058

1070

1966

1964

1005

1015

1023

1038

1046

LYDIA

1043

1051

1065

WOODS LEE

1946

(RT)

2020
2000

1015

1025

(RT)
1031

1043

1045

1047

1065

ROCHESTER

ARTHUR

1986

1012

1024

1966

1964

1946

1005

(RT)

1015

1023

LYDIA

1036

1044

1058

1070

1038

1046

1043

1051

1065

(RT)

WOODS LEE

(RT)

(RT)

CITY OF TROY

BOARD OF ZONING APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
FAX: 248-524-3382
E-MAIL: evanspm@troymi.gov
<http://www.troymi.gov/CodeEnforcement/#>



FILE NUMBER _____
LOCATION _____
REGULAR MEETING FEE (\$150.00) _____
VARIANCE RENEWAL (\$35.00) _____
SPECIAL MEETING (\$650.00) _____

NOTICE TO THE APPLICANT

REGULAR MEETINGS OF THE CITY BOARD OF ZONING APPEALS ARE HELD ON THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL**. PLEASE FILE A COMPLETE APPLICATION, WITH THE APPROPRIATE FEE, AT LEAST **TWENTY-SEVEN (27) DAYS BEFORE THE MEETING DATE**.

A COMPLETE APPLICATION THAT MEETS ZONING ORDINANCE REQUIREMENTS IS PLACED ON THE NEXT AVAILABLE AGENDA OF THE BOARD OF ZONING APPEALS.

1. ADDRESS OF THE SUBJECT PROPERTY: 1024 Arthur
LOT NO. 333+334 SUBDIVISION Stumpfs Beach Grove
LOCATED ON THE South SIDE OF (ROAD) Arthur
BETWEEN 1012 Arthur AND 1032 Arthur
ACREAGE PROPERTY: *Attach legal description if this an acreage parcel*
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-27-431-005
3. ZONING ORDINANCE SECTIONS APPLICABLE TO THIS APPEAL: _____
4. REASONS FOR APPEAL: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO

6. APPLICANT INFORMATION:

NAME Gary Abitheira
COMPANY _____
ADDRESS 3301 Mirage
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-840-2828
E-MAIL Gabitheira@wideopenwest.com

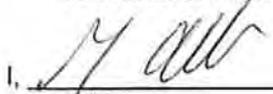
7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: _____

8. OWNER OF SUBJECT PROPERTY:

NAME Same
COMPANY _____
ADDRESS _____
CITY _____ STATE _____ ZIP _____
TELEPHONE _____
E-MAIL _____

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto

I,  (PROPERTY OWNER) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT  DATE 9/15/12

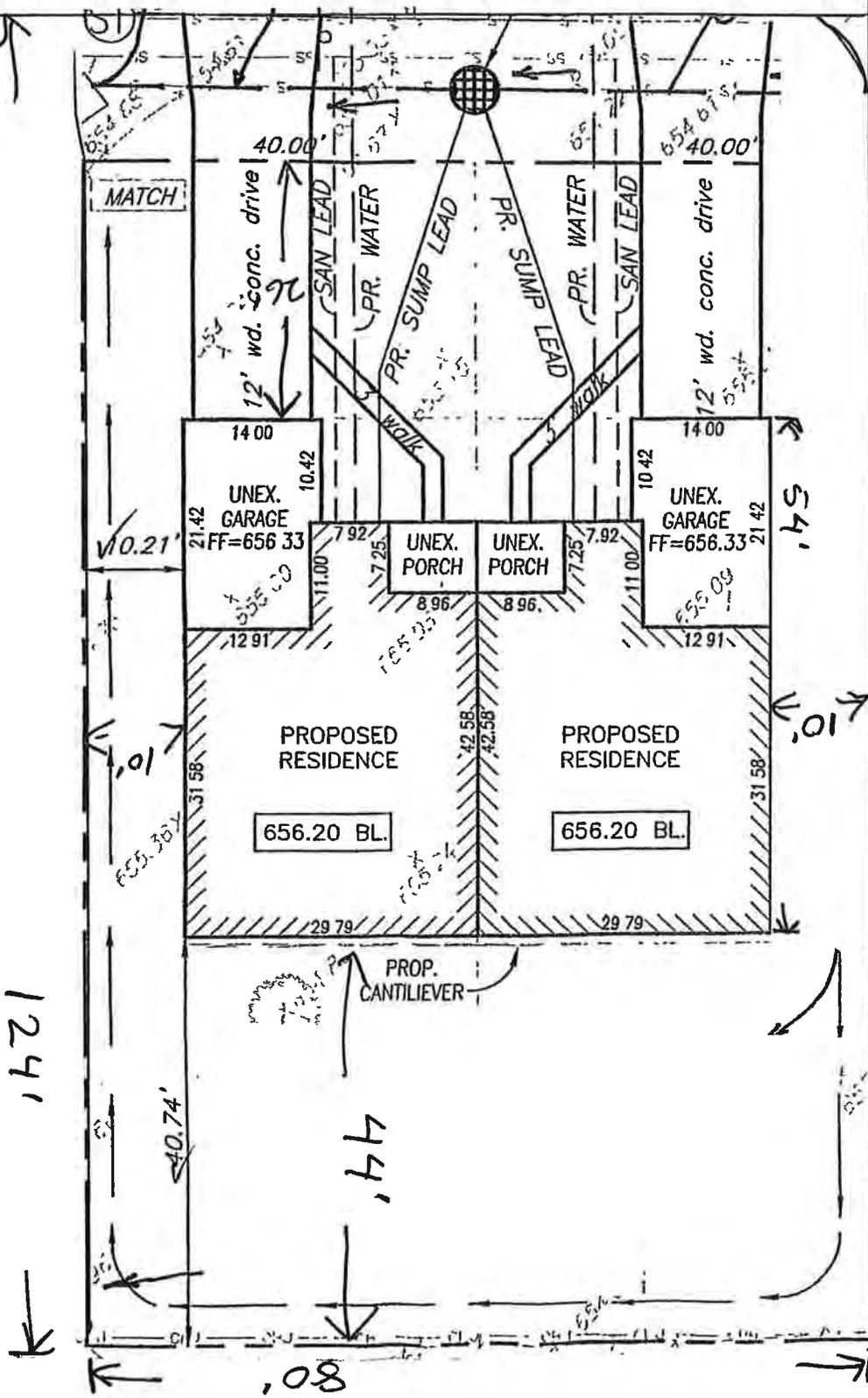
PRINT NAME: Gary Abitheira

SIGNATURE OF PROPERTY OWNER  DATE 9/15/12

PRINT NAME: Gary Abitheira

ARTHUR

4



LYDIA

124'

44'

80'

0.21'

54'

10'

10'

656.33

31.58

40.74'

52'

52'

52'

52'

52'

14.00
UNEX. GARAGE
FF=656.33
21.42
10.42
7.92
7.25
11.00
12.91

UNEX. PORCH
UNEX. PORCH
8.96
8.96
7.25
7.92

14.00
UNEX. GARAGE
FF=656.33
21.42
10.42
7.92
7.25
11.00
12.91

PROPOSED RESIDENCE
656.20 BL.

PROPOSED RESIDENCE
656.20 BL.

PROP. CANTILIEVER

MATCH

40.00'

40.00'

12' wd. conc. drive

12' wd. conc. drive

SAN LEAD

SAN LEAD

PR. WATER

PR. WATER

PR. SUMP LEAD

PR. SUMP LEAD

WALK

WALK

52'

52'

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52'

52'

9/15/12

The lots were platted AT 40' lots back in the early 1900s. The lot is only 80' sq ft short of being large enough to fit AT Duplex AT 10,000 sq ft. The lots in this area are not large enough to fit duplexs without a variance. There are app. 20 Duplexs in this area zoned for Duplexs. I worked hard to have the house demolished so the area could see an improvement. The area is zoned for Duplexs in this area. The Duplex will fit on the lot without variances for any thing else. The lot is 9,920 sq ft. The coverage of the Duplex on the lot is less than 30%.

4. HEARING OF CASES

- F. VARIANCE REQUEST, GARY ABITHEIRA, VACANT LOT NEXT TO AND WEST OF 85 CLOVERIDGE – In order to build a new house, a variance from the requirement that at least one side yard setback be at least 10 feet, and the total of two side yard setbacks be at least 20 feet. The proposed side yard setbacks are 9.5 feet and 6 feet.

SECTION: 4.07 (C)



CLOVERIDGE

VERMONT

FORTHTON

BIRCHWOOD

LIVERNOIS

CHOPIN

W MAPLE

E MAPLE

MAIN

107

85

71

57

47

211

257

245

233

221

256

244

232

220

194

106

94

86

66

46

1845

1824

37

45

71

267

255

243

231

219

207

195

121

105

93

87

73

57

45

31

1755

1731

1790

22

40

68

1710

25

31

51

77

8

1708

26

36

52

66

1654

35

37

49

53

57

61

65

230

200

186

182

178

174

140-A

140

134

128

120

110

74

72

1711

1709

1707

1631

1613

1917

1920

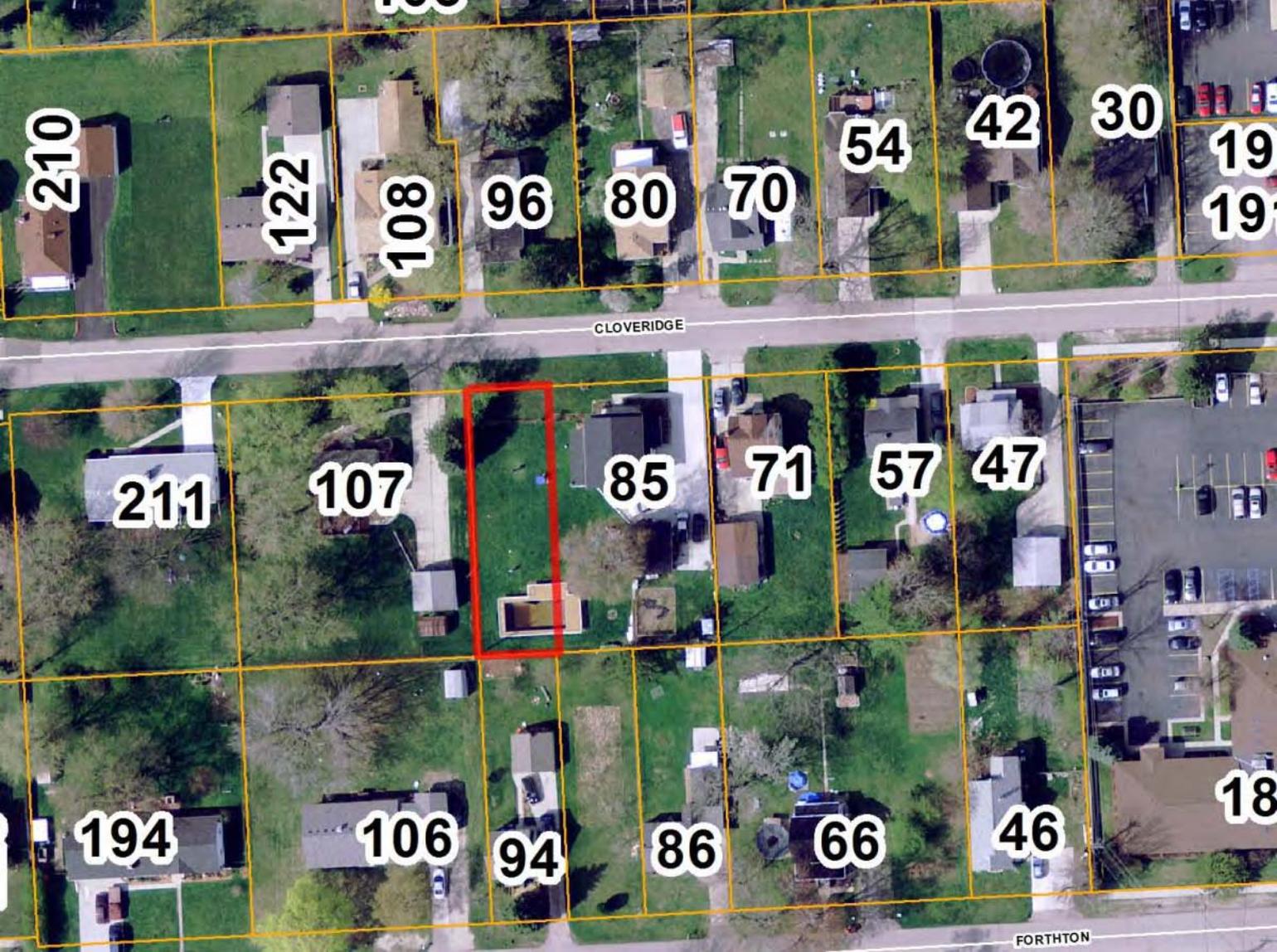
35

55

65

75

85



210

122

108

96

80

70

54

42

30

19

19

CLOVERIDGE

211

107

85

71

57

47

194

106

94

86

66

46

18

FORTHTON

(R-1E)

210

122

108

96

(RT)

80

70

54

42

30

(O)

19

19

CLOVERIDGE

211

107

85

71

57

47

(F)



(RT)

(R-1E)

194

106

94

86

66

46

(O)

18

FORTHTON

CITY OF TROY

BOARD OF ZONING APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
FAX: 248-524-3382
E-MAIL: evanspm@troymi.gov
http://www.troymi.gov/CodeEnforcement/#



FILE NUMBER _____
LOCATION _____
REGULAR MEETING FEE (\$150.00) _____
VARIANCE RENEWAL (\$35.00) _____
SPECIAL MEETING (\$650.00) _____

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A COMPLETE APPLICATION THAT MEETS ZONING ORDINANCE REQUIREMENTS IS PLACED ON THE NEXT AVAILABLE AGENDA OF THE BOARD OF ZONING APPEALS.

- 1. ADDRESS OF THE SUBJECT PROPERTY: 97 Cloverridge
LOT NO. 19 SUBDIVISION Clover Ridge Sub
LOCATED ON THE South SIDE OF (ROAD) Cloverridge
BETWEEN 85 Cloverridge AND 107 Cloverridge
ACREAGE PROPERTY: Attach legal description if this an acreage parcel
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-28-477-003
3. ZONING ORDINANCE SECTIONS APPLICABLE TO THIS APPEAL:
4. REASONS FOR APPEAL: On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO

6. APPLICANT INFORMATION:

NAME Gary Abitheira
COMPANY _____
ADDRESS 3301 Mirage
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-840-2828
E-MAIL Gabitheira@wideopenwest.com

7. APPLICANT'S AFFILIATION TO THE PROPERTY OWNER: _____

8. OWNER OF SUBJECT PROPERTY:

NAME Same
COMPANY _____
ADDRESS _____
CITY _____ STATE _____ ZIP _____
TELEPHONE _____
E-MAIL _____

The undersigned hereby declare(s) under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto

I, GAB (PROPERTY OWNER) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS AND STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO CONDUCT A SITE VISIT TO ASCERTAIN PRESENT CONDITIONS.

SIGNATURE OF APPLICANT GAB DATE 9/15/12

PRINT NAME: Gary Abitheira

SIGNATURE OF PROPERTY OWNER GAB DATE 9/15/12

PRINT NAME: Gary Abitheira

1000.00
000.00
000.00

PROP. ELEV.
EXIST. ELEV.
FINAL ELEV.
WATER FLOW

PROP C.B.
RIM - 673.20'
INVT - 670.25'

P.P

9'

W. 60.5'
LOT
19

PROP/ LINE 140.0'

x675.00'
F/G

x675.00'
F/G

x674.50'
F/G

PROP 6" P.V.C. STORM LINE

40.0
PROPOSED
STRUCTURE
W/BASE

UNEX
AREA
PROP
GAR

22.0'

CONC WALK

674.50'
F/G

PROP CONC DRIVE
4" COMP SAND
4" CONC SLAB

21.0

1"-K COPPER

6" P.V.C SAN 1% MIN SLOPE

6" P.V.C STORM

673.47'

674.20'
665.00'

R/W LINE 60.5'

C.B.
RIM 673.13'
INVT 669.13'

673.53'

9/15/12

The lot is 60' wide x 140' deep.

The zoning in this area was changed to be 10' on both sides of the lot leaving a 40' wide house. Before the zoning was changed the side yard setbacks were 5' and 10' for a total of 15'. The Hardship is difficulty building a house with a 2 car garage that is appealing to a buyer. The houses in this area was zoned as R1E before the zoning change.

EXISTING SITE CONDITION

JOB NUMBER

PICTURE # JOB#GL-2012-0089

REF #

CUSTOMER#

PROPERTY OWNER
GFA DEVELOPMENT
979 BADDER, TROY, MICHIGAN, 48083. GARY 248.840.2828

FEEL

FOCAL: 7-28-12

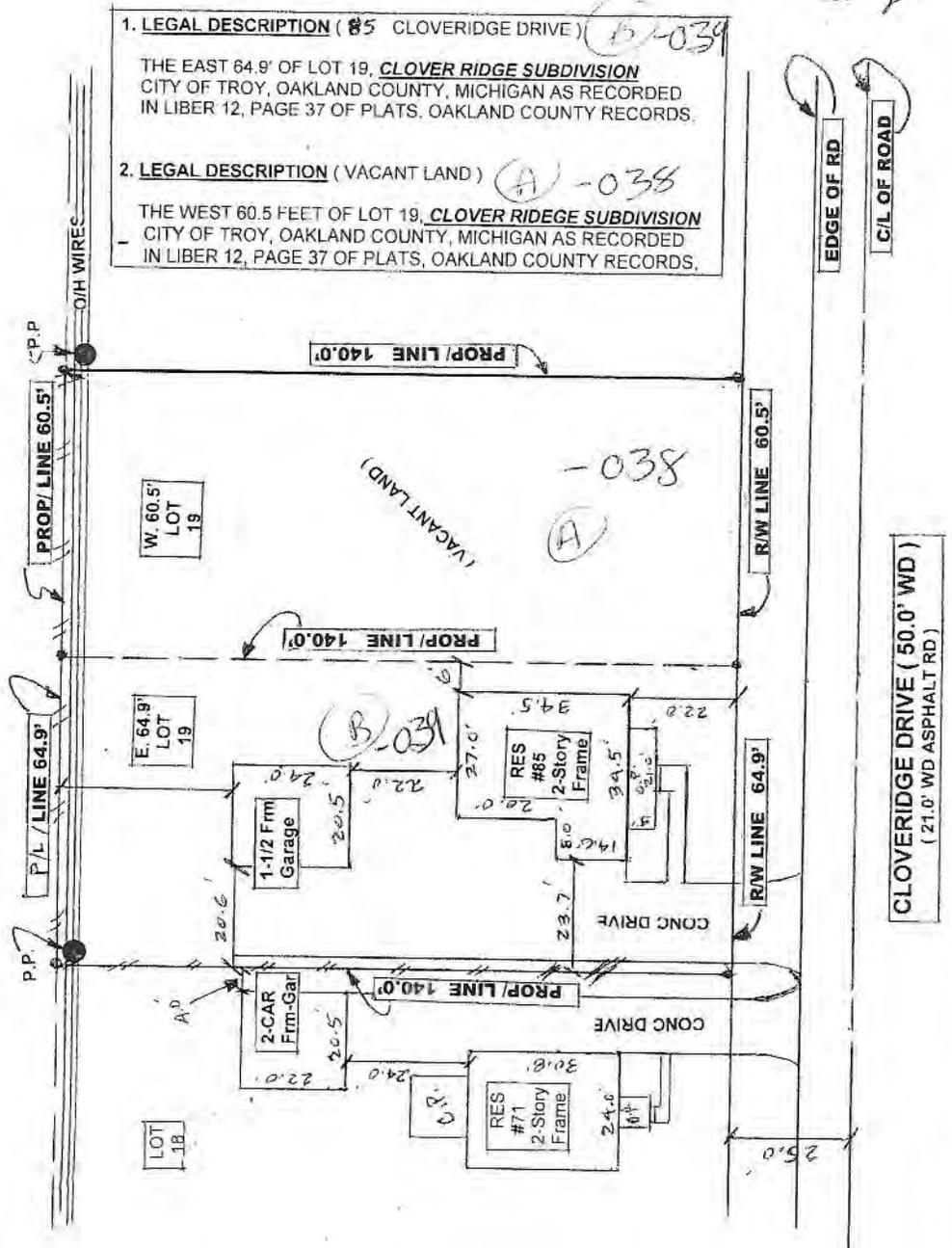
SCALE: 1"=30'

1. LEGAL DESCRIPTION (B-034) *B-034*

THE EAST 64.9' OF LOT 19, CLOVER RIDGE SUBDIVISION
CITY OF TROY, OAKLAND COUNTY, MICHIGAN AS RECORDED
IN LIBER 12, PAGE 37 OF PLATS, OAKLAND COUNTY RECORDS.

2. LEGAL DESCRIPTION (A-038) *A-038*

THE WEST 60.5 FEET OF LOT 19, CLOVER RIDGE SUBDIVISION
CITY OF TROY, OAKLAND COUNTY, MICHIGAN AS RECORDED
IN LIBER 12, PAGE 37 OF PLATS, OAKLAND COUNTY RECORDS.



SYSTEM'S
SEVEN

CERTIFIED BY



4. HEARING OF CASES

- G. VARIANCE REQUEST, JOE GUTOWSKI FOR ND INDUSTRIES, 1893 BARRETT – In order to construct a building addition, a 10 foot variance from the required 20 foot rear yard setback.

SECTION: 4.15 (C)



TEMPLE CITY

CROOKS

PREMIER

NORTHWOOD

BARRETT

W MAPLE

1893

1950

1890

1821

1749

1864

1826

1788

1748

1965

1950

1940

1937
1939
1943

1945

1930
1920
1910

1903

1896

1800

1707

1708

1742

1635

1628

1893

1732 1734

1621

1104
1102
1100

1710

950

900

780

778

1680

1250

1150

1000

1650

1340

1300

1350

770



1104

1102

1100

1000

950

900

1893

1903

1937

1939

1943

1945

1950

1940

1930
1920
1910

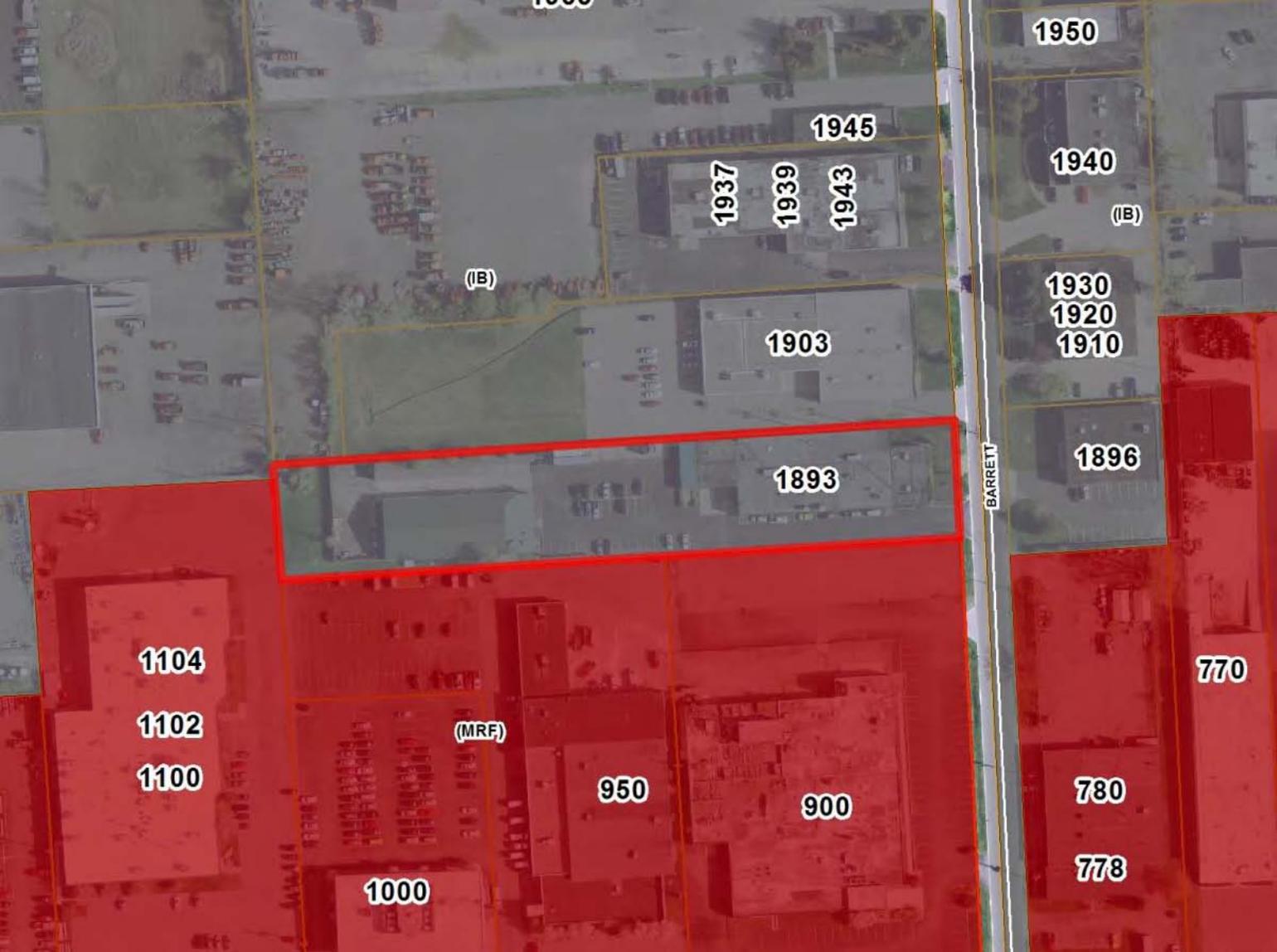
1896

770

780

778

BARRETT



1000

1950

1945

1937

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1943

1940

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BARRETT

1104

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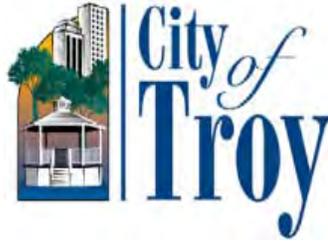
780

778

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ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov
<http://www.troymi.gov/CodeEnforcement/#>



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 1893 Barrett Drive
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-28-303-024
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: 4.15(C)
4. REASONS FOR REQUEST: *On a separate sheet, please describe the reasons justifying the requested action. See Submittal Checklist*
5. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
6. APPLICANT:
NAME Joe Gutowski
COMPANY ND Industries, Inc.
ADDRESS 1893 Barrett Drive
CITY Troy STATE Michigan ZIP 48084
PHONE 248-765-7648
E-MAIL jgutowski@ndindustries.com
AFFILIATION TO THE PROPERTY OWNER: Director of Projects

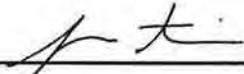
8. PROPERTY OWNER:

NAME ND Industries, Inc.
COMPANY ND Industries, Inc.
ADDRESS 1000 North Crooks
CITY Clawson STATE Michigan ZIP 48017
TELEPHONE 248-288-0000
E-MAIL thaase@ndindustries.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Joseph Gutowski (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 9/23/2012
PRINT NAME: Joseph Gutowski - Jim Romzek - Counsel For Applicant

PROPERTY OWNER SIGNATURE  DATE 9/23/2012
PRINT NAME: Tracy Haase - Corporate Officer Authorized To Sign

Failure of the applicant or their authorized representative to appear before the Board, as scheduled, shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.

ATTACHMENT TO ZONING BOARD OF APPEALS APPLICATION
APPLICANT'S RESPONSE TO VARIANCE REVIEW STANDARDS

City: City of Troy
Applicant: ND Industries, Inc.
Tax Parcel No.: 88-20-28-303-024
Property: 1893 Barrett Drive
Zoning: IB Zoning District formerly M-1 Zoning District

VARIANCE REQUEST

Variance from Section 4.15(C) of the City of Troy Zoning Ordinance to reduce rear yard setback from 20 feet to 10.36 feet (variance of 9.40 feet) to allow for the construction of a 10 foot x 17 foot fire suppression room that will contain Applicant's fire suppression equipment outside of the constructed chemical storage building.

BACKGROUND/ HISTORY OF PROJECT

Applicant has owned and operated its advanced fastening and sealing technologies business on the Property for over 55 years. Approximately 7 years ago, Applicant and the City of Troy Fire Department developed an action plan pursuant to which Applicant agreed to modernize its chemical blending and storage processes. As part of this plan, the City of Troy Fire Department requested that Applicant store its flammable chemicals in a separate building in the interest of the safety of Applicant's employees and the public.

In August of 2011, Applicant submitted its final Site Plan for the construction of a 5,400 square foot addition ("**Chemical Storage Building**") to the existing one story warehouse building located on the Property for the sole purpose of storing Applicant's flammable chemicals in a separate, safe and modernized building equipped with a state of the art foam fire suppression system. (See attached Site Plan, Mechanical and Electrical Plans and Building Permits dated 11-18-2011, and 1-19-2012). The original Site Plan did not detail the fire suppression system in the Chemical Storage Building and the original approved drawings dated November 17, 2011 were stamped "Provide fire suppression as required– submit fire suppression shop drawings– permit required." During subsequent discussions with FM Global and the City of Troy Fire Department it was determined that the fire suppression equipment must be housed in a separate fire suppression room outside of the Chemical Storage Building. As a result, on May 16, 2012, Applicant submitted its fire suppression plans to the City of Troy Fire Department for construction with the fire suppression equipment in the southwest corner of the Property and outside of the Chemical Storage Building. In late July of 2012, the City of Troy Fire Department verbally approved Applicant's fire suppression plans, however, the City of Troy Fire Department subsequently advised Applicant that it had lost Applicant's submittal package and requested that Applicant resubmit its plans for formal approval. On August 21, 2012, the City of Troy Fire Department and Building Department approved Applicant's fire suppression system plans and issued a building permit for the construction of Applicant's fire suppression system.

(See attached Fire Suppression Plans approved on 8-22-12 and Letter of Lincoln Fire Protection confirming above facts).

Subsequent to issuance of the building permit, Applicant's contractors and the City's engineers conducted an on-site visit at which the City's engineers approved the work associated with the construction of the 10 foot x 17 foot foundation/addition ("**Fire Suppression Room**") located within the 20 foot rear yard setback area located in the southwest corner of the Property for purposes of constructing and locating the fire suppression equipment outside of the Chemical Storage Building. In addition, the City's engineers approved Applicant's installation of the water main extension and new fire hydrant which will connect its fire suppression system to the existing water main system located on the adjacent property to the west, being 1100 West Maple ("**West Property**") owned by JBD Troy LLC.

On September 17, 2012, and in reliance upon the City's prior verbal approval and issuance of the permit, Applicant's contractor completed the construction of the footings/foundation to the Fire Suppression Room and the City inspected and approved this work on the same day. **(See attached photograph of foundation to Fire Suppression Room along with City's approval affixed to Chemical Storage Building)**. Notwithstanding the City's prior verbal approval and its subsequent inspection and written approval of Applicant's plans and the construction of the footings/foundation to the Fire Suppression Room on September 17, 2012, the City's Building Department on the same day informed Applicant that the Fire Suppression Room was found to be non-compliant due to (i) it not satisfying the City's 20 foot rear yard setback requirement; and (ii) it being located within the water main easement area to be granted on the Property.

In connection with the construction of the Chemical Storage Building, Applicant, at its own cost, had the storm sewer system located in the northwest corner of the Property reconstructed and connected to the retention/drain system located on the property to the north, being 1903 Barrett ("**North Property**") owned by Electrical Research Corp and leased by RAM Meter Inc. The reconstruction of this retention/drain system was the obligation of the City and had been a health and safety issue for a long time. In addition to resolving this matter for the benefit of the City and owner of the North Property, Applicant has agreed to pay the costs to relocate the fire hydrant located on the West Property to the southwest corner of the Property. As part of this work, the existing fire hydrant and bollards located in the driveway area of the West Property would be removed. As the City is aware, the construction of the fire hydrant and bollards was approved a long time ago in order to allow the tenant of the West Property to operate its chemical business that required the fire hydrant to be constructed within a minimum distance from the chemical tank/cage constructed on the West Property. Special accommodations were made for the operation of that chemical business. The chemical tank has been removed and there is no longer the need for the fire hydrant and bollards, however, the City and owner of the West Property have not removed the same due to the costs of completing such improvements. The City and owner of the West Property want the fire hydrant and bollards removed for safety reasons and to help increase the value of the West Property and surrounding properties.

After exploring various alternative options to seeking the requested variance, Applicant concluded that the only possible option is to move the proposed Fire Suppression Room from the

southwest corner to the green belt area located in the northwest corner of the Property, provided such relocation does not result in the Property becoming non-complaint due to the total green belt area falling below the minimum percentage required under the zoning code. However, after completing its due diligence on this option, Applicant determined that it would be cost prohibitive to move the proposed Fire Suppression Room. In order to move the Fire Suppression Room, this would require Applicant to incur the following costs: (i) money already paid for the prefabricated steel structure of the approved Fire Suppression Room; (ii) removal of the foundation, block and drain approved by a City of Troy inspector; (iii) extension of existing water main and modifications to current water main connection to the Chemical Storage Building; (iv) modifications to internal fire suppression piping in Chemical Storage Building to connect to new water main; and (v) construction of new Fire Suppression Room in the green belt area, including but not limited to, all design, material and labor costs for construction of same. The estimated total costs for such work is \$125,000.00.

As a result of the City's approvals and subsequent actions, Applicant has no alternative but to request a variance to reduce the rear yard setback from 20 feet to 10.36 feet (variance of 9.40 feet) to complete the construction of the Fire Suppression Room. (**See attached Dimensional Plan of Property which reflects the 10.36 rear yard setback distance**). This variance is necessary to relieve the practical difficulty caused by the unique conditions and circumstances relating to the Property and approved use thereon as more particularly set forth below in the responses to the variance review standards.

VARIANCE REVIEW STANDARDS

a) **Does the property have characteristics, such as narrowness, shallowness, irregular shape, topography, vegetation and other similar characteristics that make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district?**

Yes. As with all variances, the principle review standard is whether the variance is needed to relieve a practical difficulty caused by the unique conditions present on the Property. In this case, the City, after approving Applicant's fire suppression plans and construction of the footings/foundations to the Fire Suppression Room, has asserted that the Fire Suppression Room is non-complaint due to it not satisfying the 20 foot rear yard setback requirement. As a result, special and unique conditions and circumstances have been created with respect to the Property that are not applicable to other buildings and property in the same district. Applicant, unlike other land owners in the district, is charged with the practical difficulty of having to remedy these unique conditions and circumstances by moving the approved Fire Suppression Room from the southwest corner to the northwest corner of the Property at the estimated cost of \$125,000. As referenced above, this alternative is only possible if the Property is able to maintain its minimum green belt after the relocation of the Fire Suppression Room. This practical difficulty may be relieved by approving the requested variance.

From a practical standpoint, Applicant notes that the existing concrete pad and air purifier equipment located adjacent to the proposed Fire Suppression Room is located 10.36 feet from the rear lot line, which is the same distance as the approved constructed footings/foundation of

the Fire Suppression Room. (See attached Dimensional Plan). While this air purifier pad and equipment is not considered an addition or structure for which compliance with the City's dimensional requirements is required, the size, purpose and function of these improvements are materially similar to the fire suppression equipment and Fire Suppression Room which is essential to the use and operation of the Chemical Storage Building. The air purifier pad and equipment has the same encroachment issues as the Fire Suppression Room, which are not material as further outlined below. At minimum, it is disingenuous for the City to have originally approved Applicant's fire suppression plans and to then assert that the Fire Suppression Room is non-complaint due to the rear setback requirement when, from a practical standpoint, the same issues exist and will remain as it relates to the existing air purifier pad and equipment.

Also, after the City agreed that Applicant could connect its fire suppression system to the existing water main located on the West Property, and after the Applicant agreed to move the fire hydrant to the southwest corner of the Property, the City has now asserted that the Fire Suppression Room is non-complaint because it will be located in the water main easement area to be granted on the Property unless the City Engineering Department agrees to reduce the standard dimensions relating to water main easements. Based on its conversations with the City Engineering Department, Applicant understands that the City will approve a water main easement on the Property with reduced dimensions that will result in the Fire Suppression Room being located outside of any water main easement area. Thus, this is not an issue that should preclude the approval of the requested variance.

b) Are the characteristics which make compliance with dimensional requirements difficult related to the Property for which the variances are sought, not some other location?

Yes. The existing Chemical Storage Building and proposed Fire Suppression Room are located solely within the Property boundaries and is suitable for use as a chemical storage building with a state of the art foam fire suppression system. The approved footings/foundation to the Fire Suppression Room is setback 10.36 feet from the rear lot line and a variance of 9.64 feet is being requested.

c) Are the characteristics which make compliance with dimensional requirements difficult of a personal nature?

No. All such characteristics were caused by the City.

d) Are the characteristics which make compliance with dimensional requirements difficult created by the current owner or a previous owner?

No. All such characteristics were caused by the City or special accommodations made to surrounding properties and owners.

e) **Will the proposed variance:**

(i) be harmful or alter the essential character of the area in which the property is located?

No. The surrounding properties are all manufacturing and industrial properties which have existed for years. Applicant has been operating its business on the Property for over 55 years and the construction of the Fire Suppression Room is simply the furtherance of its action plan with the City that was developed for purposes of improving the essential character of the area. The Fire Suppression Room will not decrease the visibility of any surrounding property and such improvements will be blocked by the existing 6 foot high wooden fence surrounding the Property. In fact, the improvements will improve the character of the area in that Applicant's business will be operated in a safer manner, the fire hydrant and bollards located on the West Property will be removed and the retention/drain system has been reconstructed and connected to the North Property, all at the cost of Applicant. These improvements have or will eliminate long standing health and safety issues within the area that will only improve the overall character of the area.

(ii) impair an adequate supply of light and air to adjacent property?

No. See response to e)(i) above. In addition, the requested variance relates specifically to the rear of the Property which faces the parking lots and rear of adjacent properties. The Fire Suppression Room will have no impact on the supply of light or air to adjacent properties.

(iii) unreasonably increase the congestion in public streets?

No. The requested variance has no impact on the public streets.

(iv) increase the danger of fire or endanger the public safety?

No. The variance will help to significantly decrease the danger of fire or the endangerment of public safety. The Fire Suppression Room is specifically designed to have the fire suppression equipment located outside of the Chemical Storage Building so that in the event of a fire due to Applicant's flammable chemicals stored in the Chemical Storage Building, the fire suppression equipment will not be impacted by the fire and will work to put out any fire in a matter of minutes. This is a state of the art foam fire suppression system that will prevent against the danger of fire and will dramatically improve Applicant's current safety protections.

(v) unreasonably diminish or impair established property value within the surrounding areas?

No. See response to e)(i) above.

(vi) in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City?

No. See response to e)(i) above. The City and Applicant engaged in an action plan that would help to improve the public health, safety and welfare of the inhabitants of the City and the construction of the Fire Suppression Room designed to service the existing Chemical Storage Building is a culmination of that action plan.

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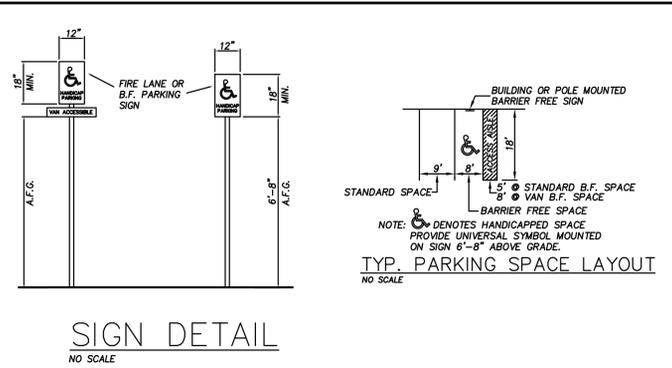
LEGEND	
EXISTING	PROPOSED

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS DIG" (800/482-7171) AT LEAST THREE (3) WORKING DAYS (72 HOURS) PRIOR TO THE START OF CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
- HANDICAP PARKING SPACE TO BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL.
- ACCESS TO A STRUCTURE SHALL BE PROVIDED FOR THE PHYSICALLY HANDICAPPED.
- ON-SITE PARKING SHALL BE PROVIDED FOR CONSTRUCTION WORKERS.
- AN AS-BUILT REPRODUCIBLE MYLAR SHALL BE SUBMITTED TO THE CITY OF TROY ENGINEERING DEPARTMENT BEFORE ISSUANCE OF AN OCCUPANCY.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND BONDS FOR CONSTRUCTION BEING DONE WITHIN THE OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION RIGHT OF WAY AND THE CITY OF TROY RIGHT OF WAY UNDER THE JURISDICTION OF THE AFORESAID AGENCIES.
- SOIL BORINGS HAVE NOT BEEN SUPPLIED. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY. INADEQUATE SOIL FINDINGS OF LESS THAN 2,500 PSF MAY REQUIRE REDESIGN OF SITE FEATURES SUCH AS PAVEMENT, UTILITIES, AND FOOTINGS.
- SOIL BORINGS HAVE NOT BEEN SUPPLIED. CONTRACTOR TO VERIFY EXISTING GROUND WATER ELEVATION. IF EXISTING WATER TABLE IS FOUND TO BE WITHIN THE INFLUENCE OF PROPOSED UTILITIES OR DETENTION FACILITIES REDESIGN MAY BE REQUIRED.
- OWNERS SHALL PAY CITY OF TROY AND OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION INSPECTION FEES.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF TROY ENGINEERING DEPARTMENT FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION OF PUBLIC UTILITIES OR CONSTRUCTION IN THE STREET RIGHT OF WAY.
- THE CONTRACTOR IS TO ARRANGE PRE-CONSTRUCTION MEETING WITH GAS COMPANY, AMERITECH TELEPHONE COMPANY, DETROIT EDISON COMPANY, CITY OF TROY WATER & SEWER DEPARTMENTS AND THE OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION FOR ASSISTANCE TO DETERMINE PROBLEMS OF CONSTRUCTION AND POSSIBLE CONFLICTS WITH EXISTING UTILITIES DURING CONSTRUCTION.
- ENGINEERING HAS BEEN BASED OFF OF SURVEY PROVIDED BY OTHERS. DEVELOPER TO VERIFY ANY AND ALL EXISTING SITE FEATURES.
- PROPOSED BUILDING LEADS TO BE VERIFIED WITH MECHANICAL CONTRACTOR FOR PROPER DESIGN, LOCATION AND DEPTH.
- ALL GRADING TO BE DIRECTED TOWARDS ON-SITE STORM SYSTEM AND AWAY FROM BUILDINGS. GRADING NOT TO BE LESS THAN 0.5% IN LANDSCAPE AREAS OR 1% IN PAVEMENT AREAS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF TROY WATER AND SEWER DEPARTMENTS AND OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION AND ALL CONCERNED PUBLIC UTILITIES SEVENTY TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
- LOCATION OF ALL EXISTING UTILITIES SHOWN IN AREA OF PROPOSED CONSTRUCTION ARE APPROXIMATE AND ARE NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA AND WILL BE HELD RESPONSIBLE FOR AND DAMAGE TO SUCH EXISTING UTILITIES FROM HIS OPERATION.
- ROAD, ROAD SHOULDERS, ROAD PAVEMENT, PARKING PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, DITCHES, DRAINAGE PIPE AND STRUCTURES, FENCES, LAWNS, TREES, BUSHES, MAILBOXES, STREET AND PUBLIC INFORMATION SIGNS, ADVERTISEMENT SIGNS, ETC., DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO CONDITION PRIOR TO CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO CONTRACT.
- ALL WATER MAINS, SANITARY SEWERS (AND LEADS) AND STORM SEWERS UNDER PROPOSED OR EXISTING PAVEMENT OR WITHIN 5 FEET OF PAVEMENT TO BE SAND BACKFILLED AND COMPACTED TO 95% OPTIMUM DENSITY (PROCTOR.) SAND BACKFILLING TO BE INCIDENTAL TO CONTRACT.

PAVING NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE OAKLAND COUNTY ROAD COMMISSION AND THE CITY OF TROY.
- ALL GRAVEL SHOULDERS AND ROAD DITCHES SHALL BE PER PLAN AND STABLE PRIOR TO ACCEPTANCE BY THE OAKLAND COUNTY ROAD COMMISSION.
- ALL TOPSOIL SHALL BE REMOVED FROM ROAD R.O.W. PRIOR TO CUTTING OR FILLING.
- ROAD DITCHES AND DRAINAGE SWALES HAVING GRADES OF 2.00% OR GREATER SHALL BE SLOOZED AND PEGGED IN PLACE.
- VEGETATION MUST BE STABLE PRIOR TO RELEASE OF CONSTRUCTION GUARANTEE.
- ADDITIONAL SUB-BASE AND/OR UNDERDRAINS MAY BE REQUIRED IF ROAD SUB-SOIL OR NET CONDITIONS ARE ENCOUNTERED DURING PAVEMENT CONSTRUCTION AS DIRECTED BY THE OAKLAND COUNTY ROAD COMMISSION (SEE RESULTS OF BORINGS).



SITE DATA:
 SITE AREA = 2.0AC. (87,120 SF.)
 EXISTING ZONING: IB
 SITE TO NORTH: IB
 SITE TO SOUTH: MR
 SITE TO EAST: IB
 SITE TO WEST: IB

BUILDING DATA:
 BUILDING 1:
 MANUFACTURING AREA = 13,042 SF.
 OFFICE AREA = 2,233 SF.
 EX. SHIPPING AREA = 1,700 SF. (TO BE REMOVED)
 PROP. SHIPPING ADDITION = 3,643 SF.
 SUBTOTAL = 18,918 SF.

BUILDING 2:
 LABORATORY AREA = 5,400 SF.
 MACHINE SHOP AREA = 3,780 SF.
 WAREHOUSE AREA = 5,400 SF.
 SUBTOTAL = 14,580 SF.

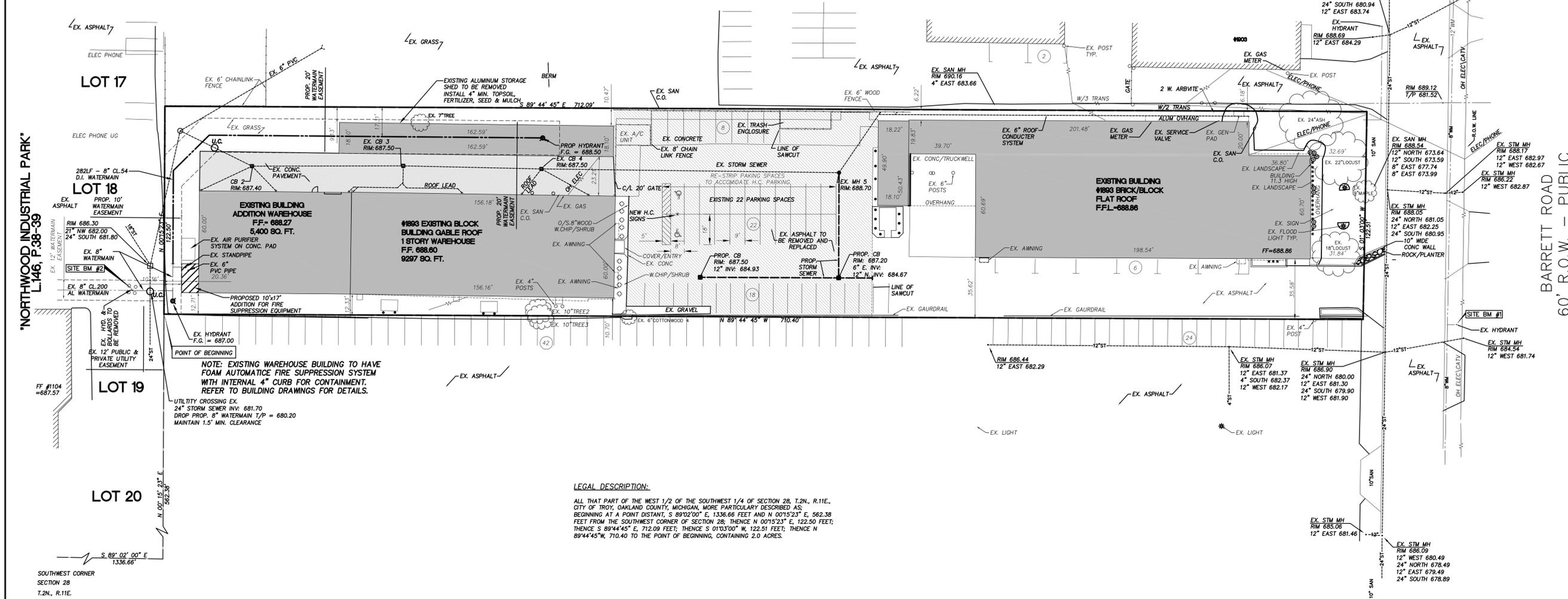
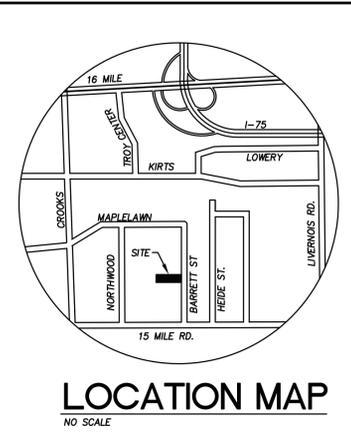
TOTAL BUILDING AREA = 33,498 SF.
 LOT COVERAGE = 38.45%
 MAX. ALLOWED LOT COVERAGE = 40%

BUILDING SETBACKS:
 FRONT: 30 FT. N/A
 SIDE: 10 FT. 6.21' (MATCHING EXISTING)
 REAR: 20 FT. 20 FT.

PARKING REQUIRED:
 INDUSTRIAL = 15P/550 SF. x 28,018 SF. = 515P
 WAREHOUSING = 15P/1500 SF. x 5,400 SF. = 45P
 TOTAL REQUIRED = 555P

PARKING PROVIDED = 545P. (INCLUDING 2 B.F. SPACES)

REQUIRED LANDSCAPE AREA = 20% OF GROSS SITE
 20% x 87,120 SF. = 17,424 SF.
PROVIDED LANDSCAPE AREA = 19,246 SF.



LEGAL DESCRIPTION:

ALL THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 28, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT, S 89°02'00\"/>

- BENCHMARKS**
- REF. BM ARROW ON HYD. #28-84 - 45± EAST OF BARRETT ELEVATION 687.851 (CITY OF TROY)
 - REF. BM ARROW ON HYD. #28-5 - (AT #95 - KTB) ELEVATION 687.686 (CITY OF TROY)
 - SITE BM #1 ARROW ON HUD. EAST SIDE OF BARRETT DR. OPPOSITE SOUTH ENTRANCE TO #1893 'ND INDUSTRIES SITE' ELEVATION 688.47
 - SITE BM #2 NORTHEAST FLANGE BOLT BETWEEN 'MUE' & 'LLER' ON HYD 25± WEST OF SOUTHWEST PROPERTY CORNER ELEVATION 688.67

CITY OF TROY
 PROJECT #07.935.3

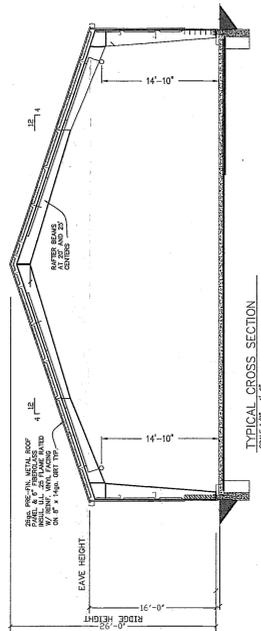
CLIENT
ND INDUSTRIES, INC.
 1893 BARRETT DR.
 TROY, MI 48064
 PH: (248) 655-2522

PROJECT TITLE
PROPOSED WAREHOUSE ADDITION

SHEET TITLE
DIMENSIONAL PLAN

DATE	ISSUED FOR
4/20/2012	FOR CITY SUBMITTAL
9/14/2012	FOR CITY SUBMITTAL
9-21-12	REVISED WATER MAIN

SHEET NO.
CE-1
 PROJECT NO.
 12-533

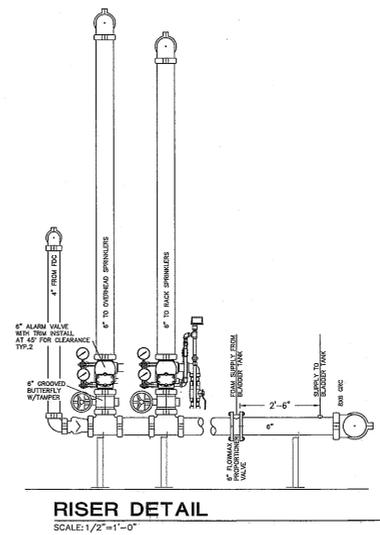
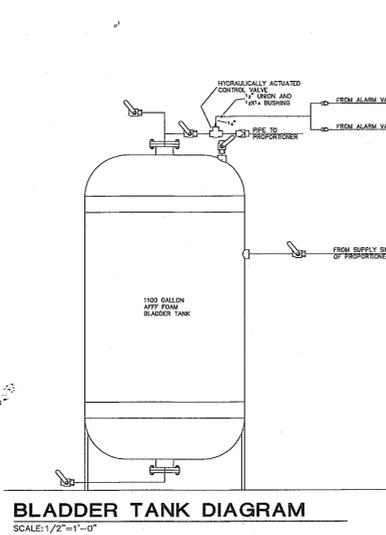


Storm Information:
 Date of Flow Test Date: 8-31-11
 Location of flow test date:
 150 West Main
 Location of flow test date:
 City of Troy
 Storm Data Points: Pump Data Points
 Pressure (Flow) Pressure (Flow)
 74.00 0.00
 62.00 2100.00

Calculation results for Design Area 1 - WAREHOUSE
 This system as shown on Lincoln Fire Protection company print no. dated
 for 180 Inches Inside Warehouse of 1803 Street
 contract no. is designed to discharge at a rate of 0.3 gpm/ft² (L/min/ft²) of floor area over
 a maximum area of 3200.0 ft² when supplied with water at a rate of 1500.0 gpm at the base of the riser.
 Hose stream allowance of is included in the above.
 Occupancy classification: Storage Number of heads flowing: 18
 Commodity classification: System Type: Wet
 Maximum storage height: Additional Outside Hose: 0
 Storage arrangement: 0
 Flow from In-Rack sprinklers: 418.2 gpm Pressure Required at Source: 64.4 psi
 Flow from Overhead sprinklers: 1084.1 gpm Pressure Available at Source: 63 psi
 Flow from Inside Hoses: 0 gpm Static Pressure at Source: 63 psi
 Flow from Outside Hoses: 0 gpm
 Other Rack Flow: 0 gpm
 Total flow in system piping: 1502.3 gpm
 Additional flow at beyond source: 200.0 gpm
 Total of all flow: 2002.3 gpm

PER FM GLOBAL
 .30/3000 PLUS ALL 2 LAYERS OF
 SPRINKLERS IN RACKS UP TO
 18 SPRINKLERS
 (ENTIRE RACK IS 13 HEADS)
 FLOWING AT 20PSI EACH

SYM.	POS.	MATERIAL	SIZE	THICKNESS	WGT.	MANUFACTURER	MODEL #
○	84	UPR	BRASS	285°	8.00	3/4"	VK200 Viking M
◊	1	SIDE	BRASS	285°	5.60	1/2"	VK104 Viking M



CITY OF TROY
 BUILDING DEPARTMENT
 PLANS APPROVED 8/22/2012
 * HAZ-MAT PERMIT REQUIRED
 * FIRE ALARM CONNECTIONS REQUIRE FIRE ALARM PERMIT
 RECEIVED
 AUG 20 2012
 CITY OF TROY
 BUILDING DEPT.

LIQUID STORAGE WAREHOUSE

LFP LINCOLN
 FIRE PROTECTION

4453 CABLETON - ROCKWOOD ROAD
 SOUTH ROCKWOOD, MI 48079
 PH: (734) 777-8024

JOB: ND INDUSTRIES
 1893 Barret
 Troy, MI 48084

DRAWN BY: BH DATE: 5/15/12
 SCALE: 1/8" = 1'-0"

SHEET
 FP1



4453 Carleton-Rockwood Road South Rockwood, MI 48179
Phone: (734) 777-8425 Fax: (734) 789-8740

September 22, 2012

ND Industries
Attn: Joe Gutowski

Re: ND Industries Storage Warehouse
1893 Barrett Road
Troy, Michigan

Lincoln Fire Protection submitted the plans for the above project to the City of Troy originally on May 16, 2012. We started coordination with the fire department at that time. Before the coordination was completed, the plans were somehow misplaced by the City.

We were asked by the City of Troy to re-submit the plans for this project the first week of August, 2012. Lincoln Fire Protection re-submitted and was notified on August 21, 2012 that the permit and plans were complete. The permit was picked up on August 22, 2012.

Respectfully submitted,

Bill Hemphill, President
lincolnfireprotection@yahoo.com



PB2011-0691%PB%1383.00

Building Permit No: PB2011-0691

Building Department
Inspection: (248) 689-5744
Phone: (248) 524-3344

500 W. Big Beaver Road
Troy, Michigan 48084
Hours: Mon-Fri 8am - 4:30pm

Fax: (248) 689-3120
www.ci.troy.mi.us

1893 BARRETT
88-20-28-303-024 Lot:
Subdivision:
Zoning: M-1 Use Group: H-3
Construction Type:

Location

ND INDUSTRIES INC
1000 N CROOKS
CLAWSON MI 48017
(248) 655 2590

Owner

Issued: 11/18/2011

ND INDUSTRIES INC
ND INDUSTRIES INC
1000 N CROOKS
CLAWSON MI 48017
(248) 655 2590

Applicant

FOR INSPECTIONS - CALL (248) 689-5744
Inspections called in by 6:00 A.M. will be scheduled the same day.

Work Description: C-FOLDED. ADDITION - FOUNDATION ONLY PERMIT FOR ND INDUSTRIES.

Special Stipulations: MEET ALL CODES & INSPECTIONS

Work will meet all codes and inspections.

Permit Item	Work Type	Quantity	Item Total
Initial Plan Review Fee	Plan Rev Min.	1.00	30.00
Value \$10,001 to 1 Million	Building Permit	45,000.00	565.00
Alterations Bond	Bond Alter	1.00	50.00
Plan Review Fee	Plan Review	45,000.00	15.00
Microfilm Fee-Commercial	Microfilm Fee	5.00	5.00
Grade fee Non-Res	Grade Non Res	0.53	70.00
Non Residential Sewer Tap	Sewer Tap	3.24	648.00

Commercial, Add/Alter

Total Due: \$1383.00

PAID on: 11/18/2011
Check#: 00291854
Payment Validation

This permit is issued subject to the Building Code, Zoning Ordinance and all other Ordinances of the City of Troy, and shall become void once work is not started or is abandoned for a period of one hundred eighty (180) days.
Separate permits must also be obtained for signs and any plumbing, heating, refrigeration, electric, or sewer work.
This permit conveys no right to occupy any street or public right-of-way, either temporarily or permanently.



PB2012-0015%PB%1392.25

Building Permit No: PB2012-0015

Building Department
Inspection: (248) 689-5744
Phone: (248) 524-3344

500 W. Big Beaver Road
Troy, Michigan 48084
Hours: Mon-Fri 8am - 4:30pm

Fax: (248) 689-3120
www.ci.troy.mi.us

1893 BARRETT 88-20-28-303-024 Subdivision: Zoning: M-1 Construction Type:	Lot:	Use Group: H-3	Location
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ND INDUSTRIES INC 1000 N CROOKS CLAWSON MI 48017 (248) 655 2590	Owner
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Issued: 01/19/2012

ND INDUSTRIES INC ND INDUSTRIES INC 1000 N CROOKS CLAWSON MI 48017 (248) 655 2590	Applicant
---	-----------

FOR INSPECTIONS - CALL (248) 689-5744
Inspections called in by 6:00 A.M. will be scheduled the same day.

Work Description: I-ATTACHED

Special Stipulations:

Work will meet all codes and inspections.

Permit Item	Work Type	Quantity	Item Total
Value \$10,001 to 1 Million	Building Permit	105,000.00	1,165.00
Cert of Occupancy	C of O	1,165.00	58.25
Alterations Bond	Bond Alter	1.00	50.00
Initial Plan Review Fee	Plan Rev Min.	1.00	30.00
Plan Review Fee	Plan Review	105,000.00	75.00
Microfilm Fee-Commercial	Microfilm Fee	14.00	14.00

Industrial, Add/Alter

Total Due: \$1392.25

PAID on: 01/19/2012
Check#: 00293269
Payment Validation

This permit is issued subject to the Building Code, Zoning Ordinance and all other Ordinances of the City of Troy, and shall become void once work is not started or is abandoned for a period of one hundred eighty (180) days.

Separate permits must also be obtained for signs and any plumbing, heating, refrigeration, electric, or sewer work.

This permit conveys no right to occupy any street or public right-of-way, either temporarily or permanently.

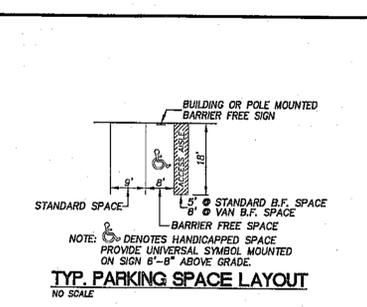
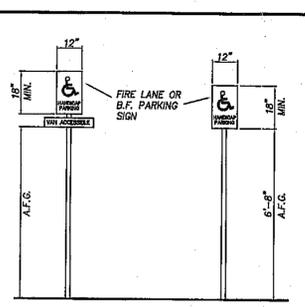
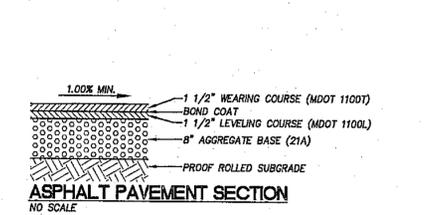
LEGEND	
EXISTING	PROPOSED
ELEVATION 0.000	0.000
CONTOUR	
STORM SEWER	
SANITARY SEWER	
WATERMAIN	
GAS	
ELECTRICAL	
CATCH BASIN	
MANHOLE	
GATE VALVE IN WELL	
HYDRANT	

GENERAL NOTES

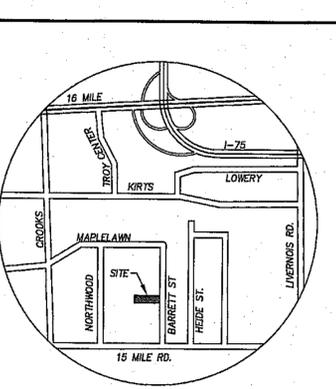
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- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
- HANDICAP PARKING SPACE TO BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL.
- ACCESS TO A STRUCTURE SHALL BE PROVIDED FOR THE PHYSICALLY HANDICAPPED.
- ON-SITE PARKING SHALL BE PROVIDED FOR CONSTRUCTION WORKERS.
- AN AS-BUILT REPRODUCIBLE MYLAR SHALL BE SUBMITTED TO THE CITY OF TROY ENGINEERING DEPARTMENT BEFORE RESUME OF AN OCCUPANCY.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND BONDS FOR CONSTRUCTION BEING DONE WITHIN THE OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION RIGHT OF WAY AND THE CITY OF TROY RIGHT OF WAY UNDER THE JURISDICTION OF THE AFORESAID AGENCIES.
- SOIL BORINGS HAVE NOT BEEN SUPPLIED. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY. INADEQUATE SOIL PROFILES OF LESS THAN 2,500 PSF MAY REQUIRE REDESIGN OF SITE FEATURES SUCH AS PAVEMENT, UTILITIES, AND FOOTINGS.
- SOIL BORINGS HAVE NOT BEEN SUPPLIED. CONTRACTOR TO VERIFY EXISTING GROUND WATER ELEVATION. IF EXISTING WATER TABLE IS FOUND TO BE WITHIN THE INFLUENCE OF PROPOSED UTILITIES OR DETENTION FACILITIES REDESIGN MAY BE REQUIRED.
- OWNERS SHALL PAY CITY OF TROY AND OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION INSPECTION FEES.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF TROY ENGINEERING DEPARTMENT FORTY EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION OF PUBLIC UTILITIES OR CONSTRUCTION IN THE STREET RIGHT OF WAY.
- THE CONTRACTOR IS TO ARRANGE PRE-CONSTRUCTION MEETING WITH GAS COMPANY, AMERITECH TELEPHONE COMPANY, DETROIT EDISON COMPANY, CITY OF TROY WATER & SEWER DEPARTMENTS AND THE OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION FOR ASSISTANCE TO DETERMINE PROBLEMS OF CONSTRUCTION AND POSSIBLE CONFLICTS WITH EXISTING UTILITIES DURING CONSTRUCTION.
- ENGINEERING HAS BEEN BASED OFF OF SURVEY PROVIDED BY OTHERS. DEVELOPER TO VERIFY ANY AND ALL EXISTING SITE FEATURES.
- PROPOSED BUILDING LEADS TO BE VERIFIED WITH MECHANICAL CONTRACTOR FOR PROPER DESIGN, LOCATION AND DEPTH.
- ALL GRADING TO BE DIRECTED TOWARDS ON-SITE STORM SYSTEM AND AWAY FROM BUILDINGS. GRADING NOT TO BE LESS THAN 0.5% IN LANDSCAPE AREAS OR 1% IN PAVEMENT AREAS.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF TROY WATER AND SEWER DEPARTMENTS AND OAKLAND COUNTY D.P.W. OR DRAIN COMMISSION AND ALL CONCERNED PUBLIC UTILITIES SEVENTY TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION.
- LOCATION OF ALL EXISTING UTILITIES SHOWN IN AREA OF PROPOSED CONSTRUCTION ARE APPROXIMATE AND ARE NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA AND WILL BE HELD RESPONSIBLE FOR AND DAMAGE TO SUCH EXISTING UTILITIES FROM HIS OPERATION.
- ROAD, ROAD SHOULDERS, ROAD PAVEMENT, PARKING PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, DITCHES, DRAINAGE PIPE AND STRUCTURES, FENCES, LAWNS, TREES, BUSHES, MAILBOXES, STREET AND PUBLIC INFORMATION SIGNS, ADVERTISEMENT SIGNS, ETC., DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO CONDITION PRIOR TO CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO CONTRACT.
- ALL WATER MAINS, SANITARY SEWERS (AND LEADS) AND STORM SEWERS UNDER PROPOSED OR EXISTING PAVEMENT OR WITHIN 5 FEET OF PAVEMENT TO BE SAND BACKFILLED AND COMPACTED TO 95% OPTIMUM DENSITY (PROCTOR). SAND BACKFILLING TO BE INCIDENTAL TO CONTRACT.

PAVING NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE OAKLAND COUNTY ROAD COMMISSION AND THE CITY OF TROY.
- ALL GRAVEL SHOULDERS AND ROAD DITCHES SHALL BE PER PLAN AND STABLE PRIOR TO ACCEPTANCE BY THE OAKLAND COUNTY ROAD COMMISSION.
- ALL TOPSOIL SHALL BE REMOVED FROM ROAD R.O.W. PRIOR TO CUTTING OR FILLING.
- ROAD DITCHES AND DRAINAGE SWALES HAVING GRADES OF 2.00% OR GREATER SHALL BE SLOTTED AND REEDED IN PLACE.
- VEGETATION MUST BE STABLE PRIOR TO RELEASE OF CONSTRUCTION GUARANTEE.
- ADDITIONAL SUB-BASE AND/OR UNDERDRAINS MAY BE REQUIRED IF POOR SUB-SOIL OR NET CONDITIONS ARE ENCOUNTERED DURING PAVEMENT CONSTRUCTION AS DIRECTED BY THE OAKLAND COUNTY ROAD COMMISSION (SEE RESULTS OF BORINGS).



SITE DATA:
 SITE AREA = 2.0AC (87,120 SF.)
 MIN. AREA REQUIRED =
 EXISTING ZONING:
 SITE TO NORTH: IR
 SITE TO SOUTH: MR
 SITE TO EAST: IR
 SITE TO WEST: IR
 BUILDING 1:
 MANUFACTURING AREA = 13,042 SF.
 OFFICE AREA = 2,233 SF.
 SHIPPING AREA = 1,700 SF.
 SUBTOTAL = 16,975 SF.
 BUILDING 2:
 LABORATORY AREA = 5,400 SF.
 MACHINE SHOP AREA = 3,780 SF.
 PROP. WAREHOUSE AREA = 5,400 SF.
 SUBTOTAL = 14,580 SF.
 TOTAL BUILDING AREA = 31,555 SF.
 LOT COVERAGE = 36.22%
 MAX. ALLOWED LOT COVERAGE = 40%
 BUILDING SETBACKS:
 FRONT: 30 FT.
 SIDE: 10 FT.
 REAR: 10 FT.
 12.33'
 20 FT.
 PARKING REQUIRED:
 INDUSTRIAL = 1SP/500 SF. x 26,155 SF = 48SP
 WAREHOUSING = 1SP/1500 SF. x 5,400 SF. = 4SP
 TOTAL REQUIRED = 52SP
 PARKING PROVIDED = 46SP (INCLUDING 2 BF. SPACES)
 REQUIRED LANDSCAPE AREA = 20% OF GROSS SITE
 20% x 87,120 SF. = 17,424 SF.
 PROVIDED LANDSCAPE AREA = 19,246 SF.

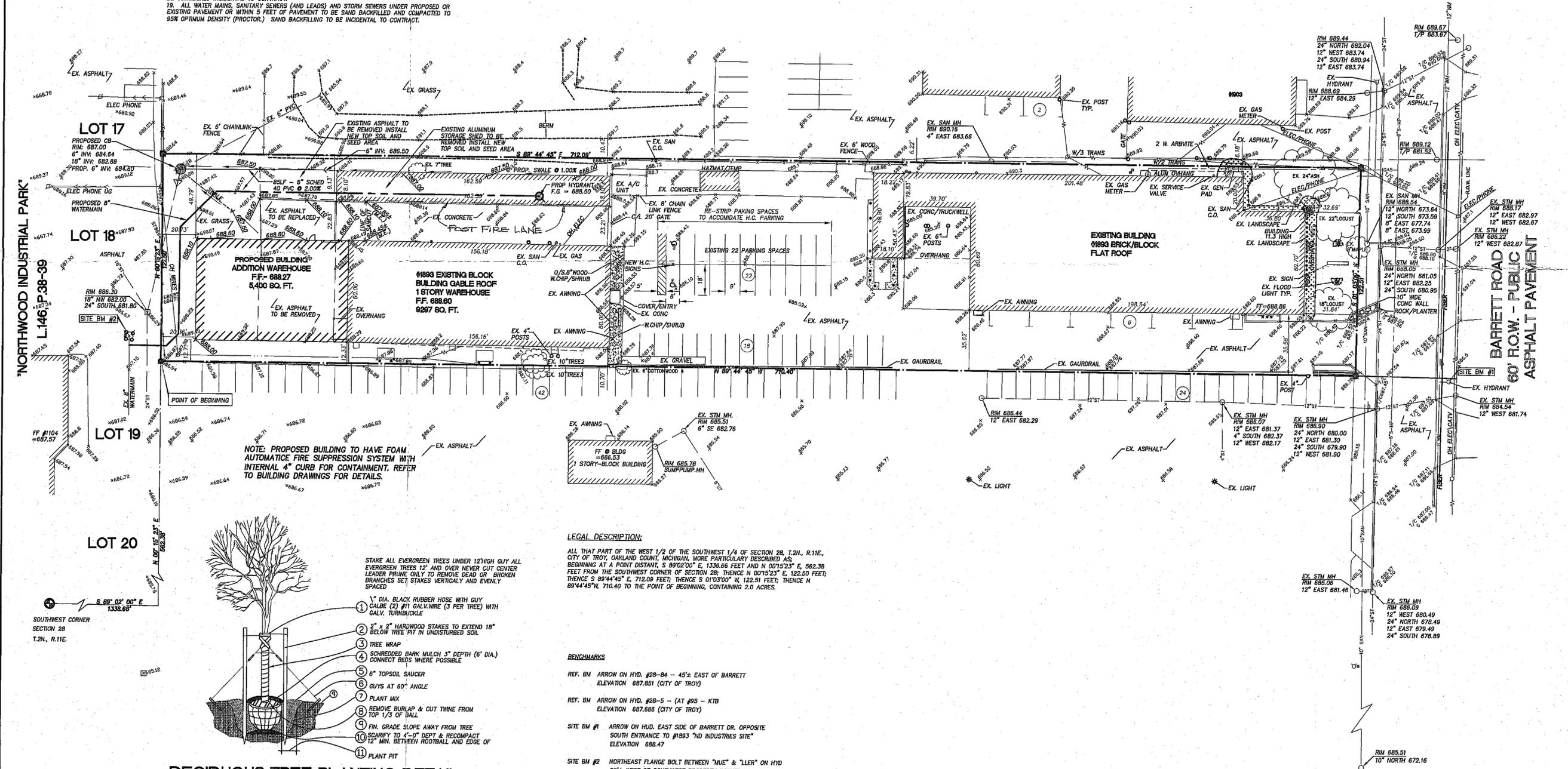


LOCATION MAP
NO SCALE

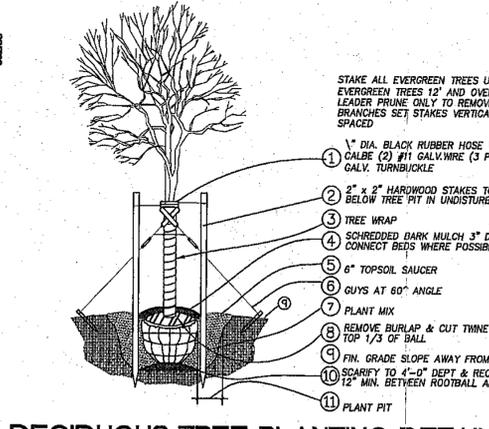
AR DECKER AND ASSOCIATES, INC.
 Civil & Structural Survey
 Consulting Engineers
 1878 Star Batt Drive
 Rochester Hills, MI 48309
 (248) 243-3940 P
 (248) 243-3944 F

CLIENT
ND INDUSTRIES, INC.
 PROJECT TITLE
PROPOSED WAREHOUSE ADDITION
 SHEET TITLE
SITE PLAN

RECEIVED
 OCT 27 2011
 CITY OF TROY
 BUILDING DEPT.



NOTE: PROPOSED BUILDING TO HAVE FOAM AUTOMATIC FIRE SUPPRESSION SYSTEM WITH INTERNAL 4" CURB FOR CONTAINMENT. REFER TO BUILDING DRAWINGS FOR DETAILS.



DECIDUOUS TREE PLANTING DETAIL
NO SCALE

LEGAL DESCRIPTION:
 ALL THAT PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 28, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT, S 89°02'00" E, 1336.66 FEET AND N 0°15'23" E, 582.38 FEET FROM THE SOUTHWEST CORNER OF SECTION 28; THENCE N 0°15'23" E, 122.50 FEET; THENCE S 89°44'45" E, 712.09 FEET; THENCE S 01°03'00" W, 122.51 FEET; THENCE N 89°44'45" W, 710.40 TO THE POINT OF BEGINNING, CONTAINING 2.0 ACRES.

- BENCHMARKS**
- REF. BM ARROW ON HYD. #28-84 - 45± EAST OF BARRETT ELEVATION 687.851 (CITY OF TROY)
 - REF. BM ARROW ON HYD. #28-5 - (AT #95 - KTB) ELEVATION 687.888 (CITY OF TROY)
 - SITE BM #1 ARROW ON HUD. EAST SIDE OF BARRETT DR. OPPOSITE SOUTH ENTRANCE TO #1893 "ND INDUSTRIES SITE" ELEVATION 688.47
 - SITE BM #2 NORTHEAST FLANGE BOLT BETWEEN "MUE" & "TLER" ON HYD 25± WEST OF SOUTHWEST PROPERTY CORNER ELEVATION 688.67

LOT 17
 PROPOSED CB
 RIM 687.00
 6" INV. 684.64
 18" INV. 682.88
 PROP. 6" INV. 684.30
 PROP. 6" INV. 684.30

LOT 18
 PROPOSED BUILDING ADDITION WAREHOUSE
 F.F. = 688.27
 5400 SQ. FT.

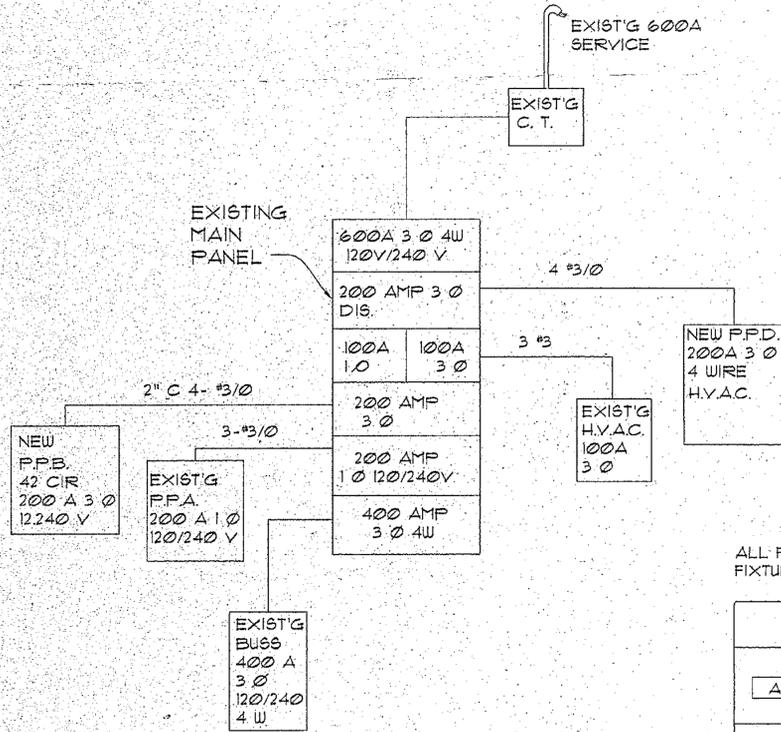
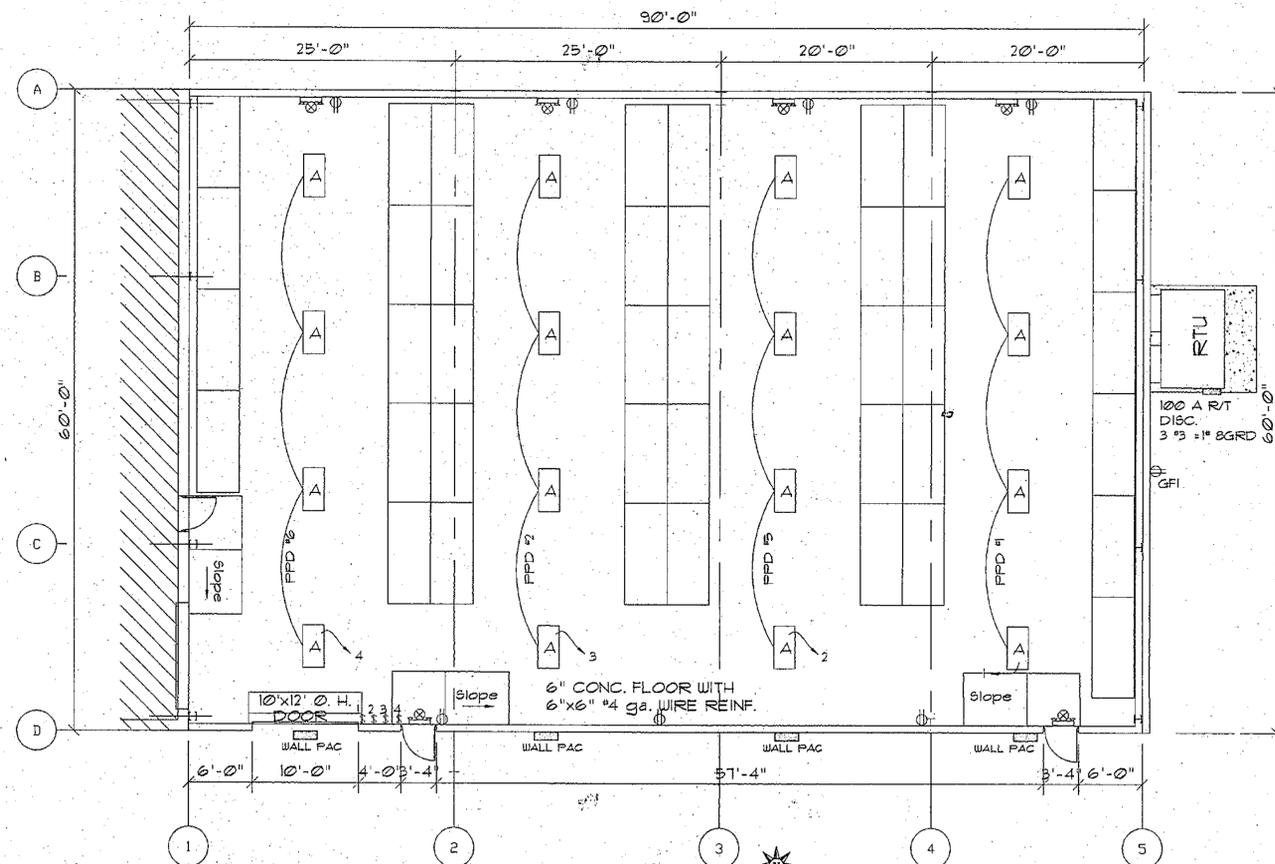
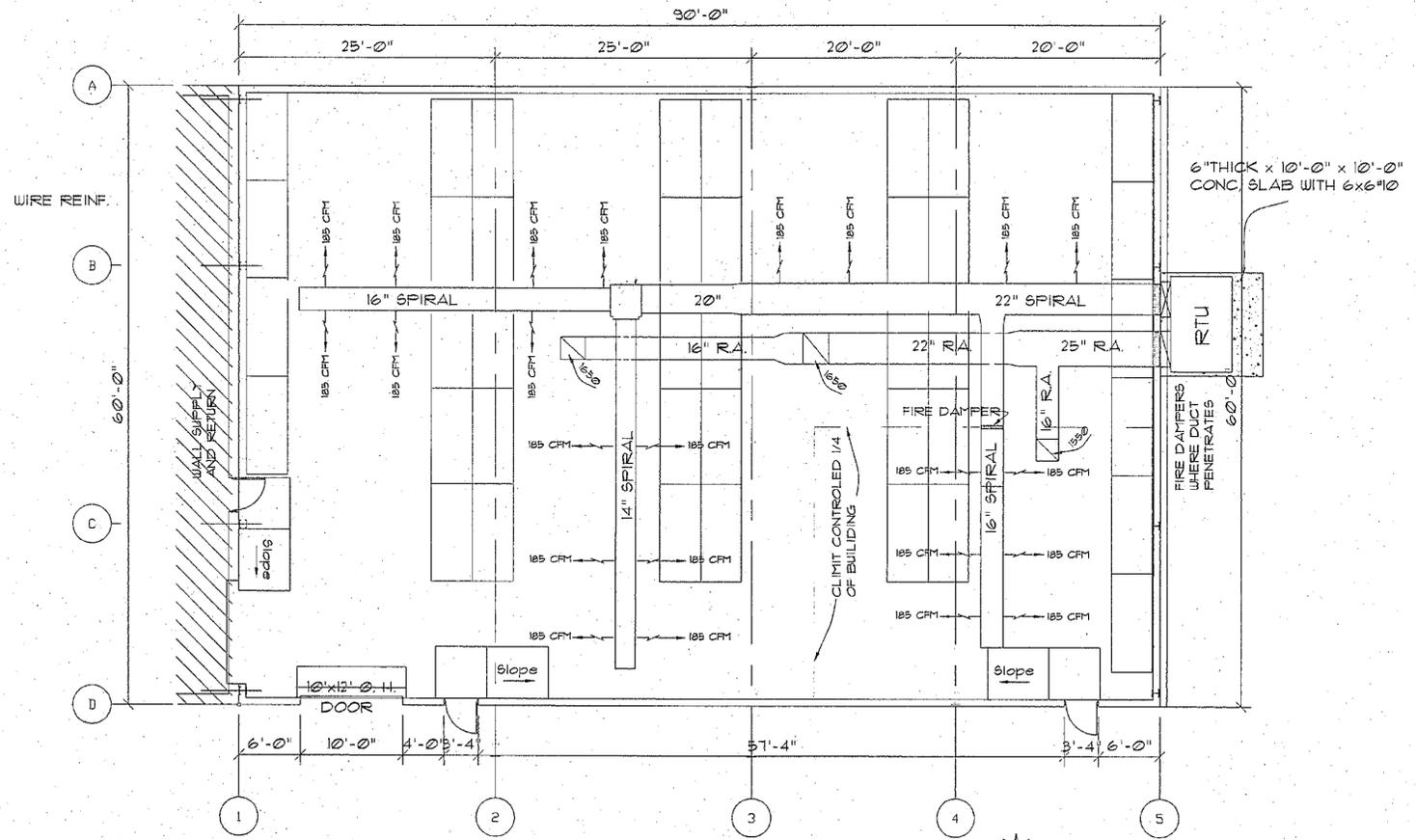
LOT 19
 EXISTING BLOCK BUILDING GABLE ROOF 1 STORY WAREHOUSE
 F.F. = 688.80
 9287 SQ. FT.

LOT 20
 PROPOSED BUILDING
 F.F. = 686.53
 1 STORY-BLOCK BUILDING
 RIM 686.79
 SUMPPUMPH.MH

SHEET NO.
SP-1
 PROJECT NO.
 11-0292

RTU	EER	125 TON	HEATING	MCA	MAX
BRIANT	10.8	140,000 BTU	OUT PUT	68.2	FUSE
ELECTRICAL 200/230 - 3P 60		OA 150 CFM			

NOTES:
RTU WILL HAVE ECONOMIZER, ZONED CONTROLS, ZONE DAMPERS, AND BYPASS BAROMETRIC.



EXISTING	30.8KW	110KW
NEW	10.4KW	33.25KW
TOTAL	41.2KW	143.25KW
516 AMPS		

ALL FIXTURE ARE TO BE "LITHONIA LIGHTING" FIXTURES OR EQUAL.

A	1BZ654L HIGHBAY T5HO 6 LAMP
EXIT	CAT: ECR M6 LED COMBO EXIT EXIT WITH EMERG. LIGHTING
EXIT SIGN	EXRELM6 LED EXIT SIGN
EMERGENCY LIGHT	CAT: EU2 M6 EMERGENCY LIGHT 2 HEAD
WALL PAK	WALL-PAK TUH150S 120V 150 WATT PHOTOCONTROLLED
DUPLEX	125V 20AMP. DUPLEX

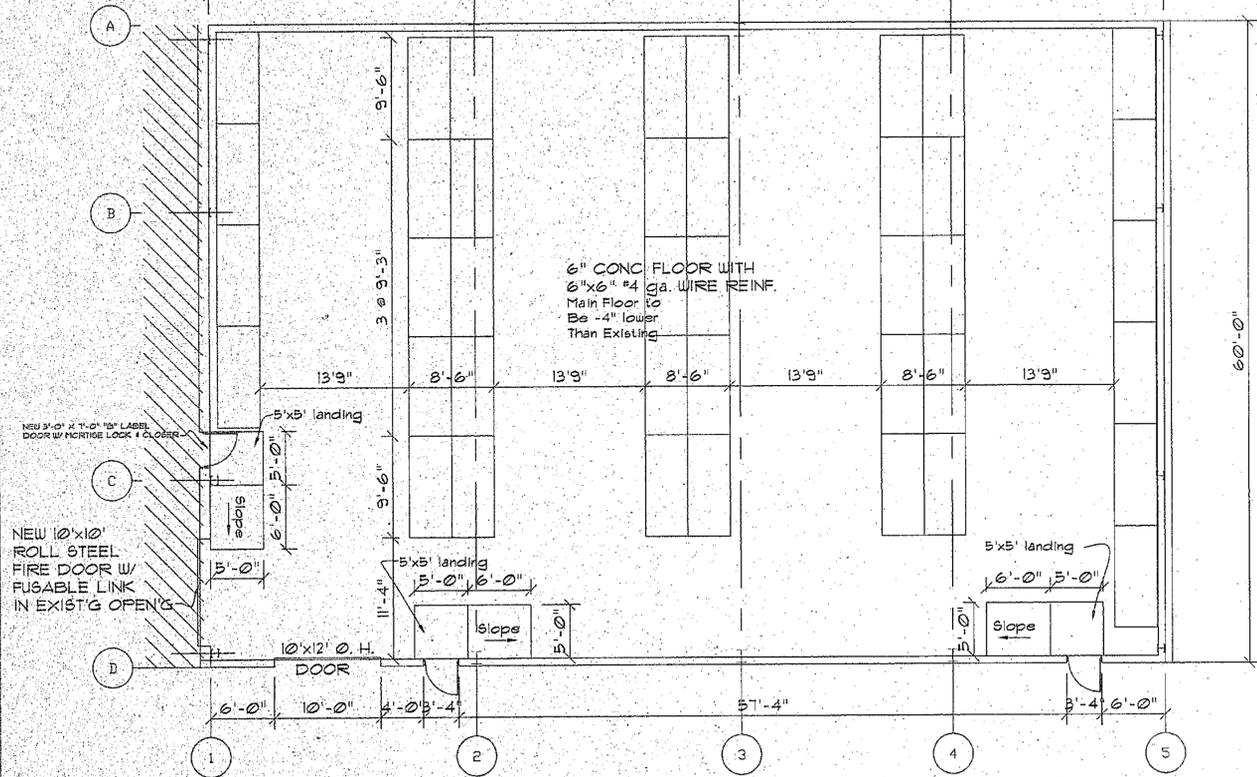
MECHANICAL & ELECTRICAL
INDUSTRIES, INC.
1893 BARRETT DRIVE
TROY, MICHIGAN 48064

PRELIMINARY
WORKING DRAWING
4-18-11
ARCHITECT
FREDERICK H. REISS
4305 LESSING ST.
WATERFORD, MI 48329
NO. 11482
DRAWN BY
CHECKED BY
REVISED
5-18-11 BUILDING
ORIENTATION
6-14-11 DOOR LOCATION
ADD 30 TO FIRE DOOR

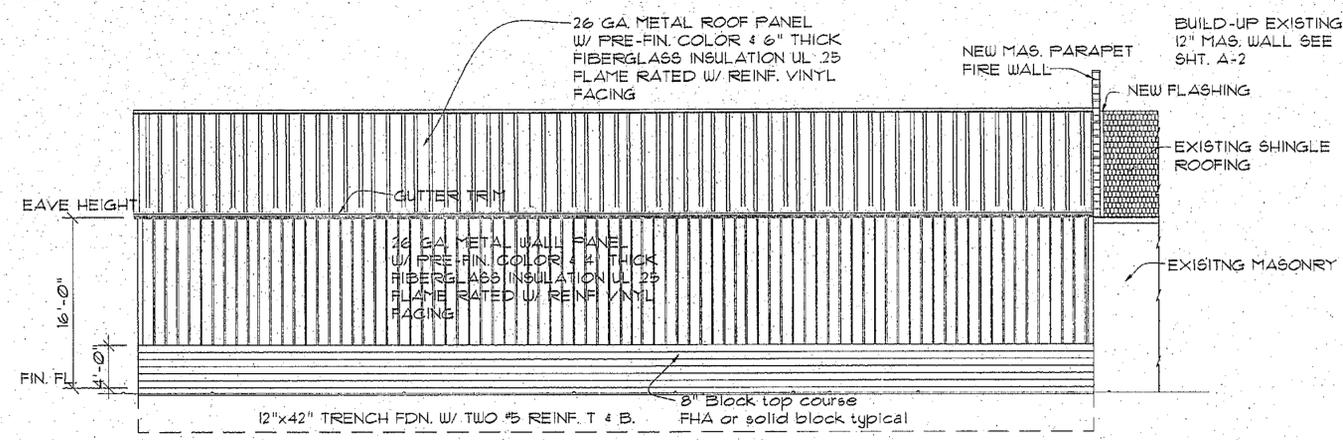
JOB NO.
11-160
SHEET NO.

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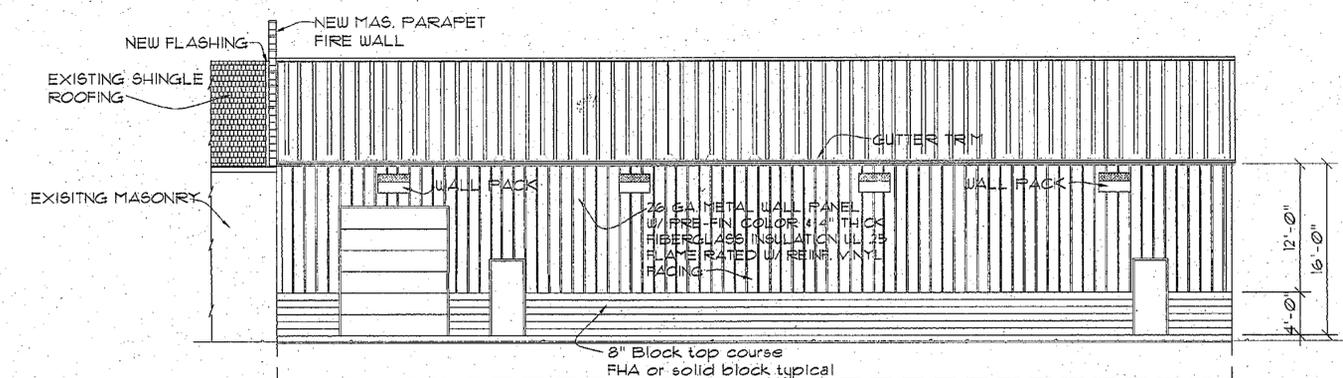
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CITY OF TROY
BUILDING DEPT.



FLOOR PLAN
SCALE 1/8" = 1'-0"



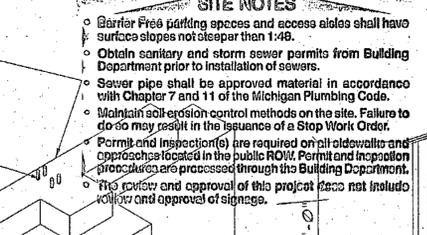
SOUTH ELEVATION SCALE 1/8" = 1'-0"



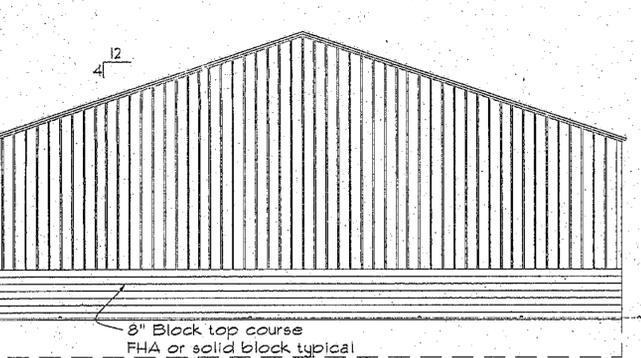
NORTH ELEVATION SCALE 1/8" = 1'-0"

FORM TOP OF PIER TO
FINISH FLOOR PIER TO
BE 12" x 24" x 8" +/-

3/4 ANCHOR BOLTS
SEE NUDDR DRAWINGS
FOR LOCATIONS AND HEIGHT
ABOVE THE FDN



FOUNDATION DETAIL
BETWEEN COLUMNS
SCALE 3/4" = 1'-0"



WEST ELEVATION SCALE 1/8" = 1'-0"

- SITE NOTES**
- Barrier Free parking spaces and access aisles shall have surface slopes not steeper than 1:48.
 - Obtain sanitary and storm sewer permits from Building Department prior to installation of sewers.
 - Sewer pipe shall be approved material in accordance with Chapter 7 and 11 of the Michigan Plumbing Code.
 - Maintain soil erosion control methods on the site. Failure to do so may result in the issuance of a Stop Work Order.
 - Permit and inspection(s) are required on all sidewalks and approaches located in the public ROW. Permit and inspection procedures are processed through the Building Department.
 - The content and approval of this project does not include signage.

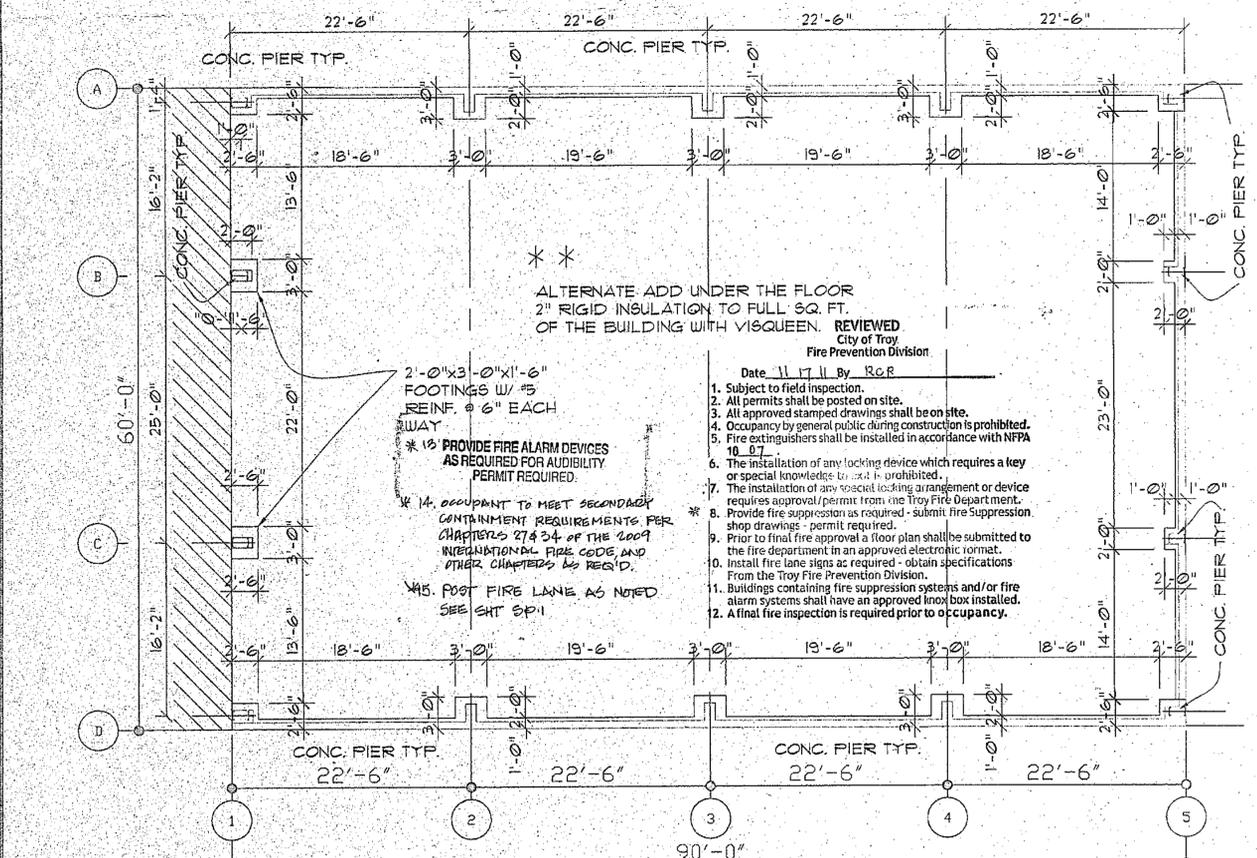
- FOUNDING NOTES**
- Approval of this permit does not relieve the builder or owner of compliance with all applicable codes and ordinances.
 - All work is subject to field inspection.
 - Obtain required permits (plumbing, mechanical, electrical and fire protection (sprinkler and alarm)).
 - Install to code.
 - Call for inspections.
 - All permits shall be posted on the job site.
 - Approved stamp plans shall be on the job site.
 - A certificate of occupancy is required before the building or space can be occupied.
 - Occupancy by the general public is prohibited.
 - A physical barrier is required between the construction area and occupied spaces/areas.
 - Approval of this permit does not include exterior signage.
 - Toilet room fixtures and accessories shall be installed in accordance with the ICC/ANSI A117.1 standard as referenced from the state codes.

FOUNDATION NOTES

- ALL FOUNDATION ARE TO EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.
- ALL FOUNDATIONS ARE TO EXTEND A MIN. OF 3'-6" BELOW FIN. GRADE, OR FTGS ON SOIL NOT MEETING THIS CAP'T.
- ALL FOUNDATIONS AND FOOTINGS ARE BASED ON SOIL BEARING CAPACITY OF MIN. OF 3000 PSF. DO NOT PLACE FND. OR FTGS ON SOIL NOT MEETING THIS CAP'T.
- ALL CONCRETE TO BE 3000 PSI STRENGTH AT 28 DAYS FOR FOUNDATIONS AND 3500 PSI FOR CONCRETE FLOORS
- ALL CONCRETE REIN. TO BE ACCORD'G TO A.C.I. 301, 306, 315, & 318 LATEST EDITION AND REVISIONS. REIN. SHALL CONFORM TO A.S.T.M. A-615 GRADE 40 (FY=40,000 PSI)
- ANCHOR BOLTS ARE TO BE SUPPLIED BY CONTRACTOR AND INSTALLED IN ACCORDANCE TO METAL BUILDING MFG. ENGINEERED DRAWINGS.
- TOP OF COLUMN FOUNDATIONS TO BE AT THE FIN. FLOOR ELEVATION WITH TROUPEL FINISH TO CONC.
- ALL TRENCH FOUNDATIONS SHALL BE PLACED INTEGRAL WITH COL. FND. W/ 2 #5 REIN. CNT. 3" UP FROM BOTTOM. TOP OF TRENCH FND. TO 8" BELOW FIN. FL.

3 FULL WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG@
1-800-482-7171
their facilities are not to be used to locate their facilities are not to be used to locate

CITY OF TROY BUILDING DEPT.	DATE	BY	COMMENTS
PLANNING	10/27/11	REB	CONSULTANT W/ APPROVED PLAN
LANDSCAPE			
CIVIL			
STRUCTURAL			
ELECTRICAL			
MECHANICAL			
PLUMBING			
INSPECTION			



FOULDATION PLAN
SCALE 1/8" = 1'-0"

PRE-ENGINEERED
METAL BUILDING
STEWART CONTRACTING CORP.
STREET STEEL FABRICATORS AND ERECTORS
4305 LESSING WATERFORD, MI 48320 (248) 623-1300

PLAN VIEWS AND ELEVATIONS
ND INDUSTRIES, INC.
1893 BARRETT DRIVE
TROY, MICHIGAN 48064

PRELIMINARY
3-4-11
WORKING DRAWING
4-18-11
ARCHITECT
FREDERICK H. REISS
4305 LESSING ST.
WATERFORD, MI 48320
NO. 11-160

DRAWN BY
T.T.
CHECKED BY
REVISED
6-14-11 DOOR LOCATION
ADD 3010 FIRE DOOR
10-21-11 LOWER FLOOR
AND FND. DESIGN

JOB NO.
11-160
SHEET NO.

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NOV 02 2011
CITY OF TROY
BUILDING DEPT.

Print Industries April 18/11 D Industries April 18, 2011 10:28:10 PM, Ted Taylor

APPROVED



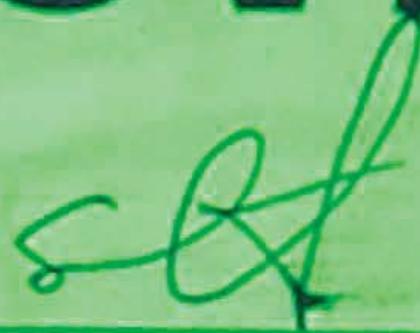
TYPE OF INSPECTION:

TRENCH

APPROVED

9/17/12

Date



City of Troy Bldg. Dept.

From: [Rick Kessler](#)
To: jgutowski@ndindustries.com
Subject: variance
Date: Monday, September 17, 2012 5:52:32 PM

Hi Joe,

The addition on the back of the building is going to need a variance from the BZA (Board of Zoning Appeals). A 20' setback from the rear property is required. Applications are available on line. The application has a cover sheet that outlines what has to be done. I am working on water main easement issues; I will keep you posted. Call or email me if you have questions.











