

PLANNING COMMISSION MEETING AGENDA SPECIAL/STUDY MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Donald Edmunds, Chair, Philip Sanzica, Vice Chair
Steve Gottlieb, Michael W. Hutson, Tom Krent, Gordon Schepke
Robert Schultz, Thomas Strat and John J. Tagle

March 25, 2014

7:00 P.M.

Council Board Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – March 11, 2014 Regular Meeting
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT
7. PLANNING AND ZONING REPORT

PRELIMINARY SITE PLAN REVIEW

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 080-D) – Proposed Walsh College Renovations and Addition, East side of Livernois, South of Wattles (3838 Livernois), Section 22, Currently Zoned CF (Community Facilities) District

CONDITIONAL REZONING REQUEST

9. PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 011) – Proposed Amber Town Center Townhomes and Lofts, West side of Livernois, North of Town Center (3409 Livernois), Section 21, From O (Office) District to BB (Big Beaver) District

OTHER BUSINESS

10. PLANNING COMMISSION BYLAWS – Draft Revisions
11. PUBLIC COMMENT – Items on Current Agenda
12. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Edmunds called the Regular meeting of the Troy City Planning Commission to order at 7:01 p.m. on March 11, 2014 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Steve Gottlieb
Michael W. Hutson
Tom Krent
Philip Sanzica
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Also Present:

R. Brent Savidant, Planning Director
Ben Carlisle, Carlisle/Wortman Associates, Inc.
Allan Motzny, Assistant City Attorney
Frank Boudon, Student Representative
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2014-03-012

Moved by: Tagle
Seconded by: Schultz

RESOLVED, To approve the Agenda as printed.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2014-03-013

Moved by: Schultz
Seconded by: Schepke

RESOLVED, To approve the minutes of the February 11, 2014 Regular meeting as prepared.

Yes: All present (9)

MOTION CARRIED

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Poppleton Ridge, 11 units/lots, South side of Big Beaver, E of Adams between Brooklawn and Wrenwood (3737 W Big Beaver), Section 30, Currently Zoned R-1C (One Family Residential) District

Mr. Carlisle reviewed the Preliminary Site Condominium Plan application for Poppleton Ridge. He reported the applicant provided floor plans and elevations in compliance with the submittal requirements of the Zoning Ordinance. Mr. Carlisle addressed:

- Existing landscaped berm along the southerly boundary.
- Lot 4 as relates to minimum width requirement.
- Maintenance of greenbelt and Big Beaver right of way.
- Road width of Poppleton Court.
- Storm water alternatives; i.e., location of detention basin to provide amenity for residential community.
- Required vision clearance triangle for decorative wall and landscaped corner at Big Beaver and Brooklawn.

Mr. Carlisle indicated support for the proposed Preliminary Site Plan and recommended approval of the application with the conditions as outlined in his report, dated February 24, 2014, with the exception of the applicant providing building plans and elevations.

Joe Cracchiolo was present and said he would abide by the conditions outlined in the Planning Consultant report.

There was discussion on:

- Tree preservation.
- Alternative storm water features; specifically grass/paver material.

Chair Edmunds opened the floor for public comment. There was no one present; the floor was closed for public comment.

Resolution # PC-2014-03-014

Moved by: Schultz
 Seconded by: Krent

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Poppleton Ridge Site Condominium, 11 units/lots, South side of Big Beaver, East of Adams between Brooklawn and Wrenwood, Section 30, currently Zoned R-1C (One Family Residential) District, be granted, subject to the following:

1. Increase road width of Poppleton Court to 28-feet.
2. Reconfigure Lot 4 to meet the 76.5 foot minimum width requirement.
3. Indicate percent lot coverage by building.
4. Consider more naturalized storm water best management practices.
5. Indicate maintenance of greenbelt and Big Beaver right of way.
6. Ensure that the 25-foot vision clearance triangle is met.
7. Construct the retention pond access drive with grass/paver material.

Discussion on the motion on the floor.

There was discussion whether approval of the Preliminary Site Plan should be subject to the minimum square footage requirements for residential units.

Mr. Savidant said the applicant is not able to provide the square footage information at this time because he is building custom homes. Mr. Savidant said he is confident the applicant will meet the requirements of the Zoning Ordinance and it is not necessary to place that condition on its approval.

Vote on the motion on the floor.

Yes: All present (9)

MOTION CARRIED

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

6. PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 412) – Proposed Advanced Landscape & Builders Supply Inc., North side of Birchwood, East of Bellingham (1871 Birchwood), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle reviewed the Special Use and Preliminary Site Plan application for Advanced Landscape & Builders Supply. He said the soil conveyor, sorter and stockpile are not standard operations for a landscaper contractor’s yard. Mr. Carlisle said he not able to make a recommendation until the applicant provides additional information as outlined in his report, dated February 26, 2014.

There was discussion on:

- Decibel level of noise.
- Impact on surrounding neighbors.
- Height of equipment.
- Retail entity of operation.
- Soil and mud transported on surface roads.
- Proposed portions of pavement.
- Storm water management.

Present were the applicant/property owner, Russ Maloney, and Nathan Robinson of Horizon Engineering.

Mr. Robinson provided an explanation of the proposed use on site, stating it would be a low intensity, low trafficked operation. He addressed:

- Average hours of operation and topsoil sorting.
- Truck traffic to/from site.
- Overnight parking; two trucks.
- Height dimensions of topsoil sorter/conveyer.
- Existing 6 foot wood fence.
- Paving of site; proposed to pave northwest quadrant.
- Vehicular driving, parking and maneuvering on paved surface.
- Dust control; spray with water, chloride.
- Soil erosion control; no immediate measures, possibly some type of barrier.
- Storm water requirements dependent on amount of pavement. The applicant will comply with all engineering requirements.

Mr. Robinson distributed manufacturing flyers on the landscaping and topsoil sorter equipment.

Mr. Maloney said the topsoil sorter is equivalent to a larger tractor with a 4-cylinder motor and a muffler that could be used to control noise. Mr. Maloney said there would be no retail operation at this site; the facility would not be open to the public. He addressed the height of the topsoil sorter and his flexibility in hours of operation.

Discussion continued on:

- Screening for adjacent properties.
- Sight angles of equipment from adjacent properties.
- Manufacturer of topsoil sorting equipment; decibel level, motor, muffler.
- Cost factor as relates to paving entire site.
- Decibel level allowed in IB district; not to exceed 70 decibels at property line.
- Storm water management; bioswales in lieu of retention to manage run-off.
- Definition of 'travel areas'.

PUBLIC HEARING OPENED

Lisa Casali of Collision Protection Sciences, 1893 Birchwood Drive, was present. Ms. Casali said Collision Protection Services moved to this location in January 2013 because of its perfect fit with the office space and garage area. She displayed pictures taken on this date of the existing view from her office window. Ms. Casali shared concerns with the noise level of the proposed use, stating it is not a fit for their business or neighboring businesses. She asked that consideration be given for additional screening should the use get approval. Ms. Casali referenced Section 6.08 as relates to topsoil sorting operation and questioned who would monitor the site for code violations. Ms. Casali said she has had no contact with the applicant.

PUBLIC HEARING CLOSED

Board members asked the applicant to address:

- Acceptable screening for surrounding neighbors.
- Designate paving area on the site plan.
- Noise levels.
- Retention/run-off measurements.
- Public comment; approach and reach common ground with neighboring businesses.

Mr. Maloney briefly addressed the previous use of property. He offered to demonstrate to the Board members the operation of the topsoil sorter/conveyor equipment.

Mr. Carlisle stated any conditions the Planning Commission might place on the Special Use Approval must relate to the special use and operation of the site; i.e., fence, screening, protection of surrounding properties, hours of operation.

Resolution # PC-2014-03-015

Moved by: Schultz

Seconded by: Gottlieb

RESOLVED, To postpone Special Use Approval and Preliminary Site Plan Approval for the proposed Advanced Landscape & Builders Supply Inc., to the April 8, 2014 Regular meeting, or until such time as the petitioner comes back with a revised site plan.

Yes: All present (9)

MOTION CARRIED

OTHER BUSINESS

7. **CONDITIONAL REZONING APPLICATION (File Number CR 011)** – Proposed Amber Town Center Townhomes and Lofts, West side of Livernois, North of Town Center (3409 Livernois), Section 21, From O (Office) District to BB (Big Beaver) District

Mr. Savidant provided a history on the previous traditional rezoning request denied by City Council on January 27, 2014 and a previously submitted site plan that related to the traditional rezoning request. He addressed changes in the proposed Conditional Rezoning application which is scheduled for a Public Hearing on March 25, 2014. Mr. Savidant summarized the proposed development is lower in profile. He displayed color renderings provided by the applicant.

Mr. Savidant addressed the differences between a traditional rezoning request and a conditional rezoning request.

Present were the petitioner, Jerome Amber, and the project architect, Justin Wieber of SHW Group.

Mr. Amber addressed the Master Plan, noting the project is market driven and he has tenants who want to move to Troy.

Mr. Wieber addressed the changes in the proposed preliminary site plan.

- Elimination of one floor.
- Improved sight lines.
- Reduced number of balconies.
- Increased brick on rear elevation.
- Reduced parking.
- Increased greenbelt and landscape.
- Additional glazing on front elevation.

Mr. Wieber gave an explanation on the sight line drawings that were displayed.

Chair Edmunds opened the floor for public comment. There was no one present; the floor was closed for public comment.

8. PUBLIC COMMENTS – For Items on Current Agenda

There was no one present who wished to speak.

9. PLANNING COMMISSION COMMENTS

Planning Commission comments related to:

- Special Use Application before Board this evening.
- Walsh College application; received variances from ZBA, scheduled for March 25, 2014 meeting.
- Proposed Bylaw amendments; item for March 25, 2014 agenda.
- Transit Center project update.

The Regular meeting of the Planning Commission adjourned at 8:38 p.m.

Respectfully submitted,

Donald Edmunds, Chair

Kathy L. Czarnecki, Recording Secretary

DATE: March 20, 2014

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 080-D) – Proposed Walsh College Renovations and Addition, East side of Livernois, South of Wattles (3838 Livernois), Section 22, Currently Zoned CF (Community Facilities) District

The petitioner Walsh College submitted the above referenced Preliminary Site Plan Approval application for the partial demolition, expansion and renovation of the existing facility. The proposed renovation and expansion is located along the west elevation. The total footprint expansion is approximately 1,200 square feet in area. The renovation and conversion of the one story area to a two story space will provide additional student area, administrative office area and a new forty person auditorium.

The property is currently zoned CF (Community Facility) District. The Planning Commission is responsible for granting Preliminary Site Plan Approval for this item. The application requires that the petitioner obtain a setback variance and two height variances from the Zoning Board of Appeals. The Planning Commission considered this item at the February 11, 2014 Regular meeting but took no action. The Zoning Board of Appeals considered this item at their February 18, 2014 meeting and approved the variance requests (draft minutes attached).

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from February 11, 2014 Planning Commission meeting (excerpt)
4. Minutes from February 18, 2014 Zoning Board of Appeals meeting (excerpt)
5. Landscape Maintenance and Replacement Agreement

G:\SITE PLANS\SP 080 D Walsh College Expansion and Renovation\SP-080D PC Memo 03 25 14.docx

PRELIMINARY SITE PLAN REVIEW

PRELIMINARY SITE PLAN REVIEW (File # SP-080 D) – Proposed Walsh College Renovations and Addition, East side of Livernois, South of Wattles (3838 Livernois), Section 22, Currently Zoned CF (Community Facilities) District

Resolution # PC-2014-03-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Walsh College Renovations and Addition, located on the east side of Livernois, south of Wattles (3838 Livernois), Section 22, within the CF (Community Facilities) District, be

(granted, for the following reasons: _____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

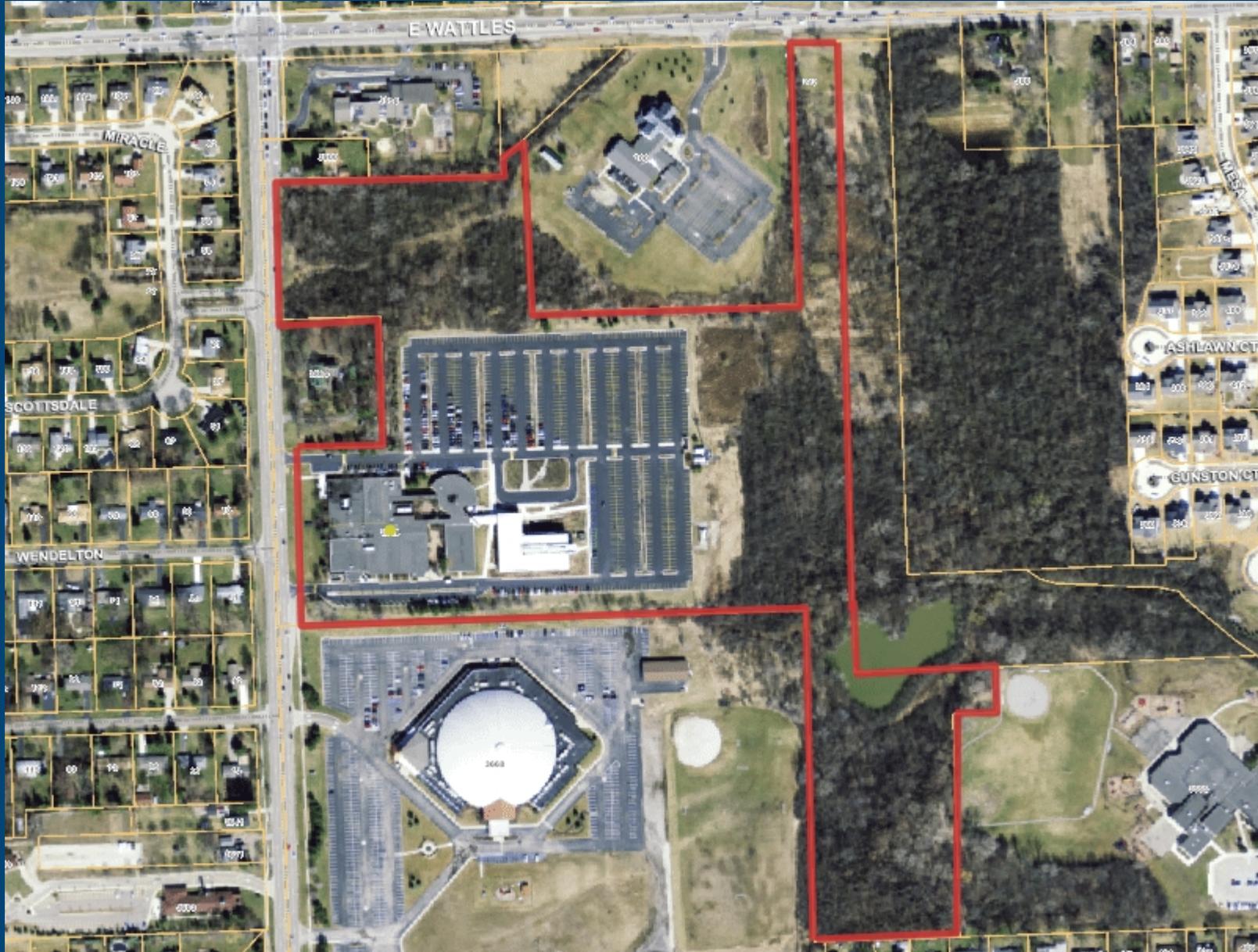
Yes:

No:

MOTION CARRIED/FAILED

WALSH COLLEGE EXPANSION

City of Troy Planning Department



Legend:

Street Name Text

1,034 0 517 1,034 Feet

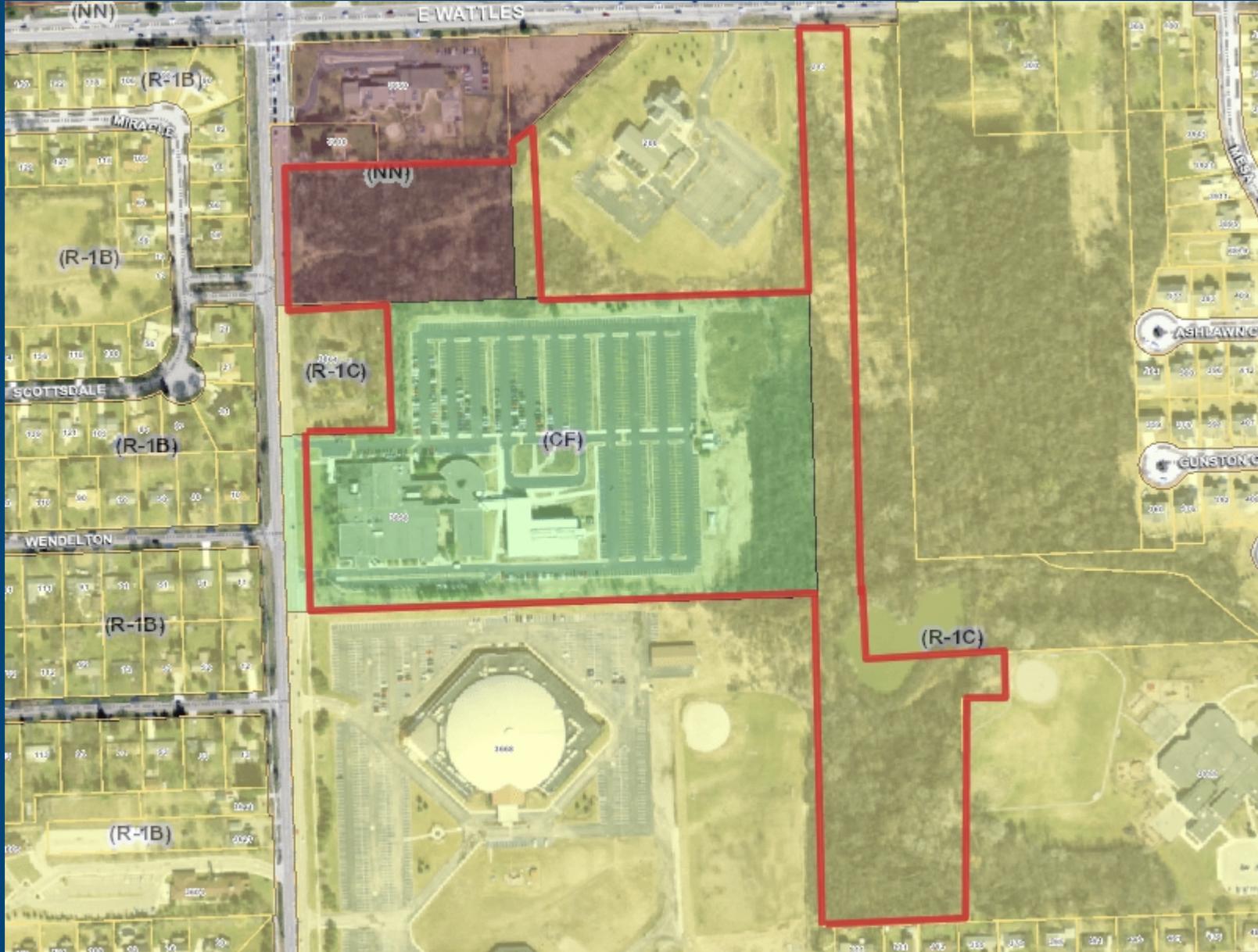
Scale 1: 6,202

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 1/13/2014

WALSH COLLEGE EXPANSION

City of Troy Planning Department



Legend:

Street Name Text

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

1,034 0 517 1,034 Feet

Scale 1: 6,202

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 1/13/2014



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: March 20, 2014

Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Walsh College c/o Valerio Dewalt Train Associates, Inc. 500 N. Dearborn, 9 th Floor Chicago, IL 60654
Project Name:	Walsh College Expansion and Renovation
Plan Date:	March 11, 2014
Location:	East side of Livernois Road, between E. Wattles & E. Big Beaver Roads
Zoning:	CF, Community Facilities
Action Requested:	Preliminary Site Plan Approval
Required Information:	Noted Below

SITE DESCRIPTION AND PROJECT STATUS

Walsh College is requesting approval of a preliminary site plan for the partial demolition, expansion, and renovation of the existing campus facility located at 3838 Livernois Road in the City of Troy. The proposed renovation and expansion is located along the west elevation fronting on Livernois. While, the total footprint expansion is approximately 1,200 square feet, the renovation and conversion of the one (1) story area to a fully functional two (2) story space will provide additional student area, administrative office area and a new forty (40) person auditorium.

The current use of the property is institutional education, which is a permitted use under the CF, Community Facilities District. The proposed use of the site will remain institutional education.

PREVIOUSLY SUBMITTED SITE PLAN

The project was reviewed by the Planning Commission on February. At that meeting the Planning Commission commented favorably on the project; however was unable to take action until the applicant received variances from the Zoning Board of Appeals (ZBA) for the following items:

1. A 10-foot variance to the 25-foot maximum allowed building height.
2. A 5.15-foot variance to the 80-foot minimum setback allowance from the adjacent residential property.
3. A 4-foot variance to the 35-foot maximum allowed rooftop equipment screening structure height.

The applicant received the variances on February 18th.

In our January 29th memo we recommend that the Planning Commission consider the parking deviation, and the applicant resubmit the site plan addressing the following issues:

1. *Provide an elevation of the screen wall on the plans;*
2. *Reduce the lighting levels to no more than 20 footcandles; and*
3. *Address potential glare from interior lights to the adjacent residential property to the north.*

Please see our January 29th Memo for a complete site plan review.

VARIANCES

Conditions of the Zoning Board of Appeals upon the granting of the variances included:

- Applicant and owner of 3684 Livernois to develop a mutually agreeable landscaping screening plan.
- Landscape screening to address the common east-west property line separating the properties.
- Landscape screening plan to be incorporated into an amended Site Plan for the Planning Commission.

The applicant has submitted a landscape screening proposal to the property owner of 3684 Livernois. Walsh College has submitted the signed screening agreement.

Items to be addressed: None

HEIGHT & SETBACKS

Sections 4.11.C-D and 6.22 of the Zoning Ordinance establish the dimensional requirements for both the CF District, and the specific use standards for Post-Secondary Schools. The requirements and proposed dimensions are as follows:

<u>Required¹:</u>	<u>Provided:</u>	<u>Compliance²</u>
------------------------------	------------------	-------------------------------

Front (Livernois Road)	50 foot minimum setback	55 feet	Complies
Side (north)	80 foot minimum setback ¹	74.85 feet	Complies ²
Side (south)	80 foot minimum setback ¹	114.3 feet	Complies
Rear (east)	80 foot minimum setback ¹	702.9 feet	Complies
Building Height	Maximum 2 stories, 25 feet	35 feet	Complies ²
Maximum Building Coverage	30%	Less than 30%	Complies

1. Section 6.22.B, states, that no post-secondary school building shall be closer than eighty (80) feet to any property line that is residentially zoned or used.
2. The Applicant has received a variance for this requirement.

The applicant has received variances from the Zoning Board of Appeals (ZBA).

Items to be addressed: None.

SCREEN WALL

The site plan proposes the addition of a new generator to the existing generator location along the northern elevation of the building, for a total of two (2) generators servicing the site. Per the site plan, the existing screening wall for the generator location will be extended westward and the existing gate relocated to accommodate the additional generator. The extension of the screening wall will be at least as high as the equipment being screened and composed of the same type of brick to match existing construction materials. The applicant has supplied an elevation of the proposed extension to the screening wall.

Items to be addressed: None.

PHOTOMETRICS

A lighting/photometric plan has been submitted as part of the site plan and is subject to the requirements set forth in Section 13.05, Lighting, in the Zoning Ordinance. The revised photometric plan (Sheet ES1-00) proposes five (5) different types of lighting fixtures for the site, including recessed wall luminaires, in-grade flood lighting, bollard lighting, and two types of flood lighting to be mounted at grade level. A lighting note, detailed on the General Site Plan (Sheet C1-01), state that, "Any new site lighting shall be shielded and directed fully downward away from adjacent properties in accordance with community standards. Any new site lighting shall match existing site lighting in intensity, style & height."

The applicant has submitted a revised photometric plan that complies with the maximum 20.0 foot-candle allowance in the Zoning Ordinance, per Section 13.05.D.1. The applicant has also supplied a memorandum, titled "*Preliminary Site Plan Review Revised – Lighting Control Narrative*", stating that the following measures will be taken to properly screen and reduce the amount of potential glare from exterior and interior lighting from the adjacent residential property to the north:

1. *The new exterior lighting associated with the northern elevation will be controlled via contact from the existing exterior lighting control such that all the exterior lighting illuminates at the same time.*
2. *The new exterior lighting fixtures associated with the northern elevation have optics that prevent the direct line of sight with the lamp to minimize glare.*
3. *All lighting fixtures are designed to direct the light downwards toward the ground with the exception of the flood lights that will illuminate the free-standing canopy at the northeast entry. The flood lights will be aimed toward the top of the canopy and will be positioned to minimize glare.*
4. *Interior lighting on the first and second floors that will be visible from the northern elevation is mainly limited to recessed lay-in fixtures with regressed lenses that will minimize glare.*
5. *All interior lighting with a direct line of sight to any openings in the envelope will be reduce by at least 50% between the hours of 11PM and 5AM.*

Items to be addressed: None.

PARKING

The applicant is adding 4,892 square feet of net additional office area and a forty (40) seat auditorium. Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Existing Walsh College Parking	985 spaces	985 spaces
Post-Secondary Schools: 1 space for each teacher, employee, or administrator, and 1 for each 10 students, in addition to the requirements for auditorium or stadium	Based on 100 square feet per employee the 4,892 square feet of additional office area= 49 spaces	0 spaces
Auditorium: 1 space for each three (3) seats	40 seats/3 = 14 spaces	
Total	985 + 63 spaces	985 spaces

The applicant does not propose any new/additional parking. The proposed addition to the site increases the overall usable building area, which necessitates sixty-three (63) additional parking spaces to be provided. Walsh College has projected staff growth for the next 50 years to add 35 staff members, less than the 49 spaces required. The parking requirement narrative submitted on the site plan, states, "Due to Walsh College's unique occupancy schedule, administrative staff occupies the building during the day and students occupy the building at night. The existing 985 parking spaces are sufficient for the new

project. The maximum number of employees at Walsh College with a projected 30% growth is 118 people. The new auditorium is supplementary to the existing student body and will not incur additional students.”

As set forth in Section 13.06.F.2 the Planning Commission can grant a parking deviation. The Section states; *the city may grant deviations from off-street parking requirements. These deviations may require more or less parking based upon a finding that such deviations are more likely to provide a sufficient number of parking spaces to accommodate the specific characteristics of the use in question. In the event that a deviation is granted by the City, the following shall apply:*

- a) *An applicant may request a parking deviation as part of a development application or as a separate and distinct action with no other concurrent request.*
- b) *The applicant shall provide a parking study with adequate detail and information to assist the City in determining the appropriateness of the request.*
- c) *A parking deviation may be included in an action on a concurrent request or made separately by resolution.*
- d) *The City may attach conditions to the approval of a deviation from the off-street parking requirements that bind such approval to the specific use in question.*
- e) *The City may require the applicant to set aside area for reserve parking (landbanking) that can be constructed as needed, although this is not a prerequisite for the approval or a deviation. Where an area is set aside for reserve parking, it shall be easily developed, not devoted to a use other than open space, and shall be designed to accommodate attendant facilities such as maneuvering lanes and drainage.*

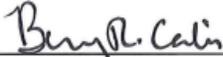
Furthermore, Section 13.06.F.3, states, *it is the intent of this Ordinance to minimize excessive areas of pavement which reduces aesthetic standards and contributes to high rates of storm water runoff. Exceeding the minimum parking space requirements by more than twenty percent (20%) shall only be allowed with approval by the City.*

Items to be addressed: *The Planning Commission should consider granting the parking deviation.*

RECOMMENDATION

We find that the proposed preliminary site plan is consistent with the goals of the Zoning Ordinance and is a major improvement to the existing facility on the Walsh College Campus. We recommend site plan approval.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

#225-02-1405

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (File Number SP 080-D) – Proposed Walsh College Renovations and Addition, East side of Livernois, South of Wattles (3838 Livernois), Section 22, Currently Zoned CF (Community Facilities) District

Mr. Carlisle reviewed the Preliminary Site Plan application for Walsh College. He addressed:

- The required variances relating to the proposed building setback and building height.
- A request for a parking deviation from the required number of parking spaces.

Mr. Carlisle noted the Planning Commission cannot take action on the application until the applicant receives the necessary variances from the Zoning Board of Appeals.

Mr. Carlisle reported the proposed site plan is consistent with the goals of the Zoning Ordinance. He said if the applicant is granted the necessary variances, he recommends that the Planning Commission give consideration to the parking deviation and asked the applicant to resubmit the Site Plan addressing the items indicated in his report dated January 29, 2014 for review and approval at the next Planning Commission meeting.

Stephanie Bergeron, President and Chief Executive Officer of Walsh College, and Christine McGrath of Valerio Dewalt Train Associates, project architect, were present.

Ms. McGrath gave a general description of the proposed design concepts.

The proposed preliminary site plan was well received by all of the Board members.

4. HEARING OF CASES

- B. VARIANCE REQUEST, WALSH COLLEGE c/o VALERIO DEWALT TRAIN ASSOCIATES, 3838 LIVERNOIS – In order to construct modifications to the existing building: 1) a 10 foot variance to the 25 foot maximum allowed building height; 2) a 5.15 foot variance to the required 80 foot setback from adjacent residential property; and 3) a 4 foot variance to the maximum permitted 35 foot height limit for proposed rooftop mechanical equipment screening structures. Zoning Ordinance Sections 4.11 (C) CF Zoning District, 6.22 (B), 7.08 (A) (1).

Moved by Krent
Seconded by McCown

RESOLVED, to grant the request, subject to:

- Applicant and owner of 3684 Livernois to develop a mutually agreeable landscape screening plan;
- Landscape screening plan to address the common east-west property line separating the properties;
- Landscape screening plan to be incorporated into an amended Site Plan for the Planning Commission.

Yes: All

MOTION PASSED

LANDSCAPE MAINTENANCE AND REPLACEMENT AGREEMENT

This Landscape Maintenance and Replacement Agreement (the "Agreement") is made this 30th day of March, 2014, by and between Brian Wattles, whose address is 3864 Livernois Road, Troy, Michigan 48033 ("Wattles"), and Walsh College, whose address is 3838 Livernois, Road, Troy, Michigan 48033 ("Walsh").

RECITALS

A. Walsh operates an educational facility located in Troy. Walsh is in the process of replacing and renovating certain building facilities at its campus, including the demolition of an existing building located at the northwest corner of its property along Livernois Road, and replacing that building with a new two-story structure.

B. Wattles is the owner and occupant of a residential property located adjacent to and north of the Walsh campus along Livernois Road. The Wattles and Walsh properties are separated by an egress drive for access to the Walsh campus off of Livernois. Walsh and Wattles have cooperated with each other as neighbors over the years.

C. Walsh currently maintains certain landscaping and other screening between the Walsh campus and the Wattles property. Wattles is concerned that mutually agreed screening be properly maintained and replaced as the vegetation may age and die off. But Wattles otherwise does not object to the improvements proposed by Walsh or the approvals, variances and other permits needed by Walsh to carry out the improvements.

D. To address Wattle's concerns, the parties have entered into this Agreement with respect to the commitment of Walsh to maintain and timely replace the existing landscaping and other mutually agreed upon screening as reasonably necessary and in a timely manner.

NOW, THEREFORE, in consideration of the mutual covenants, promises and agreements contained herein, the parties agree as follows:

1. The current landscaping will be maintained, as will any mutually agreed upon landscape screening additions. Walsh agrees that it will timely replace any tree or shrub in the mutually agreed landscape screen that dies or is dying of disease or old age or is otherwise materially damaged by storms or other casualty. "Timely" replacement means to replace such plantings within sixty (60) days of receiving notice of the dead, damaged or diseased planting, weather permitting, whether the notice comes from its own observation or after it receives written notice from Wattles. If the notice comes during the winter or when there is not otherwise time to reasonably complete the replacement, the replacement will take place during the next planting season. If there is a disagreement of the parties as to whether to replace or treat diseased landscaping, the decision will be based on the written recommendation of a registered landscape architect or arborist retained by Walsh.

2. The replacement vegetation need not be the exact same kind of shrub or tree, but should be similar in nature with respect to mature size and screening characteristics. For example, an evergreen tree shall be replaced with another evergreen tree and not with a deciduous tree. The parties agree that mature trees and shrubs cannot be replaced with other

mature trees and shrubs of similar size, but Walsh agrees that the replacements will be of sufficient size to provide some immediate screening functionality. If Walsh fails to comply with this Agreement after proper notice and after expiration of the time periods set forth above, Wattles may seek to enforce this Agreement in a court of law of competent jurisdiction and the court is hereby authorized to award Wattles his expenses of enforcement, including reasonable attorney's fees.

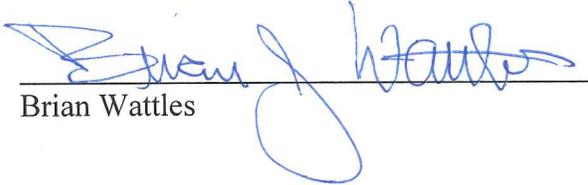
4. This Agreement is personal to Wattles or to either of Wattles' two daughters in the event that either or both daughters obtain ownership (by inheritance or otherwise) and reside at the property. Further, this Agreement does not run with the land and shall expire and be of no further force and effect in the event that Wattles or either of his daughters (in the event either daughter owns and resides at the property) sells, leases, devises, donates, transfers or assigns ownership and/or control of his property to another person or entity.

This Agreement is hereby executed as of the date set forth above.

WALSH COLLEGE

By: 

Its: CFO


Brian Wattles

WALSH COLLEGE LIVERNOIS ROAD AND INTERIORS

3838 Livernois Rd, Troy, MI 48083



PROJECT RENDERING

LOCATION MAP



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO APPLICABLE CODES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK AND COMPLETION OF THE WORK.
2. THE CONTRACTOR SHALL SECURE AND PAY FOR REQUIRED PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF ANY DISCREPANCIES, COMMISSIONS, OR CONFLICTS BEFORE PROCEEDING WITH THE WORK. NO EXTRA COSTS WILL BE AUTHORIZED FOR WORK.
3. ALL EXISTING CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR, WHO SHALL IMMEDIATELY NOTIFY THE ARCHITECT WHICH IS REQUIRED TO COMPLETE THE PROJECT SCOPE AND INTENT DUE TO CONDITIONS WHICH ARE READILY OBSERVABLE AT THE PROJECT SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY CLEANING AND REMOVAL OF ALL DEBRIS, DUST, AND EQUIPMENT RELATED TO THE DEMOLITION AND THROUGH CLEAN-UP UPON COMPLETION OF THE PROJECT.
5. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
6. THE DRAWINGS SHOWN HEREWITH ARE SCOPE DOCUMENTS, AND AS SUCH SHOW THE GENERAL EXTENT OF THE PROJECT AND DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE WORK, NOR DO THEY SHOW ALL OF THE DETAILS OF THE WORK.
7. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL.
8. WHERE DISCREPANCIES OCCUR BETWEEN THE VARIOUS DISCIPLINES TRADES, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
9. FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE, UNLESS NOTED OTHERWISE.
10. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL STIFFENERS, BRACINGS, BACKING PLATES, AND SUPPORTING BRACKETS REQUIRED FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT WHETHER SHOWN IN THE DRAWINGS OR NOT. THIS SHALL ALSO APPLY TO OWNER FURNISHED/CONTRACTOR INSTALLED EQUIPMENT.
11. FURNISHED/CONTRACTOR INSTALLED EQUIPMENT ENT. STUD AND GYPSUM BOARD PARTITIONS.
12. THE CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, AND INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK.
13. PROVIDE APPROPRIATE SEX DESIGNATION SIGNAGE FOR ALL TOILET ROOMS AND SUBMIT FOR OWNER APPROVAL PRIOR TO INSTALLATION.
14. ALL EXPOSED FASTENERS IN PUBLIC AREAS TO BE TAMPER-PROOF WHEREVER POSSIBLE.
15. PAINT ALL EXPOSED, BARE, AND COVERED PIPES, DUCTS, HANGERS, STEEL, ELECTRICAL BOXES AND CONDUIT TO MATCH ADJACENT SURFACES.
16. ALL EXTERIOR GUARDRAILS, HANDRAILS, AND OTHER EXTERIOR EXPOSED METAL SHALL BE GALVANIZED AND PAINTED, UNLESS NOTED OTHERWISE.
17. ALL EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS AND WATER INFILTRATION.
18. ALL HANDICAPPED DOOR HARDWARE SHALL BE PROVIDED IN COMPLIANCE WITH MICHIGAN'S BARRIER FREE CODE.
19. ALL DOORS REQUIRED FOR HANDICAPPED ACCESS SHALL HAVE MANEUVERING CLEARANCES PROVIDED PER MICHIGAN'S BARRIER FREE CODE.
20. SAFETY GLAZING SHALL BE PROVIDED AT ALL LOCATIONS AS OUTLINED IN 2009 INTERNATIONAL BUILDING CODE AND ANSI Z97.1 GLAZING WA.
21. DRAWINGS AND SPECIFICATIONS SHOULD BE USED AS JOINT DOCUMENTS. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR CLARIFICATION.

DRAWINGS SCHEDULE

SHEET NUMBER	SHEET INDEX - TABLE OF CONTENTS SHEET NAME	ISSUANCE DATE
GENERAL		
GO-00	COVER SHEET	02.03.2014
GO-01	RENDERINGS	01.10.2014
CIVIL		
C1-00	2013 BOUNDARY / TOPOGRAPHIC SURVEY UPDATE	02.03.2014
C1-01	GENERAL SITE PLAN	02.03.2014
C1-02	ENGINEERING SITE PLAN PLAN	02.03.2014
LANDSCAPE		
LD-01	EXISTING TREE INVENTORY	02.03.2014
L1-01	LANDSCAPE SITE PLAN	02.03.2014
L1-02	LANDSCAPE SITE DETAILS	02.03.2014
ARCHITECTURAL		
A0-00	OVERALL SITE PLAN	02.03.2014
A0-01	ARCHITECTURAL SITE PLAN	02.03.2014
A1-01	FIRST FLOOR PLAN	02.03.2014
A1-02	SECOND FLOOR PLAN	02.03.2014
A2-01	ELEVATIONS	02.03.2014
ELECTRICAL		
ES1-00	SITE PHOTOMETRIC CALCULATIONS	01.10.2014

SYMBOLS LEGEND

- NORTH ARROW
- STRUCTURAL GRID LINES
- WORK POINT, ELEVATION MARKER & LEVEL
- ROOM NAME
- ROOM NUMBER
- DIRECTION VIEWED BLDG SECTION IDENTIFICATION
- SHEET WHERE BLDG SECTION IS DRAWN
- DIRECTION VIEWED BLDG SECTION IDENTIFICATION
- ELEVATION IDENTIFICATION DIRECTION VIEWED
- SHEET WHERE INTERIOR ELEVATION IS DRAWN
- PARTITION TYPE
- DOOR TAG
- WINDOW TAG
- MATERIAL TAG
- REVISION TAG

1A DETAIL TITLE
SCALE: 1/8" = 1'-0"

1A DETAIL TITLE
SCALE: 1/8" = 1'-0"

PROJECT TEAM

OWNER
WALSH COLLEGE
3838 LIVERNOIS ROAD
TROY, MI 48064
T: 248.823.1230

ARCHITECT
VALERIO DEWALT TRAIN ASSOCIATES, INC.
500 N. DEARBORN ST.
SUITE 900
CHICAGO, IL 60654
T: 312.260.7300

STRUCTURAL
ROBERT DARVAS ASSOCIATES
440 SOUTH MAIN STREET
ANN ARBOR, MI 48104
T: 734.761.8713

MEP/FP ENGINEERS
STRATEGIC ENERGY SOLUTIONS
4000 ELEVEN MILE ROAD
BURLINGAME, MI 48012
T: 248.399.1900

CIVIL ENGINEERS
NOWAK & FRANK ENGINEERS
4077 WOODWARD AVENUE
PONTIAC, MI 48342
T: 248.332.7931

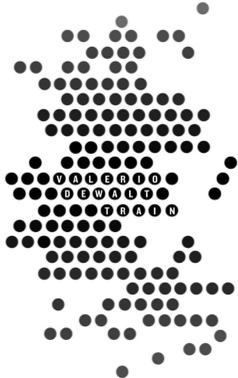
LANDSCAPE ARCHITECT
BECKETT & RADER
335 WEST WILLIAM STREET SUITE 101
ANN ARBOR, MI 48103
T: 734.663.2622

BUILDING INFORMATION
OCCUPANCY GROUP: BUSINESS
ACCESSORY GROUP: ASSEMBLY

PROJECT FOOTPRINT: 15,225 SF
GROSS PROJECT SQUARE FOOTAGE (FAIR): 54,625 SF
TOTAL AREA TO BE DEMOLISHED: 12,646 SF
TOTAL AREA OF NEW CONSTRUCTION: 29,264 SF
TOTAL AREA OF INTERIOR RENOVATION: 9,508 SF
TOTAL AREA OF INTERIOR "REFRESH": 15,803 SF
TYPE OF CONSTRUCTION: IA
NO. OF STORES: 2
SPRINKLER SYSTEM: AUTOMATED
FIRE ALARM: NATIONAL TIME & SIGNAL SERIES 902
PROJECT DESCRIPTION: DEMOLITION AND ADDITION TO THE EXISTING WALSH COLLEGE CAMPUS WITH HEAVY INTERIOR RENOVATION AND REFRESH AND NEW SITE IMPROVEMENTS ON LIVERNOIS ROAD AND VARIOUS ENTRANCES TO THE COLLEGE.

PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI
48083



ARCHITECT
VALERIO DEWALT TRAIN ASSOC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.builddorie.com

PROJECT TEAM **ARCHITECT STAMP**

JOSEPH VALERIO
CHRISTINE MCGRATH BREUER
JENNIFER COOPER
MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
12123.00

CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.25.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	PRELIM. SITE PLAN REVIEW REVISED	02.03.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

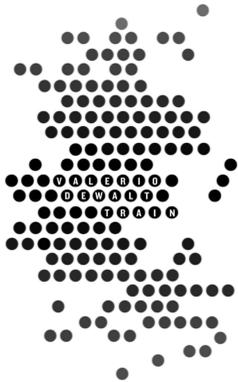
SHEET TITLE
COVER SHEET



SHEET NUMBER
GO-00

PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI
48083



ARCHITECT
 VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldor.ie.com

PROJECT TEAM
 ARCHITECT STAMP
 JOSEPH VALERIO
 CHRISTINE MCGRATH BREUER
 JENNIFER COOPER
 MICHAEL KIRSCHNER

ARCHITECT STAMP
 ARCHITECT
 2013

VDTA PROJECT NUMBER
 12123.00

CONSULTANT
 CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.25.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

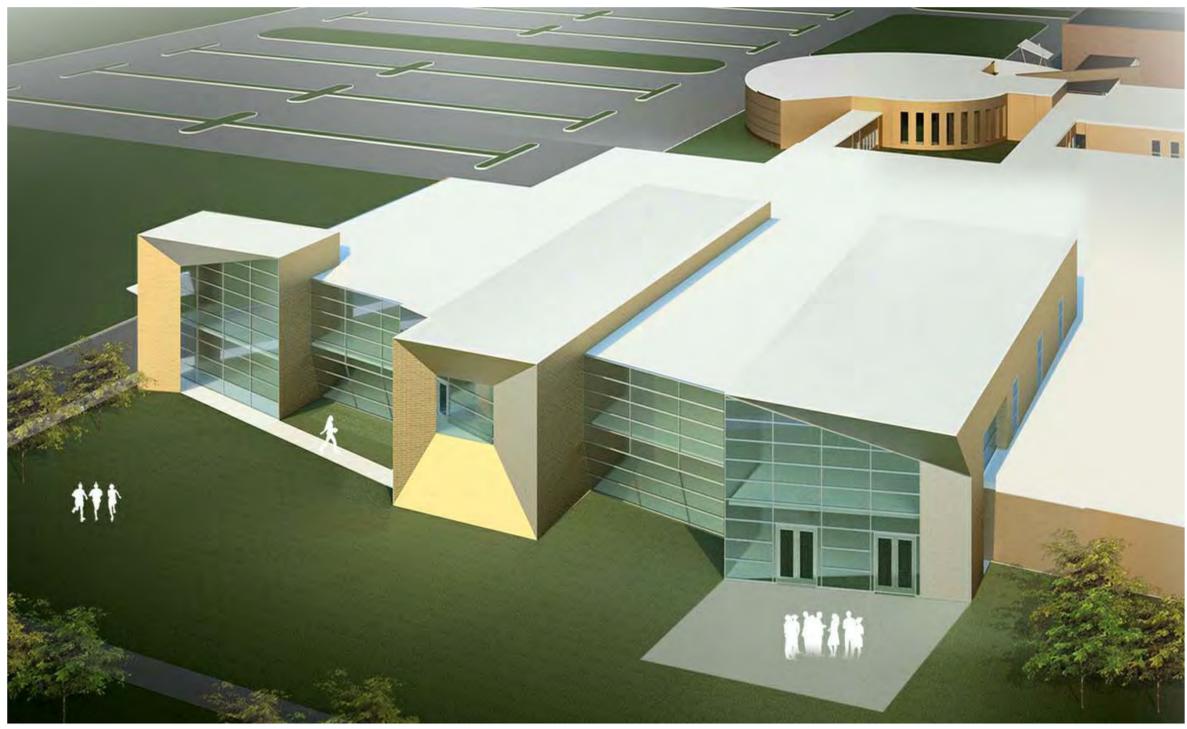
SHEET TITLE
RENDERINGS



SHEET NUMBER
GO-01



5G LIVERNOIS ROAD FACADE
 GO-01 N.T.S.



1A SOUTHWEST AERIAL VIEW
 GO-01 N.T.S.



1G TYPICAL ENTRANCE CANOPY
 GO-01 N.T.S.

FIRE DEPARTMENT NOTES

THE FOUR (4) INCH STEAMER CAPS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:

- WHITE ON 4.00 INCH MAINS
- RED ON 6.00 INCH MAINS
- ORANGE ON 8.00 INCH MAINS
- GREEN ON 12.00 INCH MAINS
- BLUE ON 16.00 INCH OR LARGER MAINS

NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.

THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE PAVED DRIVEWAY OR STREET.

GAS METER, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICE, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

FIRE LANES ARE TO BE A MINIMUM OF 18 FEET IN WIDTH AND A MINIMUM OF 14 FEET IN HEIGHT.

FIRE LANE SIGNS ARE TO BE INSTALLED AND MAINTAINED IN COMPLIANCE WITH THE CRITERIA SET FORTH IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SOME OF THE CRITERIA ARE AS FOLLOWS:

1. SIGNS SHALL BE RED LETTERING ON WHITE BACKGROUND AND SHALL BEA "NO STOPPING, STANDING, PARKING-FIRE LANE-TOW AWAY ZONE"
2. SIGNS SHALL BE SPACED NO FURTHER THAN 100 FEET APART.
3. SIGNS SHALL BE INSTALLED AT A RIGHT ANGLE OR 90° TO CURB.
4. SIGNS SHALL BE SEEN (7) FEET FROM THE BOTTOM OF SIGN TO GRADE.
5. SIGNS SHALL BE DOUBLE FACED WHERE THE POSSIBILITY EXISTS FOR LEFT WHEEL TO CURB PARKING.
6. SIGNS SHALL BE 12 INCHES IN WIDTH AND 18 INCHES IN HEIGHT.

A COPY OF THE SITE PLAN SHOWING FIRE LANE LOCATIONS AS PRESCRIBED BY THE TROY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE FIRE PREVENTION DIVISION ON 95" x 11" PAPER FOR TRAFFIC SAFETY COMMITTEE REVIEW AND RECOMMENDATION TO CITY COUNCIL FOR ULTIMATE APPROVAL.

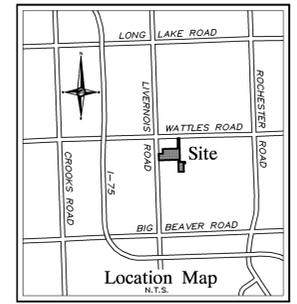
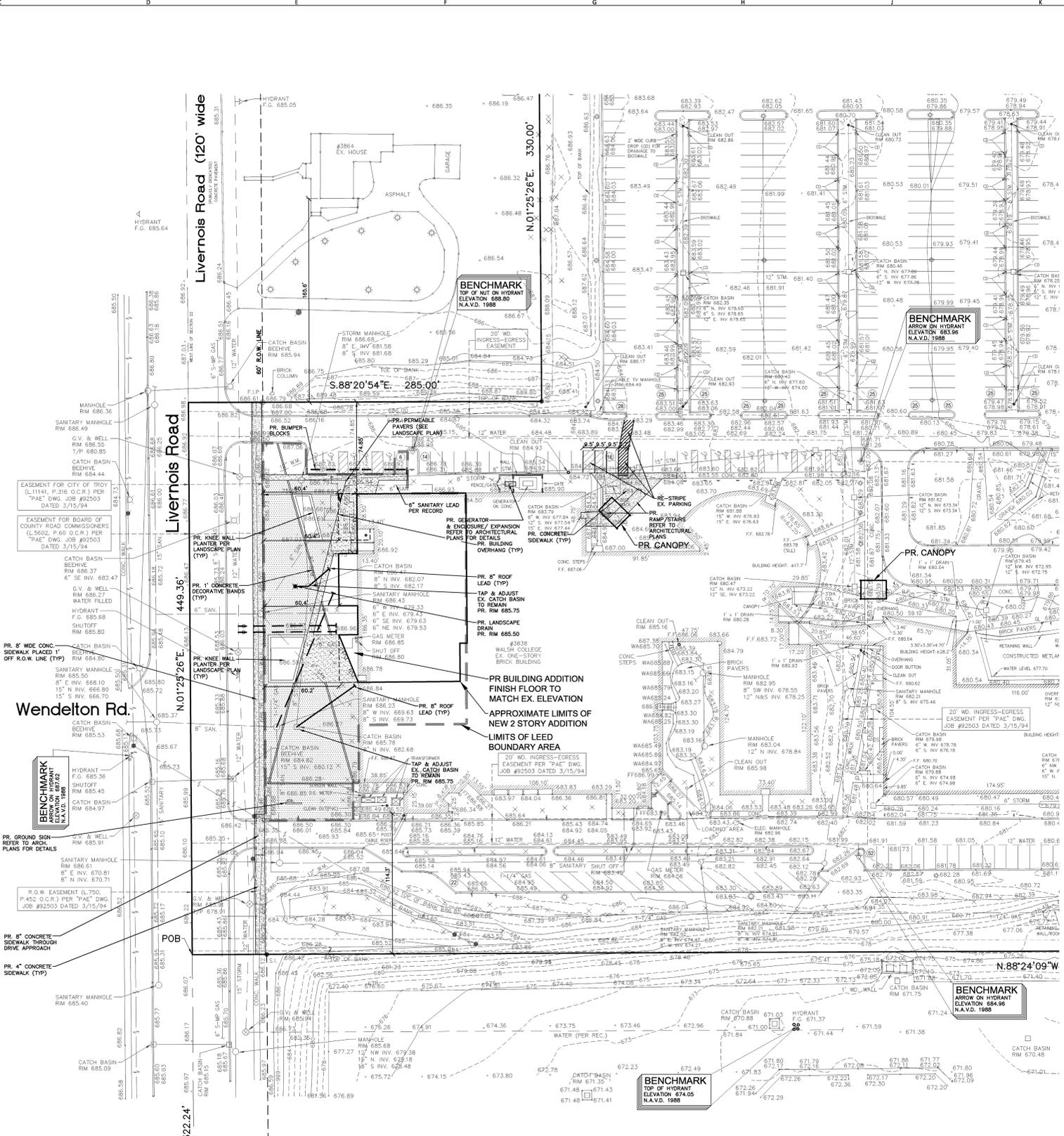


THE SYMBOL "P" IS BLACK, CIRCUMSCRIBED IN A RED CIRCLE WITH A RED SLASH ON A WHITE BACKGROUND AND BLACK BORDER.

THE SUPPLEMENTAL EDUCATIONAL PLACARD NO PARKING, WITH A RED LEGEND AND BORDER ON A WHITE BACKGROUND, MAY BE USED ABOVE THE SYMBOL.

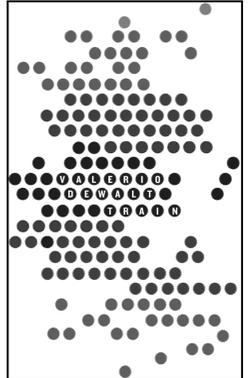
CARE SHOULD BE EXERCISED TO SEE THAT THE SINGLE ARROWS POINT IN THE PROPER DIRECTION TO INDICATE THE REGULATED ZONE.

FIRE LANE SIGN DETAIL



PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI 48083



ARCHITECT
VALERIO DEWALT TRAIN ASSOC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.buildfordie.com

PROJECT TEAM **ARCHITECT STAMP**

JOSEPH VALERIO
CHRISTINE MCGRATH
JENNIFER COOPER
MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
12123.00

CONSULTANT
NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

PROJECT TEAM **ENGINEER STAMP**

TIM GERMAIN
BRAD BRICKEL
RYAN JOHNSON
MIKE CARMAGHI
KEVIN NAVAROLI

CONSULTANT PROJECT NUMBER
3809-01

VARIANCE NOTE

A SETBACK VARIANCE IS REQUIRED FOR A POST-SECONDARY FACILITY ADJACENT TO A RESIDENTIALLY ZONED PROPERTY. THE REQUIREMENT IS TO HAVE A BUILDING 30 FEET FROM THE PROPERTY LINE. THE PROPOSED BUILDING ADDITION CORNER IS 74.85 FEET FROM THE PROPERTY LINE.

A VARIANCE OF 5.15 FEET IS REQUIRED.

THE BUILDING HEIGHT REQUIREMENT IS 25 FEET. THE PROPOSED HEIGHT OF THE BUILDING IS 35 FEET.

A VARIANCE OF 10 FEET IS REQUIRED FOR BUILDING HEIGHT.

SITE DATA

PROJECT AREA: 1,644.952 SQ FT OR 37.76 ACRES

ZONING	EXISTING	OF COMMUNITY FACILITIES
SETBACK REQ.	REQUIRED	EXISTING
74.85'	74.85'	74.85'
74.85'	74.85'	74.85'
74.85'	74.85'	74.85'

BUILDING HEIGHT

REQUIRED	PROVIDED
25'	35'

LIGHTING NOTE

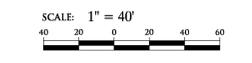
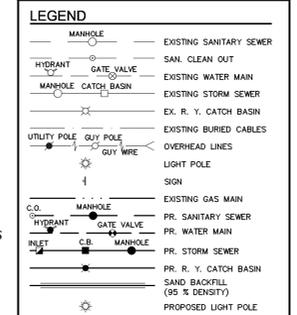
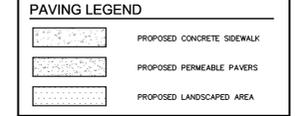
ANY NEW SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AWAY FROM ADJACENT PROPERTIES IN ACCORDANCE WITH COMMUNITY STANDARDS. PROPOSED SITE LIGHTING SHALL MATCH EXISTING SITE LIGHTING IN INTENSITY, STYLE & HEIGHT.

NOTE

A SOIL EROSION PERMIT IS REQUIRED FROM THE CITY OF TROY ENGINEERING DEPARTMENT FOR THIS PROJECT.

LEED BOUNDARY DATA

LEED AREA	GROSS	NET
37,847.93 SFT <td>OR</td> <td>0.869 ACRES</td>	OR	0.869 ACRES
37,847.93 SFT		100.0%
16,147.93 SFT		42.7%
1,225.08 SFT		3.4%
20,474.92 SFT		53.9%



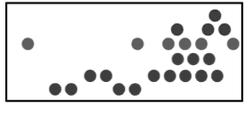
© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC



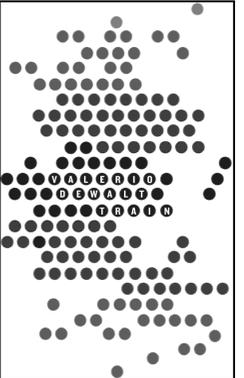
**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
NFE JOB #3809-01

SHEET TITLE
General Site Plan



SHEET NUMBER
C1-01



ARCHITECT
VALERIO DEWALT TRAIN ASSOC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7900
www.buildordie.com

PROJECT TEAM ARCHITECT STAMP

JOSEPH VALERIO
CHRISTINE MCGRATH
JENNIFER COOPER
MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
12123.00

CONSULTANT
NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

PROJECT TEAM ENGINEER STAMP

TIM GERMAIN
BRAD BRICKEL
RYAN JOHNSON
MIKE CARMAGHI
KEVIN NAVAROLI

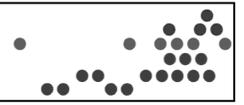
CONSULTANT PROJECT NUMBER
3809-01

No.	Issue	Date
1	25% Schematic Design	11.22.2013
2	Preliminary Site Plan Review	01.10.2014
3	ZBA Submittal	01.22.2014
4	Prelim. Site Plan Review Revised	02.03.2014

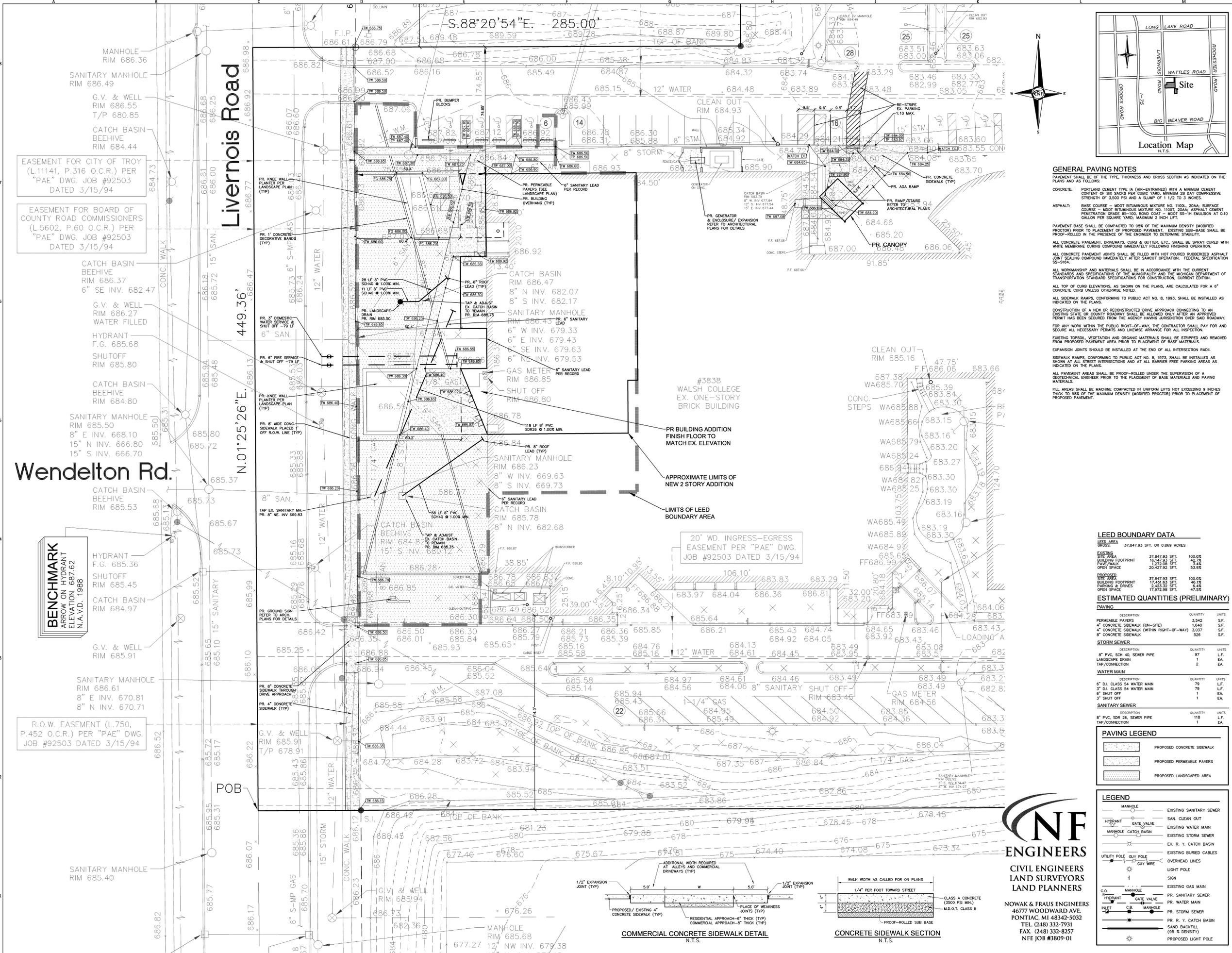
SCALE: 1" = 20'

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
Engineering Site Plan



SHEET NUMBER
C1-02



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
NFE JOB #3809-01

EASEMENT FOR CITY OF TROY (L.11141, P.316 O.C.R.) PER "PAE" DWG. JOB #92503 DATED 3/15/94

EASEMENT FOR BOARD OF COUNTY ROAD COMMISSIONERS (L.5602, P.60 O.C.R.) PER "PAE" DWG. JOB #92503 DATED 3/15/94

Wendelton Rd.

BENCHMARK
ARROW ON HYDRANT
ELEVATION 687.62
N.A.V.D. 1988

R.O.W. EASEMENT (L.750, P.452 O.C.R.) PER "PAE" DWG. JOB #92503 DATED 3/15/94



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX BAGS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 200A, SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 200A, ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURBS & GUTTERS, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SP-516A.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGING FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BANKER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

LEED BOUNDARY DATA

AREA	37,847.93 SFT OR 0.869 ACRES
EXISTING	37,847.93 SFT 100.0%
BUILDING FOOTPRINT	16,147.93 SFT 42.7%
PARKING SPACE	1,275.00 SFT 3.4%
OPEN SPACE	20,424.99 SFT 53.9%
PROPOSED	37,847.93 SFT 100.0%
BUILDING FOOTPRINT	17,451.63 SFT 46.1%
PARKING & DRIVES	2,423.32 SFT 6.4%
OPEN SPACE	17,972.98 SFT 47.5%

ESTIMATED QUANTITIES (PRELIMINARY)

DESCRIPTION	QUANTITY	UNITS
PERMEABLE PAVERS	3,542	S.F.
4" CONCRETE SIDEWALK (ON-SITE)	1,640	S.F.
4" CONCRETE SIDEWALK (WITHIN RIGHT-OF-WAY)	3,037	S.F.
8" CONCRETE SIDEWALK	526	S.F.

STORM SEWER

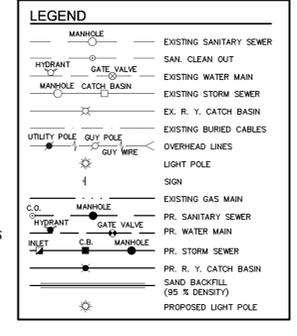
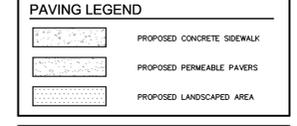
DESCRIPTION	QUANTITY	UNITS
8" PVC, SDR 40, SEWER PIPE	97	L.F.
LANDSCAPE DRAIN	1	E.A.
TAP/CONNECTION	2	E.A.

WATER MAIN

DESCRIPTION	QUANTITY	UNITS
6" D.I. CLASS 54 WATER MAIN	79	L.F.
3" D.I. CLASS 54 WATER MAIN	79	L.F.
4" SHUT OFF	1	E.A.
3" SHUT OFF	1	E.A.

SANITARY SEWER

DESCRIPTION	QUANTITY	UNITS
8" PVC, SDR 26, SEWER PIPE	118	L.F.
TAP/CONNECTION	1	E.A.



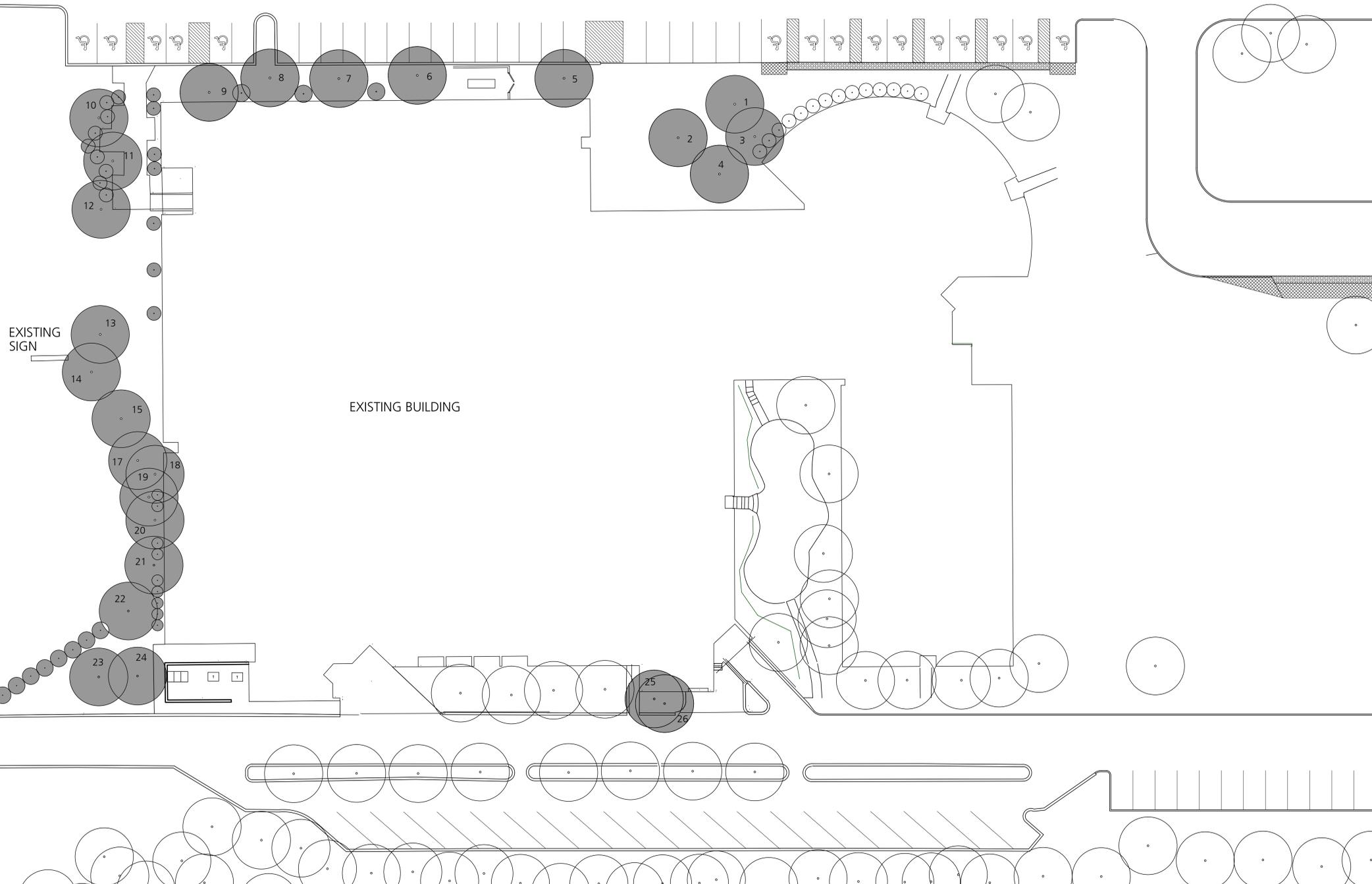
Livernois Road

N.01°25'26"E. 449.36'

LIVERNOIS ROAD

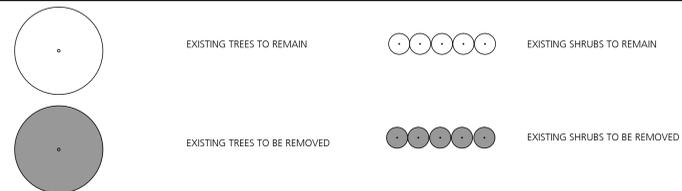
60' F

S.88°20'54"E. 285.00'



EXISTING TREE PRESERVATION/ INVENTORY PLAN

EXISTING TREE PRESERVATION/ INVENTORY LEGEND



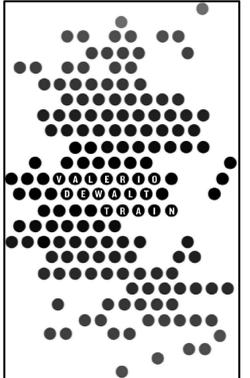
EXISTING TREE INVENTORY

TREES								
NO.	EXISTING TREE NAME	CONDITION	NO.	EXISTING TREE NAME	COMMENTS	NO.	EXISTING TREE NAME	COMMENTS
1	SCOTCH PINE 8"	POOR	11	CRABAPPLE 5"	FAIR	21	CRABAPPLE 6"	FAIR
2	SCOTCH PINE 8"	POOR	12	CRABAPPLE 5"	FAIR	22	BLUE SPRUCE 6"	POOR
3	SCOTCH PINE 8"	POOR	13	NORWAY MAPLE 8"	FAIR	23	NORWAY MAPLE 10"	FAIR
4	SCOTCH PINE 8"	POOR	14	NORWAY MAPLE 8"	FAIR	24	NORWAY MAPLE 10"	FAIR
5	CRABAPPLE 5"	FAIR	15	GREEN SPRUCE 6"	FAIR	25	ARBORVITEA 4"	POOR
6	CRABAPPLE 5"	FAIR	16	NORWAY MAPLE 8"	FAIR	26	ARBORVITEA 4"	POOR
7	CRABAPPLE 5"	FAIR	17	BLUE SPRUCE 6"	POOR			
8	CRABAPPLE 5"	FAIR	18	CRABAPPLES 6"	FAIR			
9	CRABAPPLE 5"	FAIR	19	CRABAPPLES 6"	FAIR			
10	CRABAPPLE 5"	FAIR	20	CRABAPPLES 6"	FAIR			



PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI
48083



ARCHITECT
VALERIO DEWALT TRAIN ASSOC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.bulldordie.com

PROJECT TEAM **ARCHITECT STAMP**
JOSEPH VALERIO
CHRISTINE MCGRATH
JENNIFER COOPER
MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
12123.00

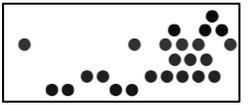
CONSULTANT
B R I
Beckett & Raeder
Landscape Architecture
Planning, Engineering and
Environmental Services

CONSULTANT PROJECT NUMBER

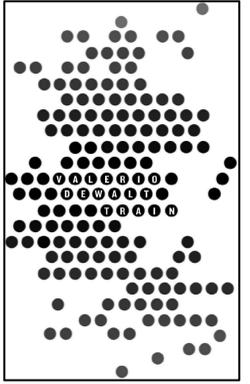
Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.22.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	PRELIMINARY SITE PLAN REVIEW REVISED	02.03.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
EXISTING TREE INVENTORY PLAN



SHEET NUMBER
L0-01



ARCHITECT
VALERIO DEWALT TRAIN ASSOC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.bulldorlie.com

PROJECT TEAM **ARCHITECT STAMP**

JOSEPH VALERIO
CHRISTINE MCGRATH
JENNIFER COOPER
MICHAEL KIRSCHNER

VOTA PROJECT NUMBER
12123.00

CONSULTANT

B R I
Beckett & Raeder
Landscape Architecture
Planning, Engineering and
Environmental Services

CONSULTANT PROJECT NUMBER

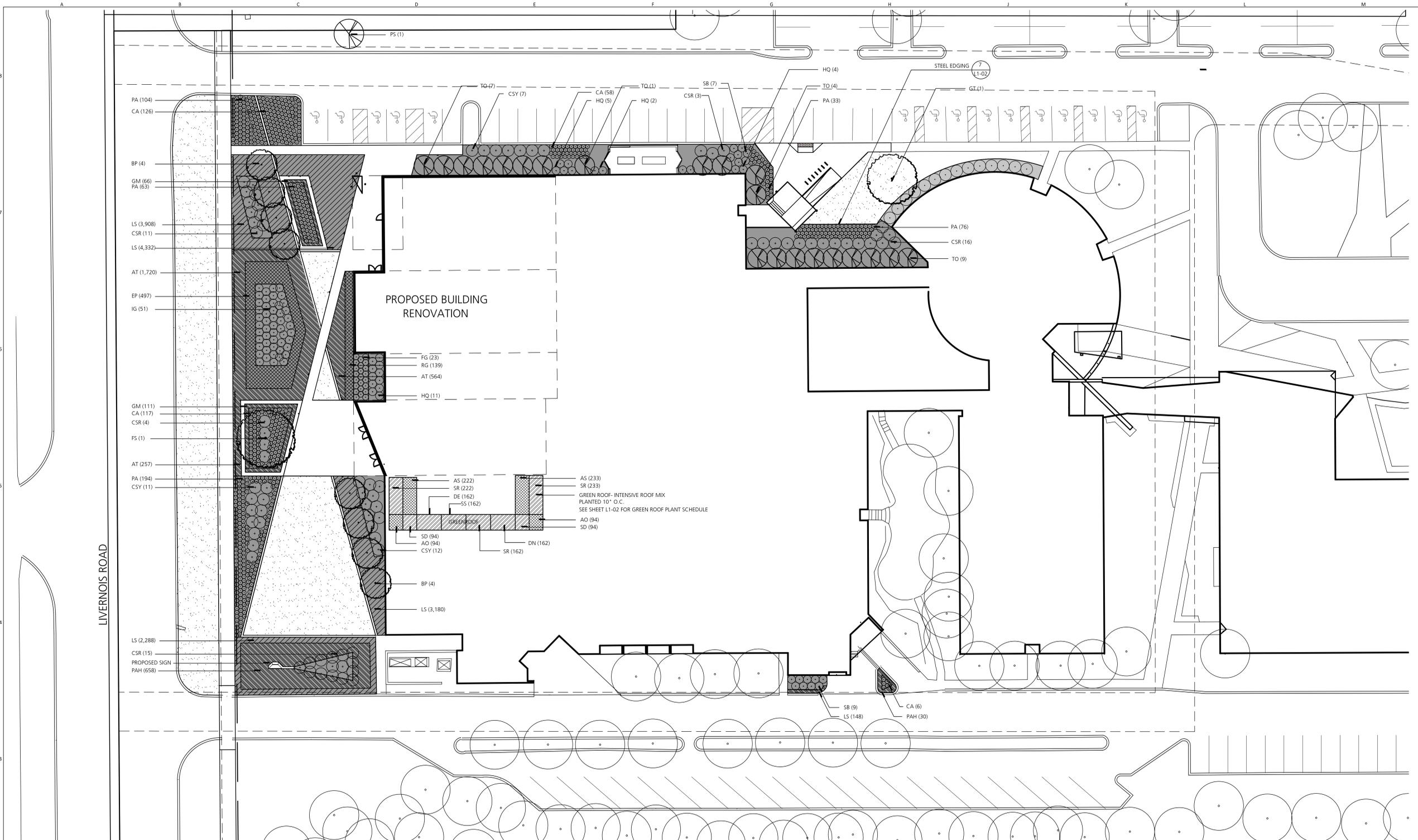
Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.22.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	PRELIMINARY SITE PLAN REVIEW REVISED	02.03.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC.

SHEET TITLE
LANDSCAPE SITE PLAN



SHEET NUMBER
L1-01



LANDSCAPE PLANT SCHEDULE

TREES						
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
8	BP	BETULA POPULIFOLIA	GRAY BIRCH	2 1/2"	B & B	SINGLE STRAIGHT TRUNK, FULL UNIFORM HEAD
1	FS	FAGUS SYLVATICA 'TRI COLOR'	TRI COLOR BEECH	2 1/2"	B & B	SINGLE STRAIGHT TRUNK, FULL UNIFORM HEAD
1	GT	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2 1/2"	B & B	SINGLE STRAIGHT TRUNK, FULL UNIFORM HEAD
21	TO	THUJA OCCIDENTALIS	WHITE CEDAR	5-6 HT	CONT.	SINGLE STRAIGHT TRUNK, FULL UNIFORM HEAD
1	PS	PRINUS STROBUS	EASTERN WHITE PINE	5-6 HT	CONT.	SINGLE STRAIGHT TRUNK, FULL UNIFORM HEAD

SHRUBS AND GRASSES						
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
307	CA	CALAMAGROSTIS X ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2 GAL	CONT.	24" O.C., FULL HEAVY PLANTS
49	CSR	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL	CONT.	4-5' HT., FULL HEAVY BRANCHING, 6" O.C.
30	CSY	CORNUS SERICEA	YELLOW TWIG DOGWOOD	5 GAL	CONT.	4-5' HT., FULL HEAVY BRANCHING, 6" O.C.
23	FG	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	3 GAL	CONT.	24" HT., FULL HEAVY BRANCHING, 3" O.C.
22	HO	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 GAL	CONT.	30" HGT., FULL HEAVY BRANCHING, 4" O.C.
51	IG	ILEX GLABRA VAR. 'COMPACTA'	'COMPACT' HOLLY	3 GAL	CONT.	36" HGT., FULL HEAVY BRANCHING, 4" O.C.
470	PA	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	2 GAL	CONT.	24" O.C., FULL HEAVY PLANTS
688	PAH	PENNISETUM ALOPECUROIDES 'HAMLIN'	'HAMLIN' DWARF FOUNTAIN GRASS	2 GAL	CONT.	18" O.C., FULL HEAVY PLANTS
16	SB	SPIRAEA X BUMALDA 'ANTHONY WATERER'	'ANTHONY WATERER' SPIRAEA	3 GAL	CONT.	30" HGT., FULL HEAVY BRANCHING, 4" O.C.

PERENNIALS AND GROUNDCOVERS

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS
3,034	AT	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1 GAL	CONT.	10" O.C., FULL HEAVY PLANTS
497	EP	ECHINACEA VAR.	CONEFLOWER	2 GAL	CONT.	18" O.C., FULL HEAVY PLANTS
177	GM	GERANIUM MACULATUM	WILD GERANIUM	2 GAL	CONT.	18" O.C., FULL HEAVY PLANTS
13,856	LS	LIRIOPE SPICATA	CREEPING LILY TURF	48/FLAT	FLAT	4 PER SQ. FT.
139	RG	RUDBECKIA 'GOLDSTRUM'	'GOLDSTRUM' BLACK EYED SUSAN	2 GAL	CONT.	18" O.C., FULL HEAVY PLANTS

SITE PLAN CALCULATIONS

STREET FRONTAGE
(GREENBELTS SECTION 13.02.D):
10' WIDTH MIN. FOR LANDSCAPE MEDIAN

1 DECIDUOUS TREE/30 LF OF MEDIAN
2 1/2" CAL. FOR DECIDUOUS, 5-6' HT. MIN FOR EVERGREENS

PROPOSED: 10 TREES (USED IN THE SITE LANDSCAPING AS CANOPY TREES)

SITE LANDSCAPING (SECTION 13.02.E):
MIN. 20% OF PROPOSED SITE SHALL BE LANDSCAPED

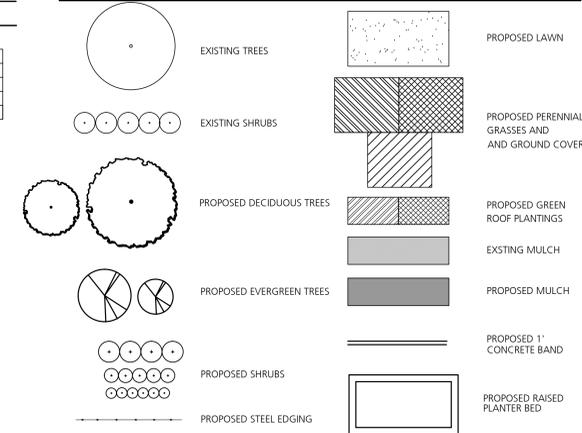
TOTAL PROPOSED SITE SF: 28,000 SF
TOTAL PROPOSED LANDSCAPE AREA SF: 21,884 SF

TOTAL PERCENTAGE OF LANDSCAPE AREA: APPROX. 78%

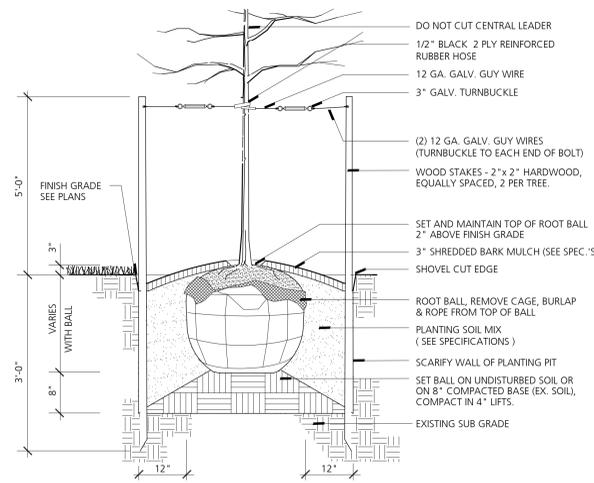
LANDSCAPE SITE PLAN NOTES

- TOPSOIL (4") AND SEED ALL DISTURBED TURF AREAS.
- ALL IMPORTED TOPSOIL SHALL BE SCREENED AND BE APPROVED BY LANDSCAPE ARCHITECT/ENGINEER PRIOR TO INSTALLATION. PROVIDE CERTIFICATION FOR ALL IMPORTED TOPSOIL.
- ALL PROPOSED LANDSCAPED AREAS WILL BE PROVIDED WITH IRRIGATION.

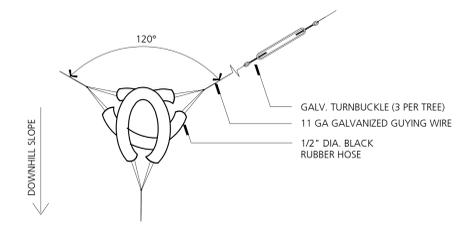
LANDSCAPE SITE PLAN LEGEND



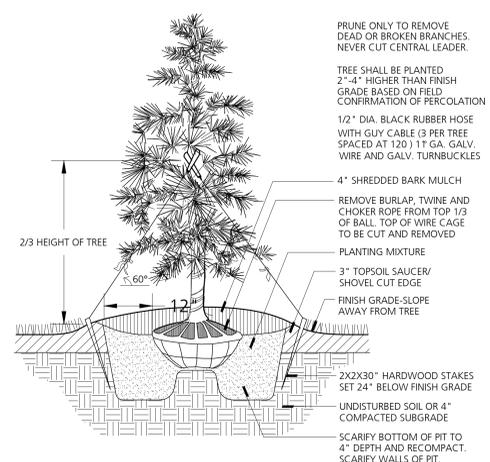
811
Know what's below.
Call before you dig.



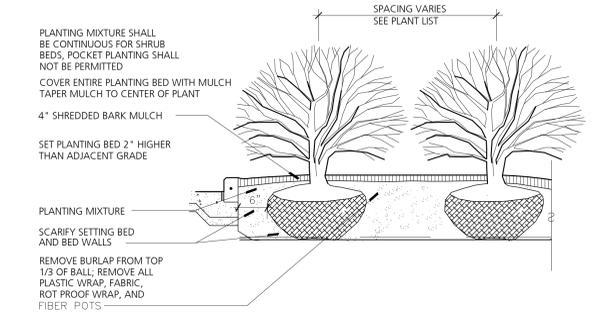
1 Deciduous Tree Planting
NO SCALE



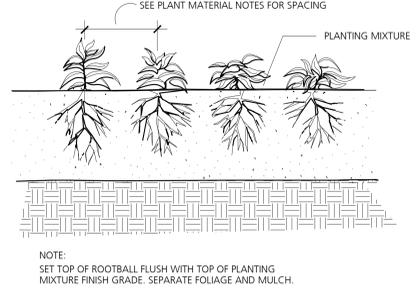
2 Tree Guying
NO SCALE



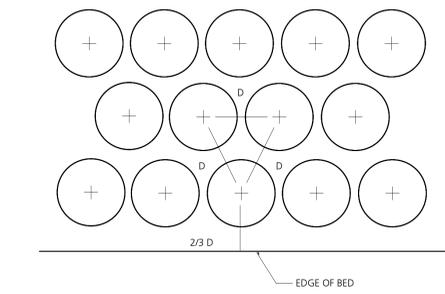
3 Evergreen Tree Planting
NO SCALE



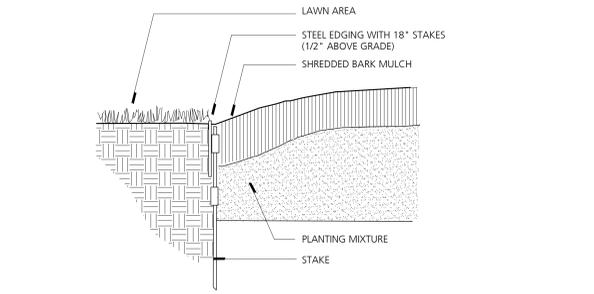
4 Shrub Planting
NO SCALE



5 Groundcover, Perennial and Annual Planting
NO SCALE



6 Plant Spacing
NO SCALE



7 Steel Edging
NO SCALE

LANDSCAPE MAINTENANCE PROGRAM

NOTE: All diseased, damaged, or dead material shall be replaced.

MAINTENANCE ACTIVITIES BY SEASON	AVERAGE FREQUENCY
SPRING	
- APPLY BARK MULCH TO SHRUB AREAS	AS NEEDED
- OBSERVE TREES AND SHRUBS, TREAT AS NEEDED	MONTHLY
- INSPECT, WEED PLANTING AREAS AND REMOVE DEBRIS	TWICE/MONTH
- CULTIVATE AND WEED PLANTED AREAS	MONTHLY
- ACTIVATE IRRIGATION SYSTEM	ONCE
- HARD SURFACE SWEEPING	MONTHLY
- CLEAN AND SWEEP PARKING LOT	MONTHLY
SUMMER	
- INSPECT, WEED PLANTING AREAS AND REMOVE DEBRIS	TWICE/MONTH
- INSPECT, REPAIR IRRIGATION HEADS AS NECESSARY	MONTHLY
- HARD SURFACE SWEEPING	MONTHLY
- OBSERVE SHRUBS AND TREES, TREAT AS NEEDED	MONTHLY
FALL	
- INSPECT, WEED PLANTING AREAS AND REMOVE DEBRIS	TWICE/MONTH
- INSPECT, REPAIR IRRIGATION HEADS AS NECESSARY	MONTHLY
- HARD SURFACE SWEEPING	MONTHLY
- REMOVE DEAD LEAVES FROM PLANTING AREAS	MONTHLY
- DEACTIVATE IRRIGATION SYSTEM	ONCE
- APPLY BARK MULCH TO SHRUBS AND TREE RINGS	ONCE
- CHECK, PREPARE TREES FOR WINTER PROTECTION, IF NECESSARY	ONCE
WINTER	
- HARD SURFACE SWEEPING AND SNOW REMOVAL (2" OR MORE)	AS REQUIRED

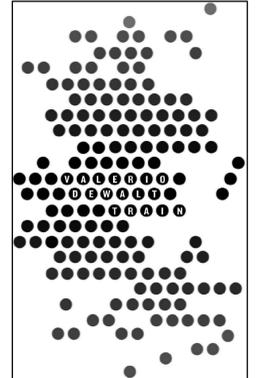
GREEN ROOF LANDSCAPE PLANT SCHEDULE

INTENSIVE ROOF MIX			
455	(AS) Allium schoenoprasum 'Album'	White Ornamental Chive	#1 (8/flat)
188	(AO) Allium thunbergii 'Ozawa'	Fall Blooming Allium	#1 (8/flat)
162	(DB) Delosperma 'John Proffitt'	John Proffitt Ice Plant	3-1/4" (18/flat)
162	(DB) Delosperma nubigena	Hardy Ice Plant	3-1/4" (18/flat)
617	(SR) Sedum rupestre 'Angelina'	Angelina Sedum	3-1/4" (18/flat)
162	(SS) Sedum sesangulare	Six Angled Sedum	3-1/4" (18/flat)
188	(SD) Sedum spurium 'Dragon's Blood'	Dragon's Blood Sedum	3-1/4" (18/flat)

NOTE:
1. INTENSIVE ROOF MIX TO BE PLANTED AT 10" O.C. (TRIANGULAR SPACING). SPECIES SHALL BE MIXED RANDOMLY SUCH THAT MASSES OF SINGLE SPECIES DO NOT OCCUR. LANDSCAPE ARCHITECT SHALL APPROVE LAYOUT PRIOR TO PLANTING.
2. LANDSCAPE ARCHITECT SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING.
3. GREEN ROOF PLANT QUANTITIES SHALL BE FINALIZED AT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT.

PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI
48083



ARCHITECT
VALERIO DEWALT TRAIN ASSOC.
500 N. DEARBORN, 9TH FLOOR
CHICAGO, ILLINOIS 60654
312.260.7300
www.bulldorfie.com

PROJECT TEAM **ARCHITECT STAMP**

JOSEPH VALERIO
CHRISTINE MCGRATH
JENNIFER COOPER
MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
12123.00

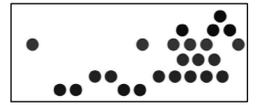
CONSULTANT
B R I
Beckett & Raeder
Landscape Architecture
Planning, Engineering and
Environmental Services

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.22.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	PRELIMINARY SITE PLAN REVIEW REVISED	02.03.2014

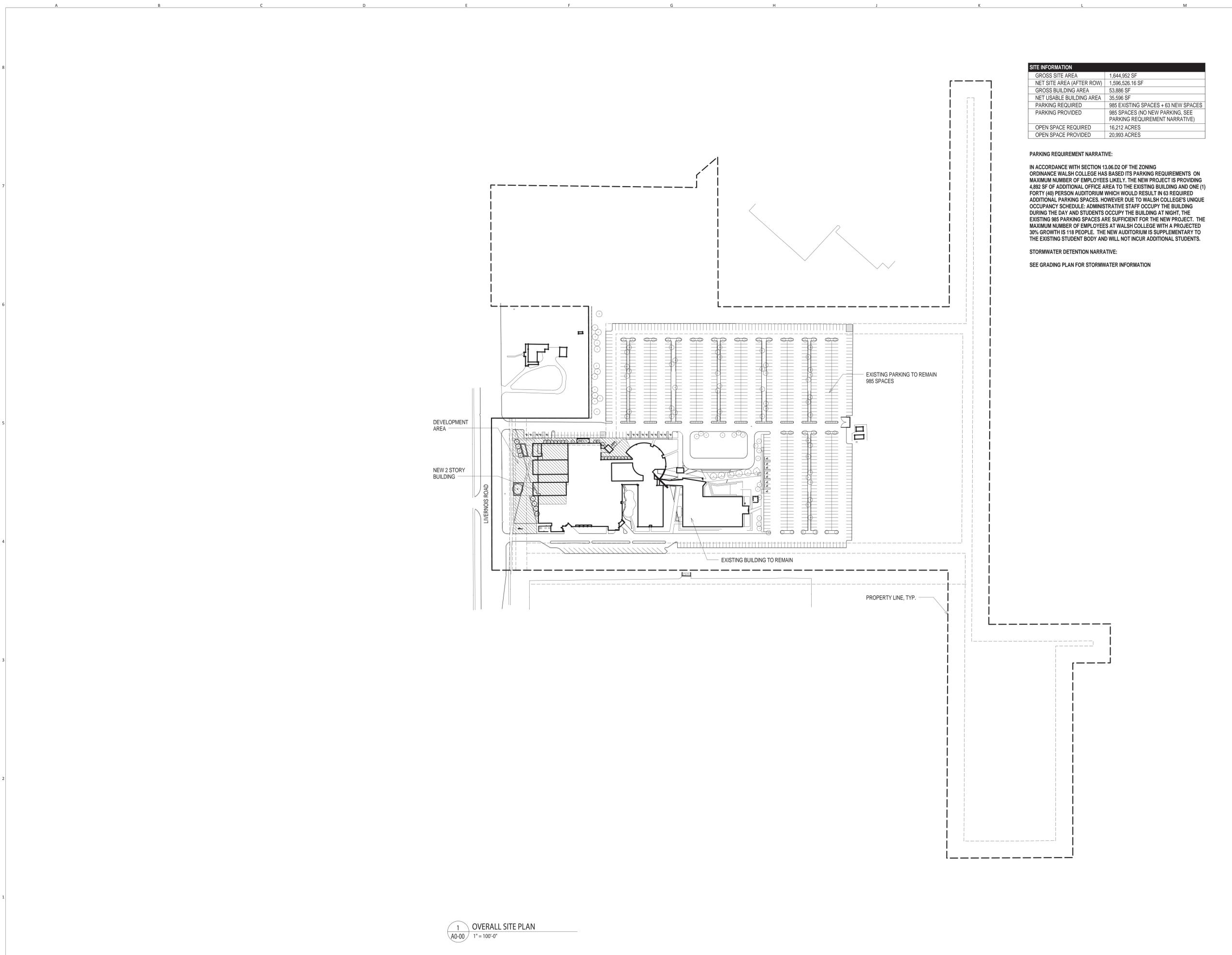
© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC.

SHEET TITLE
LANDSCAPE DETAILS



SHEET NUMBER
L1-02





SITE INFORMATION	
GROSS SITE AREA	1,644,992 SF
NET SITE AREA (AFTER ROW)	1,596,526.16 SF
GROSS BUILDING AREA	53,886 SF
NET USABLE BUILDING AREA	35,596 SF
PARKING REQUIRED	985 EXISTING SPACES + 63 NEW SPACES
PARKING PROVIDED	985 SPACES (NO NEW PARKING, SEE PARKING REQUIREMENT NARRATIVE)
OPEN SPACE REQUIRED	16,212 ACRES
OPEN SPACE PROVIDED	20,983 ACRES

PARKING REQUIREMENT NARRATIVE:

IN ACCORDANCE WITH SECTION 13.06.D2 OF THE ZONING ORDINANCE WALSH COLLEGE HAS BASED ITS PARKING REQUIREMENTS ON MAXIMUM NUMBER OF EMPLOYEES LIKELY. THE NEW PROJECT IS PROVIDING 4,892 SF OF ADDITIONAL OFFICE AREA TO THE EXISTING BUILDING AND ONE (1) FORTY (40) PERSON AUDITORIUM WHICH WOULD RESULT IN 63 REQUIRED ADDITIONAL PARKING SPACES. HOWEVER DUE TO WALSH COLLEGE'S UNIQUE OCCUPANCY SCHEDULE: ADMINISTRATIVE STAFF OCCUPY THE BUILDING DURING THE DAY AND STUDENTS OCCUPY THE BUILDING AT NIGHT. THE EXISTING 985 PARKING SPACES ARE SUFFICIENT FOR THE NEW PROJECT. THE MAXIMUM NUMBER OF EMPLOYEES AT WALSH COLLEGE WITH A PROJECTED 30% GROWTH IS 118 PEOPLE. THE NEW AUDITORIUM IS SUPPLEMENTARY TO THE EXISTING STUDENT BODY AND WILL NOT INCUR ADDITIONAL STUDENTS.

STORMWATER DETENTION NARRATIVE:

SEE GRADING PLAN FOR STORMWATER INFORMATION

PROJECT NAME
 Walsh College
 Livernois Road and
 Interiors

PROJECT ADDRESS
 3838 Livernois Rd
 Troy, MI
 48083



ARCHITECT

VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldordie.com

PROJECT TEAM

JOSEPH VALERIO
 CHRISTINE MCGRATH BREUER
 JENNIFER COOPER
 MICHAEL KIRSCHNER



VDTA PROJECT NUMBER
 12123.00

CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	PRELIMINARY SITE PLAN REVIEW	01.10.2014
2	ZONING BOARD OF APPEALS	01.22.2014
3	PRELIM. SITE PLAN REVIEW REVISED	02.03.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE

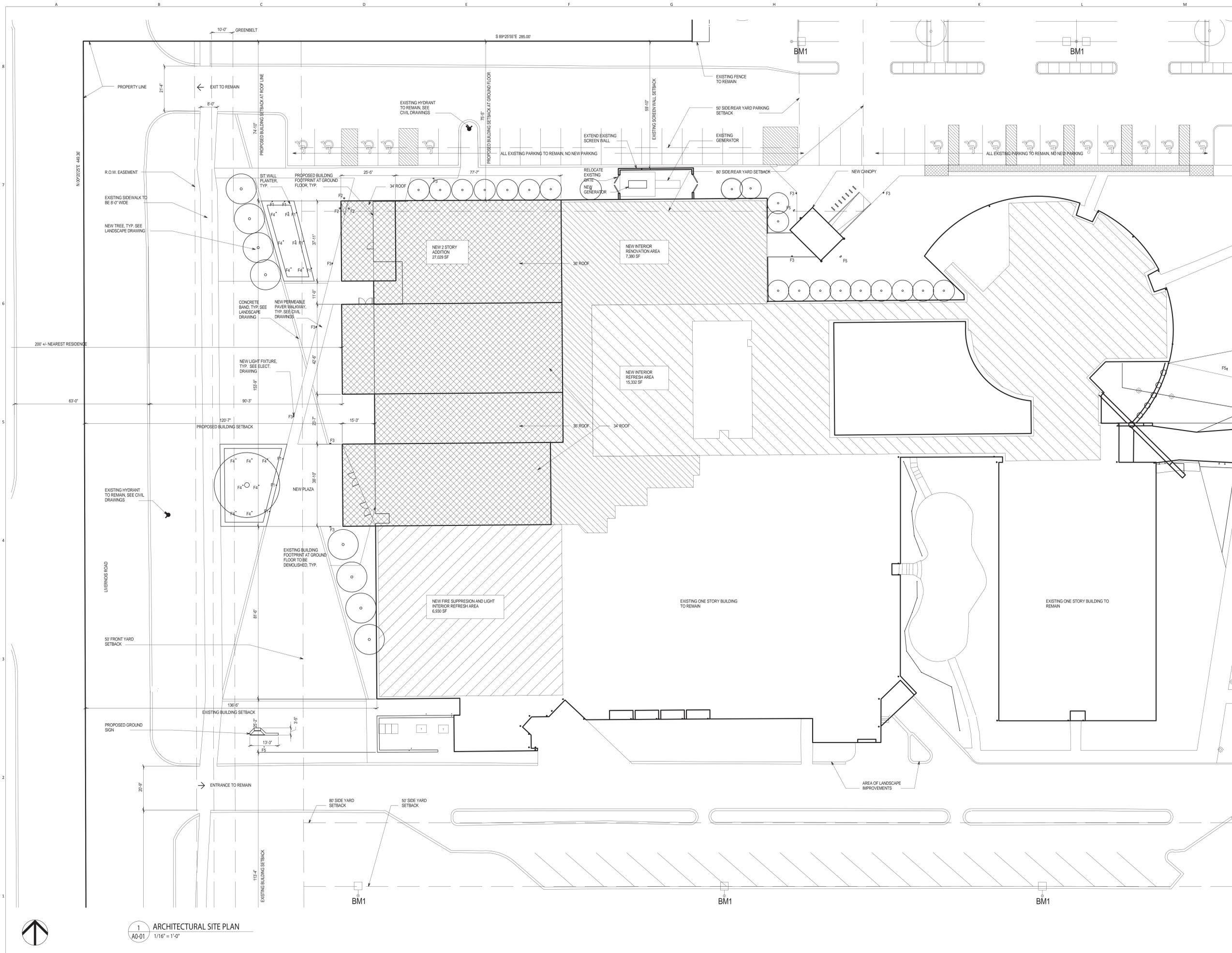
OVERALL SITE PLAN



SHEET NUMBER

A0-00

1 OVERALL SITE PLAN
 A0-00 1" = 100'-0"



PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI
48083



ARCHITECT
 VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldordie.com

PROJECT TEAM **ARCHITECT STAMP**

JOSEPH VALERIO
 CHRISTINE MCGRATH BREUER
 JENNIFER COOPER
 MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
 12123.00

CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.25.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	ZONING BOARD OF APPEALS	01.22.2014
4	PRELIM. SITE PLAN REVIEW REVISED	02.03.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

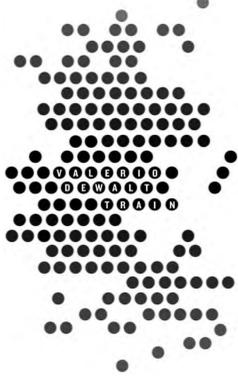
SHEET TITLE
ARCHITECTURAL SITE PLAN



SHEET NUMBER
A0-01

1 ARCHITECTURAL SITE PLAN
 A0-01 1/16" = 1'-0"





ARCHITECT
 VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldie.com

PROJECT TEAM ARCHITECT STAMP

JOSEPH VALERIO
 CHRISTINE McGRATH BREUER
 JENNIFER COOPER
 MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
 12123.00

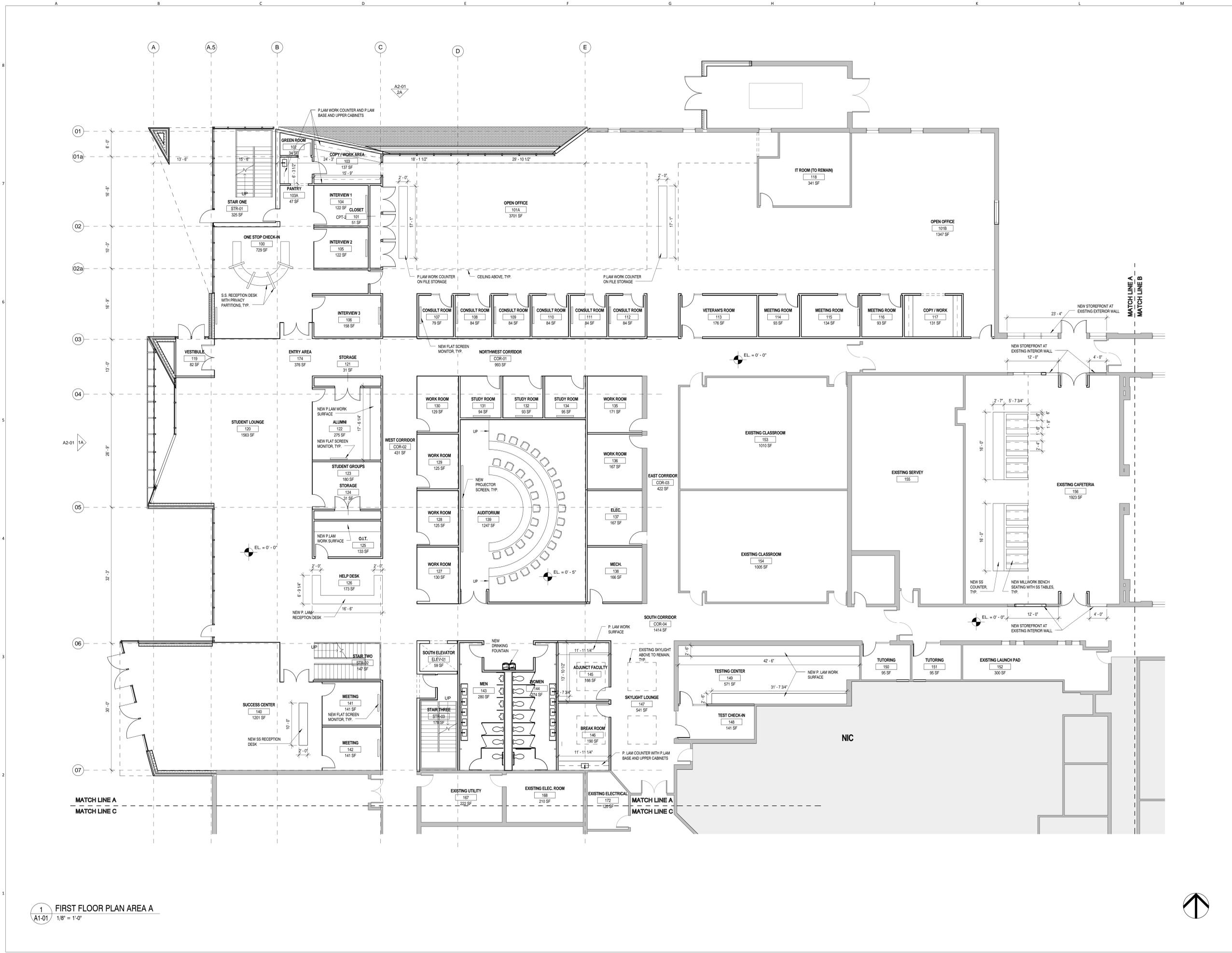
CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.25.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	PRELIMINARY SITE PLAN REVIEW REVISED	02.03.2015

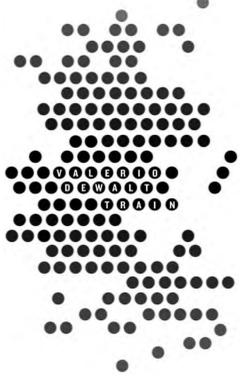
© 2014 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
FIRST FLOOR PLAN



1 FIRST FLOOR PLAN AREA A
 A1-01 1/8" = 1'-0"





ARCHITECT
 VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldorfie.com

PROJECT TEAM ARCHITECT STAMP
 JOSEPH VALERIO
 CHRISTINE McGRATH BREUER
 JENNIFER COOPER
 MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
 12123.00

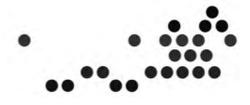
CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.25.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	PRELIMINARY SITE PLAN REVIEW REVISED	02.03.2015

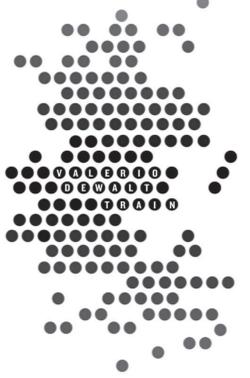
© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
SECOND FLOOR PLAN



1 SECOND FLOOR PLAN
 A1-02 / 1/8" = 1'-0"

NOT FOR CONSTRUCTION



ARCHITECT
 VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldogdie.com

PROJECT TEAM **ARCHITECT STAMP**

JOSEPH VALERIO
 CHRISTINE McGRATH BREUER
 JENNIFER COOPER
 MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
 12123.00

CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	25% SCHEMATIC DESIGN	11.25.2013
2	PRELIMINARY SITE PLAN REVIEW	01.10.2014
3	ZONING BOARD OF APPEALS	01.22.2014
4	PRELIM. SITE PLAN REVIEW REVISED	02.03.2014
5	PRELIM. SITE PLAN REVIEW REVISED 2	03.11.2014

© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
ELEVATIONS



SHEET NUMBER
A2-01

EXTERIOR MATERIALS LEGEND

TYPE	DESCRIPTION
MT-1	INSULATED METAL PANEL SYSTEM, PAINTED FINISH
MT-2	RIBBED METAL PANEL SYSTEM, PAINTED FINISH
CW-1	KAWNEER 1600 WALL SYSTEM 2 WITH 1" INSULATED CLEAR VISION GLASS WITH LOW E COATING
ST-1	8" STONE MASONRY UNIT UNIQUE BOND ALT.1 - UTILITY BRICK
BR-1	UTILITY BRICK
CL-1	CLERESTORY WINDOW WITH 1" INSULATED CLEAR VISION GLASS WITH LOW E COATING
GL-1	1 1/8" TEMPERED CLEAR GLASS PANEL HANDRAIL

- T/ SCREEN
EL. +39' - 0"
- T/ UPPER ROOF
EL. +34' - 0"
- T/ LOWER ROOF
EL. +30' - 0"
- T/ LEVEL TWO
EL. +15' - 4"
- T/ LEVEL ONE
EL. +0' - 0"

5A SOUTH ELEVATION
 A2-01 1/8" = 1'-0"

- T/ SCREEN
EL. +39' - 0"
- T/ UPPER ROOF
EL. +34' - 0"
- T/ LOWER ROOF
EL. +30' - 0"
- T/ LEVEL TWO
EL. +15' - 4"
- T/ LEVEL ONE
EL. +0' - 0"

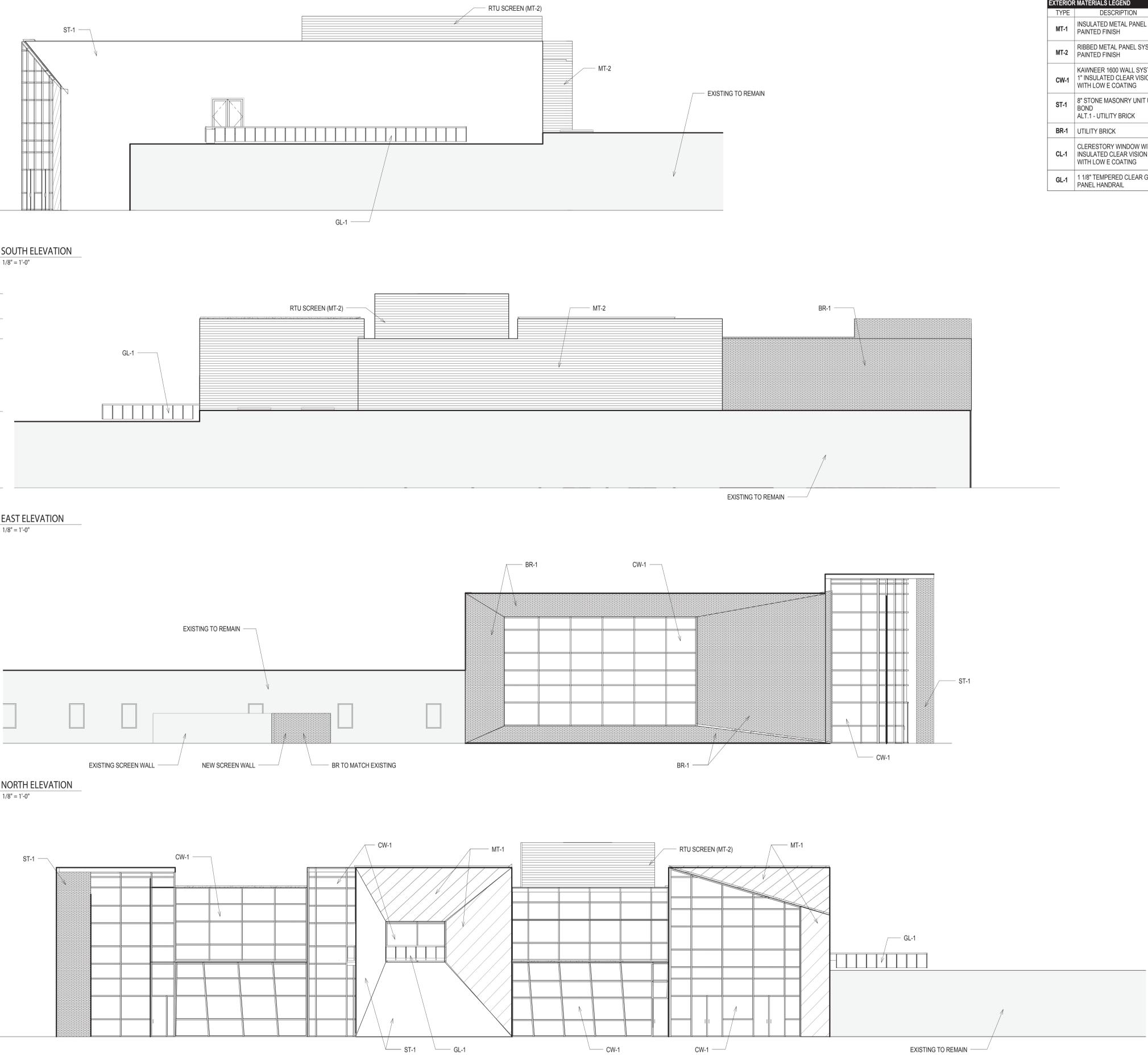
2 EAST ELEVATION
 A2-01 1/8" = 1'-0"

- T/ UPPER ROOF
EL. +34' - 0"
- T/ LOWER ROOF
EL. +30' - 0"
- T/ LEVEL TWO
EL. +15' - 4"
- T/ SCREEN WALL
EL. +6' - 10"
- T/ LEVEL ONE
EL. +0' - 0"

1 NORTH ELEVATION
 A2-01 1/8" = 1'-0"

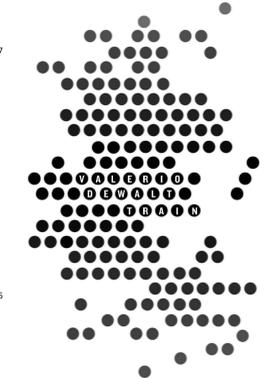
- T/ SCREEN
EL. +39' - 0"
- T/ UPPER ROOF
EL. +34' - 0"
- T/ LOWER ROOF
EL. +30' - 0"
- T/ LEVEL TWO
EL. +15' - 4"
- T/ LEVEL ONE
EL. +0' - 0"

3 WEST ELEVATION
 A2-01 1/8" = 1'-0"



PROJECT NAME
Walsh College
Livernois Road and Interiors

PROJECT ADDRESS
3838 Livernois Rd
Troy, MI
48083



ARCHITECT
 VALERIO DEWALT TRAIN ASSOC.
 500 N. DEARBORN, 9TH FLOOR
 CHICAGO, ILLINOIS 60654
 312.260.7300
 www.bulldorlie.com

PROJECT TEAM ARCHITECT STAMP
 JOSEPH VALERIO
 CHRISTINE MCGRATH
 JENNIFER COOPER
 MICHAEL KIRSCHNER

VDTA PROJECT NUMBER
 12123.00

CONSULTANT

CONSULTANT PROJECT NUMBER

Issue		
No.	Issued for	Date
1	Preliminary Site Plan Review	01.10.2014
2	50% Design Development	02.03.2014
3	Preliminary Site Plan Review Revised	03.11.2014

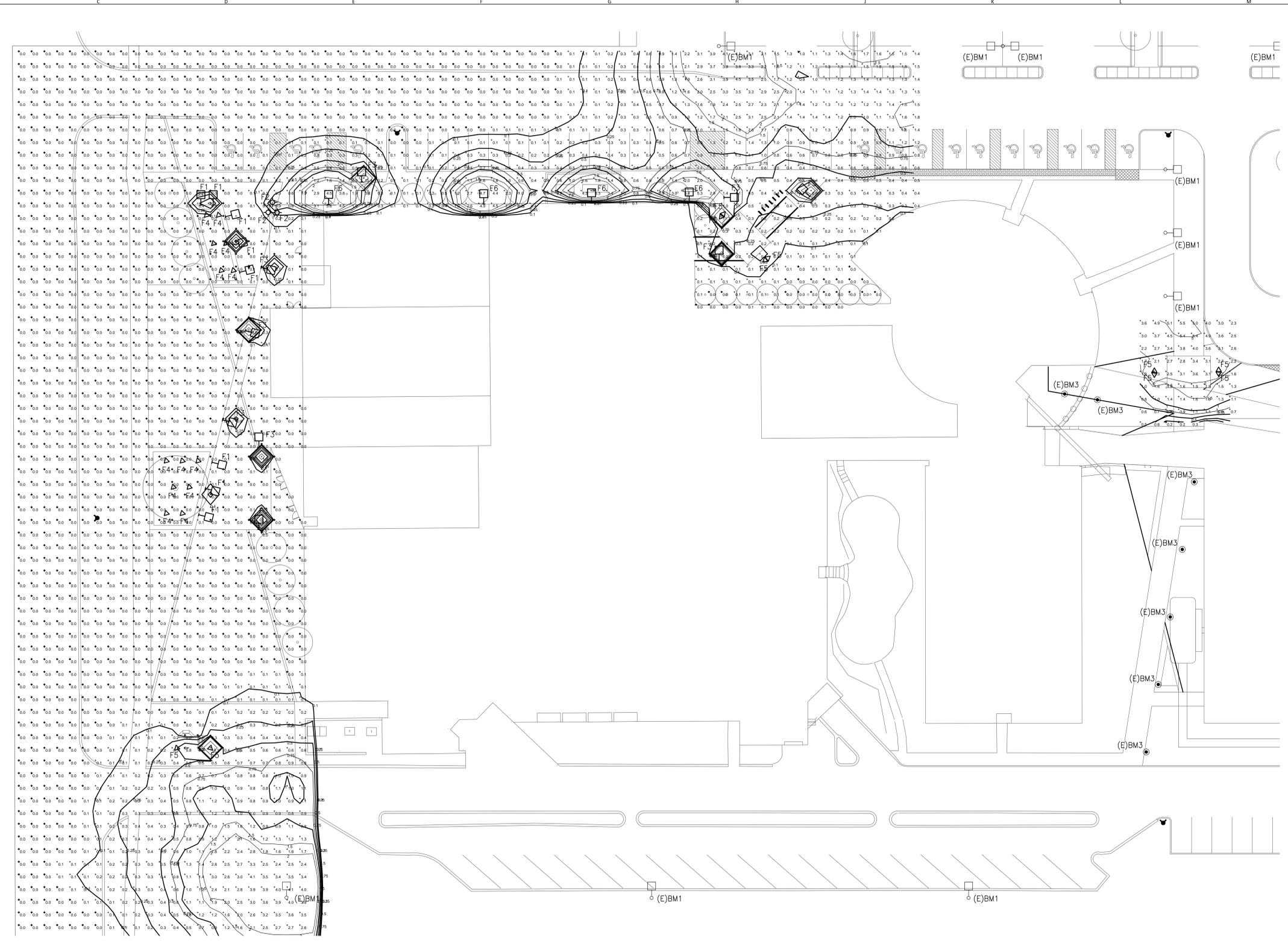


© 2013 VALERIO DEWALT TRAIN ASSOCIATES, INC

SHEET TITLE
SITE PHOTOMETRIC CALCULATIONS - NEW WORK



SHEET NUMBER
ES1-00



FIXTURE MARK	DESCRIPTION	MANUFACTURER(S)	VOLTAGE	FIXTURE WATTAGE	LAMP DESCRIPTION
F1	RECESSED WALL LUMINAIRE WITH ASYMMETRICAL DISTRIBUTION. MOUNTED 12" ABOVE FINISHED GRADE.	1. BEGA MODEL 2230LED	208V	9.9W	LED
F2	DRIVE-OVER IN-GRADE FLOODLIGHT FOR HIGH PRESSURE LOADS. MOUNTED FLUSH IN-GRADE.	1. BEGA MODEL 7023LED	208V	22W	LED
F3	31.5" HIGH BALLARD.	1. BEGA MODEL 9554LED	208V	14W	LED
F4	FLOOD LIGHT. MOUNTED AT GRADE LEVEL.	1. VISTA PROFESSIONAL OUTDOOR LIGHTING MODEL T090	208V	5.1W	LED
F5	FLOOD LIGHT. MOUNTED AT GRADE LEVEL.	1. BEGA MODEL 8322MH	208V	39W	LED
F6	WALL MOUNTED AREA LIGHT. MOUNTED AT 13'-0" ABOVE FINISHED GRADE.	1. BEGA MODEL 2383LED	208V	25.3W	LED

FIXTURE MARK	DESCRIPTION	MANUFACTURER(S)	VOLTAGE	FIXTURE WATTAGE	LAMP DESCRIPTION
BM1	EXISTING - 25FT POLE	1. LITHONIA MODEL KSF2-400M-R4W-208-SP04-DNA	208V	400W	METAL HALIDE
BM2	EXISTING - 20FT POLE	1. BEGA MODEL 8071MH	208V	100W	METAL HALIDE
BM2g	EXISTING - 12FT POLE	1. BEGA MODEL 8071MH	208V	100W	METAL HALIDE
BM3	EXISTING	1. BEGA MODEL 8537MH	208V	70W	METAL HALIDE

① SITE PHOTOMETRIC CALCULATIONS - NEW WORK
 1" = 20'-0"

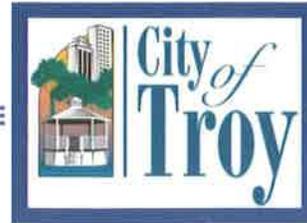


Memorandum

PROJECT: Walsh College Livernois & Interiors Renovations
SES PROJECT NO: 2013.660.02
DATE: June 5, 2013
CONTACT(S): Matthew Paterson – Strategic Energy Solutions (SES)
SUBJECT: Preliminary Site Plan Review Revised – Lighting Control Narrative

The new exterior lighting associated with the northern elevation will be controlled via contact from the existing exterior lighting control such that all the exterior lighting illuminates at the same time. The new exterior lighting fixtures associated with the northern elevation have optics that prevent direct line of sight with the lamp to minimize glare. All lighting fixtures are designed to direct the light downwards toward the ground with exception of the flood lights that will illuminate the free-standing canopy at the northeast entry. The flood lights will be aimed toward the top of the canopy and will be positioned to minimize glare.

Interior lighting on the first and second floors that will be visible from the northern elevation is mainly limited to recessed lay-in fixtures with regressed lenses that will minimize glare. All interior lighting with a direct line of sight to any openings in the envelope will be reduced by at least 50% between the hours of 11PM and 5AM.



February 24, 2014

Walsh College
c/o Valerio Dwalt Train Associates
500 N. Dearborn Street, 9th Floor
Chicago IL 60654

Re: 3838 Livernois, Troy Michigan

Dear Applicant

At their Regular meeting of February 18, 2014, the Zoning Board of Appeals acted upon a request for variance. The following is an excerpt from the draft* meeting minutes:

In order to construct modifications to the existing building: 1) a 10 foot variance to the 25 foot maximum allowed building height; 2) a 5.15 foot variance to the required 80 foot setback from adjacent residential property; and 3) a 4 foot variance to the maximum permitted 35 foot height limit for proposed rooftop mechanical equipment screening structures.

Moved by Krent
Seconded by McCown

RESOLVED, to grant the request, subject to:

- Applicant and owner of 3684 Livernois to develop a mutually agreeable landscape screening plan;
- Landscape screening plan to address the common east-west property line separating the properties;
- Landscape screening plan to be incorporated into an amended Site Plan for the Planning Commission.

Yes: All

MOTION PASSED

Failure to obtain applicable permit(s) within one (1) year of the meeting date for approved variances will render relief granted invalid.

Sincerely,

Paul Evans
Zoning and Compliance Specialist

cc: File/ Zoning Board of Appeals
File/ Correspondence

* Draft minutes subject to approval by Zoning Board of Appeals.

DATE: March 20, 2014

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING - CONDITIONAL REZONING APPLICATION (File Number CR 011) – Proposed Amber Town Center Townhomes and Lofts, West side of Livernois, North of Town Center (3409 Livernois), Section 21, From O (Office) District to BB (Big Beaver) District

The applicant, Amber Properties Company, seeks a conditional rezoning of the subject parcel from O (Office) District to BB (Big Beaver) District. The applicant submitted a standard rezoning application that was considered on numerous occasions by the Planning Commission. The rezoning was denied by City Council on January 27, 2014. The applicant had also submitted a separate Preliminary Site Plan application for a five-story building, 61 feet in height. The applicant has submitted a new conditional rezoning application, including a revised site plan for a four-story building, approximately 51 feet in height. A condition offered by the applicant is the Preliminary Site Plan, which will control the future development of the site.

The site is within the Big Beaver classification in the City of Troy Master Plan. This classification supports residential development along the Big Beaver Corridor.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

A Planning Commission public hearing has been scheduled for March 25, 2014.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Report prepared by Carlisle/Wortman Associates, Inc.

G:\Conditional Rezoning\CR-011 Amber Town Center Townhomes and Lofts Sec 21\PC Memo 03 25 2014.doc

PROPOSED RESOLUTION

PUBLIC HEARING - CONDITIONAL REZONING APPLICATION (File Number CR 011)
– Proposed Amber Town Center Townhomes and Lofts, West side of Livernois, North of Town Center (3409 Livernois), Section 21, From O (Office) District to BB (Big Beaver) District

Resolution # PC-2014-03-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the O to BB conditional rezoning request, which incorporates Preliminary Site Plan Approval, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Livernois, north of Town Center (3409 Livernois), within Section 21, being approximately 1.23 acres in size, be granted, subject to the following conditions:

Yes:

No:

MOTION PASSED / FAILED



Legend:

Street Name Text

167 0 83 167 Feet

Scale 1: 1,000

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 3/3/2014



Legend:

- Street Name Text
- Form Based Zoning (Current)
 - (PUD) Planned Unit Development
 - (CF) Community Facilities District
 - (EP) Environmental Protection District
 - (BB) Big Beaver Road (Form Based)
 - (MR) Maple Road (Form Based)
 - (NN) Neighborhood Nodes (A-U)
 - (CB) Community Business
 - (GB) General Business
 - (IB) Integrated Industrial Business District
 - (O) Office Building District
 - (OM) Office Mixed Use
 - (P) Vehicular Parking District
 - (R-1A) One Family Residential District
 - (R-1B) One Family Residential District
 - (R-1C) One Family Residential District
 - (R-1D) One Family Residential District
 - (R-1E) One Family Residential District
 - (RT) One Family Attached Residential District
 - (MF) Multi-Family Residential
 - (MHP) Manufactured Housing
 - (UR) Urban Residential
 - (RC) Research Center District
 - (PV) Planned Vehicle Sales

200 0 100 200Feet

Scale 1: 1,200

Big Beaver Road: A World Class Boulevard



- *Home to large, landmark projects and mixed-use regional destinations.*
- *Central gathering area of the community.*
- *A collection of international corporations, local companies, and establishments which complement these high-visibility uses.*

The Big Beaver Road corridor is responsible for the first impression many people have throughout Michigan when they think of the City of Troy. The high-rise buildings, Somerset Collection, and its immediate proximity to I-75 are frequently the main elements visitors remember about the Corridor and the City. **In order to remain competitive and continue to be a leader in economic development in Southeast Michigan, Troy must plan for this Corridor to evolve in light of a changing economy.** In that spirit, the City adopted the key concepts of the Big Beaver Corridor Study in 2006:

- Gateways, Districts and Transitions
- Trees and Landscape as Ceilings and Walls
- Walking Becomes Entertainment - Much to Observe & Engage In
- Mixing the Uses Turns on the Lights - Energetic Dynamic of Mixed Uses with a Focus on Residential

- The Automobile & Parking are No Longer #1.
- Civic Art as the Wise Sage of the Boulevard

The uses and character of this future land use category are driven by the recommendations of the Big Beaver Corridor Study and subsequent efforts of the Planning Commission to create new zoning techniques to implement those recommendations.

This Study provided a comprehensive analysis of the existing and potential characteristics of this important area. The planned future land uses in the Big Beaver Corridor are in large part considered mixed-use, to allow for a wave of new residential development and the redevelopment of individual sites to make a more meaningful contribution to the quality of life of the City. The main difference between the various mixed-use districts planned in the Study is building height. The intended characteristics of the various districts are also very different, and are the topic of in-depth analysis in the Study. Some important recommendations of that Study are listed below.

- Moving toward the creation of distinct physical districts by building from lot line to lot line along the right-of-way rather than continuing to be a collection of isolated towers.
- Becoming flexible with land use relationships. The use of vertically integrated mixed-use commercial, office and residential towers should be promoted. The use of prominent ground floor retail, restaurants and cafes allows visual interest and activity for visitors and residents.
- Contain parking in structures that are shared by surrounding developments. Do not allow off-street parking to be visible from major thoroughfares.
- Landscape Big Beaver and intersecting thoroughfares with rows of mature trees.

DESIGN CONCEPT

- This will be a vibrant high-rise business and residential district.
- Pedestrian use will be promoted through massive landscaping, wide sidewalks, outdoor cafes, and public art.
- The Big Beaver Corridor Study and Big Beaver Development Code provide for a specific land development pattern.
- Architectural design must create an interesting visual experience for both sidewalk users at close range and for those viewing the skyline from a distance.

SITE DESIGN ATTRIBUTES

- Parking should be located in rear yards.
- Development should include intense street tree planting along Big Beaver.
- Cafes, plazas, parks and similar amenities to draw pedestrians will be encouraged.
- Buildings will frame the street network by building to the front and side property lines. Exceptions for cafes, plazas and access roads may be permitted.

BUILDING DESIGN ATTRIBUTES

- Buildings should rise in height toward Crooks Road in the east-west direction.

- Buildings should rise in height toward Big Beaver in the north-south direction.
- Ground level stories should be a minimum of twelve feet in height; with large expanses of transparent glass.
- Fenestration at the ground level should be highlighted through the use of awnings, overhangs or trim detailing, and building caps or roofs should provide a visually interesting skyline.



Big Beaver Corridor Study; Birchler Arroyo Associates, Inc.



Concept Sketch from the Big Beaver Corridor Study; Birchler Arroyo Associates, Inc.



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: March 13, 2014

Conditional Rezoning and Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Jerome S. Amber, Amber Properties Company 380 N. Crooks Road Clawson, Michigan 48017
Project Name:	Amber Town Center Townhomes and Lofts
Plan Date:	January 10, 2014
Location:	Northwest corner of Livernois Road and Town Center Drive
Zoning:	O, Office District, requesting rezoning to BB, Big Beaver District
Action Requested:	Conditional Rezoning and Preliminary Site Plan Approval
Required Information:	Noted Below

SITE DESCRIPTION AND PROJECT STATUS

The Amber Properties Company is requesting a conditional rezoning of the Northwest corner of Livernois Road and Town Center Drive from O, Office District to BB, Big Beaver Form Based District. The 1.2 acre parcel is currently vacant. The purpose of the rezoning is to construct a five (5) story, 49'-8" tall, 46-unit residential development on the vacant parcel.

At the December 10, 2013 meeting the Planning Commission recommended approval of a rezoning of the property; however the rezoning was not granted by the City Council. Subsequently, the applicant has resubmitted their application as a conditional rezoning. A condition of the conditional rezoning is the approval of the site plan as submitted. The condition of the site plan as part of the conditional rezoning alleviates potential concerns over future development of this site. Please note that the revised application reduces the height of the building by one story and approximately 11 feet, and reduces the

number of units by 14. If the Planning Commission recommends the conditional rezoning and approves the Site Plan, the site plan approval is conditioned on the City Council granting the conditional rezoning.

Location of Subject Property:

The property is located on the northwest corner of Livernois Road and Town Center Drive.



Surrounding Zoning:

A table summarizing zoning of the surrounding areas is as follows.

Direction	Zoning	Use
North	O, Office	Office
South	CF, Community Facilities	Park, Municipal Office

East	R-1E, One-Family Residential	Vacant, Residential
West	O, Office	Office

MASTER PLAN

The site is located within the area designated as Big Beaver in the Master Plan. The Big Beaver designation responds to the recommendations set forth in the Big Beaver Corridor Study, which promotes higher density, vertically integrated mixed-use commercial, office, and residential uses. The Plan encourages increased residential units along and in proximity to Big Beaver. Development of residential uses should be designed with a strong orientation towards the roadway corridor to support pedestrian activity and frame the street.

Neighboring zoning, land use, and master plan designations are summarized in the following chart:

	Property in Question	NORTH	South	East	West
Zoning	O	O	CF	R-1F	O
Land Use	Vacant	Office	Park	Vacant/Res.	Office
Master Plan	Big Beaver	Big Beaver	Public	Residential	Big Beaver

Based on the provided site plan, which meets the requirements of the Big Beaver form-based zoning, the proposed use of the property as residential is consistent with the Master Plan.

Items to be addressed: None.

DEVELOPMENT POTENTIAL

The City has an abundance of land zoned and used for office purposes. With the current vacancy rate, it is unlikely that office use of the property is reasonable in the foreseeable future. The applicants proposed residential development is not permitted under the current O, Office zoning.

Items to be addressed: None.

BUILDING ARRANGEMENT

The proposed building is oriented toward the southeast corner of the site and accessed via two (2) drives of Town Center Drive. The applicant is placing the building 54-feet from the northern property line. The building is located approximately 67-feet and 110-feet from the office buildings to the north and approximately 350-feet from the nearest single family residential home.

Parking is proposed on the western and northern portions of the site, and also on the ground floor of the development in the form of two (2) car garages. A cross access point is located along the northern property line.

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Table 5.03.B.2, Building Form B of Section 5.03, Standards Applicable to All Districts of the Zoning Ordinance establishes the dimensional requirements for the BB, Big Beaver District. The requirements and proposed dimensions are as follows:

	Required	Provided	Compliance
Front (Town Center Dr.)	10 foot build-to-line	10 feet	Complies
Front (Livernois)	10 foot build-to-line	10 feet	Complies
Side (north)	N/A, building may be placed up to property line	54 feet	Complies
Rear (west)	30-foot minimum setback	96 feet	Complies
Building Height	Maximum 6 stories, 72 feet, Minimum 2 stories, 14 feet	5-stories, 51' to top of parapet wall	Complies
Minimum Open Space	15%	16.67%	Complies

Items to be addressed: None.

PARKING

Section 13.06.G of the Zoning Ordinance requires:

Multiple-Family Residential	Required	Provided
Per each dwelling unit:	2 spaces X 46 standard units= 92 spaces	94 spaces
Barrier-Free Parking	Required	Provided
Barrier-free spaces:	92 spaces X 2%= 2 spaces	2 spaces

Curbing is proposed for the parking lot per the requirement in Section 13.06.J.2, Off-Street Parking Lot Design.

Items to be addressed: None

DESIGN STANDARDS

The Big Beaver design standards provide the Planning Commission with direction when reviewing the proposed design features of this development.

Façade Variation.

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet.

Through the use of material changes, projections, façade articulation and fenestration, the building complies with this standard.

Pedestrian Access / Entrance.

- a. *Primary Entrance: The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street.*

Building entrances are provided on Livernois Road and Town Center Drive.

- b. *Pedestrian Connection. The pedestrian connection shall be fully paved and maintained surface not less than five (5) feet in width.*

The applicant has provided an 8-foot wide sidewalk along Rochester Road and a 6-foot wide sidewalk along Town Center Drive.

- c. *Additional Entrances. In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance. **Complies***

Ground Story Activation.

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.

The applicant meets the transparency requirement.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

The applicant is providing a ten (10) foot greenbelt along the northern property line adjacent to the office uses. The applicant is placing the building 54-feet from the northern property line. The building is located approximately 67-feet and 110-feet from the office buildings to the north and approximately 350-feet from the nearest single family residential home.

- b. *Intensity. A continuum of use intensity, where moderate intensity uses are sited between high-intensity uses and low-intensity uses, shall be developed for multi-building developments. An example would be an office use between commercial and residential uses.*

The hours and intensity of site activity for a residential use varies from the office use that is located to the north and west. The intensity of the different uses shall not adversely impact each other.

- c. Height and Mass. Building height and mass in the form of building step-backs, recess lines or other techniques shall be graduated so that structures with higher intensity uses are comparable in scale with adjacent structures of lower-intensity uses.

The applicant has reduced the height of the building as first proposed. The applicant has applied vertical and horizontal elements including sloped roofs and building insets to reduce the scaling and mass. Furthermore, the applicant has located the building in the southwest corner of the site in the furthest location from adjacent development in order to provide additional buffer that will reduce the sense of mass.

- d. Architectural Features. Similarly sized and patterned architectural features such as windows, doors, arcades, pilasters, cornices, wall offsets, building materials, and other building articulations included on the lower-intensity use shall be incorporated in the transitional features.

The applicant has applied consistent architectural features through the building elevations.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards. **The applicant has provided the necessary parking.***
- b. *Location.*
 - I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking. **All the parking is located to the side and rear of the building and complies with parking location requirements.***
 - II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection. **Not Applicable***
 - III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less. **Not Applicable***
 - IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C. **The applicant has screened their parking lot in compliance with section 13.0.2.C.***

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation

The site is accessed via two (2) drives from Livernois Road. Access to the site is sufficient. The applicant is providing a 3-foot separation with a concrete sidewalk and mountable curb between the 24-foot drive aisle and the face of the garage. Access and circulation is sufficient.

Pedestrian access and Walkways:

The applicant will install an eight (8) foot concrete sidewalk on Livernois and a six (6) foot sidewalk on Town Center Drive. Each townhome is directly accessible from the sidewalk on Town Center Drive. The lofts are accessed via a common entrance that is accessible from the sidewalk on Town Center Drive.

Items to be addressed: None.

LANDSCAPING

The applicant has provided a landscape plan in accordance with these sections of the Zoning Ordinance:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Greenbelts (13.02.D) Livernois:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	<p>Approximately 120 lineal feet of improved space along Livernois Road = four (4) trees</p> <p>Approximately 440 lineal feet of improved space along Livernois Road = fifteen (15) trees.</p> <p>Required 19 trees</p>	Nineteen (19) trees	Complies
<u>Site Landscaping (13.02.E):</u> A minimum of fifteen percent (15%) of the site area shall be comprised of landscape material.	Total proposed site square feet= 8,067 square feet	16%	Complies

The applicant is proposing to screen the trash enclosure with a brick patterned poured concrete.

Items to be addressed: None.

PHOTOMETRICS

The lighting plan indicates two (2) 25-foot high pole mounted lights, with two (2) lights on each pole, and five (5) 15-foot high pole mounted lights with one (1) light on each pole. The submitted fixture meets ordinance compliance regarding full-cut off. The submitted photometrics complies with Article 13 of the Zoning Ordinance.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

The applicant has submitted floor plans and elevations. The architecture complies with the Big Beaver Form Based District standards including the use of material changes, projections, façade articulation and fenestration and windows. The architecture provides architectural detail as well as changes in horizontal and vertical scaling, variations in material, pattern, and color, to provide ground story activation.

Items to be Addressed: None

RECOMMENDATION

Conditional Rezoning:

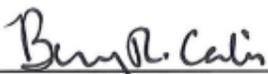
We would recommend approval of the subject conditional rezoning for the following reasons:

- 1) The request complies with the Master Plan.
- 2) The Form-Based District would permit greater flexibility in use and development of the property.
- 3) The abundance of Office District property in the City has been well documented.
- 4) The rezoning would be compatible with surrounding zoning and land use.
- 5) The site can be adequately served with municipal water and sewer.
- 6) The condition of the site plan as part of the conditional rezoning alleviates potential concerns of future development of this site.

Site Plan:

We recommend approval of the site plan.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



SHWGROUP
ARCHITECTS | ENGINEERS | PLANNERS

AMBER TOWN CENTER TOWNHOMES AND LOFTS

10-98 TOWN CENTER DR,
TROY, MI 48083



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS
2338 COOLIDGE, SUITE 100
BERKLEY, MI 48072
T:248.336.4700
F:248.336.4701
www.shwgroup.com

KEM-TEC & ASSOCIATES
22566 GRATIOT AVENUE
EASTPOINTE, MI 48024
T:586.772.2222
F:586.772.4048

**AMBER PROPERTIES
COMPANY**

**AMBER TOWN CENTER
TOWNHOMES AND LOFTS
TROY, MI**

CHECKED:
SCALE:
© 2014 SHW Group

ISSUE:
02.28.2014 CONDITIONAL REZONING REV

SHEET INDEX

		02.28.2014 CONDITIONAL REZONING REV
--	--	-------------------------------------

GENERAL		
G001	PROJECT COVER SHEET	O
ARCHITECTURAL		
AS01	ARCHITECTURAL SITE PLAN	O
A001	COMPOSITE FLOOR PLANS	O
A002	COMPOSITE FLOOR PLANS	O
A003	ROOF PLAN & BUILDING SECTIONS	O
A201	EXTERIOR ELEVATIONS	O
A202	PEDESTRIAN LEVEL ACTIVATION	O
ELECTRICAL		
ES01	EXTERIOR SITE LIGHTING PLAN	O
ES02	EXTERIOR SITE LIGHTING PLAN	O
CIVIL		
C-1	TOPOGRAPHIC SURVEY	O
C-2	GRADING & UTILITY PLAN	O
LANDSCAPE		
L-1	LANDSCAPE PLAN	O
L-2	LANDSCAPE DETAILS	O

3/20/2014 2:13:32 PM
C:\Revit\Local Files\711303700-ATC-A14_jwiaber.rvt

ELECTRICAL ENGINEER
WILLIAM CHOMIC
STATE OF MICHIGAN 35463

CIVIL ENGINEER
MATT KUEHN
STATE OF MICHIGAN 53214

ARCHITECT
GEORGE HOUMANISIN
STATE OF MICHIGAN 27036

SHEET TITLE:
PROJECT COVER SHEET

G001

SHW Project:

7113.037.00



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

**GROSS BUILDING SQUARE FOOTAGE:
NET SQUARE FOOTAGE SUMMARY:**

FIRST FLOOR:	13,888 SQ FT NET UNITS 240 SQ FT MECH 404 SQ FT LOBBY 74 SQ FT ELEVATOR ELEC 72 SQ FT ELEVATOR WALLS STAIRS (17,205 GROSS SQ FT)
SECOND FLOOR:	12,643 SQ FT NET UNITS WALLS STAIRS (17,205 GROSS SQ FT)
THIRD FLOOR:	14,602 SQ FT NET UNITS WALLS STAIRS (17,205 GROSS SQ FT)
FOURTH FLOOR & MEZZANINE:	12,984 SQ FT NET UNITS 1,606 SQ FT CORRIDOR 187 SQ FT JC/WC WALLS STAIRS (16,980 GROSS SQ FT)

BUILDING NET SQ FT: 56,700 SQ FT
BUILDING GROSS SQ FT: 66,596 SQ FT*

*MEZZANINES DO NOT CONTRIBUTE TO EITHER BUILDING AREA OR NUMBER OF STORIES AS REGULATED BY SECTION 503.1.

SITE INFORMATION:

EXISTING SITE: LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

LOT 5, EXCEPT THE SOUTH 5 FEET FOR ROAD, "SUPERVISOR'S PLAT NO. 26", AS RECORDED IN LIBER 57, PAGE 59, OF PLATS, OAKLAND COUNTY RECORDS.

TAX ID: 20-21-426-010;
SUPERVISOR'S PLAT NO. 26, LOT 5 EXC. S. 10 FT. TAKEN FOR RD.

SITE AREA: 53,780 SQ FT (+/- 1.231 ACRES)

CURRENT ZONING: OFFICE DISTRICT

PROPOSED ZONING: BIG BEAVER DISTRICT

PROPOSED USE: APARTMENTS

PROPOSED MULTIPLE FAMILY RESIDENTIAL USE:
2 BEDROOM TOWNHOMES, 2 BEDROOM TOWNHOUSE,
1 BEDROOM APARTMENT, AND LOFT TERRACE UNITS (RENTAL).

46 UNITS PROPOSED - 2 PARKING SPACES / EACH DWELLING UNIT (REQUIRED)

PARKING REQUIRED: 92 SPACES

PARKING PROVIDED:
92 SPACES +
2 SPACES BARRIER FREE =
94 TOTAL SPACES

PROPOSED BUILDING FOOTPRINT: 17,205 SQ FT

PROPOSED OPEN SPACE: 8,966 SQ FT (OPEN) / 53,780 SQ FT (SITE) = 16.67%

* 15% REQUIRED OPEN SPACE BASED ON TABLE 5.03.B.2 BUILDING FORM B

BUILDING SITE COVERAGE: 17,205 SQ FT (GROUND FLOOR OF BLDG) / 53,780 SQ FT (SITE) = 31.99%

SETBACK INFORMATION:

PROPERTY SETBACKS SUBJECT TO SETBACK REQUIREMENTS AS FOLLOWS PER TABLE 5.03.B.2 BUILDING FORM B, UNLESS OTHERWISE ALLOWED BY THE PLANNING COMMISSION:

FRONT: REAR: SIDE:
MINIMUM: N/A MINIMUM: 30'-0" MINIMUM: N/A
MAXIMUM: 60'-0" MAXIMUM: NONE MAXIMUM: NONE

THE PROPOSED BUILDING SETBACKS ARE:
FRONT (SOUTH AND EAST) BUILD TO LINE: 10'-0" TO FACE OF BUILDING
REAR (NORTH): 54'-0" TO FACE OF BUILDING
SIDE (WEST): 96'-0" TO FACE OF BUILDING

BUILDING HEIGHT INFORMATION:

THE PROPOSED BUILDING HEIGHT IS 49'-8" TO THE MID POINT OF THE ROOF. THE TOP OF THE PARAPET WALL IS 51'-0".

BARRIER FREE REQUIREMENTS:

BARRIER FREE PARKING:
2% OF THE TOTAL NUMBER OF SPACES REQUIRED. (MIN OF 1)
(2 BARRIER FREE SPACES ARE REQUIRED FOR THE 94 SPACES PROVIDED.)

BARRIER FREE DWELLING UNITS:
2% OF TOTAL UNITS ARE REQUIRED TO BE
"TYPE A" (MIN OF 1) PER MBC 1107.6.2.1.1.
THE 1 "TYPE A" UNIT IS LOCATED ON THE FIRST FLOOR.

THE 23 FOURTH FLOOR LOFT TERRACE UNITS WITH MEZZANINE ACCESSED BY THE BUILDING ELEVATOR WILL MEET "TYPE B" REQUIREMENTS ON THE PRIMARY ENTRY FLOOR PER MBC 1107.7.2.

THE 22 TOWNHOME AND TOWNHOUSE (MULTISTORY) UNITS ACCESSED ON THE FIRST LEVEL, ARE NOT REQUIRED TO BE BARRIER FREE PER MBC 1105.1.6 EXCEPTION 2 AND 1107.7.2.

BUILDING INFORMATION:

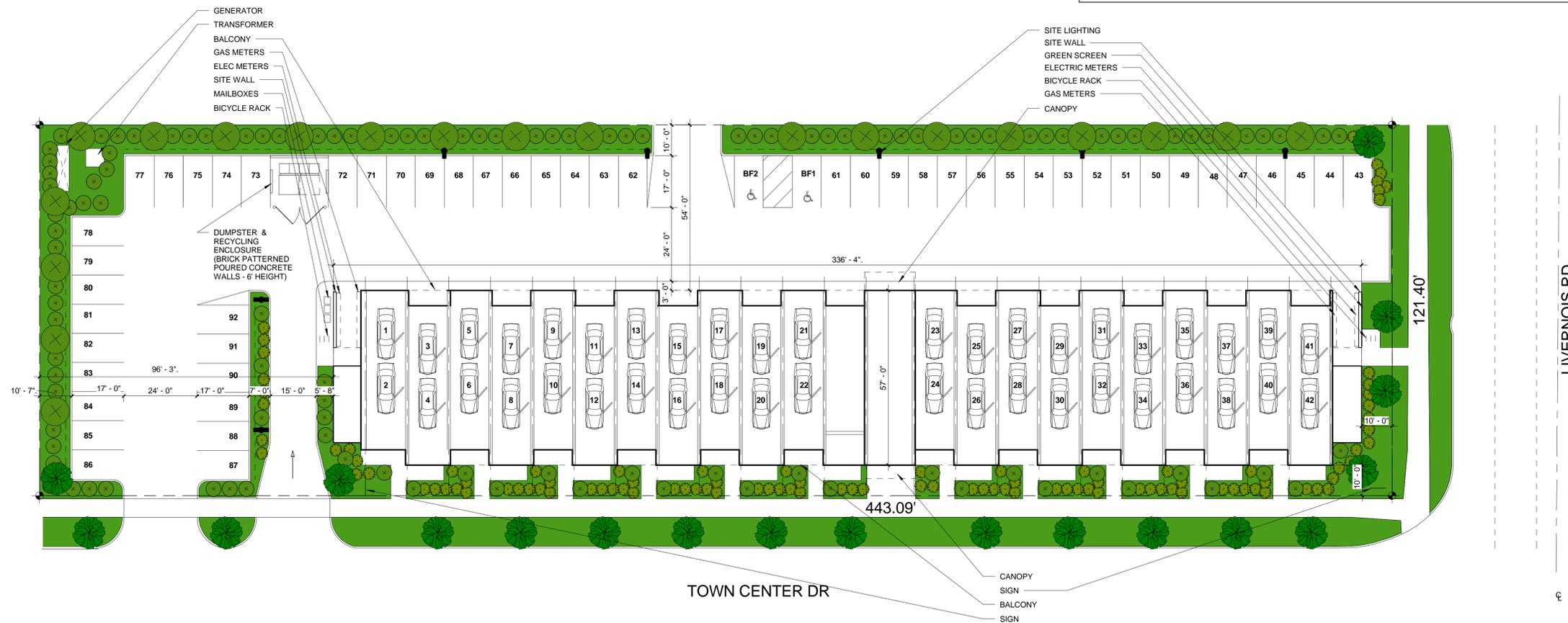
OCCUPANCY USE: R-2

CONSTRUCTION TYPE: 3B

FIRST FLOOR AREA: 17,205 GROSS SQ FT
SECOND FLOOR AREA: 17,205 GROSS SQ FT
THIRD FLOOR AREA: 17,205 GROSS SQ FT
FOURTH FLOOR AREA: 16,980 GROSS SQ FT
MEZZANINE FLOOR AREA: 3,602 GROSS SQ FT
TOTAL: 68,596 GROSS SQ FT*

*MEZZANINES DO NOT CONTRIBUTE TO EITHER THE BUILDING AREA OR THE NUMBER OF STORIES AS REGULATED BY MBC SECTION 503.1

APARTMENTS TYPES	UNIT TYPE	QUANTITY
ONE BEDROOM	(1)	1
TWO BEDROOM TOWNHOUSE	(2T)	1
TWO BEDROOM TOWNHOME	(2TH)	21
LOFT TERRACE	(LT)	22
TOWN HOUSE TERRACE	(THT)	1
		46 UNITS



ARCHITECTURAL SITE PLAN

1" = 20'-0"
LANDSCAPING SHOWN FOR INTENT ONLY.
RE: SHEET L-1 LANDSCAPING PLAN FOR ACTUAL LANDSCAPING PLAN AND TYPE.

AMBER PROPERTIES COMPANY

AMBER TOWN CENTER TOWNHOMES AND LOFTS TROY, MI

CHECKED: As indicated
SCALE: As indicated
© 2014 SHW Group

ISSUE:
02.28.2014 CONDITIONAL REZONING REV

SHEET TITLE:
ARCHITECTURAL SITE PLAN

AS01

SHW Project: 7113.037.00

3/20/2014 2:13:04 PM
C:\Revit\Local Files\711303700-ATC-A14_jwiaber.rvt



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

AMBER PROPERTIES COMPANY

AMBER TOWN CENTER TOWNHOMES AND LOFTS TROY, MI

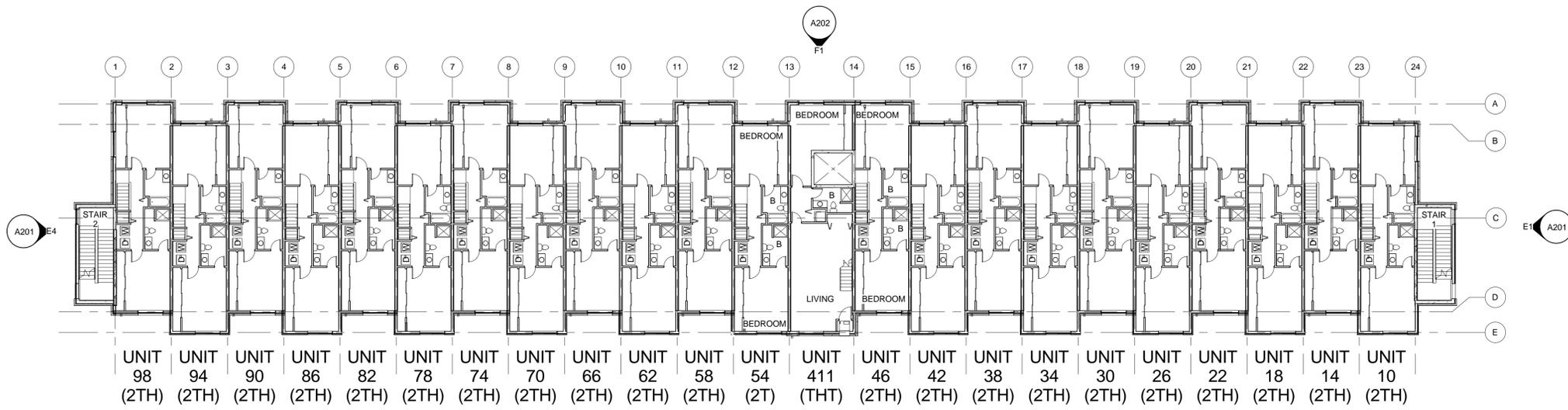
CHECKED:
SCALE: 1/16" = 1'-0"
© 2014 SHW Group

ISSUE:
02.28.2014 CONDITIONAL REZONING REV

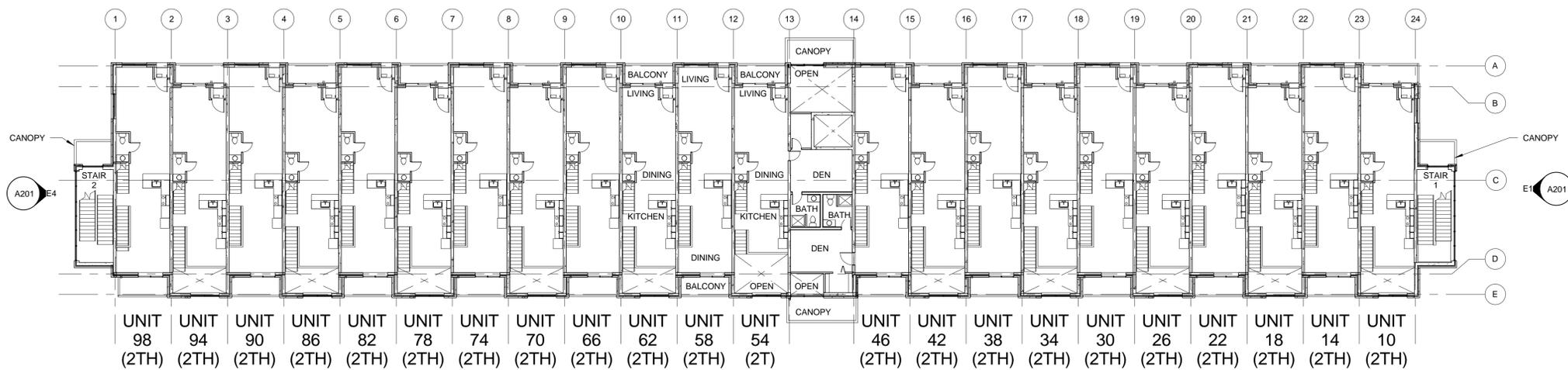
SHEET TITLE:
COMPOSITE FLOOR PLANS

A001

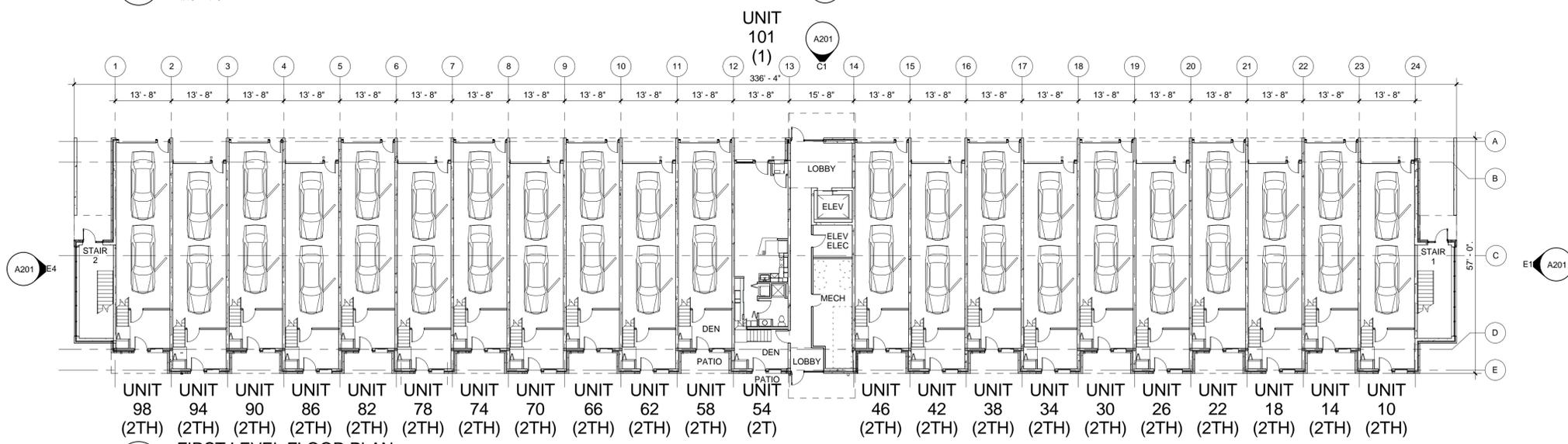
SHW Project: 7113.037.00



E1 THIRD LEVEL FLOOR PLAN
1/16" = 1'-0"



C1 SECOND LEVEL FLOOR PLAN
1/16" = 1'-0"



A1 FIRST LEVEL FLOOR PLAN
1/16" = 1'-0"

3/20/2014 2:16:00 PM
C:\Revit\Local Files\711303700-ATC-A14_jwieber.rvt



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

**AMBER PROPERTIES
COMPANY**

**AMBER TOWN CENTER
TOWNHOMES AND LOFTS
TROY, MI**

CHECKED:
SCALE: 1/16" = 1'-0"
© 2014 SHW Group

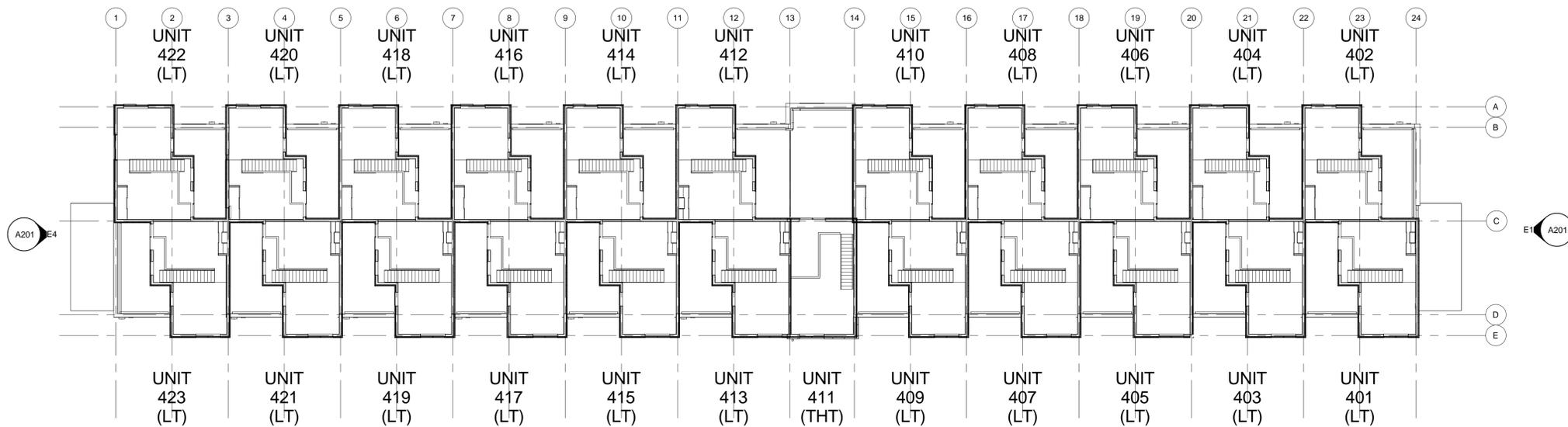
ISSUE:
02.28.2014 CONDITIONAL REZONING REV

SHEET TITLE:
**COMPOSITE FLOOR
PLANS**

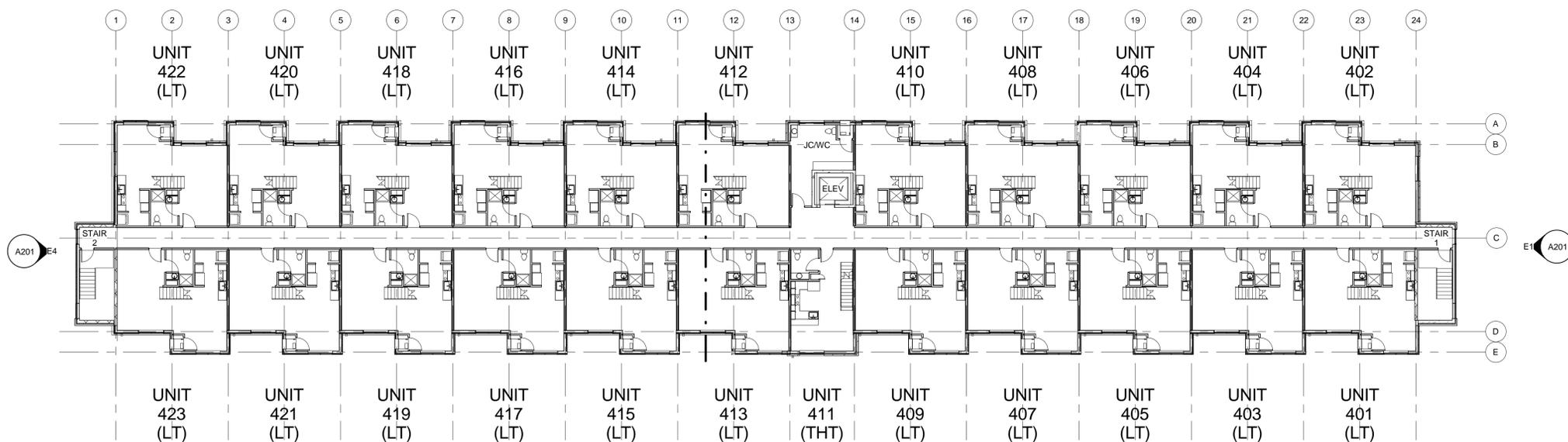
SHW Project:

A002

7113.037.00



C1 MEZZANINE LEVEL FLOOR PLAN
1/16" = 1'-0"



A1 FOURTH LEVEL FLOOR PLAN
1/16" = 1'-0"



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

**AMBER PROPERTIES
COMPANY**

**AMBER TOWN CENTER
TOWNHOMES AND LOFTS
TROY, MI**

CHECKED:
SCALE: 1/16" = 1'-0"
© 2014 SHW Group

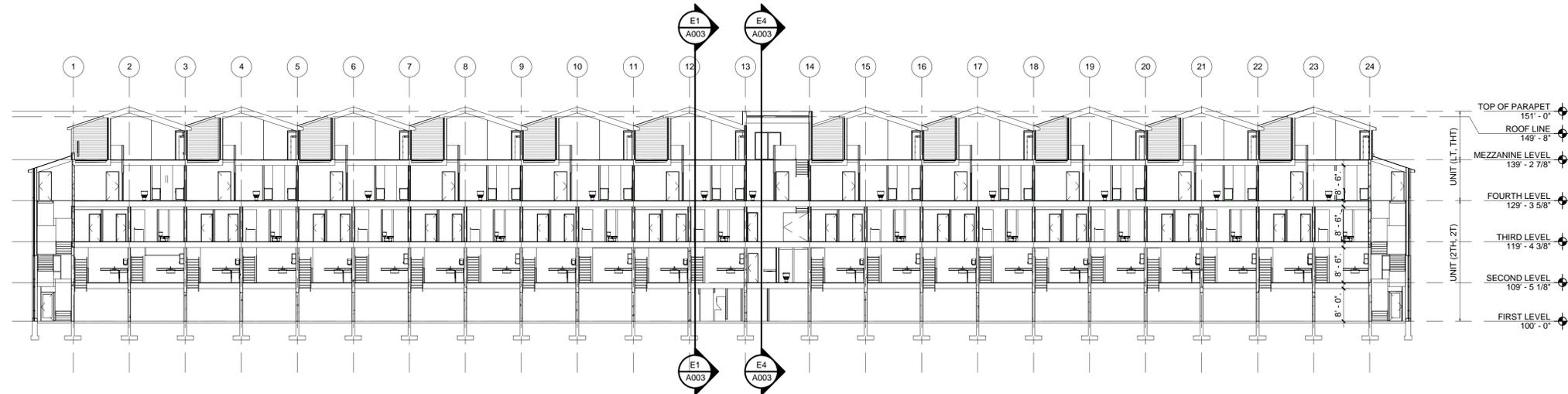
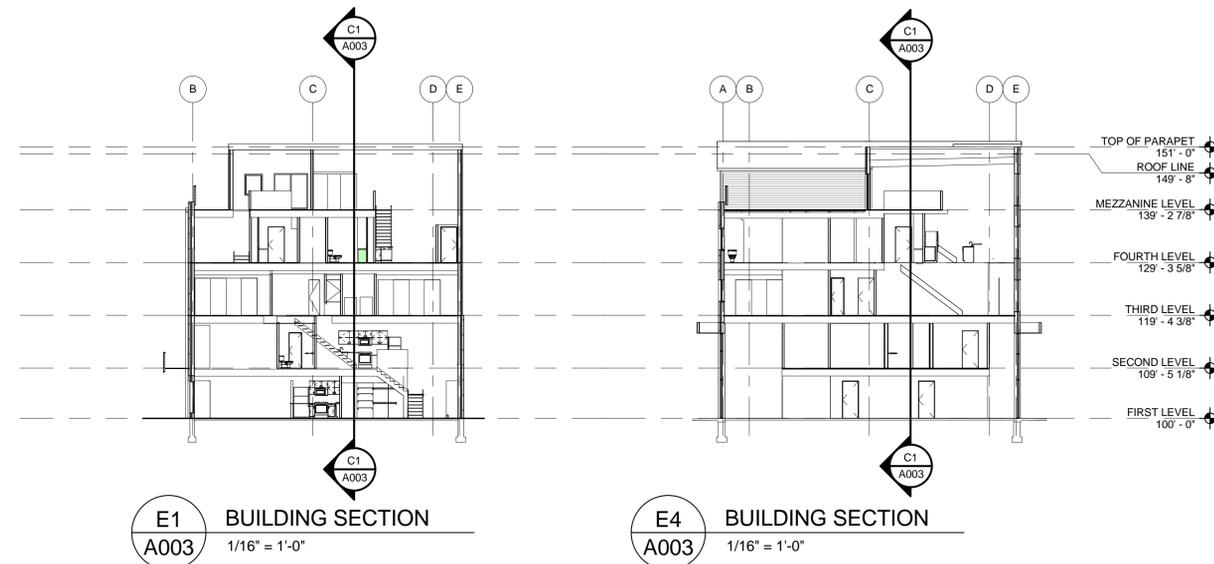
ISSUE:

02.28.2014 CONDITIONAL REZONING REV

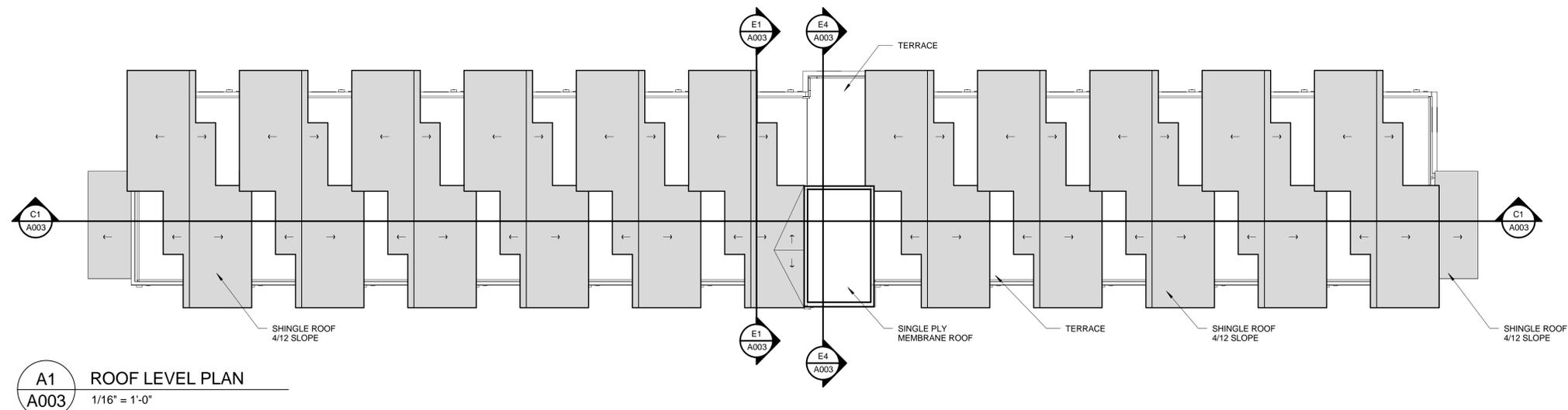
SHEET TITLE:
**ROOF PLAN & BUILDING
SECTIONS**

A003

SHW Project: 7113.037.00



C1 BUILDING SECTION
A003 1/16" = 1'-0"



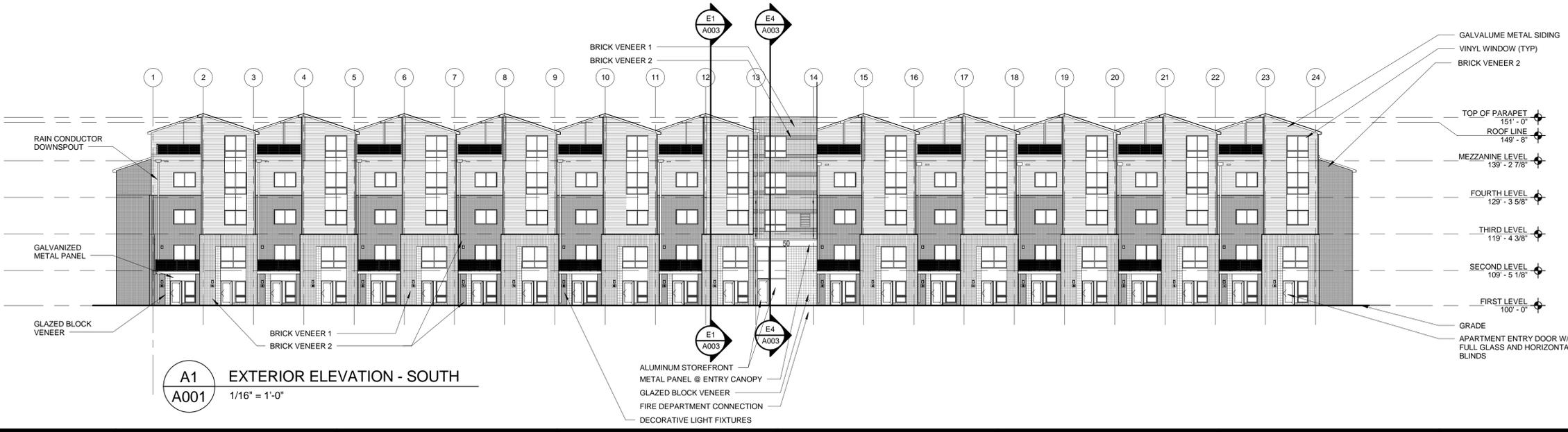
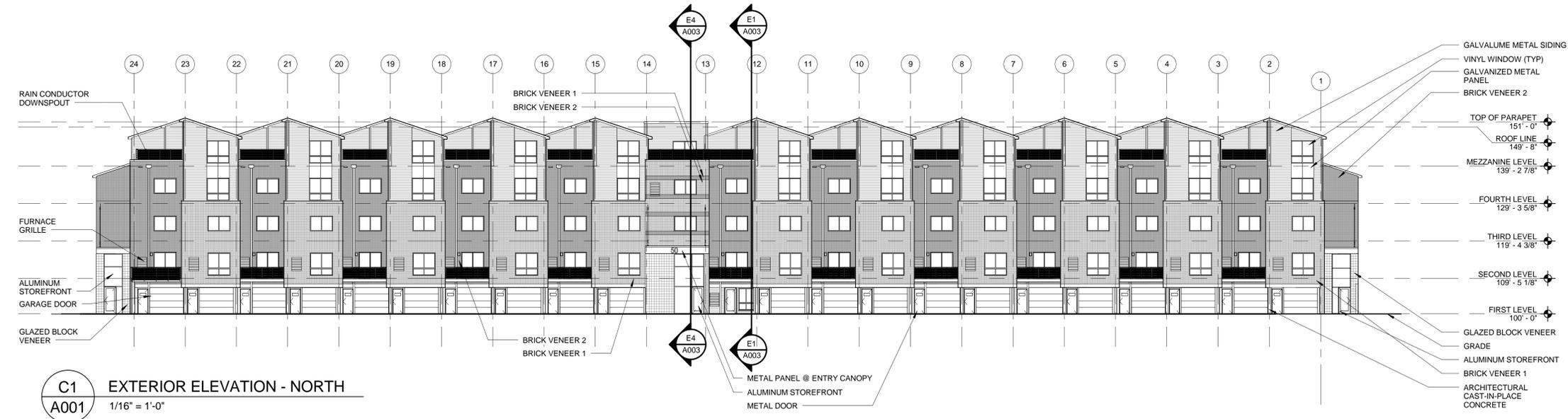
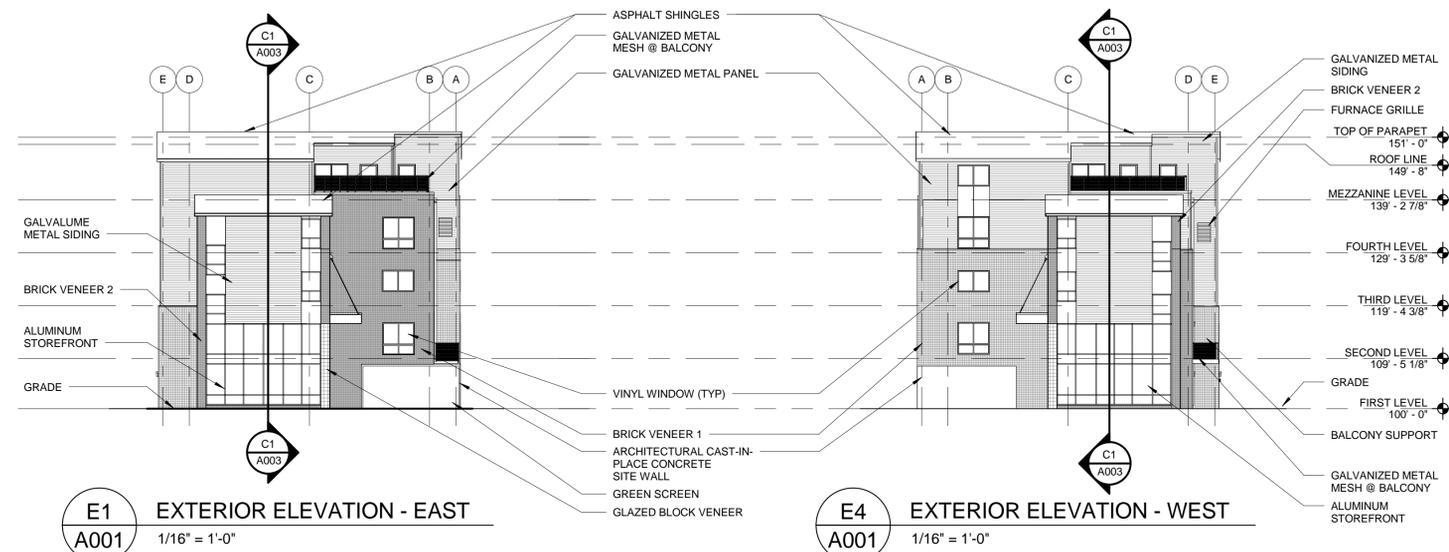
A1 ROOF LEVEL PLAN
A003 1/16" = 1'-0"

PROPOSED MATERIALS

-  BRICK 1: #14-3 FL. BOWERSTON SHALE COMPANY
-  BRICK 2: #50 BOWERSTON SHALE COMPANY
- GLAZED BLOCK: BLACK GLAZED BELDEN BRICK COMPANY
- TERRACE RAILING: BLACK VINYL METAL MESH
- METAL SIDING: GALVALUME CENTRIA SIDING
- ASPHALT SHINGLES: HARVARD SLATE IKO CAMBRIDGE AR



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS



AMBER PROPERTIES COMPANY

AMBER TOWN CENTER TOWNHOMES AND LOFTS TROY, MI

CHECKED:
SCALE: As indicated
© 2014 SHW Group

ISSUE:
02.28.2014 CONDITIONAL REZONING REV

SHEET TITLE: **EXTERIOR ELEVATIONS**

A201
7113.037.00

3/20/2014 2:26:29 PM C:\Revit\Local Files\711303700-ATC-A14_jwieber.rvt

SHW Project:



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

AMBER PROPERTIES COMPANY

AMBER TOWN CENTER TOWNHOMES AND LOFTS TROY, MI

CHECKED:
SCALE: As indicated
© 2014 SHW Group

ISSUE:

02.28.2014 CONDITIONAL REZONING REV

SHEET TITLE:
PEDESTRIAN LEVEL ACTIVATION

A202

SHW Project:

7113.037.00

PEDESTRIAN LEVEL QUALIFICATION DEFINITIONS

- PROPOSED ELEVATION: 16'-0" (TO BOTTOM OF ENTRANCE CANOPIES) ACHIEVES REQUIRED 14'-0" STREET ELEVATION
- EAST & SOUTH ELEVATIONS ARE 'URBAN STREET FRONT FACADES'

FACADE VARIATION - 5.04.E.1

UNINTERRUPTED PUBLIC STREET FACADE LENGTH

MAX ALLOWED	30'-0"
PROPOSED	EAST ELEVATION 19'-8" SOUTH ELEVATION 9'-1"

TRANSPARENCY ALTERNATIVES - 5.04.E.3.B

- (A) EXPRESSION OF STRUCTURAL SYSTEM
 - EXPRESSION OF CONCRETE WALLS, BEAMS, AND BALCONIES
 - INDENTED/OUTDENTED UNIT PLACEMENT
- (D) MATERIAL VARIATION
 - ALTERNATING BRICK COLOR
 - FLAT METAL PANELS
- (E) INTEGRATED ARCHITECTURAL ORNAMENTATION
 - GLAZED BLOCK TO SIGNIFY ENTRANCES
- (F) GREEN SCREEN OR PLANTER WALLS
 - GREEN SCREEN AT EAST ELEVATION

PEDESTRIAN LEVEL ACTIVATION AREA CALCULATIONS

EAST ELEVATION

REQUIREMENT	% REQUIRED	% PROPOSED
TRANSPARENCY TOTAL	50% MIN	61.0%
GLAZING/DOORS	50% MIN	44.1%
TRANSPARENCY ALTERNATIVES	40% MAX	16.9%
WALL DESIGN	25% MAX	3.2%
INTEGRATED ARCHITECTURAL ORNAMENT	--	3.2%
MATERIAL VARIATION	--	0%
GREEN SCREEN	--	13.7%
OUTDOOR DINING/SEATING	--	0%

WEST ELEVATION

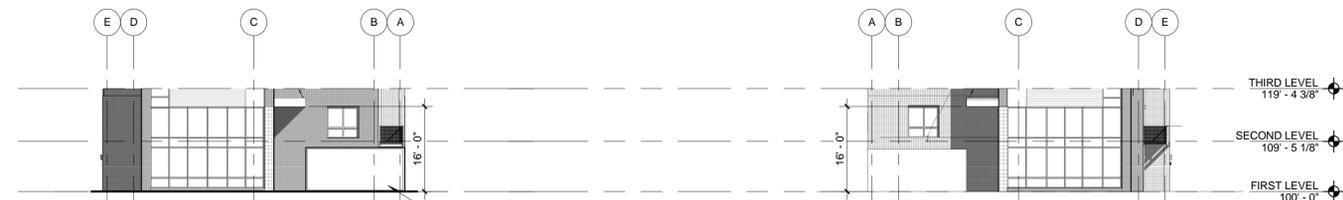
REQUIREMENT	% REQUIRED	% PROPOSED
TRANSPARENCY TOTAL	30% MIN	47.3%
GLAZING/DOORS	30% MIN	44.1%
TRANSPARENCY ALTERNATIVES	24% MAX	3.2%
WALL DESIGN	15% MAX	3.2%
INTEGRATED ARCHITECTURAL ORNAMENT	--	3.2%
MATERIAL VARIATION	--	0%
OUTDOOR DINING/SEATING	--	0%

NORTH ELEVATION

REQUIREMENT	% REQUIRED	% PROPOSED
TRANSPARENCY TOTAL	30% MIN	64.2%
GLAZING/DOORS (INCL GARAGE DOORS)	30% MIN	54.5%
TRANSPARENCY ALTERNATIVES	24% MAX	32.2%
WALL DESIGN	15% MAX	9.7%
INTEGRATED ARCHITECTURAL ORNAMENT	--	2.5%
MATERIAL VARIATION	--	0%
STRUCTURAL CONCRETE EXPRESSION	--	7.2%
OUTDOOR DINING/SEATING	--	0%

SOUTH ELEVATION

REQUIREMENT	% REQUIRED	% PROPOSED
TRANSPARENCY TOTAL	50% MIN	56.6%
GLAZING/DOORS	50% MIN	35.3%
TRANSPARENCY ALTERNATIVES	40% MAX	21.3%
WALL DESIGN	25% MAX	21.3%
INTEGRATED ARCHITECTURAL ORNAMENT	--	10.9%
MATERIAL VARIATION	--	10.4%
OUTDOOR DINING/SEATING	--	1250 SF ADD

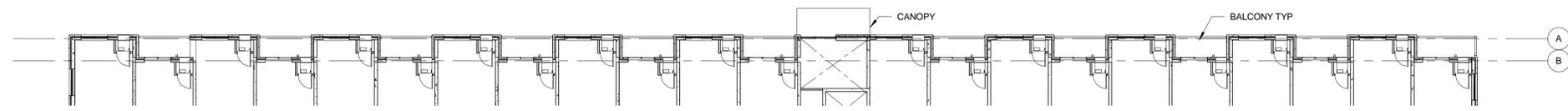


F2 EXTERIOR ELEVATION - EAST
A202 1/16" = 1'-0"

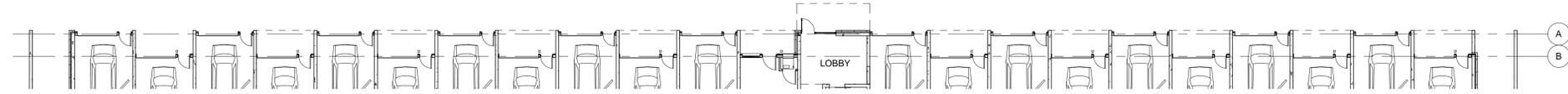
F4 EXTERIOR ELEVATION - WEST
A202 1/16" = 1'-0"



F1 EXTERIOR ELEVATION - NORTH
1/16" = 1'-0"



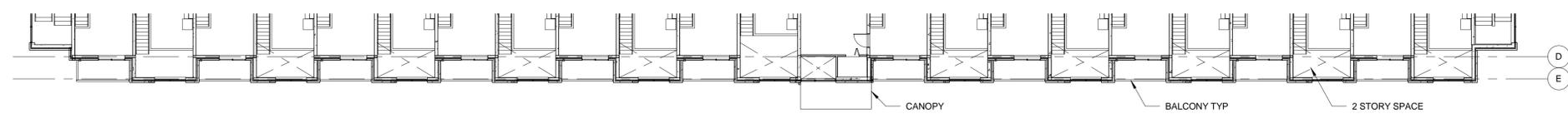
E1 SECOND LEVEL FLOOR PLAN
1/16" = 1'-0"



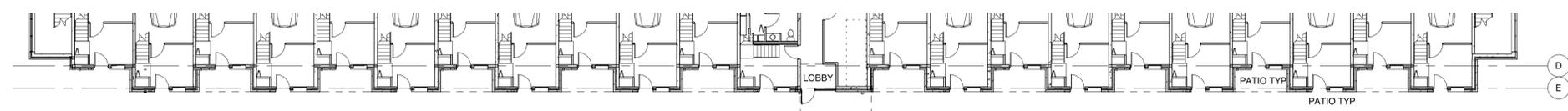
D1 FIRST LEVEL FLOOR PLAN
1/16" = 1'-0"



C1 EXTERIOR ELEVATION - SOUTH
1/16" = 1'-0"



B1 SECOND LEVEL FLOOR PLAN
1/16" = 1'-0"



A1 FIRST LEVEL FLOOR PLAN
1/16" = 1'-0"

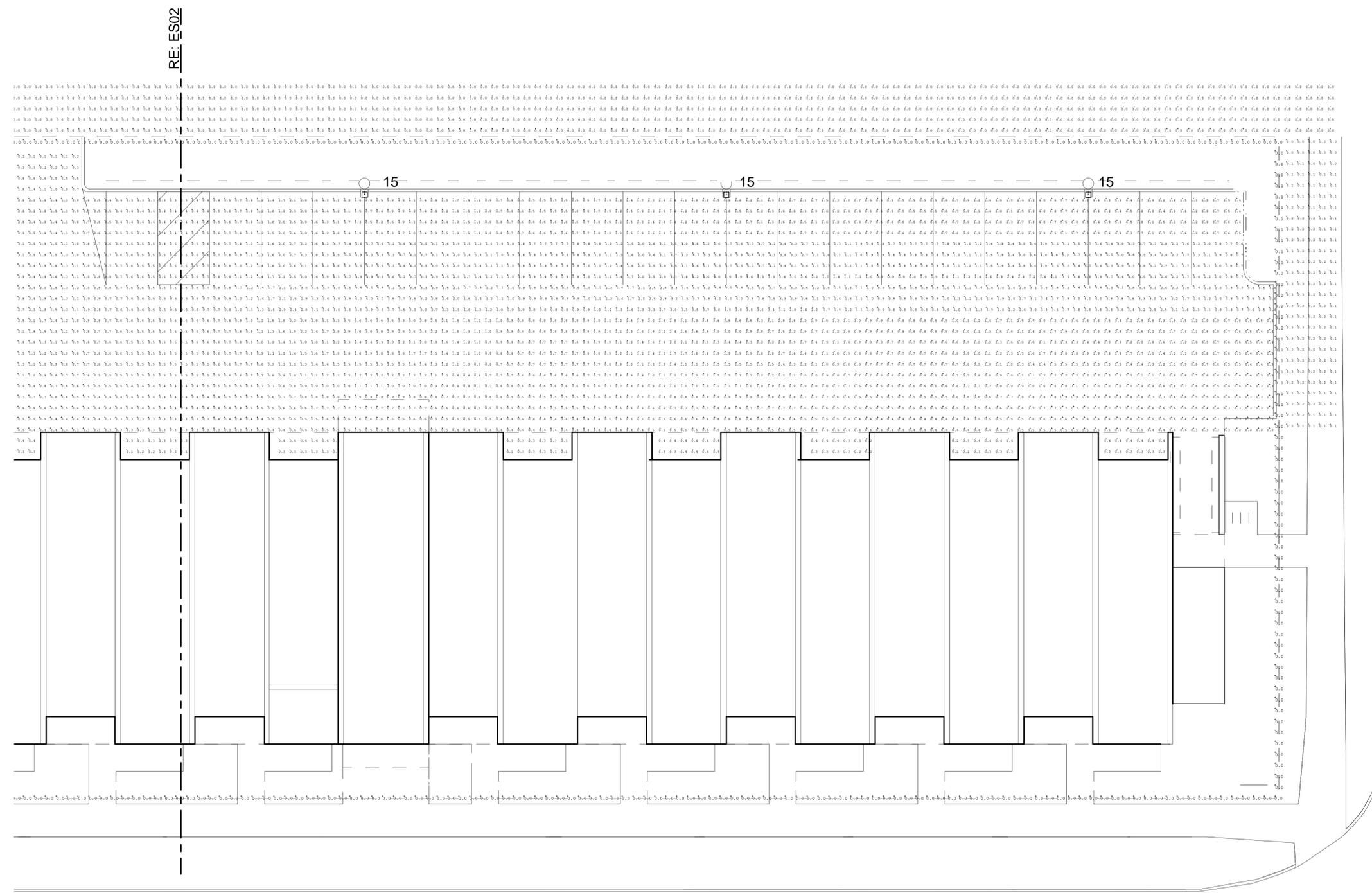
3/20/2014 2:21:30 PM
C:\Revit\Local Files\711303700-ATC-A14_jwiaber.rvt



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

CALCULATION SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
10 FT BEYOND BOUNDARY	ILLUMINANCE	Fc	0.16	1.4	0.0	N/A	N/A
PARKING LOT	ILLUMINANCE	Fc	1.65	6.8	0.1	16.50	68.00
PROPERTY BOUNDARY 5 FT AFF	ILLUMINANCE	Fc	0.13	1.6	0.0	N/A	N/A

LUMINAIRE SCHEDULE						
DESCRIPTION	LABEL	TOTAL LAMP LUMENS	LLF	LED	LDD	TOTAL WATTS
KSF-1 250M R4SC	KSF-1_250M_R4SC	22500	0.720	0.800	0.900	1440
KSF-1 250M R4SC BACK-TO-BACK	2 KSF-1_250M_R4SC	2250	0.720	0.800	0.900	1152



AMBER PROPERTIES COMPANY

AMBER TOWN CENTER TOWNHOMES AND LOFTS TROY, MI

CHECKED:
SCALE: As indicated
© 2014 SHW Group

ISSUE:

02.28.2014	CONDITIONAL REZONING REV

**SHEET TITLE:
EXTERIOR SITE LIGHTING PLAN**

A1 SITE LIGHTING - EAST
1" = 10'-0"

ES01

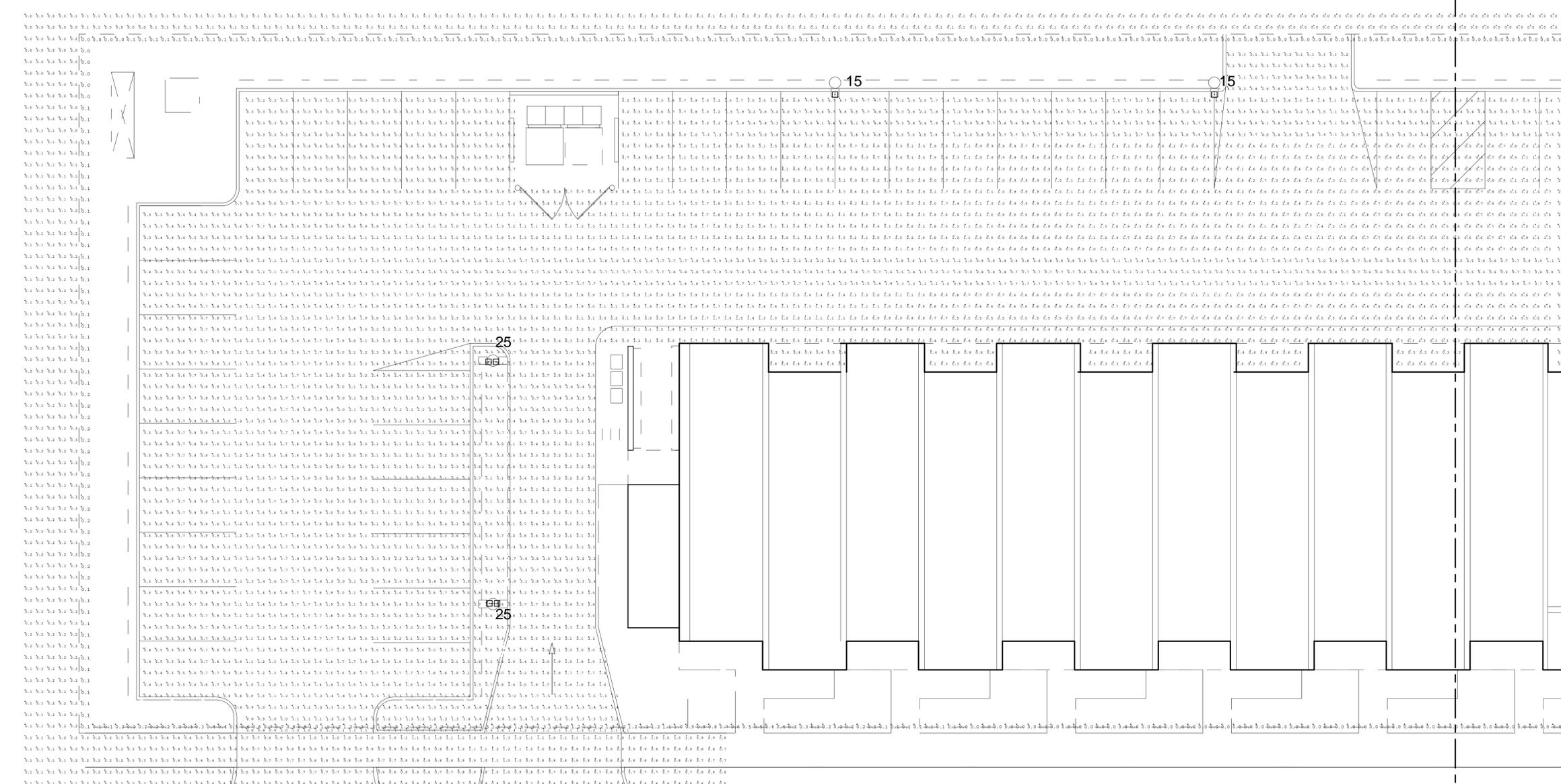
SHW Project: 7113.037.00



SHW GROUP
ARCHITECTS | ENGINEERS | PLANNERS

CALCULATION SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
10 FT BEYOND BOUNDARY	ILLUMINANCE	Fc	0.16	1.4	0.0	N/A	N/A
PARKING LOT	ILLUMINANCE	Fc	1.65	6.8	0.1	16.50	68.00
PROPERTY BOUNDARY 5 FT AFF	ILLUMINANCE	Fc	0.13	1.6	0.0	N/A	N/A

LUMINAIRE SCHEDULE						
DESCRIPTION	LABEL	TOTAL LAMP LUMENS	LLF	LED	LDD	TOTAL WATTS
KSF-1 250M R4SC	KSF-1_250M_R4SC	22500	0.720	0.800	0.900	1440
KSF-1 250M R4SC BACK-TO-BACK	2 KSF-1_250M_R4SC	2250	0.720	0.800	0.900	1152



AMBER PROPERTIES COMPANY

AMBER TOWN CENTER TOWNHOMES AND LOFTS TROY, MI

CHECKED:
SCALE: As indicated
© 2014 SHW Group

ISSUE:
02.28.2014 CONDITIONAL REZONING REV

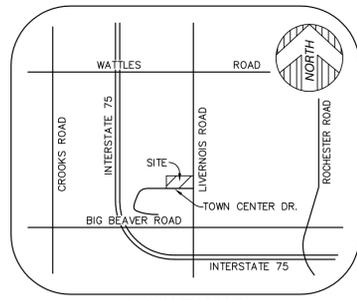
**SHEET TITLE:
EXTERIOR SITE LIGHTING PLAN**

A1 SITE LIGHTING - WEST
1" = 10'-0"

ES02

SHW Project: 7113.037.00

3/20/2014 2:13:06 PM
C:\Revit\Local Files\711303700-ATC-A14_jwibber.rvt



VICINITY MAP
(NOT TO SCALE)

MANHOLE SCHEDULE

- SQUARE CATCH BASIN #1051 (CB #1051)
RIM = 670.81'
12" EAST INV. = 666.56' I.E.
- SQUARE CATCH BASIN #1090 (CB #1090)
RIM = 670.70'
12" SOUTHWEST INV. = 667.20' I.E.
- SANITARY MANHOLE #1095 (SMH #1095)
RIM = 671.20'
UNABLE TO OPEN STRUCTURE
- STORM DRAIN MANHOLE #1139 (SDM #1139)
RIM = 674.20'
15" SOUTH INV. = 669.75' I.E.
15" WEST INV. = 669.80' I.E.
- SQUARE CATCH BASIN #1140 (CB #1140)
RIM = 673.44'
12" SOUTHWEST INV. = 669.44' I.E.
15" NORTH INV. = 669.76' I.E.
8" NORTHEAST INV. = 671.82' I.E.
8" NORTHEAST INV. = 670.44' I.E.
- STORM DRAIN MANHOLE #1141 (SDM #1141)
RIM = 674.02'
12" NORTHWEST INV. = 668.52' I.E.
12" SOUTHWEST INV. = 668.27' I.E.
12" EAST INV. = 668.02' I.E.
- SANITARY MANHOLE #1163 (SMH #1163)
RIM = 675.44'
12" NORTHEAST INV. = 662.66' I.E.
12" WEST INV. = 662.72' I.E.
- SANITARY MANHOLE #1167 (SMH #1167)
RIM = 673.73'
12" EAST INV. = 661.63' I.E.
12" SOUTHWEST INV. = 661.68' I.E.
- SQUARE CATCH BASIN #1168 (CB #1168)
RIM = 673.42'
12" NORTHEAST INV. = 669.00' I.E.
- STORM DRAIN MANHOLE #1194 (SDM #1194)
RIM = 671.22'
12" NORTH INV. = 666.57' I.E.
12" SOUTH INV. = 666.62' I.E.
18" SOUTHWEST INV. = 666.12' I.E.
12" WEST INV. = 666.17' I.E.
- SQUARE CATCH BASIN #1195 (CB #1195)
RIM = 670.67'
12" NORTH INV. = 667.17' I.E.
- SANITARY MANHOLE #1196 (SMH #1196)
RIM = 670.92'
UNABLE TO OPEN STRUCTURE
- ROUND CATCH BASIN #1258 (CB #1258)
RIM = 674.08'
12" EAST INV. = 670.33' I.E.
- SQUARE CATCH BASIN #1260 (CB #1260)
RIM = 675.31'
12" EAST INV. = 668.87' I.E.
12" WEST INV. = 670.11' I.E.
12" NORTH INV. = 668.66' I.E.
- SQUARE CATCH BASIN #1318 (CB #1318)
RIM = 672.21'
12" WEST INV. = 669.44' I.E.

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- GROUND POINT
- TRANSFORMER
- UTILITY POLE
- GAS LINE MARKER
- PEDESTRIAN CROSS SIGNAL
- CLEANOUT
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- WATER GATE MANHOLE
- WATER VALVE
- SINGLE POST SIGN
- TREE
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- RIGHT-OF-WAY
- BUILDING
- CURB (AS NOTED)
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- GAS LINE
- SANITARY LINE
- D STORM LINE
- W WATER LINE

FLOOD NOTE

SUBJECT PARCEL LIES WITHIN:
 ZONE X SHADED: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
 ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 BASE FLOOD ELEVATION = 670.6±
 AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26125C0534F, COMMUNITY - PANEL NUMBER 260180 0534 F, DATED SEPTEMBER 29, 2006, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BENCHMARKS

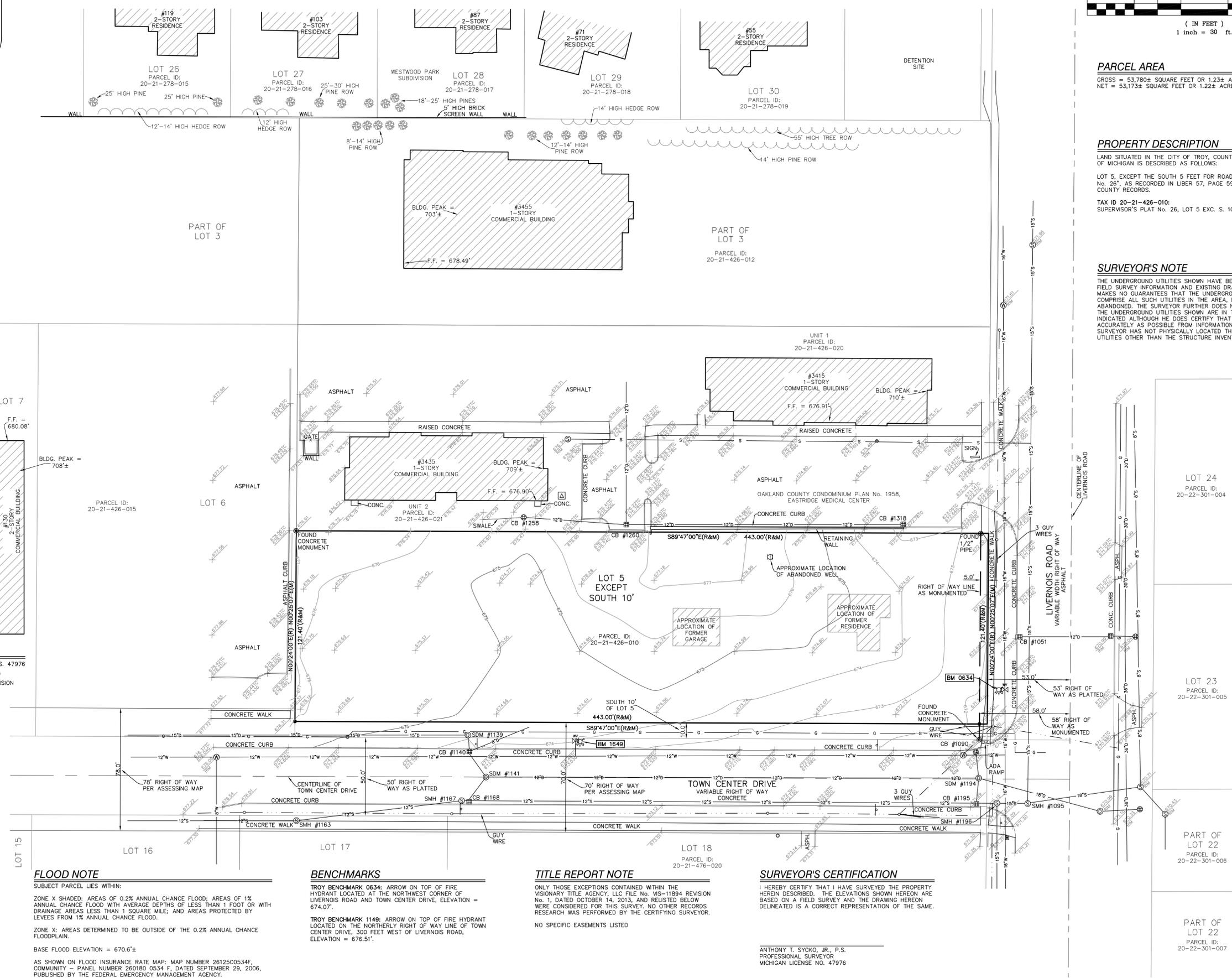
TROY BENCHMARK 0634: ARROW ON TOP OF FIRE HYDRANT LOCATED AT THE NORTHWEST CORNER OF LIVERNOIS ROAD AND TOWN CENTER DRIVE, ELEVATION = 674.07'.
 TROY BENCHMARK 1148: ARROW ON TOP OF FIRE HYDRANT LOCATED ON THE NORTHERLY RIGHT OF WAY LINE OF TOWN CENTER DRIVE, 300 FEET WEST OF LIVERNOIS ROAD, ELEVATION = 676.51'.

TITLE REPORT NOTE

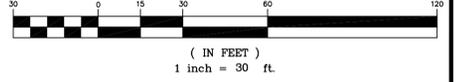
ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE VISIONARY TITLE AGENCY, LLC FILE No. VIS-11894 REVISION No. 1, DATED OCTOBER 14, 2013, AND LISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
 NO SPECIFIC EASEMENTS LISTED

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.
 ANTHONY T. SYCKO, JR., P.S.
 PROFESSIONAL SURVEYOR
 MICHIGAN LICENSE NO. 47976



GRAPHIC SCALE



PARCEL AREA

GROSS = 53,780± SQUARE FEET OR 1.23± ACRES
 NET = 53,173± SQUARE FEET OR 1.22± ACRES

PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:
 LOT 5, EXCEPT THE SOUTH 5 FEET FOR ROAD, "SUPERVISOR'S PLAT No. 26", AS RECORDED IN LIBER 57, PAGE 59 OF PLATS, OAKLAND COUNTY RECORDS.
 TAX ID 20-21-426-010;
 SUPERVISOR'S PLAT No. 26, LOT 5 EXC. S. 10 FT. TAKEN FOR RD.

SURVEYOR'S NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

CLIENT: AMBER PROPERTIES COMPANY
 TOPOGRAPHIC SURVEY
 3409 LIVERNOIS ROAD
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PROFESSIONAL ENGINEERS
 PROFESSIONAL SURVEYORS
 KEM-TEC & ASSOCIATES
 220 EASTPOINTE MI 48021
 (586) 772-2222 PHONE
 (586) 772-4048 FAX

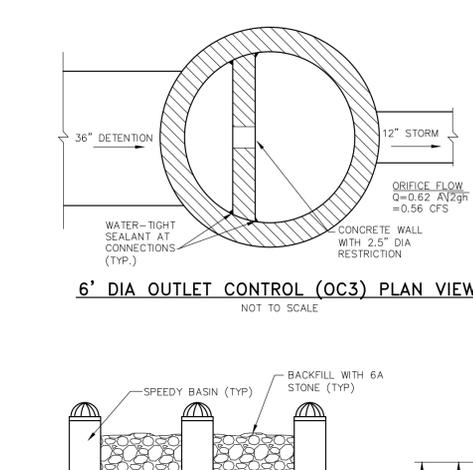
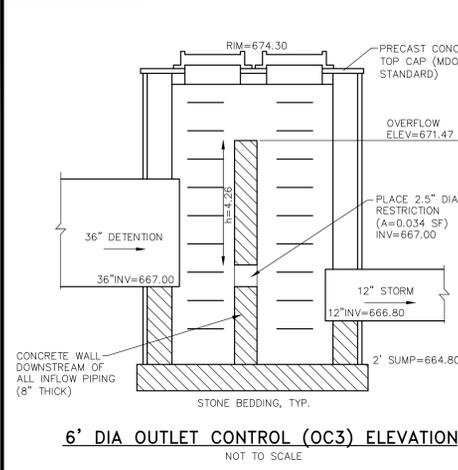
UTILITY WARNING: SHOWN ON THE PLAN, AND NOT FIELD LOCATED. Know what's below. Call before you dig. 811

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DATE	BY	DESCRIPTION
02/28/14	MK	CONDITIONAL REZONING REV
02/28/14	MK	CONDITIONAL REZONING APPLICATION

DRAWN BY: RCE 11/05/13
 SCALE: 1"=30'
 CHECKED BY: AT 11/05/13
 PROJECT NO: 13-C-04576

SHEET NO: **C-1**



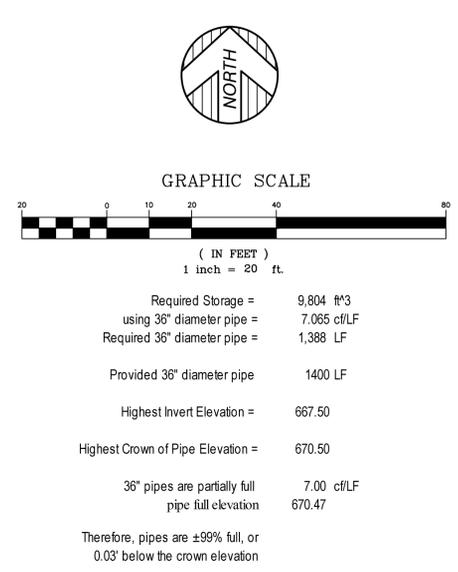
STORM STRUCTURE SCHEDULE

1. SQUARE CATCH BASIN #1051 CB #1051 RIM=670.81 12" INV. E=666.56 12" INV. NW=666.66	2. 24" CORNER TEE EJW 1040 TYPE M1 RIM=673.50 36" INV. E=667.36 36" INV. N=667.36 12" INV. S=668.10	3. SPEEDY BASIN RIM=672.20 4" INV. =668.56	4. SPEEDY BASIN RIM=MATCH 4" INV. =669.01
5. WATER QUALITY UNIT EJW 1490 Z FRAME & COVER RIM=674.00 12" INV. E=666.78 12" INV. W=666.78	6. 24" CORNER TEE EJW 1040 TYPE M1 RIM=673.50 36" INV. S=667.36 36" INV. SE=667.36	7. SPEEDY BASIN RIM=MATCH 4" INV. =670.60	8. SPEEDY BASIN RIM=MATCH 4" INV. =670.80
9. 6" DIA. OUTLET CONTROL STRUCTURE EJW 1040 TYPE M1 RIM=674.30 12" INV. E=666.80 36" INV. W=667.00	10. 24" RISER TEE EJW 1040 TYPE M1 RIM=674.00 36" INV. W=667.21 36" INV. SE=667.21	11. SPEEDY BASIN RIM=MATCH 4" INV. =668.51	12. SPEEDY BASIN RIM=MATCH 4" INV. =670.90
13. 24" RISER TEE EJW 1040 TYPE M1 RIM=674.50 36" INV. E=667.01 36" INV. W=667.01 4" INV. SE=670.50	14. 24" CORNER TEE EJW 1040 TYPE M1 RIM=673.90 36" INV. S=667.05 36" INV. SE=667.05 12" INV. NW=668.38	15. SPEEDY BASIN RIM=MATCH 4" INV. =668.61	16. SPEEDY BASIN RIM=MATCH 4" INV. =671.00
15. 24" CORNER TEE EJW 1040 TYPE M1 RIM=672.50 12" INV. SW=668.50 4" INV. NW=668.50	16. 4" DIA. CATCH BASIN EJW 1040 TYPE M1 RIM=672.50 12" INV. SW=668.50 4" INV. NW=668.50	17. SPEEDY BASIN RIM=MATCH 4" INV. =668.71	18. SPEEDY BASIN RIM=MATCH 4" INV. =671.10
16. 4" DIA. CATCH BASIN EJW 1040 TYPE M1 RIM=672.50 12" INV. SW=668.50 4" INV. NW=668.50	17. 4" DIA. CATCH BASIN EJW 1040 TYPE M1 RIM=672.50 12" INV. SW=668.50 4" INV. NW=668.50	19. SPEEDY BASIN RIM=MATCH 4" INV. =668.81	20. SPEEDY BASIN RIM=MATCH 4" INV. =671.20
17. 4" DIA. CATCH BASIN EJW 1040 TYPE M1 RIM=672.50 12" INV. SW=668.50 4" INV. NW=668.50	18. 4" DIA. CATCH BASIN EJW 1040 TYPE M1 RIM=672.50 12" INV. SW=668.50 4" INV. NW=668.50	21. SPEEDY BASIN RIM=MATCH 4" INV. =668.91	22. SPEEDY BASIN RIM=MATCH 4" INV. =671.30

DETENTION CALCULATION

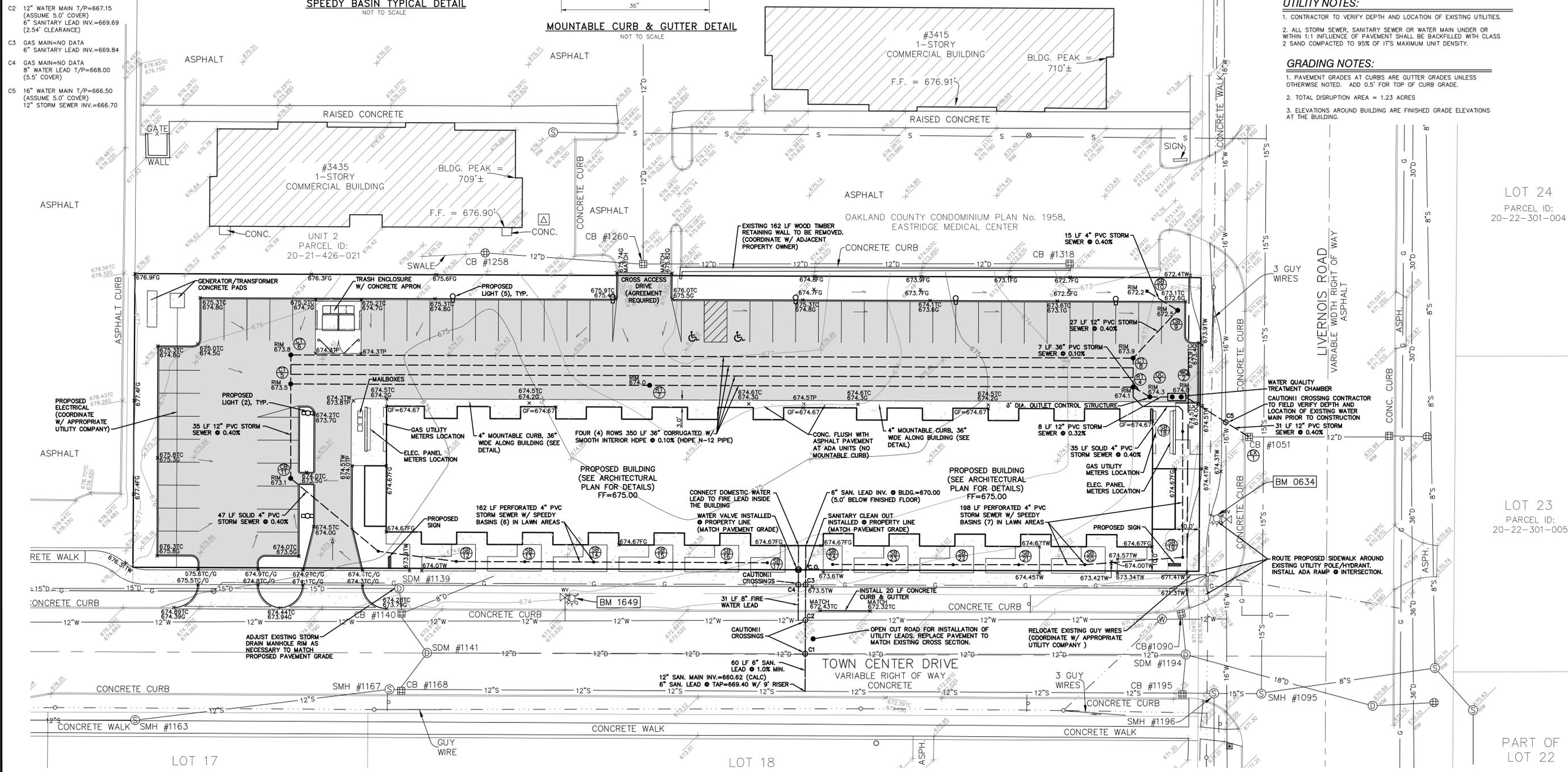
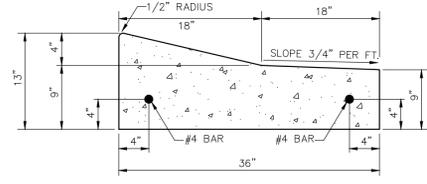
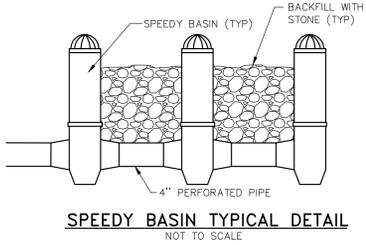
CONTRIBUTING AREA	1.230	ACRES
RUNOFF COEFFICIENT, C	0.832	IMPERVIOUSNESS
ALLOWABLE OUTFLOW, Q _a	0.200	CFS/ACRE
CALCULATED MAX ALLOWABLE OUTFLOW, Q _o	0.246	CFS
T _s STORAGE TIME (25 YEAR)	156.037	MINUTES
V _s STORAGE VOLUME (25 YEAR)	9583.19	CUBIC FEET
V _t TOTAL VOLUME (25 YEAR)	9803.61	CFS/(ACRE*IMPERV)
VOLUME REQUIRED	9803.61	CUBIC FEET
VOLUME PROVIDED	9891	CUBIC FEET

SITE RUNOFF COEFFICIENT		
PAVEMENT	RUNOFF COEFFICIENT	DRAINAGE AREA
BUILDING	0.90	0.720 ACRES
LANDSCAPE/OPEN SPACE	0.20	0.390 ACRES
TOTAL ACREAGE		1.230 ACRES
WEIGHTED RUNOFF COEFFICIENT "C" FACTOR		0.832



CROSSING SCHEDULE

- C1 12" STORM SEWER INV.=667.09 (CALC)
12" STORM SEWER T/P=668.09
6" SANITARY LEAD INV.=669.55 (1.46' CLEARANCE)
- C2 12" WATER MAIN T/P=667.15 (ASSUME 5.0' COVER)
6" SANITARY LEAD INV.=669.69 (2.54' CLEARANCE)
- C3 GAS MAIN=NO DATA
6" SANITARY LEAD INV.=669.84
- C4 GAS MAIN=NO DATA
8" WATER LEAD T/P=668.00 (5.5' COVER)
- C5 16" WATER MAIN T/P=666.50 (ASSUME 5.0' COVER)
12" STORM SEWER INV.=666.70



UTILITY NOTES:

- CONTRACTOR TO VERIFY DEPTH AND LOCATION OF EXISTING UTILITIES.
- ALL STORM SEWER, SANITARY SEWER OR WATER MAIN UNDER OR WITHIN 1:1 INFLUENCE OF PAVEMENT SHALL BE BACKFILLED WITH CLASS 2 SAND COMPACTED TO 95% OF ITS MAXIMUM UNIT DENSITY.

GRADING NOTES:

- PAVEMENT GRADES AT CURBS ARE GUTTER GRADES UNLESS OTHERWISE NOTED. ADD 0.5' FOR TOP OF CURB GRADE.
- TOTAL DISRUPTION AREA = 1.23 ACRES
- ELEVATIONS AROUND BUILDING ARE FINISHED GRADE ELEVATIONS AT THE BUILDING.

CLIENT: AMBER PROPERTIES COMPANY
GRADING & UTILITY PLAN
10 - 90 TOWN CENTER DRIVE
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PROFESSIONAL ENGINEERS
KEM-TEC & ASSOCIATES
7400 EAST TOWN CENTER DRIVE
TROY, MI 48062
(586) 772-2222 PHONE
(586) 772-4048 FAX

UTILITY WARNING: SHOWN ON UNDERGROUND UTILITY LOCATIONS AS THE PLAN, AND NOT FIELD LOCATED. Know what's below. Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING UTILITIES AND FOR THE UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

SCALE: 1"=20'
DRAWN BY: 01/10/14
DESK: [blank]
CHECKED BY: 01/10/14
MDK
PROJECT NO: 13-04576.10

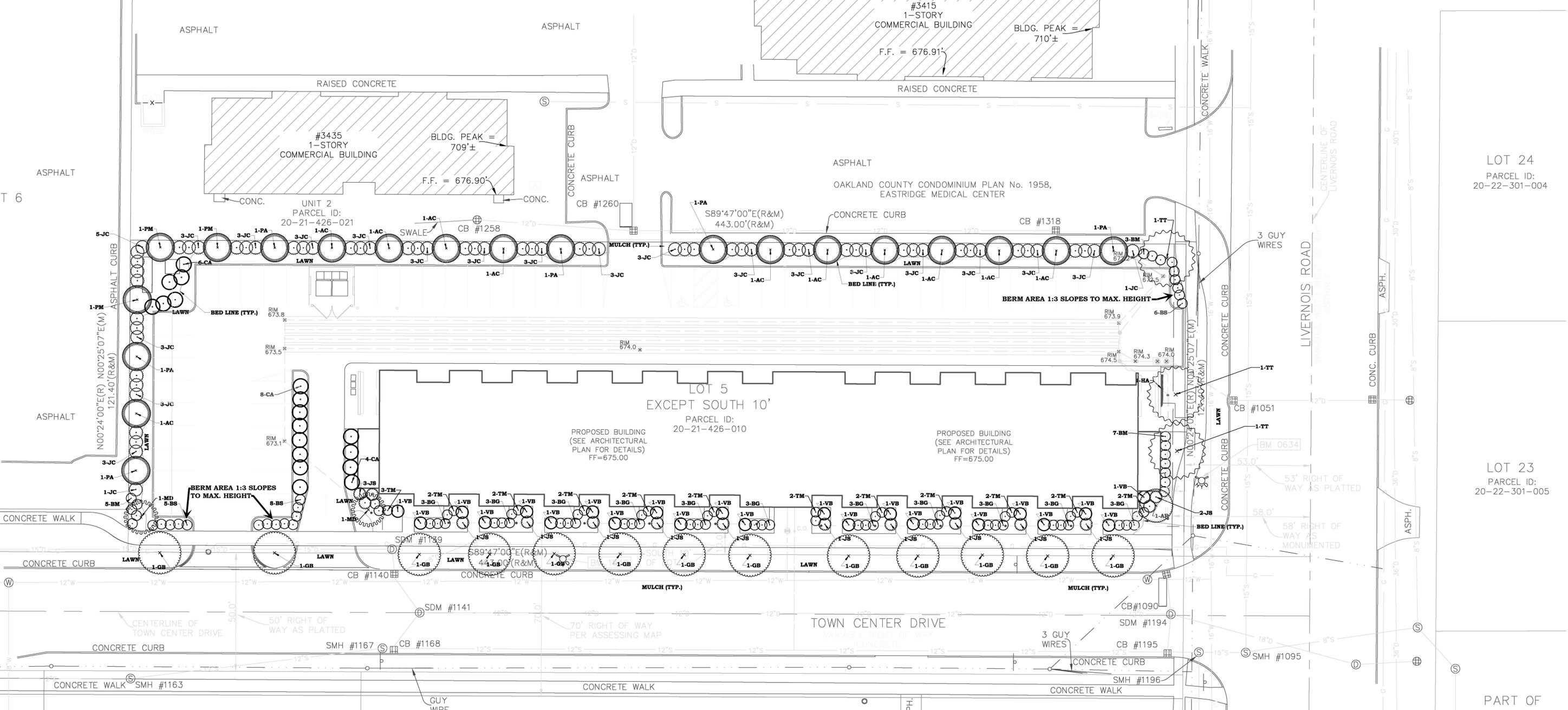
CONDITIONAL REZONING REV
02/28/14
MK
DATE

BY

LOT 24
PARCEL ID:
20-22-301-004

LOT 23
PARCEL ID:
20-22-301-005

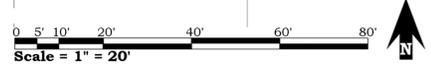
PART OF
LOT 22



PLANT MATERIALS LIST

Key	Name	Size (MINIMUM)	Quantity	Root Type	Comments	Use
AC	<i>Abies concolor</i> Concolor Fir	5' height	11	b&b	- Single leader.	Screening
AR	<i>Acer rubrum</i> 'Bowhall' Bowhall Columnar Red Maple	2.5" caliper	1	b&b	- Single leader.	Greenbelt
BG	<i>Buxus</i> x 'Green Mountain' Green Mountain Boxwood	2' height	33	b&b	- Full crowns.	
BM	<i>Buxus microphylla</i> 'Winter Gem' Winter Gem Littleleaf Boxwood	5 gallon	15	cont.	- Full, rounded crowns.	
BS	<i>Buxus sempervirens</i> 'Dee Runk' Dee Runk Boxwood	30" height	19	cont.	- Full, rounded crowns.	Parking Lot Screen
CA	<i>Clethra alnifolia</i> 'Pink Spire' Pink Spire Summersweet Clethra	2' height	18	cont.	- Multiple canes with full crowns.	
GB	<i>Ginkgo biloba</i> 'Princeton Sentry' Princeton Sentry Male Ginkgo	2.5" caliper	13	b&b	- Single-leader only, with full crown.	Greenbelt
HA	<i>Hydrangea anomala petiolaris</i> Climbing Hydrangea	3 gallon	1	cont.		
JC	<i>Juniperus chinensis</i> 'Blue Point' Blue Point Juniper	5' height	64	b&b	- Do not substitute with other Juniper species.	Screening
JS	<i>Juniperus squamata</i> 'Blue Star' Blue Star Juniper	5 gallon	15	cont.		
MD	<i>Malus</i> 'Donald Wyman' Donald Wyman Crabapple	2.5" caliper	2	b&b	- Full crown.	Greenbelt
PA	<i>Picea abies</i> White Spruce	5' height	6	b&b	- Single leader.	Screening
PM	<i>Pseudotsuga menziesii</i> Douglasfir	5' height	3	b&b	- Single leader.	Screening
TM	<i>Taxus x media</i> 'Vermeulen' Vermeulen Yew	2' height	25	b&b	- Full specimen.	
TT	<i>Tilia tomentosa</i> 'Sterling Silver' Sterling Silver Linden	2.5" caliper	3	b&b	- Single-leader only, with full crown.	Greenbelt
VB	<i>Viburnum x burkwoodii</i> Burkwood Viburnum	2' height	23	b&b	- Multiple canes with full crowns.	

All areas outside of beds to be seeded or sodded with cool season grass hardy to Oakland County, Michigan. All planting beds to have mulch, including planting areas along Town Center Drive.



Base Plan provided by Kem-Tec



**Know what's below.
Call before you dig.**

2/28/2014 CONDITIONAL REZONING REV
Landscape Plan for
AMBER TOWN CENTER
City of Troy, Michigan

Sheet
L-1

Job No. 13UD-01

Professional Seal:
Date: Jan. 10, 2014. For Site Plan Approval.
Revisions: Feb. 27, 2014. Change to Title Block (rezoning).
Mar. 20, 2014. Rezoning.

Not to be used unless original signature of Eric Olson and landscape architect seal from the State of Michigan.

Design by:
Eric A. Olson, PLLC
115 1/2 South Saginaw Street
Holly, Michigan 48442
(248) 634-4320
fax (248) 634-4409
EOlsonRLA@esbglobal.net

Information from this plan is only to be used for this property. Design is not a warranty of title, and no other information is to be relied upon without permission.

LOT 24
PARCEL ID:
20-22-301-004

LOT 23
PARCEL ID:
20-22-301-005

PART OF
LOT 22
PARCEL ID:
20-22-301-006

LOT 5
EXCEPT SOUTH 10'
PARCEL ID:
20-21-426-010

LOT 18
PARCEL ID:
20-21-476-020

T 6

LOT 17

Landscape Notes:

Pre-installation

- 1) Qualifications of the Landscape Contractor
 - a) The landscape contractor shall be licensed by the State of Michigan, Department of Agriculture Plant Industries Division to handle plant materials.
 - b) The landscape contractor will be covered by a public liability and property damage insurance policy.
 - c) The landscape contractor shall conform to all Federal and State Labor Laws.
- 2) Landscape Contractor to verify all measurements in the field.
- 3) Landscape Contractor to report all discrepancies to the Landscape Architect.
- 4) Verify substitutions with the Landscape Architect prior to purchase of plant materials. Substitution of materials included in an approved plan shall be made with the consent of the City. The developer shall provide an as-built drawing indicating the changes prior to the release of the landscape deposit.
- 5) Landscape Contractor to contact MISS DIG (800-482-7171) at least 5 working days prior to digging on site.

Landscape installation

- 6) Soils in planting beds to be loosened and amended where necessary for good drainage and appropriateness for the individual plant needs. Organic matter should be worked into the soils.
- 7) Plant materials shall be of generally acceptable varieties and species, free from insects and diseases, hardy to Oakland County, conform to the current minimum standards for nursery stock of the American Nursery and Landscape Association and shall have proof of any required governmental regulations and/or inspections.
- 8) The landscape contractor shall guarantee that all plants are true to botanical name, and that the quality and size meet the approved specifications.
- 9) All plant material shall conform in botanical name, dimensions, and quality of the "Horticultural Standards" adopted by the American Association of Nurserymen.
- 10) Balled and Burlapped plant material shall be balled with original clay soil, intact with the fibrous roots to insure maximum recovery after transplanting.
- 11) Potted plants shall have sufficient root structures to insure full recovery and development.
- 12) Nursery stock shall be vigorous, free from disease, insects, insect eggs, or larvae.
- 13) All landscaping and landscape elements shall be planted, and earth moving or grading performed, in a sound workmanlike manner, according to accepted planting and grading procedures.
- 14) Artificial plant materials are prohibited.
- 15) Native species of trees and shrubs shall constitute at least fifty percent (50%) of the total proposed plantings in accordance with the standards set forth in Section 13.02.A.7.
- 16) Water all plant materials thoroughly during planting.
- 17) Beds to be edged with a trench. Top of mulch to be level with the lawn.
- 18) Mulch shall be applied at a minimum depth of four inches, composed of shredded materials (not recycled construction materials or pallets), and installed in a manner as to present a finished appearance.
- 19) The landscape contractor shall fully guarantee that all plants are in a vigorous growing condition during and at the end of the guarantee period. This guarantee period shall be minimum of one (1) year from the completion date of the project.
- 20) Replacement plants and/or landscape materials other than plants shall be in accordance with the approved original specifications.
- 21) All trees between the sidewalk and curb should be a minimum of 15 feet away from a driveway that opens onto a public street.
- 22) Trees planted within 25 feet of the inside corner shall have no limbs lower than 8 feet above the lowest established street grade.
- 23) If required, berms shall be constructed with slopes not to exceed a one to three (1:3) gradient. Berm slopes shall be protected with sod, seed, or other form of natural ground cover.
- 24) Landscape Contractor to coordinate landscaping with existing and proposed underground and overhead utility lines so as to avoid interference with plant growth.
- 25) Areas adjacent to parking lots, a minimum distance of three (3) feet from the backside of the curb and the proposed landscape plantings shall be provided. Where vehicles overhang a landscape island or strip, a minimum distance of five (5) feet from the backside of the curb and the proposed landscape plantings shall be provided.
- 26) The contractor shall at all times keep the premises and public streets free from any excessive accumulation of soil and waste material or rubbish caused by his employees or work, and at the completion of the work, he shall remove all his waste, excessive material, rubbish and equipment so as to leave the premises neat and clean and ready for the purpose for which it was intended.
- 27) The contractor shall properly protect all existing structures and property. This is to include, but not to be limited to: sidewalks, curbs, fences, buildings, lawns, trees and shrubbery. Repair of all parts shall be done in strict accordance with the requirements of the proper City authorities.

Post installation

- 28) All diseased, damaged, or dead materials shall be replaced in accordance with the standards of this Ordinance.
- 29) Landscaping required by this Ordinance shall be maintained in a reasonably healthy condition, free from refuse and debris. All unhealthy and dead material shall be replaced within one (1) year of damage or death or the next appropriate planting period, whichever comes first.
- 30) All landscaped areas shall be provided with irrigation or a readily available and acceptable water supply.

Requirements:

Screening Between Land Uses [13.02.B.]

- = Requirement: None
- + Provided: Evergreen Screening along North and West property lines
- + Provided: Approximately 10' greenbelt

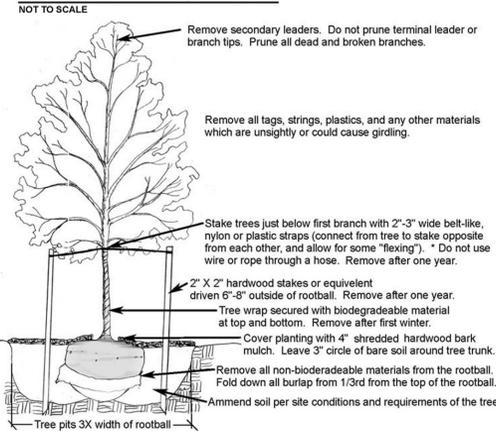
Greenbelt Along Right-Of-Way [13.02.D.]

- = Requirement: 19 Trees [1 tree per 30 feet]
- + Provided: 19 Trees

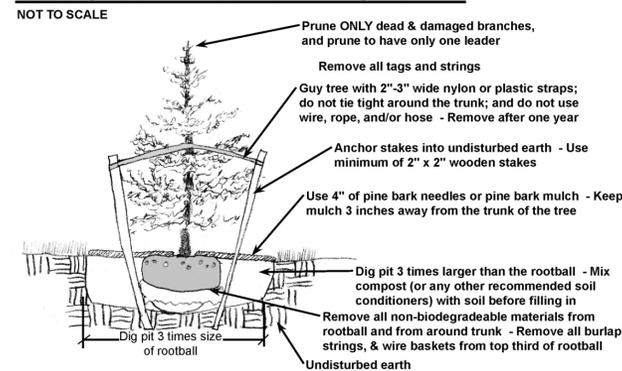
Tree Preservation Plan [8.05.A.9.]

- = Requirement: Tree Preservation Plan
- + Provided: Not Required - No regulated trees on site.

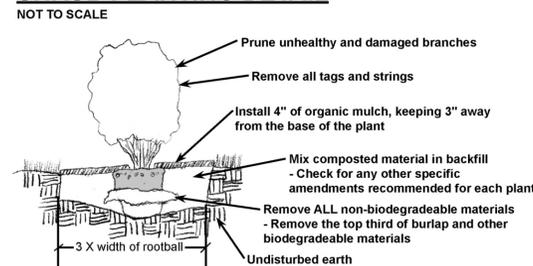
TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



Date:	Jan. 10, 2014.	For: Site Plan Approval
Revisions:	Feb. 27, 2014.	Change to Title Block (rezoning)
	Mar. 20, 2014.	Rezoning

Design by:
Eric A. Olson, PLLC
 115 1/2 South Saginaw Street
 Holly, Michigan 48442
 (248) 634-4320
 fax (248) 634-4409
 EOlsomRLA@esbglobal.net

Information from this plan to only be used for this property. Design and construction shall be in accordance with the Ordinance of Troy, Michigan, and not to be copied without permission.

2/28/2014 CONDITIONAL REZONING REV
Landscape Details for.
AMBER TOWN CENTER
 City of Troy, Michigan

Sheet
L-2

Job No. 13UD-01



**Know what's below.
Call before you dig.**

DATE: March 20, 2014
TO: Planning Commission
FROM: R. Brent Savidant, Planning Director
SUBJECT: PLANNING COMMISSION BYLAWS – Draft Revisions

The Planning Commission Bylaws were last reviewed and updated in 2008. Since that time a comprehensively rewritten Zoning Ordinance was adopted by City Council in April 2011. It is recommended that the Planning Commission update its Bylaws to be consistent with the Zoning Ordinance. Other revisions are also recommended.

The following is a summary of the proposed revisions:

1. Update State acts referenced in Article I.
2. Change the name “Board of Zoning Appeals” to “Zoning Board of Appeals”, as per Zoning Ordinance.
3. Update provisions related to City Council appointment of a Planning Commission representative to Zoning Board of Appeals, as per Zoning Ordinance. Presently the Bylaws require the Planning Commission recommend appointment of a ZBA Representative and Alternate.
4. Clarify that both regularly scheduled Planning Commission meetings, on the 2nd and 4th Tuesdays of each month, are Regular meetings. This is consistent with the Open Meetings Act.
5. Clarify the matters on which the Planning Commission acts as the approval authority or in an advisory capacity.
6. Clarify that the Planning Department performs the duties of secretary for the Planning Commission.
7. Update the Order of Business to be consistent with present Planning Commission practice.
8. Allow for voice votes for non-Business items.
9. Provide Chairperson the authority to ask for reason for “no” votes.
10. Require members to adhere to City of Troy Appointee Code of Ethics.

A two-thirds (2/3) vote of the entire membership of the Planning Commission (6 votes) is necessary to approve an amendment to the Bylaws. Please be prepared to discuss this item at the March 25, 2014 Planning Commission Special/Study meeting.

Attachments:

1. Draft Revised Planning Commission Bylaws

G:\PLANNING COMMISSION\By-Laws\PC Bylaws Memo 03 25 2014.doc

**BY-LAWS AND RULES OF PROCEDURE OF THE CITY OF TROY
PLANNING COMMISSION**

ARTICLE I – COMPLIANCE AND AUTHORITY

The City of Troy Planning Commission shall comply with all applicable statutes, perform any duties, and exercise the powers granted to the Planning Commission by the Michigan ~~Municipal~~ Planning Enabling Act, Public Act ~~285 33 of 1934~~ 2008, as amended, the Michigan Zoning Enabling Act, Public Act ~~207 110 of 1924~~ 2006, as amended, and the Open Meetings Act, Public Act 267 of 1976, as amended, and the City of Troy Charter and Ordinances. The By-Laws and Rules of Procedure are adopted pursuant to the authority of those statutes and the City Charter.

ARTICLE II – OFFICERS AND THEIR DUTIES

- Section 1. The Planning Commission shall select from its membership a Chairperson ~~and; a Vice-Chairperson, and a Board of Zoning Appeals Representative and alternate for the Board of Zoning Appeals~~ who shall serve for a one (1) year term and who shall be eligible for re-election. The Planning Commission shall make a recommendation to City Council for a Zoning Board of Appeals Representative.
- Section 2. The Chairperson shall preside at all meetings and shall conduct all meetings in accordance with these by-laws and rules and in accordance with the usual duties conferred by parliamentary procedure on the position of Chairperson.
- Section 3. The Vice-Chairperson shall act in the capacity of the Chairperson in the absence of the Chairperson and shall succeed to the office of Chairperson in the event of a vacancy in that office, in which case the Planning Commission shall select a successor to the office of Vice- Chairperson at the earliest practicable time by election procedures as set out in Article III.
- Section 4. In the absence of both the Chairperson and the Vice-Chairperson, the ~~Board of Zoning~~ Board of Appeals representative, ~~or if the Board of Zoning Appeals representative is not present, the Board of Zoning Appeals alternate,~~ shall act as Chairperson for that meeting only. The temporary Chairperson shall have the same duties and privileges as the Chairperson.
- Section 5. The ~~Officers, i.e.,~~ Chairperson and Vice-Chairperson, may engage in discussion on all matters before the Planning Commission and shall have voting privileges.

ARTICLE III – ELECTION OF OFFICERS AND APPOINTMENT OF BZA REPRESENTATIVES

Section 1. Each January at the Regular Meeting, the Planning Commission shall:

- A. Conduct elections of Officers (~~Chairman~~Chairperson and Vice ~~Chairman~~Chairperson); and
- B. Recommend appointments ~~to of a Board of~~ Zoning Board of Appeals (~~BZA Representative and BZA Alternate~~).

The ~~Chairman~~Chairperson shall take nominations from the floor with the election immediately thereafter.

Section 2. Candidates receiving a majority vote of the total number of members shall be declared elected as a Planning Commission Officer or recommended as a BZA Zoning Board of Appeals Representative ~~or Alternate~~.

Section 3. The Planning Commission Officers shall take office immediately following their election. Officers shall hold their office for a term of one (1) year, or until their successors are elected and assume office. The BZA Zoning Board of Appeals Representative ~~and BZA Alternate~~ shall assume ~~their~~ his or her responsibilities following confirmation of their appointments by City Council. The BZA Zoning Board of Appeals Representative ~~and BZA Alternate~~ shall hold ~~their~~ office for a term of one (1) year, or until ~~their a~~ successors ~~are is~~ appointed by City Council and assume office.

Section 4. The Method of Voting on Nominees shall be as follows:

- A. The Chairperson shall ask for nominations from the floor. A second shall not be required in order to nominate a person as an Officer or BZA Zoning Board of Appeals Representative ~~or BZA Alternate~~. The chairperson shall announce each nomination as he or she hears it. If it becomes apparent to the chairperson that there are no further nominations, the ~~chair~~Chairperson shall inquire “are there further nominations?” If there are no further nominations, the ~~chair~~Chairperson shall declare the nominations as closed.
- B. If there is only one nominee for each position, a single resolution may be used to elect all the officers. The resolution must be approved by a majority of Planning Commission members by a roll call vote.
- C. If there is only one nominee for a particular position, a resolution electing that person to the particular position shall be approved by roll call vote.

- D. If there is more than one nominee for a position, voting shall take place by calling the roll of the Planning Commission and each member is to indicate the name of the individual he or she wishes to fill the position. If one candidate receives a majority vote, that person shall be deemed elected and the chairperson shall announce such election. If no candidate receives a majority vote, the candidate with the least number of votes shall be eliminated from the ensuing ballot and the procedure shall be repeated until one candidate receives a majority vote.

ARTICLE IV – MEETINGS

- Section 1. All meetings shall be posted at City Hall according to the Open Meetings Act. The notice shall include the place, date and time of the meeting.
- Section 2. All meetings shall be conducted in accordance with generally accepted parliamentary procedure, within the guidelines of Robert's Rules of Orders.
- Section 3. Regular Meetings of the Planning Commission shall be held on the second and fourth Tuesday of each month at ~~7:30~~ 7:00 p.m. at the Troy City Hall, 500 West Big Beaver Road, Troy, Michigan. ~~Special Meetings and Study Meetings may be held on the first and fourth Tuesday of each month at 7:30 p.m., as necessary.~~ Special Meetings shall be held at City Hall. Site Location Meetings may be scheduled at any reasonable time and notice of the time shall be included in the public notice of the Site Location Meeting. Any changes in the date or time of any meeting shall be posted and noticed in the same manner as originally established. When a Regular Meeting date falls on or near a legal holiday, the Planning Commission ~~shall~~ may select a suitable alternate date in the same month.
- Section 4. The Chairperson may call Special Meetings. In addition, it shall be the duty of the Chairperson to call a Special Meeting when requested to do so by an affirmative vote of a majority of the Planning Commission members present. The business which the Planning Commission may perform at a Special Meeting may be the same business that the Planning Commission performs at a Regular Meeting. Notice of the time, date and place of the Special Meeting shall be given in a manner as required by the Open Meetings Act and the Planning Director shall notify all members of the Planning Commission not less than 48 hours in advance of a Special Meetings.
- Section 5. The Chairperson may call Study Meetings. At Study Meetings, the Planning Commission shall not vote on any of the following matters: (1) any matter requiring a public hearing, (2) matters which must be finally

approved by the Planning Commission such as Site Plan review ~~applications and , Future Land Use Plan Amendments,~~ Special Use Requests, and (3) matters where the Planning Commission is acting in an advisory capacity, such as, Rezoning Requests, Ordinance Text Amendments, Subdivision Plats, Street and Alley Vacations ~~or Extensions,~~ ~~Historic District Designations,~~ ~~or~~ Planned Unit Development Proposals ~~and/or Site Condominiums~~. It may vote on housekeeping matters such as setting public hearing dates and approval of minutes.

Section 6. All meetings of the Planning Commission, including Regular, Special, Study or Site Location, shall be open to the general public unless exempted from public meeting requirements under the Open Meetings Act. The City Attorney's Office shall make the determination as to whether the meeting or a portion of the meeting is exempt under the Open Meetings Act.

Section 7. A majority of the membership of the Planning Commission shall constitute a quorum and the number of votes necessary to transact business shall be as follows:

- A. The affirmative vote of six (6) members shall be necessary in order to adopt or amend a ~~Future Land Use Master Plan including any attachment or cross sections of a Future Land Use Plan.~~
- B. A vote comprising a majority of ~~those~~ the members ~~present at a meeting~~ shall be necessary for those matters on which the Planning Commission has final jurisdiction, as per Section 3.10 of the City of Troy Zoning Ordinance.
- C. A vote comprising a majority of those members present at a meeting shall be necessary for those matters on which the Planning Commission serves in an advisory capacity.
- D. Voting on items on the Business Agenda shall be by a rotating roll call. Voting on procedural items may be by a rotating roll call vote or voice vote, as determined by the Chairperson. A record of the ~~roll call~~ vote shall be kept as a part of the minutes.
- E. When a quorum is not present, no official action shall take place. The Chairperson or Planning Director shall announce to the Commission and anyone in attendance that there is no quorum and that all agenda items will be rescheduled for a specific date.
- F. The Chairman may ask members who vote "no" on an item to explain the "no" vote for clarification purposes as part of the public record.

Formatted: Strikethrough

Section 8. The Planning Department of the City of Troy shall perform the duties of the Secretary of the Planning Commission and shall keep the minutes and records of the Commission, prepare the agenda of Regular Meetings, Special Meetings and Study Meetings with the Chairperson, provide notice of meetings to Planning Commission members, present agenda items to the Planning Commission at its meetings, attend to correspondence of the Planning Commission, and perform such other duties ~~that are normally carried out by such departments~~ as necessary to carry out the business of the Planning Commission.

ARTICLE V – ORDER OF BUSINESS

The order of business at a Regular Meeting and Special Meetings shall be:

- ~~A.~~ A. Roll Call
- ~~B.~~ B. Approval of Agenda
- ~~B.C.~~ C. Approval of Minutes
- ~~C.D.~~ D. Public Comments for items not on the agenda
- ~~E.~~ E. Reports. Reports may include Zoning Board of Appeals reports, Downtown Development Authority reports, Planning and Zoning reports, and any other report on information that may be of interest to the Planning Commission.
- ~~D.F.~~ F. Business Agenda. The business agenda may include postponed items, public hearings on zoning ordinance amendments and special use approval requests, preliminary site plan reviews, and any other matter that is before the Planning Commission for approval or recommendation.
- ~~E.G.~~ G. Other Business
- ~~H.~~ H. Public Comments for items on the agenda.
- ~~I.~~ I. Planning Commissioner's Comments
- ~~F.J.~~ J. Adjournment

Formatted: Numbered + Level: 1 + Numbering Style: A, B, C, ... + Start at: 1 + Alignment: Left + Aligned at: 0.5" + Indent at: 1"

Formatted: Numbered + Level: 1 + Numbering Style: A, B, C, ... + Start at: 4 + Alignment: Left + Aligned at: 0.56" + Tab after: 0.81" + Indent at: 0.81"

Formatted: Indent: Left: 0.5", Hanging: 0.5"

Formatted: Numbered + Level: 1 + Numbering Style: A, B, C, ... + Start at: 8 + Alignment: Left + Aligned at: 0.56" + Indent at: 0.81"

ARTICLE VI – PLANNING COMMISSION ACTIONS

Following consideration of matters submitted to it in accordance with the provisions of the City Code of Ordinances or other applicable law, or referred to it by the City Council, the Planning Commission shall take one of the following actions:

- A. Approve the proposal, or recommend positive action by the City Council.
- B. Deny the proposal, or recommend negative action by the City Council.
- C. Approve a proposal modified to meet reasonable conditions, or recommend approval of a modified proposal meeting reasonable conditions by the City Council. However, the Planning Commission shall not place conditions on an approval of a recommendation to City Council for rezoning, except for conditional rezoning in accordance with Section 16.04 of the City of Troy Zoning Ordinance.
- D. Table- Postpone action on the proposal to a specific date or action or no date a date to be determined later by the Planning Department, indicating in the tabling-resolution the reason(s) for such action.

The Planning Commission shall make a final disposition of any Petition submitted to the Planning Commission for decision-act on all applications within a reasonable time. This shall not be construed to alter other time limits prescribed by the Charter, Code of Ordinances or State statutes.

ARTICLE VII – HEARINGS

- Section 1. In addition to those required by law, the Planning Commission may at its discretion hold public hearings when it decides that such hearing will be in the public interest.
- Section 2. Notice of such hearings shall be published in the official newspaper of the City or in a newspaper of general circulation as required by the City Charter, Code of Ordinances and/or State statutes. The Planning Director shall take the necessary steps to see that notice is published in accordance with the City Charter, Code of Ordinances and/or State statutes.
- Section 3. The Petition request before the Planning Commission shall be presented in summary by the Planning Director or his or her representative or a designated member of the Planning Commission. The Planning Director may present additional information to the Planning Commission through personnel from other Departments and/or non-City employees, if the Planning Director believes that information would be helpful to the Planning Commission. Parties in interest shall have the privilege of the floor.
- Section 4. If the petitioner or petitioner's representative fails to appear for a scheduled hearing, the Planning Commission may proceed with the hearing in the absence of the petitioner and act on the proposal in accordance with Article VI. Adjournment of any scheduled hearing must be approved by a majority of the Planning Commission member in attendance. Requests for adjournment for reasons not set out in this provision shall only be granted for good cause.
- Section 5. Public hearings and other proceedings conducted by the Planning Commission shall be run in an orderly and timely fashion. This shall be accomplished by the following procedure:
- A. If an agenda item does not require a public hearing, the Chairperson shall have the discretion to allow members of the public to address the agenda item. Once opened to the public for comment, the hearing shall be conducted in the same manner as a public hearing.
 - B. After announcement by the Chairperson that the public hearing portion of the meeting for a specific agenda item is open, persons who wish to address the Planning Commission shall speak when recognized by the Chairperson and provide his/her name and address on the attendance sheet provided at the podium. All comments shall be addressed to the Chairperson.

C. The Chairperson may have removed from the hearing room any member of the public that causes a breach of the peace during the public hearing.

D. The Chairperson may place reasonable limits on the length of time speakers have to address an agenda item.

Formatted: Font: Not Bold

Formatted: Indent: Left: 1", Hanging: 0.5", Numbered + Level: 1 + Numbering Style: A, B, C, ... + Start at: 1 + Alignment: Left + Aligned at: 0.5" + Tab after: 0.75" + Indent at: 0.75", Tab stops: 1.5", List tab + Not at 0.75"

ARTICLE VIII – COMMITTEES

~~Section 1. The rules and procedures committee may be appointed for one (1) year by the Chairperson and shall consist of three (3) members of the Planning Commission. Vacancies shall be filled immediately by the Chairperson of the Planning Commission.~~

Section ~~2~~ 1. ~~Other special c~~Committees may be appointed as needed by the Chairperson for purposes and terms which the Planning Commission approves.

ARTICLE IX – EMPLOYEES

Section 1. The Planning Commission may recommend employment of such staff and/or experts as it sees fit to aid the Planning Commission in its work.

ARTICLE X – AMENDMENTS

These By-laws may be amended by a two-thirds vote of the entire membership of the Planning Commission.

ARTICLE XI – ETHICS

Formatted: Heading 3, Left

Planning Commission members shall adhere to the City of Troy Appointee Code of Ethics.

Formatted: Font: (Default) Times New Roman

~~G:\PLANNING COMMISSION\By-Laws\By-Laws of PC - Draft Revisions 01-17-2014\ATM Rev...doc~~
~~G:\PLANNING COMMISSION\By-Laws\By-Laws of PC - Draft Revisions 01-29-2014.doc~~

Formatted: Font: 9 pt

Formatted: Font: 9 pt