



# PLANNING COMMISSION

## MEETING AGENDA

### REGULAR MEETING

500 W. Big Beaver  
Troy, MI 48084  
(248) 524-3364  
www.troymi.gov  
planning@troymi.gov

Donald Edmunds, Chair, Philip Sanzica, Vice Chair  
Ollie Apahidean, Karen Crusse, Michael W. Hutson, Tom Krent  
Padma Kuppa, Thomas Strat and John J. Tagle

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**June 9, 2015**

**7:00 P.M.**

**Council Board Room**

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1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – May 26, 2015
4. PUBLIC COMMENT – For Items Not on the Agenda

#### **PRELIMINARY SITE PLAN REVIEWS**

5. PRELIMINARY SITE PLAN REVIEW (File Number SP 1001) – Proposed Revisions to Building Elevations, Northeast corner of Big Beaver and Talbot (335 E Big Beaver), Section 22, Currently Zoned BB (Big Beaver) District
6. PRELIMINARY SITE PLAN REVIEW (File Number SP 1006) – Proposed Maple Veterinary Hospital Addition, South of Maple, West of Dequindre (2981 Iowa), Section 36, Currently Zoned NN (Neighborhood Node) “B”
7. PRELIMINARY SITE PLAN REVIEW (File Number SP 1007) – Proposed Evangel Baptist Church of Troy Auditorium, South of Maple, West of Dequindre (2900 Lovington), Section 36, Currently Zoned RT (One Family Attached Residential) and IB (Integrated Industrial and Business) Districts
8. PRELIMINARY SITE PLAN REVIEW (File Number SP 998) – Proposed Murray Plaza, West side of Rochester between Vanderpool and Trombley (3385 Rochester), Section 22, Currently Zoned GB (General Business) District

#### **OTHER BUSINESS**

9. PUBLIC COMMENT – Items on Current Agenda
10. PLANNING COMMISSION COMMENT

ADJOURN

**NOTICE:** People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at [clerk@troymi.gov](mailto:clerk@troymi.gov) or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Edmunds called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on May 26, 2015 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Ollie Apahidean  
Karen Crusse  
Donald Edmunds  
Michael W. Hutson  
Tom Krent  
Padma Kuppa  
John J. Tagle

Absent

Philip Sanzica  
Thomas Strat

Also Present:

R. Brent Savidant, Planning Director  
Ben Carlisle, Carlisle/Wortman Associates, Inc.  
Allan Motzny, Assistant City Attorney  
Mark F. Miller, Director of Community and Economic Development  
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

**Resolution # PC-2015-05-028**

Moved by: Kuppa  
Seconded by: Krent

**RESOLVED**, To approve the Agenda as prepared.

Yes: All present (7)  
Absent: Sanzica, Strat

**MOTION CARRIED**

3. APPROVAL OF MINUTES

**Resolution # PC-2015-05-029**

Moved by: Tagle  
Seconded by: Apahidean

**RESOLVED**, To approve the minutes of the May 12, 2015 Regular meeting as submitted.

Yes: All present (7)  
Absent: Sanzica, Strat

**MOTION CARRIED**

4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

5. ZONING BOARD OF APPEALS (ZBA) REPORT

Chair Edmunds read the report submitted by Mr. Sanzica on the May 19, 2015 Zoning Board of Appeals (ZBA) meeting.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

Mr. Savidant reported there was no Downtown Development Authority meeting in May.

7. PLANNING AND ZONING REPORT

Mr. Savidant announced a Conditional Rezoning application was submitted for Amber Studios and Lofts located in Section 27, east side of Livernois between Vermont and Birchwood.

**PRELIMINARY SITE PLAN REVIEW**

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 1006) – Proposed Maple Veterinary Hospital Addition, South of Maple, West of Dequindre (2981 Iowa), Section 36, Currently Zoned NN (Neighborhood Node) “B”

Mr. Savidant said the applicant submitted a parking analysis that was distributed to the Board members prior to the beginning of tonight’s meeting. He reported the following items were received digitally today after regular business hours:

- Sealed drawings
- Color rendering
- Revised landscape plan
- Revised drawing showing elimination of fence
- “Bone” bike rack

Mr. Carlisle reported on the Preliminary Site Plan application, noting he had no opportunity to review the revised plans recently submitted. He addressed:

- Support in the applicant’s reinvestment in the property.
- Decorative landscape/plaza area; enhancement to street frontage along Iowa.
- Deficiencies cited in his report dated May 5, 2015.

Dr. Michael Derkevorkian addressed:

- Removal of fence.
- Additional entrance to accommodate surgery patients.
- Parking needs as relates to patient scheduling and staffing.
- Need to accommodate growing business.

There was discussion on the lack of consistency and harmony between the proposed addition and the existing building, specifically:

- Inconsistencies in rendering and drawing.
- Differences in brick color.
- Differences in roof pitch.
- No contiguous paint/trim color.
- No samples of building materials.

It was agreed to provide the applicant additional time to work closely with the architect to design the addition so that it is consistent and/or harmonious to the existing building.

**Resolution # PC-2015-05-030**

Moved by: Krent  
 Seconded by: Tagle

**RESOLVED**, To postpone the item to the June 9, 2015 Regular meeting to allow the applicant to come back with a complete set of drawings, to acknowledge the concerns addressed by the Board this evening and to comply with the conditions cited in the Planning Commission report dated May 5, 2015.

Yes: All present (7)  
 Absent: Sanzica, Strat

**MOTION CARRIED**

**ZONING ORDINANCE TEXT AMENDMENTS**

9. PROPOSED ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 248) – Woodland Protection

Discussion followed after a PowerPoint presentation by Mr. Carlisle.

Planning staff will prepare a proposed Zoning Ordinance Text Amendment for consideration at a future meeting.

10. ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 247) – Oil and Gas Extraction

After a short discussion, it was the consensus of the Board to schedule a Public Hearing on June 23, 2015 for consideration of the proposed Zoning Ordinance Text Amendment.

11. PUBLIC COMMENT – Items on Current Agenda

There was no one present who wished to speak.

12. PLANNING COMMISSION COMMENT

There were general Planning Commission comments.

The Regular meeting of the Planning Commission adjourned at 8:30 p.m.

Respectfully submitted,

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Donald Edmunds, Chair

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Kathy L. Czarnecki, Recording Secretary

G:\Planning Commission Minutes\2015 PC Minutes\Draft\2015 05 26 Regular Meeting\_Draft.doc

DATE: June 4, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 1001) – Proposed Revisions to Building Elevations, Northeast corner of Big Beaver and Talbot (335 E Big Beaver), Section 22, Currently Zoned BB (Big Beaver) District

The Planning Commission granted Preliminary Site Plan Approval to the multi-tenant development on January 13, 2015. The owner has been actively seeking tenants for the multi-tenant building.

The owner seeks to revise the elevations to the Qdoba restaurant building. Because the proposed elevations are significantly different than the approved elevations, this item was sent to the Planning Commission for review and approval.

The design meets the transparency requirements of the BB (Big Beaver) District. The revised design incorporates a range of materials including glass, reclaimed wood, metal panels, glazed brick veneer and concrete block. A fabric awning and public art panels add more color and visual interest to the elevations. A small “bump out” was added to the west side of the building, to incorporate building elements that are not compatible with transparency requirements. This element maintains the 10-foot setback from Talbot. Staff finds that the redesign is a unique look that will add interest to the Big Beaver corridor.

A report has not been prepared for this item. The applicant has not provided sealed drawings for this meeting. Sealed drawings will be requested for the file.

Attachments:

1. Maps
2. Approved Preliminary Site Plan, including elevations.
3. Proposed revised site plan/Qdoba elevations.

G:\SITE PLANS\SP 1001 Multi Tenant Development Sec 22\SP-1001 PC Memo 06 09 2015.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN REVIEW (File Number SP 1001) – Proposed Revisions to Building Elevations, Northeast corner of Big Beaver and Talbot (335 E Big Beaver), Section 22, Currently Zoned BB (Big Beaver) District

**Resolution # PC-2015-06-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the revisions to the Qdoba building elevations, located on the northeast corner of Big Beaver and Talbot (335 E. Big Beaver), Section 22, within the BB (Big Beaver) District, be granted, subject to the following:

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

No:

**MOTION CARRIED/FAILED**



Legend:

- Aerial
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

167 0 83 167 Feet

Scale 1: 1,000



**Legend:**

**Form Based Zoning 2**

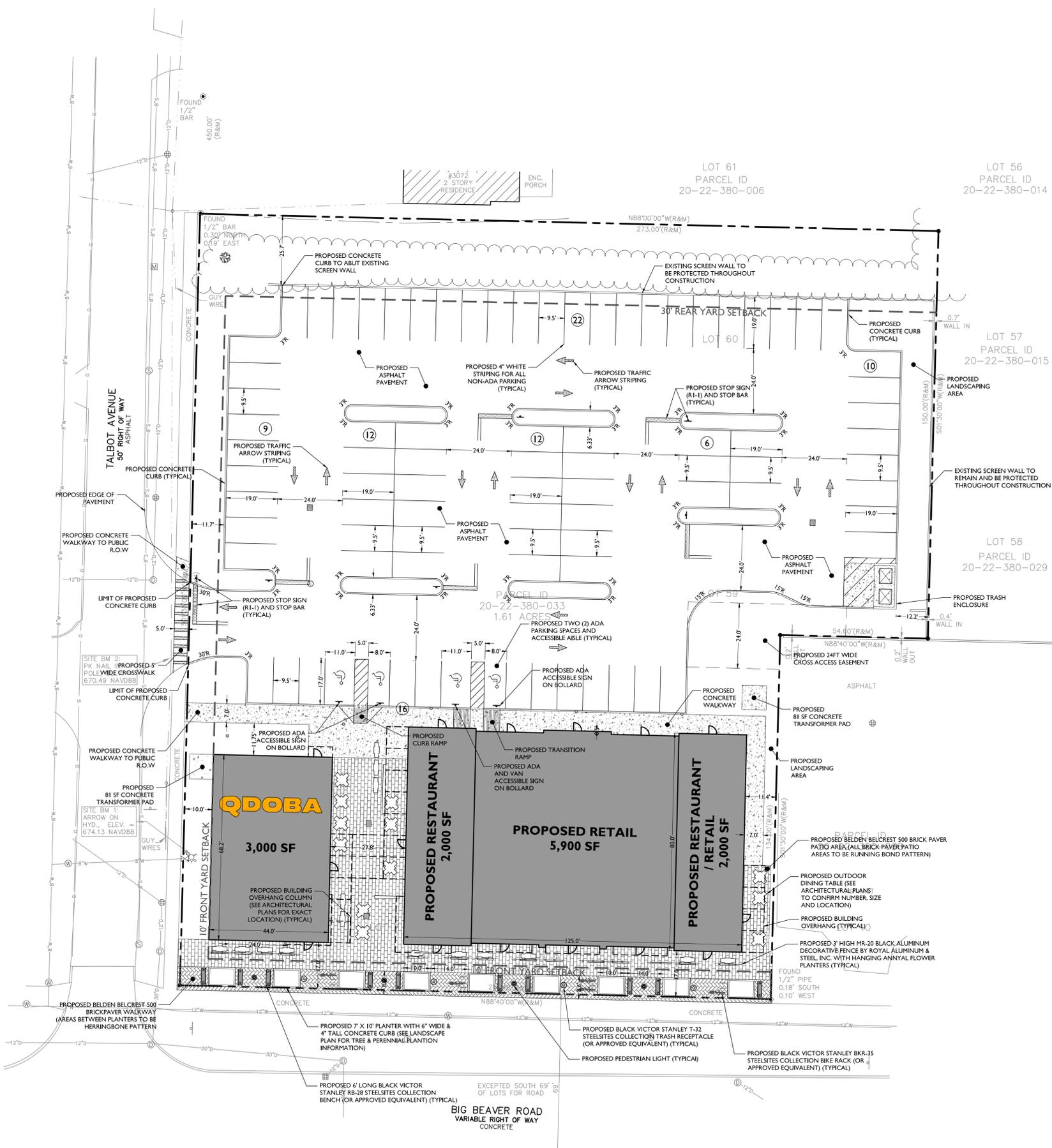
- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

**Aerial**

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3

267 0 133 267 Feet

Scale 1: 1,600

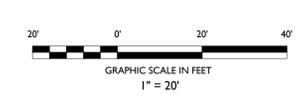


SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - -	ADJACENT PROPERTY / LOT
---	ZONING SETBACK
---	PROPOSED CURB
---	EXISTING CURB
---	PROPOSED BUILDING
---	PROPOSED CONCRETE AREA
---	PROPOSED SITE BRICK PAVEMENT
---	PROPOSED SIGN
---	PARKING STALL COUNTER

PARCEL ID: 20-22-380-033 BIG BEAVER DISTRICT (BB)		
PROPOSED USE	PERMITTED USE	PROPOSED
RESTAURANT	PERMITTED USE	
RETAIL	PERMITTED USE	
ZONING REQUIREMENTS	REQUIRED	PROPOSED
FRONT YARD SETBACK (BIG BEAVER)	10 FT	17 FT
FRONT YARD SETBACK (TALBOT)	10 FT	10 FT
SIDE YARD SETBACK	0 FT	11.4 FT
REAR YARD SETBACK	30 FT	> 100 FT
MINIMUM BUILDING HEIGHT	1 STORY OR 14 FT	1 STORY OR 14 FT
MAXIMUM BUILDING HEIGHT	< 3 STORIES OR 45 FT	< 3 STORIES OR 45 FT
MINIMUM OPEN SPACE	30 % (21,065 SF)	32.1 % (22,558 SF)

ORDINANCE SECTION	REQUIRED	PROPOSED
§TABLE 13.06-A	RETAIL 1 SPACE PER 250 GFA (5,900 SF) (1/200 SF) = 24 SPACES  SIT-DOWN RESTAURANT 1 SPACE PER 2 SEATS (62 SEATS) (1/2 SEATS) = 31 SPACES  QDOBA (SIT-DOWN RESTAURANT) 1 SPACE PER 2 SEATS (64 SEATS) (1/2 SEATS) = 32 SPACES  TOTAL 24 SPACES + 63 SPACES 87 SPACES	87 SPACES
§TABLE 13.06-B	90 DEGREE PARKING 9.5 FT X 19 FT W/ 24 FT AISLE	9.5 FT X 19 FT W/ 24 FT AISLE
§SECTION 13.06.C.2	ONE TREE PER 8 PARKING SPACES (12 TREES)	15 TREES
§SECTION 13.06.C.3	10 FT PAVED AREA SETBACK FOR LOT LINES THAT ABUT RESIDENTIAL ZONED PROPERTIES	12.2 FT (SIDE YARD) 25.7 FT (REAR YARD)

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
  - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC. AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO OVERSEE CONSTRUCTION & DEMOLITION ACTIVITIES.
  - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
  - CROSSWALKS, LETTERED MARKINGS AND STOP BARS SHALL BE THERMOPLASTIC STRIPING.



**STONEFIELD**  
engineering & design, llc.

Rutherford, NJ · New York, NY · Islandia, NY · Bloomfield Hills, MI  
www.stonefielddesign.com

2350 Franklin Road, Suite 210, Bloomfield Hills, MI 48302  
Phone 248.309.3807

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**PROPOSED RESTAURANT & MULTI-TENANT RETAIL**

**QDOBA**

PARCEL ID: 20-22-380-033  
335 BIG BEAVER ROAD  
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

---

MICHIGAN LICENSE No. 620106161  
LICENSED PROFESSIONAL ENGINEER

**MTP/JRJ/M TP**  
**DRAWN BY CHECKED BY**

**STONEFIELD**  
engineering & design, llc.

DATE: 11/19/2014 PROJECT ID: T-14111  
SCALE: 1" = 20' SHEET: 04 OF 11

TITLE:  
**SITE PLAN**

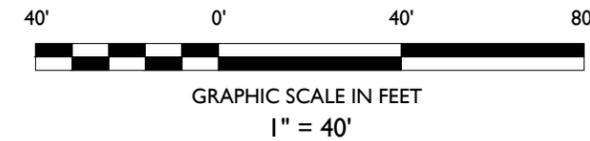
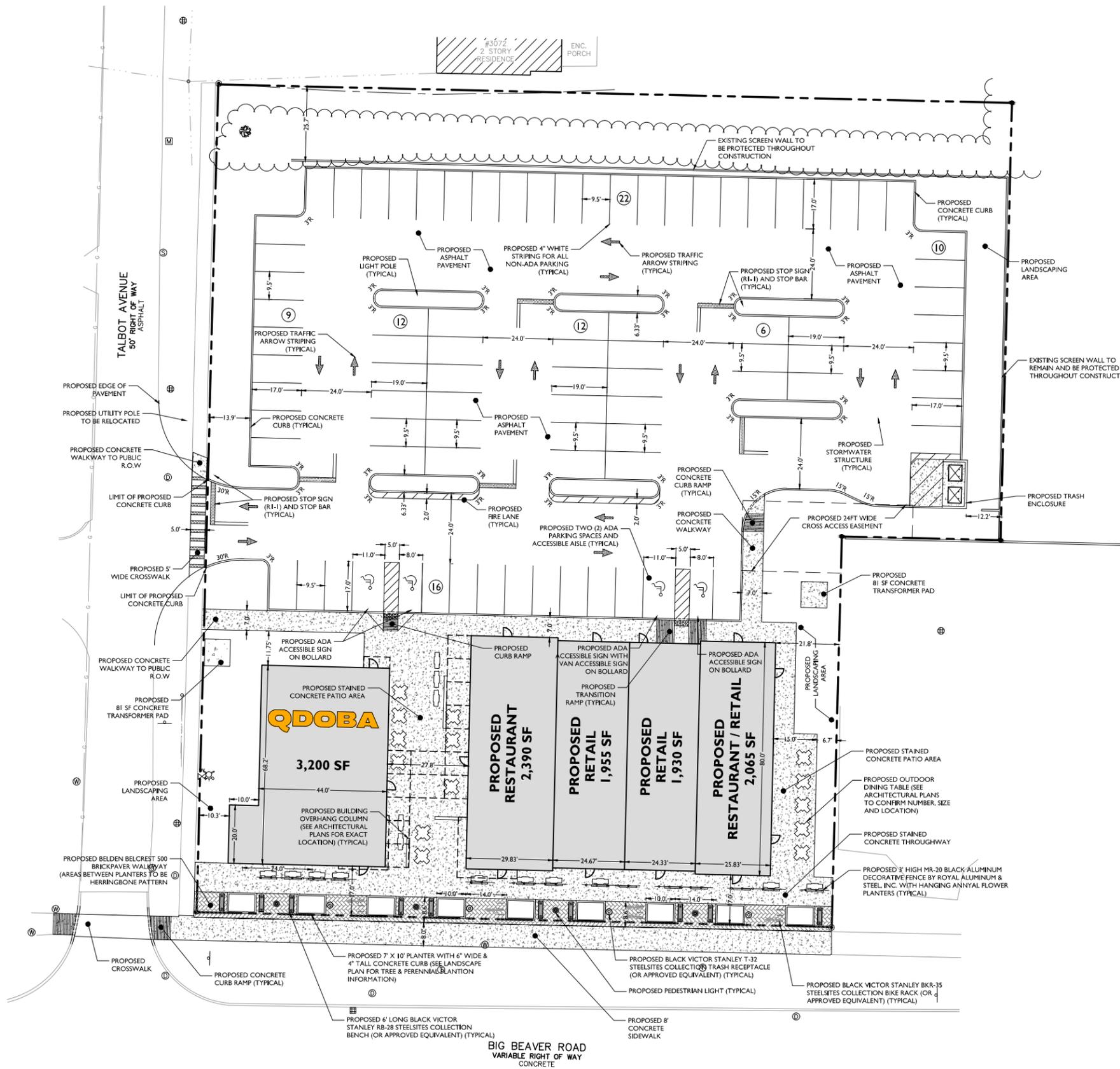
DRAWING:  
**C-4**



2 North Context Elevation  
SCALE: 1/8" = 1'-0"



1 South Context Elevation  
SCALE: 1/8" = 1'-0"



T:\301411\4111 Alrig-335 E. Big Beaver, Troy, MI\CADD\Concept\015-04-03\_Big Beaver\_Concept\_G.dwg

**STONEFIELD**  
engineering & design, llc.  
Rutherford, NJ · New York, NY · Islandia, NY · Bloomfield Hills, MI  
www.stonefielddesign.com  
2350 Franklin Road, Suite 210, Bloomfield Hills, MI, 48302  
Phone 248.247.1115

**DEVELOPER:**  
**ALRIG** USA  
21 EAST LONG LAKE ROAD, SUITE 101  
BLOOMFIELD HILLS, MI 48302  
OFFICE: 248.646.9999  
FAX: 248.646.9998

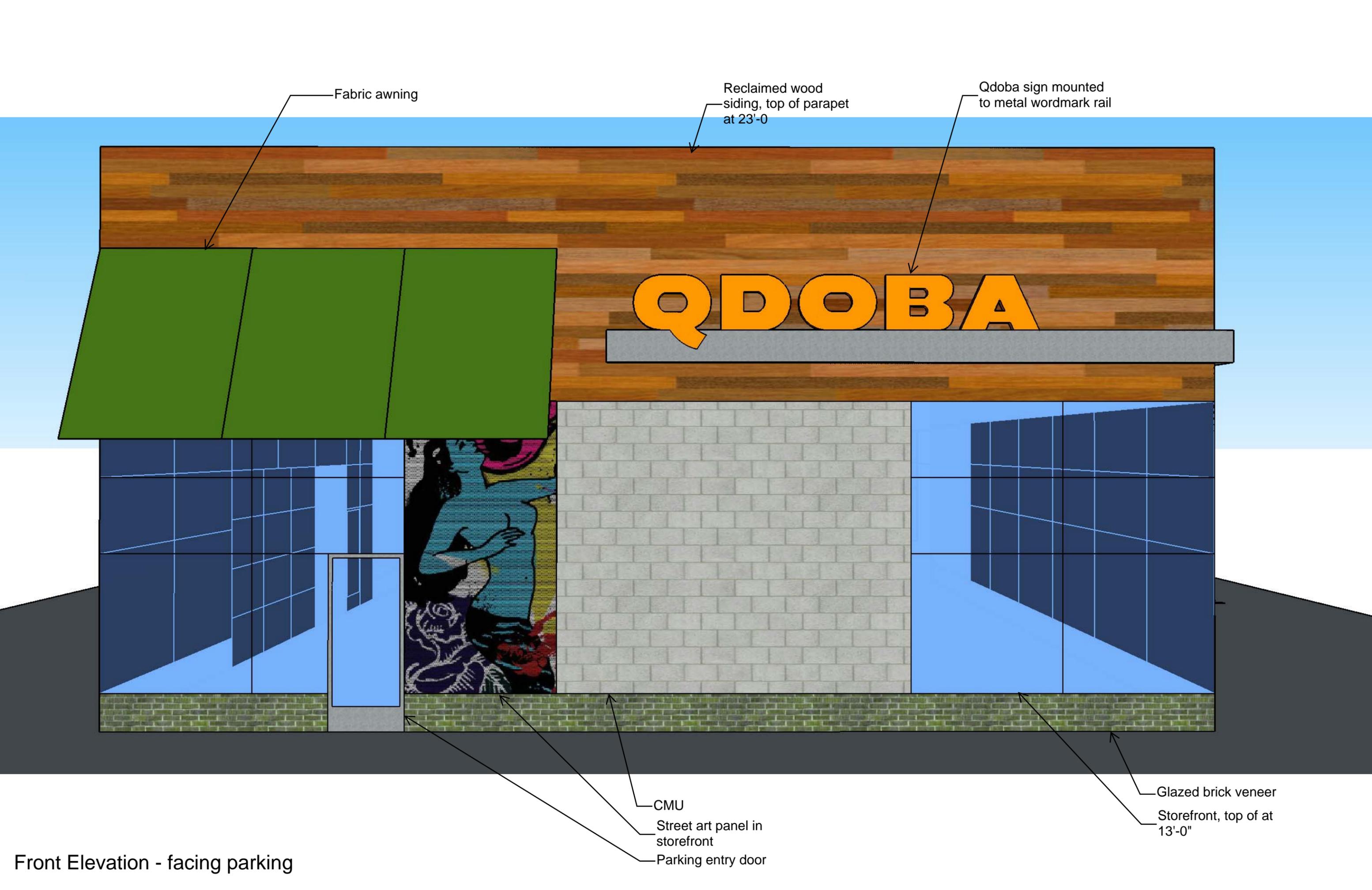
**CONCEPT PLAN**  
**PROPOSED RESTAURANTS & MULTI-TENANT RETAIL**  
**QDOBA**  
PARCEL ID: 30-22-380-033  
335 BIG BEAVER ROAD  
CITY OF TROY, OKLAND COUNTY, MICHIGAN

**DRAFT**  
TIM PONTON  
PRINCIPAL

**NOT APPROVED FOR CONSTRUCTION**

**DRAWN BY:** MTP  
**CHECKED BY:** JRI  
**DATE:** 06/03/2015  
**SCALE:** (H) 1"=40'  
**PROJECT ID:** T-1411  
**TITLE:**

**CONCEPT G**  
**SHEET:**  
**G-1**



Fabric awning

Reclaimed wood siding, top of parapet at 23'-0"

Qdoba sign mounted to metal wordmark rail

QDOBA

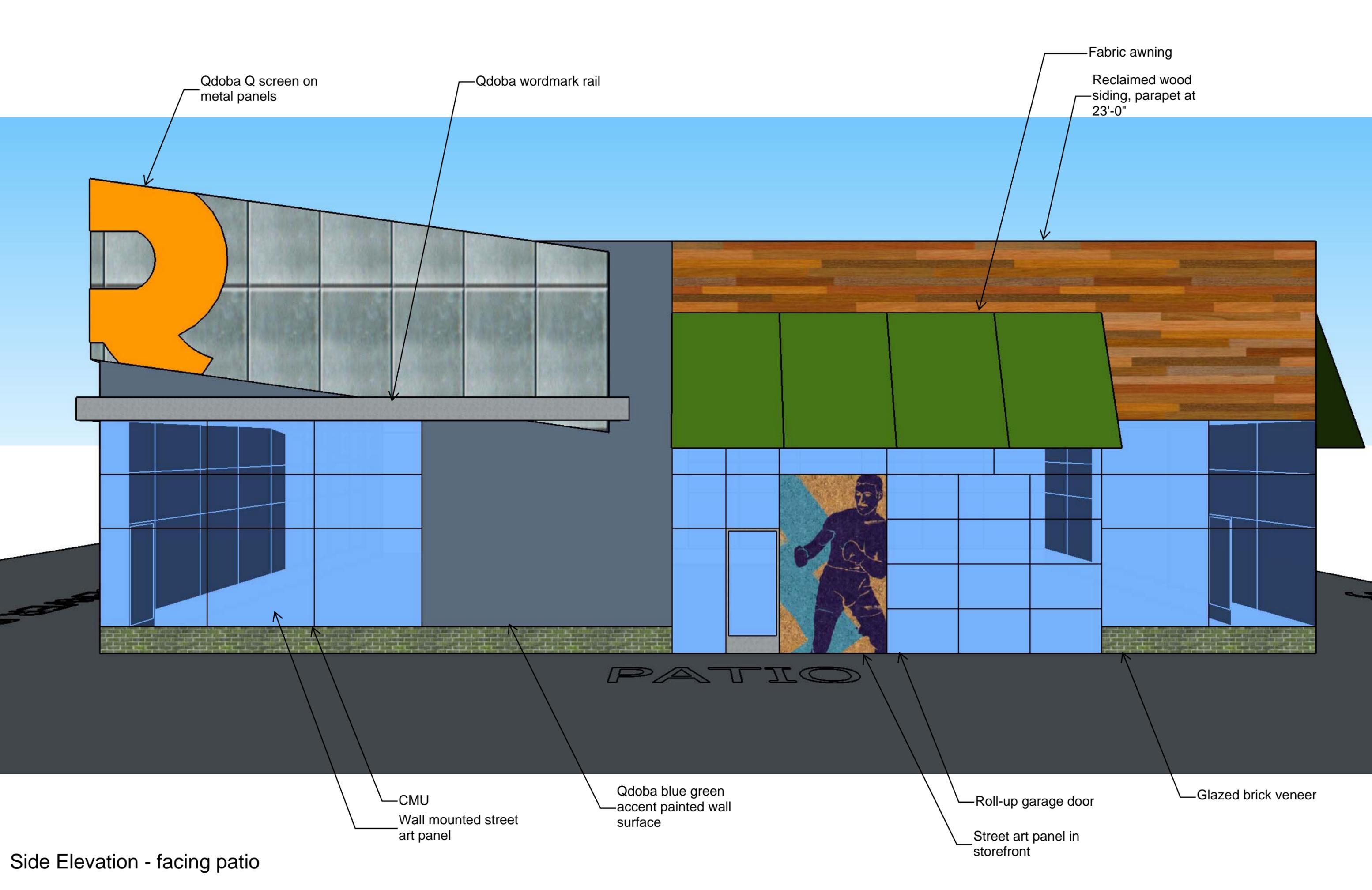
CMU

Street art panel in storefront

Parking entry door

Glazed brick veneer  
Storefront, top of at 13'-0"

Front Elevation - facing parking



Qdoba Q screen on metal panels

Qdoba wordmark rail

Fabric awning

Reclaimed wood siding, parapet at 23'-0"

CMU  
Wall mounted street art panel

Qdoba blue green accent painted wall surface

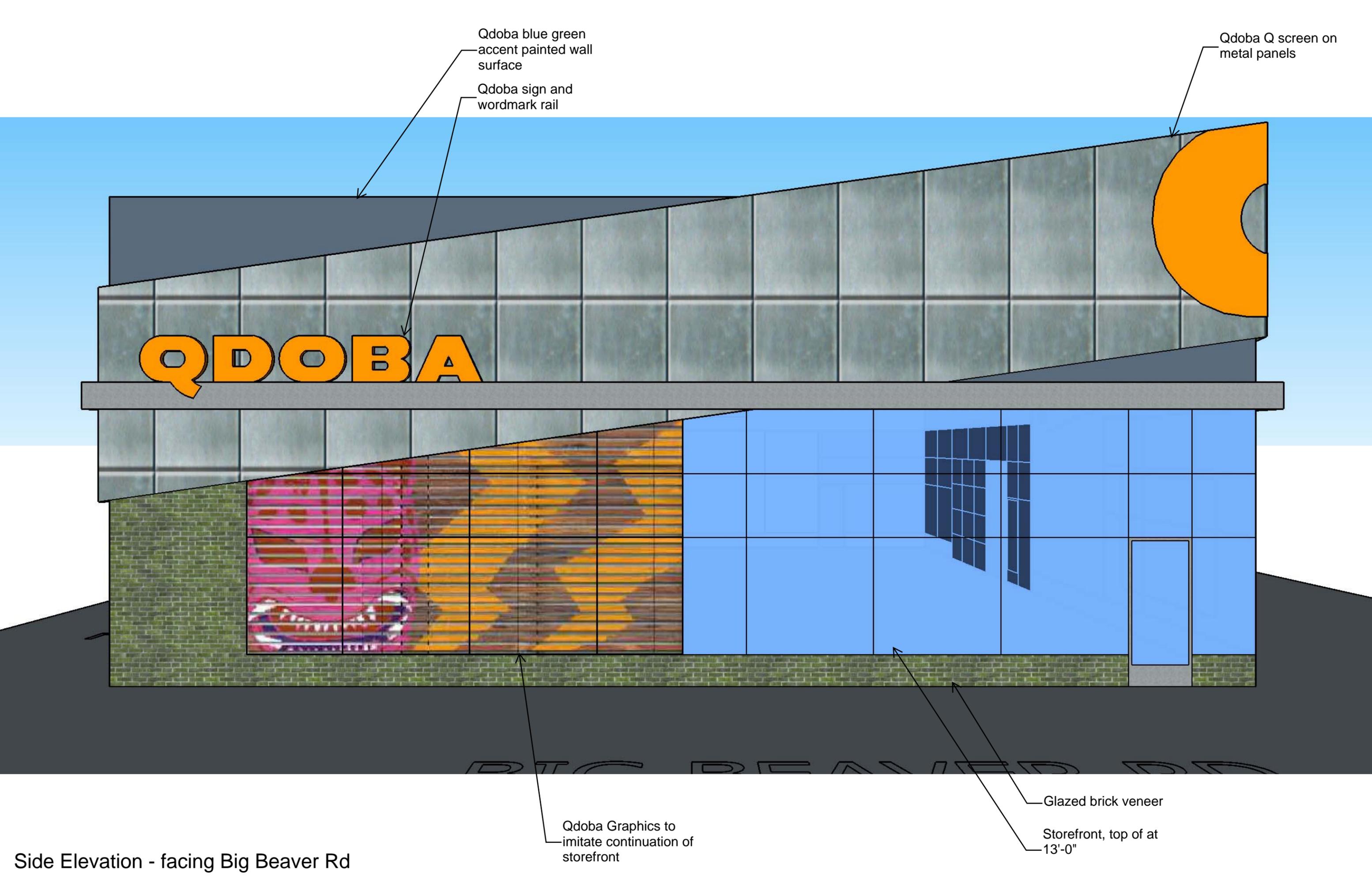
Roll-up garage door

Glazed brick veneer

Street art panel in storefront

PATIO

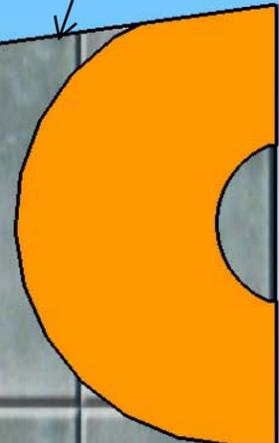
Side Elevation - facing patio



Qdoba blue green  
accent painted wall  
surface  
Qdoba sign and  
wordmark rail

Qdoba Q screen on  
metal panels

**QDOBA**



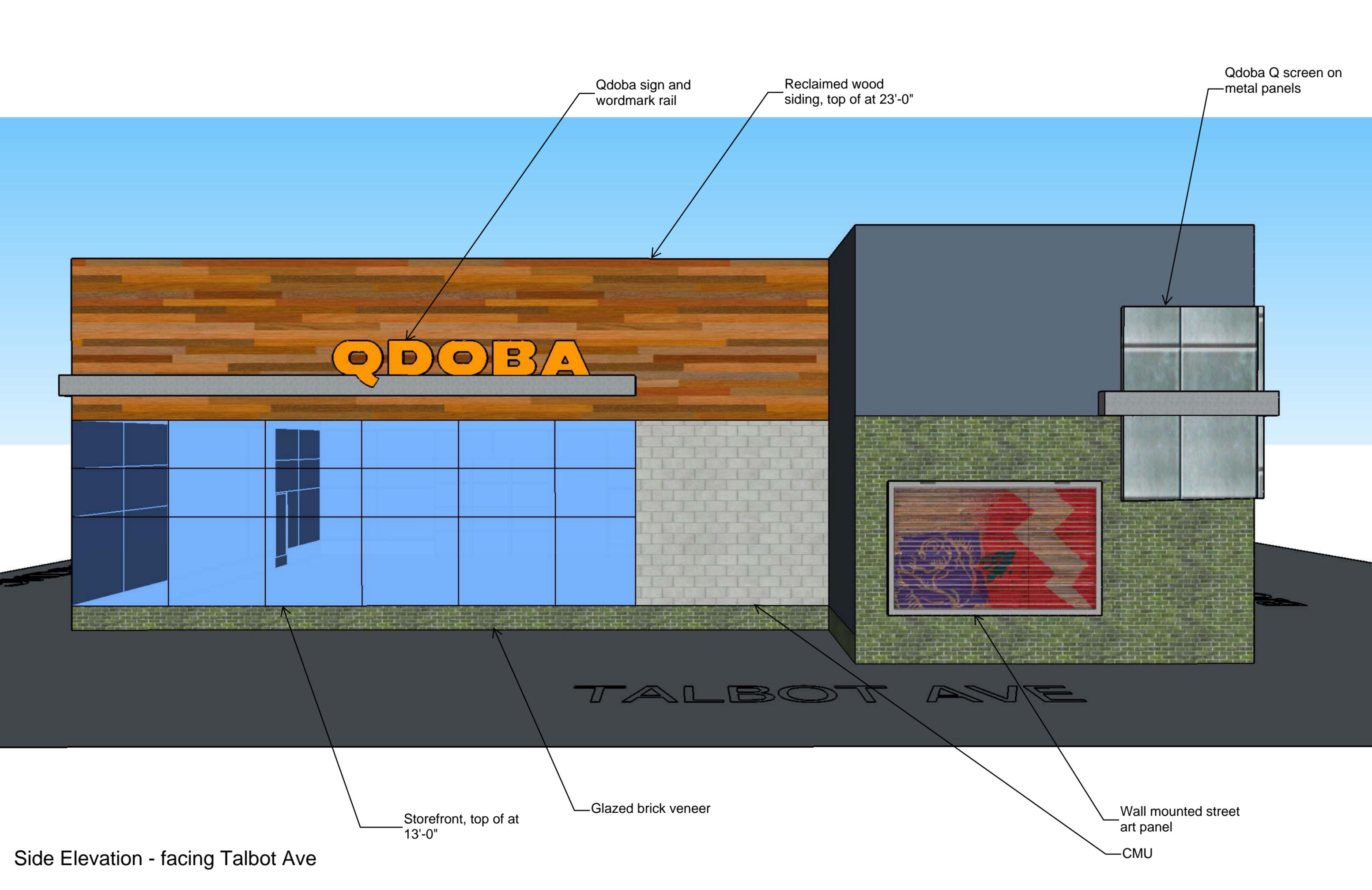
BTC BEAVER DD

Qdoba Graphics to  
imitate continuation of  
storefront

Glazed brick veneer

Storefront, top of at  
13'-0"

Side Elevation - facing Big Beaver Rd



Qdoba sign and wordmark rail

Reclaimed wood siding, top of at 23'-0"

Qdoba Q screen on metal panels

**QDOBA**

TALBOT AVE

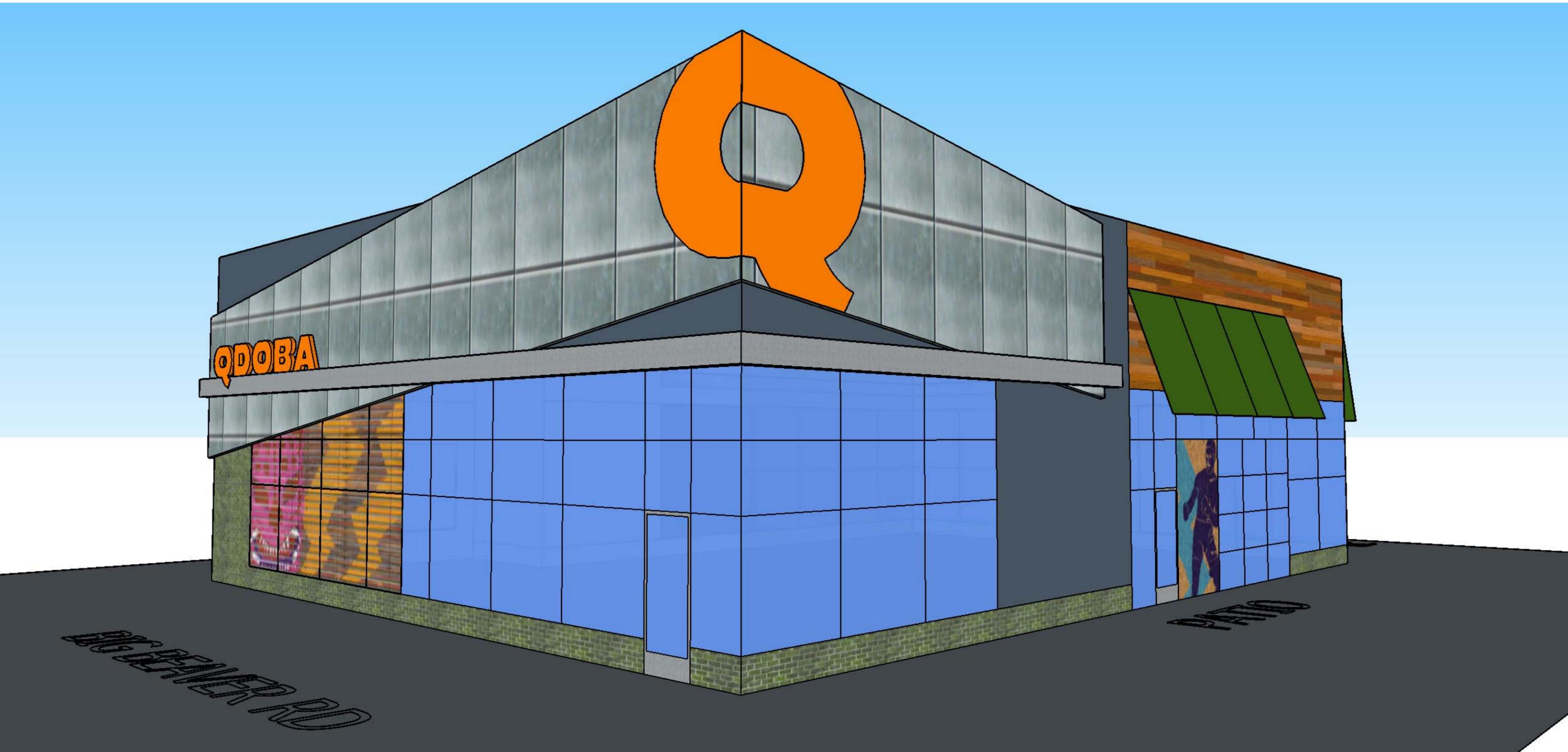
Storefront, top of at 13'-0"

Glazed brick veneer

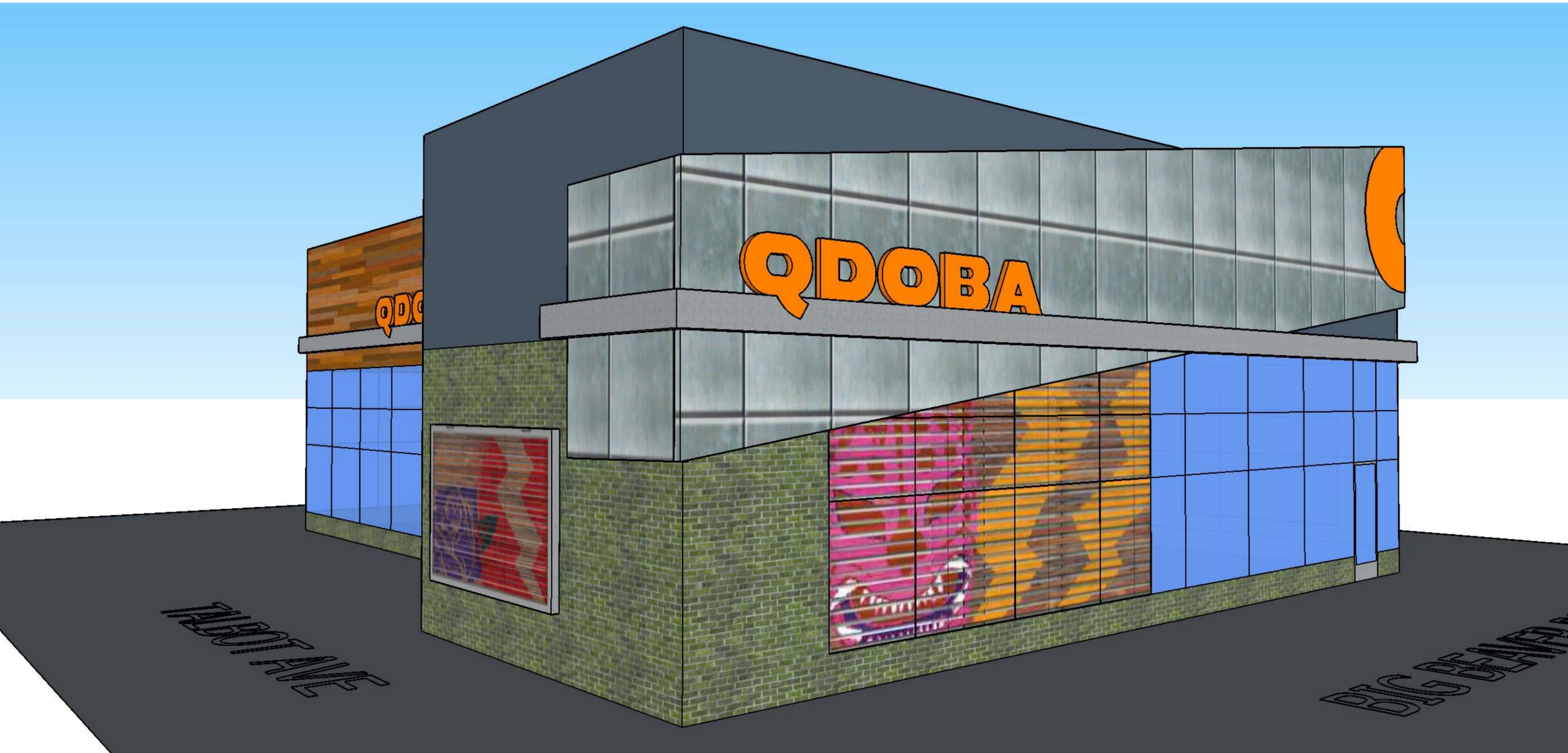
Wall mounted street art panel

CMU

Side Elevation - facing Talbot Ave



Southeast Corner - from Big Beaver Rd Westbound



Southwest Corner - from Big Beaver Rd Eastbound



Northwest Corner - from Talbot Ave Southbound



Northeast Corner - from parking

DATE: June 4, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 1006) – Proposed Maple Veterinary Hospital Addition, South of Maple, West of Dequindre (2981 Iowa), Section 36, Currently Zoned NN (Neighborhood Node) “B”

The petitioner Terwisscha Construction, Inc. submitted the above referenced Preliminary Site Plan application for a proposed addition to the existing Maple Veterinary Hospital at 2981 Iowa.

The property is currently zoned NN (Neighborhood Node) “B”. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

This item was considered by the Planning Commission at the May 26, 2015 meeting and postponed, to “allow the applicant to come back with a complete set of drawings, to acknowledge the concerns of the Board this evening and to comply with the conditions cited in the Planning Commission report dated May 5, 2015”. The applicant provided a revised set of plans for Planning Commission consideration.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP 1006 Maple Veterinary Hospital Addition Sec 36\SP-1006 PC Memo 2015 06 09.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN REVIEW (File Number SP 1006) – Proposed Maple Veterinary Hospital Addition, South of Maple, West of Dequindre (2981 Iowa), Section 36, Currently Zoned NN (Neighborhood Node) “B”

**Resolution # PC-2015-06-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed the Maple Veterinary Hospital Addition and parking deviation, located south of Maple and west of Dequindre (2981 Iowa), Section 36, within the NN (Neighborhood Node) District (Node “B”), be granted, subject to the following:

1. Provide sidewalk along Iowa Drive or seek waiver
2. Provide detailed landscape plan for final site plan approval

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons: \_\_\_\_\_)

Yes:

No:

**MOTION CARRIED/FAILED**



Legend:

Aerial

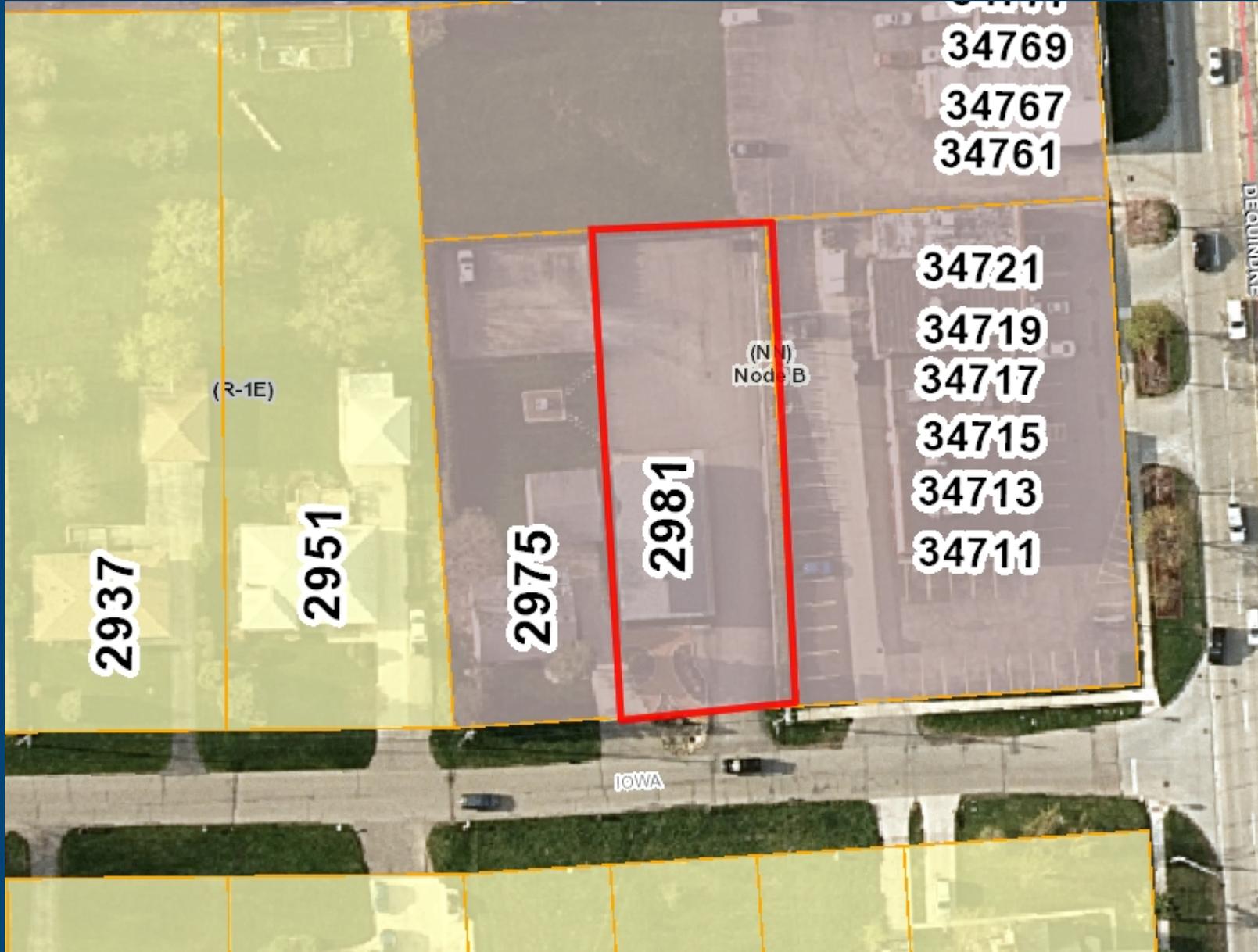
Red: Band\_1

Green: Band\_2

Blue: Band\_3

133 0 67 133Feet

Scale 1: 800



**Legend:**

**Form Based Zoning 2**

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

**Aerial**

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3

167 0 83 167 Feet

Scale 1: 1,000



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: June 4, 2015

## Preliminary Site Plan Review For City of Troy, Michigan

<b>Project Name:</b>	Maple Veterinary Hospital Addition
<b>Plan Date:</b>	June 2, 2015
<b>Location:</b>	2981 Iowa. South of Maple Road, east of Dequindre
<b>Zoning:</b>	Neighborhood Node B, Site Type B
<b>Action Requested:</b>	Site Plan Approval

### PROJECT AND SITE DESCRIPTION

The applicant proposes to add an 800 square foot addition to an existing 2,050 square foot veterinary hospital facility. The site is located on Iowa Drive and zoned Neighborhood Node B. Neighborhood nodes are located at major intersections adjacent to residential neighborhoods. These nodes are intended to serve as commercial and mixed use centers serving as places to meet the basic needs of the neighborhoods, as well as the community as a whole.

The existing building is non-conforming in regards to the 10-foot build-to-line. The addition will place the building 15-feet from Iowa Drive, which is compliant with neighborhood node building placement requirements with Planning Commission approval. The existing point of access of Iowa Drive will remain.

Location of Subject Property:

2981 Iowa. South of Maple Road, east of Dequindre



Size of Subject Property:

0.32 acres in area.

Proposed Uses of Subject Parcel:

The existing veterinary hospital will remain

Current Zoning:

The property is currently zoned Neighborhood Node B, site type B.

Surrounding Property Details

Direction	Zoning	Use
North	Neighborhood Node I, site type B	Vacant
South	R1-E, Single Family Residential	Vacant
East	Neighborhood Node I, site type B	Commercial
West	Neighborhood Node I, site type B	Single-family residential

**PREVIOUS PLANNING COMMISSION REVIEW**

This application was last reviewed by the Planning Commission at their May 19, 2015 meeting. Please see the May 14, 2015 planning report for a complete site plan review. At that meeting, the primary issues were material selection and consistency of the new addition to the existing building.

**ARCHITECTURAL DETAILS**

The applicant is maintaining the plywood siding panel (T1-11) as the primary building exterior material but has made the following changes:

- Added new brick skirt around addition to match brick of existing building
- Changed color to Extra White to match existing brick building
- Replaced glass block windows with fully transparent windows
- Eliminated the wood fence along Iowa Street
- Provided lighting fixture cut sheet

Planning Commission is to review the proposed architectural changes.

**PARKING**

The applicant does not propose to add any additional parking spaces. They note that though they are increasing the floor area, they are not increasing the number of scheduled appointments or adding additional services that would increase parking demand.

Section 13.06.G of the Zoning Ordinance requires:

	<b>Required</b>	<b>Provided</b>
Office (1 space per 200 square feet of gross feet area)	2,848 sq.ft / 200 = 14	9 spaces on site
Barrier Free	1	1
Bicycle Parking	2	2
<b>Total</b>	<b>14 automobile + 2 bicycle</b>	<b>9 automobile + 2 bicycle</b>

Though the applicant is deficient in parking as required by code, the Planning Commission may grant a parking deviation, provided that the applicant prove to the satisfaction of the Planning Commission that existing parking is sufficient.

**Items to be Addressed:** Applicant shall justify to the satisfaction of the Planning Commission that additional parking is not necessary.

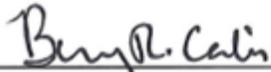
## LANDSCAPING

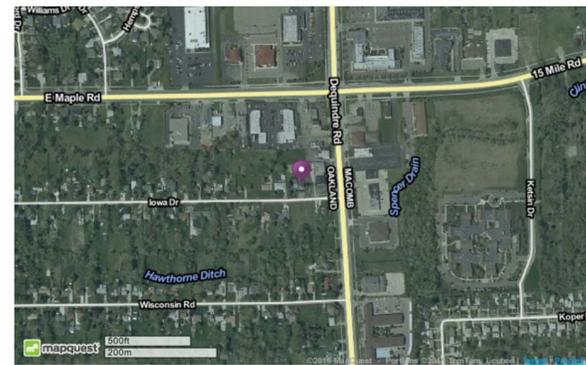
The applicant has provided a conceptual landscape plan. It appears that they meet the landscape requirements, but does not include all necessary calculations or specie details. The applicant should submit a more detailed landscape plan for final site plan approval.

## RECOMMENDATION

Provided that Planning Commission finds the architectural improvements sufficient, and grants parking relief, we recommend preliminary site plan approval, with the following conditions:

- Provide sidewalk along Iowa Drive or seek waiver
- Provide detailed landscape plan for final site plan approval

  
\_\_\_\_\_  
CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP



Location Map

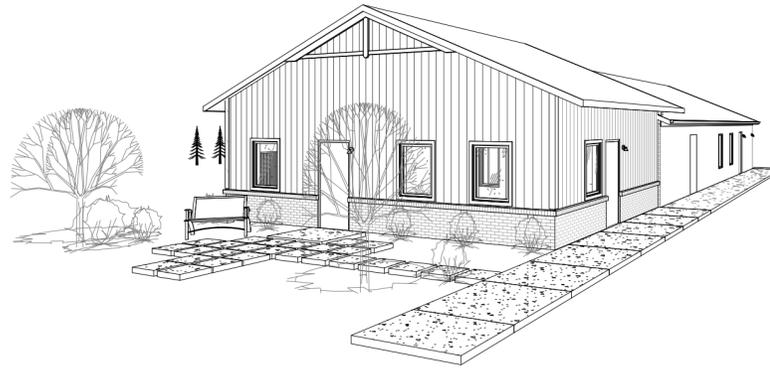


Site Aerial

Legal Description:

Tax Item # 20-36-226-069

The East 71.50 feet of the West 140 feet of Lot 41, the West 71.50 feet of the West 140 feet of Lot 40, and the East 71.50 feet of the West 140 feet of the South 50 feet of Lot 39 of "SUPERVISOR'S PLAT OF PLAINVIEW FARMS", being a subdivision of part of the Northeast 1/4 of Section 36, Town 2 North, Range 11 East, City of Troy (formerly Troy Township), Oakland County, Michigan. As recorded in Liber 5 of Plats, on Page 58 of Oakland County Records.



1 3D View  
1

Site Information:

LOT SIZE: 14,289 Sq.Ft.  
 Current Zoning: NN - B  
 Street Type: NN - B  
 Use Group: Office / Institutional Veterinary Facility  
 Building Form: 'A'

Required Landscape Area = 15% of Total Site Area  
 2,143 Sq.Ft. Required  
 2,607 Sq. Ft. Provided = 18.3% total landscaping provided.

Zoning Summary:

Current Zoning: NN - B  
 Street Type: NN - B  
 Use Group: Office / Institutional Veterinary Facility  
 Building Form: 'A'

Adjacent Property Zoning Information:

North: NN-B  
 East: NN-B  
 South: R-1E  
 West: R-1E

Applicant / Project Contact:

TerWisscha Construction, Inc.  
 1550 Willmar Avenue S.E.  
 Willmar, MN 56201  
 Ph: (320) 235-1664  
 Fx: (320) 235-3137  
 Andrew T. Lemmer  
 Email: alemmer@twcinc.com  
 Cell: (720) 612-2096

Property Owner:

Michael Derkevorkian  
 Maple Veterinary Hospital  
 2981 Iowa Drive  
 Troy, MI 48083  
 Ph: (248) 585-2622  
 E-mail: dr mike@mvhvet.com

Project Description:

The project is a 800 square foot addition to an existing 2,048 square foot veterinary hospital facility. The new construction will be adjacent to the South elevation of the existing building, providing a 2,848 total square foot facility.

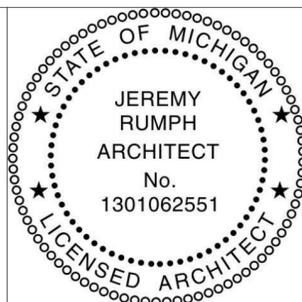
Sheet Index:

- 1 Cover Sheet
- 2 Site Plan (Preliminary)
- 3 Landscape & (E) Drainage Plan
- 4 Floor Plan (Preliminary)
- 5 Elevations (Preliminary)
- 6 Proposed 3D Color Rendering

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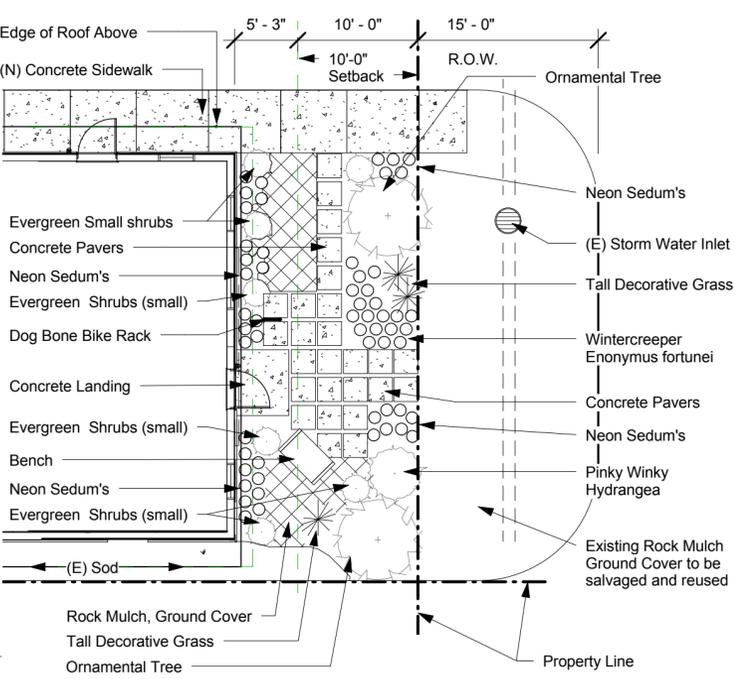
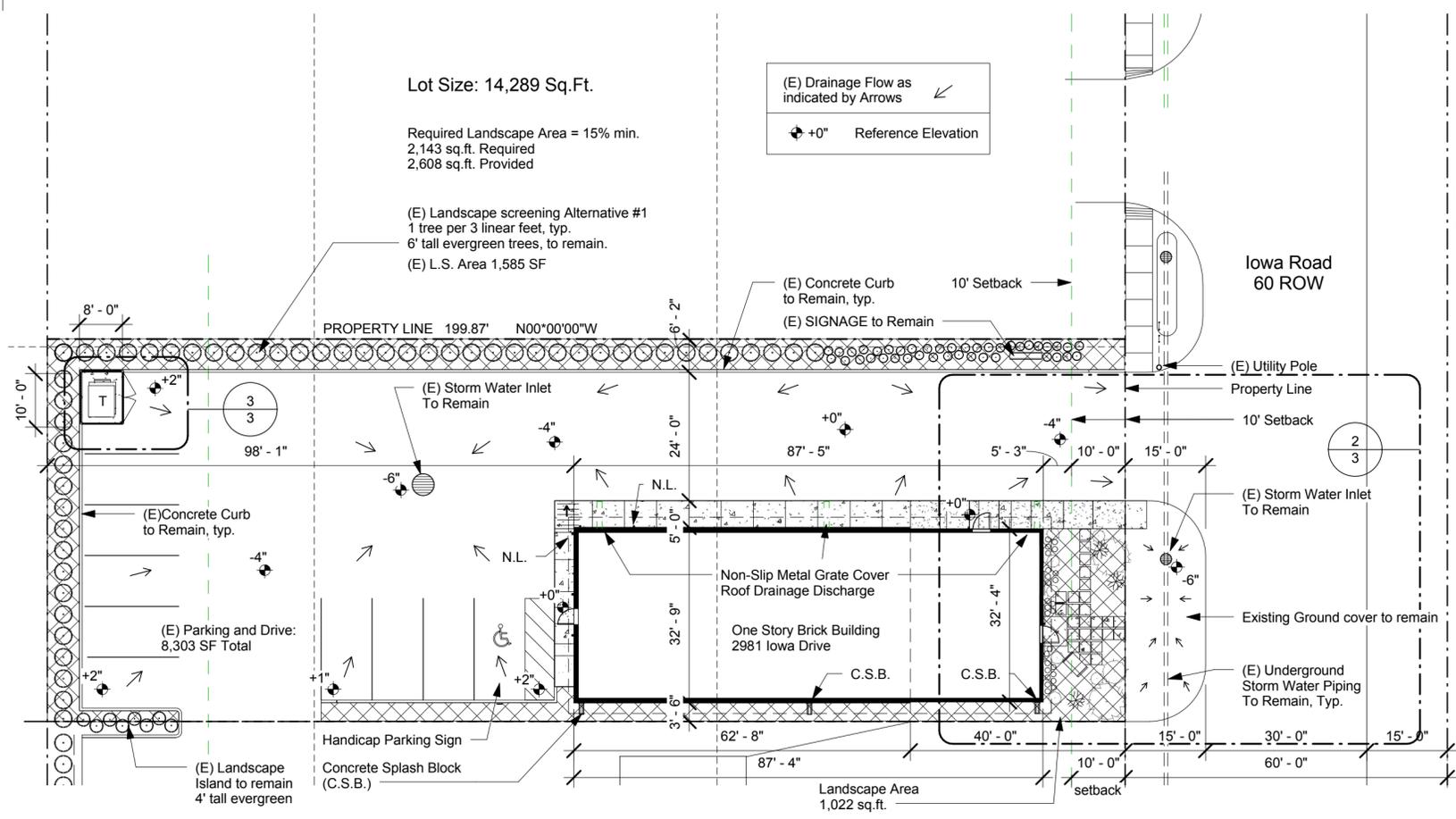


**Preliminary Site Plan Submittal**  
**Maple Veterinary Hospital**  
**2981 Iowa Drive,**  
**Troy, MI**

Project Number: **14326**  
 Sheet Number: **1 of 6**  
 Sheet Name: **Cover Sheet**  
 Date Issued: **06/02/2015**



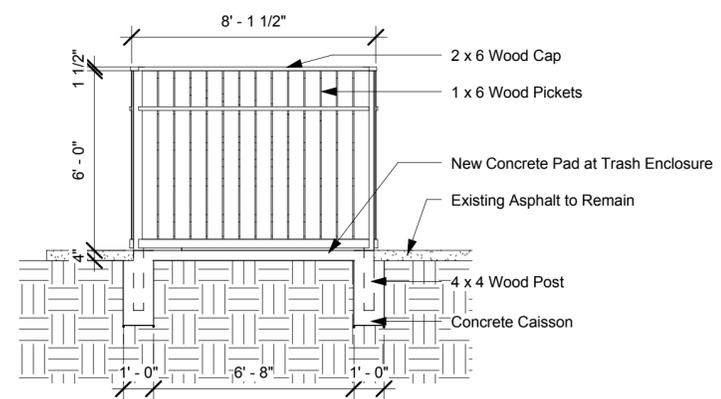
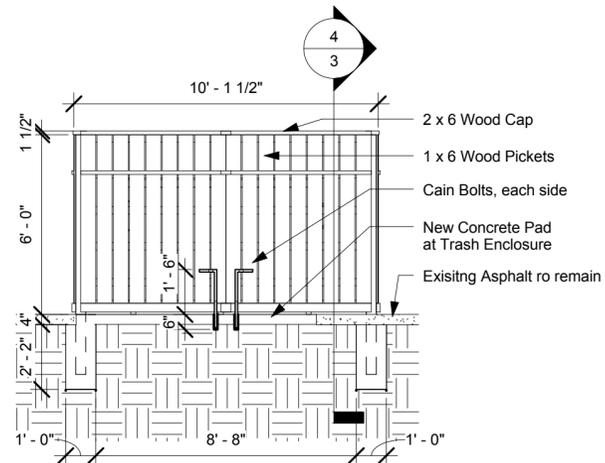
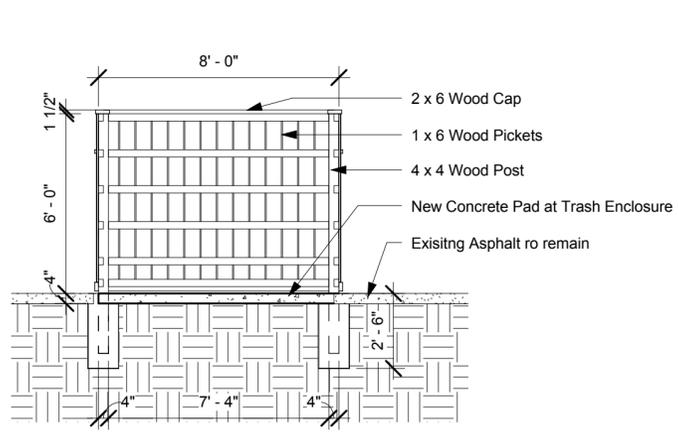
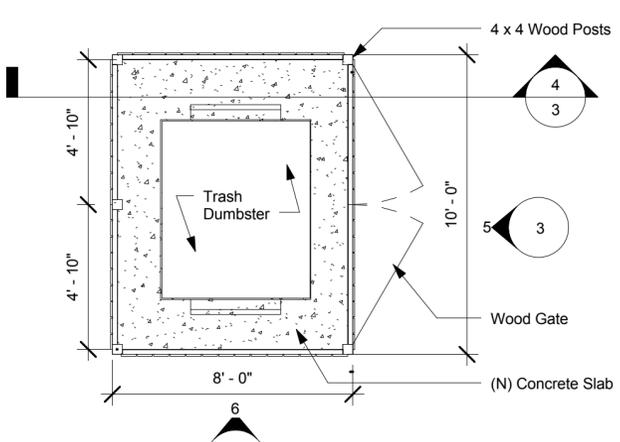
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- Ornamental Tree:  
 Autumn Cherry Tree  
 Prunus subhirtella  
 2" caliper, 15'-0" min. O.C.
- Deciduous Shrub (large): to be replanted  
 Pinky Winky Hydrangea
- Tall Decorative Grass: to be replanted  
 (Maiden Grass)  
 Miscanthus sinensis 'Gracillimus'
- Evergreen Shrub (small)  
 Dwarf Mugho Pine  
 Pinus mugo pumilio
- Ground cover plantings, as labeled
- 2' x 2' Concrete Pavers
- Rock Mulch, Ground Cover

1 Landscape & Drainage Plan (PrelimSP)  
 3 1" = 20'-0"

2 Landscape Plan  
 3 1" = 10'-0"



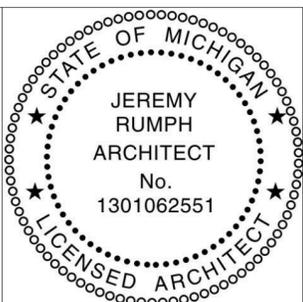
3 Trash Enclosure  
 3 1/4" = 1'-0"

4 Trash Enclosure Section  
 3 1/4" = 1'-0"

5 Trash Enclosure Front View  
 3 1/4" = 1'-0"

6 Trash Enclosure Side View  
 3 1/4" = 1'-0"

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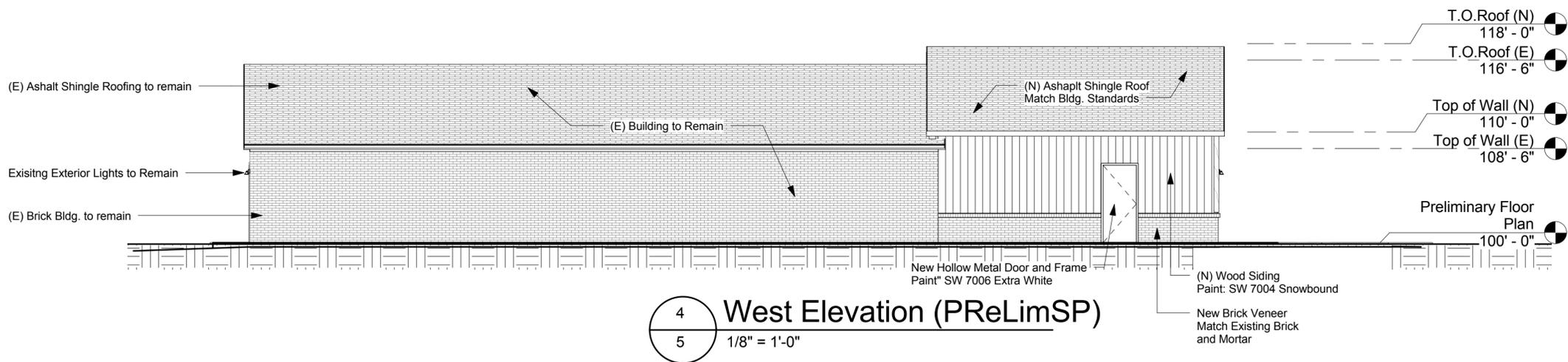
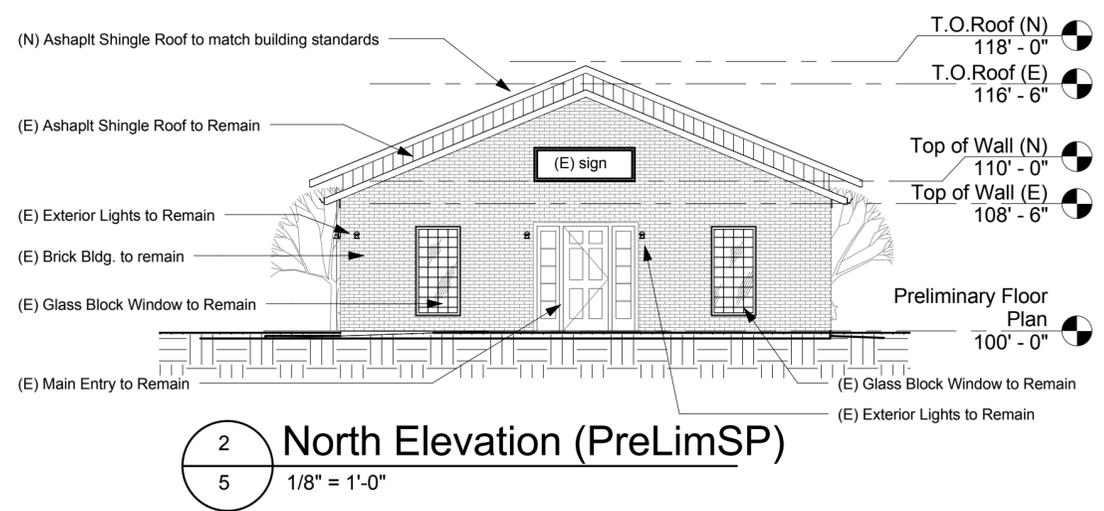
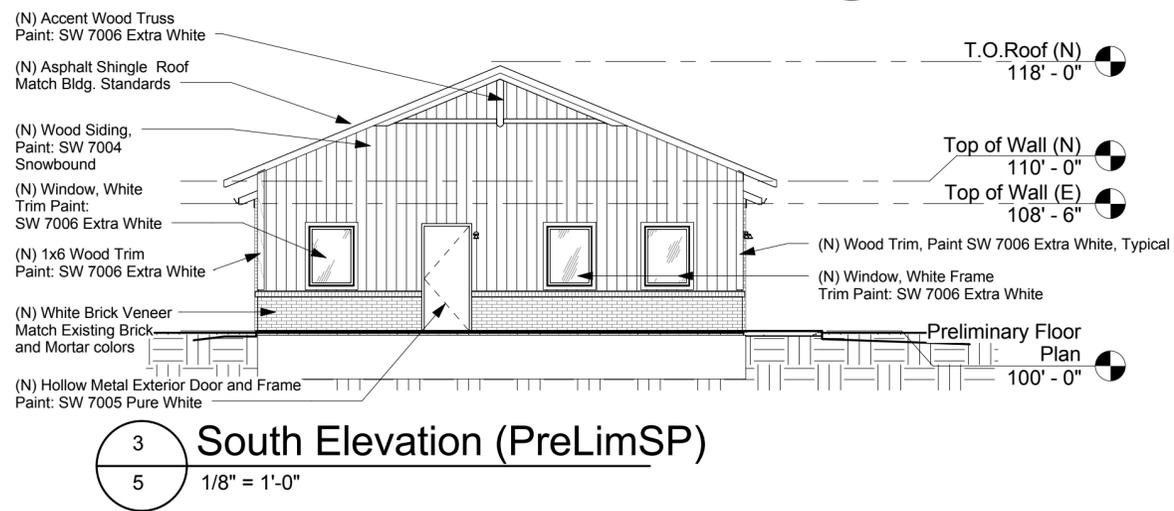
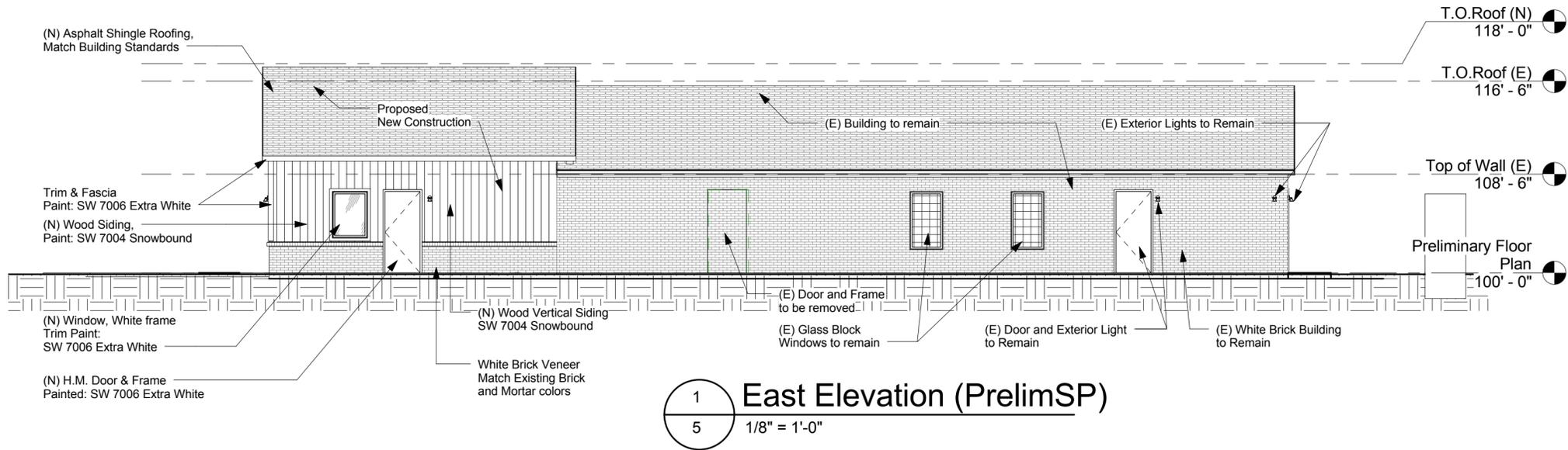
# Preliminary Site Plan Submittal

## Maple Veterinary Hospital

2981 Iowa Drive,  
 Troy, MI

Project Number: 14326  
 Sheet Number: 3 of 6  
 Sheet Name: Landscape & Existing Drainage  
 Date Issued: 06/02/2015

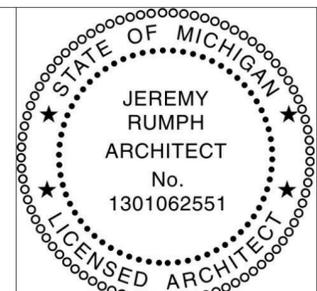




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**Preliminary Site Plan Submittal**  
**Maple Veterinary Hospital**  
**2981 Iowa Drive,**  
**Troy, MI**

Project Number: **14326**  
 Sheet Number: **5 of 6**  
 Sheet Name: **Elevations**  
 Date Issued: **06/02/2015**



1 Proposed 3D Color Rendering  
6



2 Existing Building  
6 1 1/2" = 1'-0"

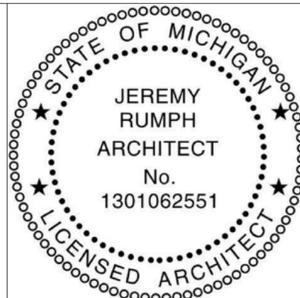


Existing Building Photograph  
1/4" = 1'-0"

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# Preliminary Site Plan Submittal

## Maple Veterinary Hospital

2981 Iowa Drive,  
Troy, MI

Project Number: **14326**  
 Sheet Number: **6 of 6**  
 Sheet Name: **Proposed 3D Color Rendering**  
 Date Issued: **06/02/15**

DATE: June 5, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 1007) – Proposed Evangel Baptist Church of Troy Auditorium, South of Maple, West of Dequindre (2900 Lovington), Section 36, Currently Zoned RT (One Family Attached Residential) and IB (Integrated Industrial and Business) Districts

The petitioner SK Properties submitted the above referenced Preliminary Site Plan application for a proposed church addition and parking lot expansion at the Evangel Baptist Church of Troy at 2900 Lovington.

The property is currently zoned RT (north portion) and IB (south portion). Planning Commission has the authority to grant Preliminary Site Plan Approval for this project.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

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**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN REVIEW (File Number SP 1007) – Proposed Evangel Baptist Church of Troy Auditorium, South of Maple, West of Dequindre (2900 Lovington), Section 36, Currently Zoned RT (One Family Attached Residential) and IB (Integrated Industrial and Business) Districts

**Resolution # PC-2015-06-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Evangel Baptist Church of Troy Auditorium, located south of Maple, west of Dequindre (2900 Lovington), Section 36, within the RT (One Family Attached Residential) and IB (Integrated Industrial and Business) Districts, be (granted, subject to the following):

\_\_\_\_\_ ) or

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons:

1. Work with engineering department regarding stormwater and incorporate best management practices.
2. Provide a sidewalk along the entire length of the handicapped spaces.
3. Add a 5-foot sidewalk along Lovington or seek a sidewalk waiver.
4. Provide a 10-foot greenbelt for the area of the expanded parking lot or seek a variance from the Zoning Board of Appeals.
5. Relocate the three spaces adjacent to the existing building.
6. Provide a landscape plan that is prepared and sealed by a licensed landscape architect.
7. In relation to the parking lot setback noted above, the applicant shall provide a ten-foot greenbelt with screening alternative 1 or 2 or obtain variance from Zoning Board of Appeals.
8. Make the stormwater detention either more of an amenity or natural feature of the site or relocate to a less visible location on site.
9. Add an additional landscape island within the row of 26 spaces.
10. Meet lighting level standard.
11. Provide fixture height for freestanding pole lighting.
12. Provide a fixture cut sheet to ensure lighting is fully shielded.
13. Reduce lighting levels at night to reduce impact on adjacent homes.
14. Applicant is encouraged to enhance façade treatment along the north elevation.

Yes:

No:

**MOTION CARRIED/FAILED**







CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: June 3, 2015

## Site Plan Review For City of Troy, Michigan

<b>Applicant:</b>	Saber Kassab, SK Properties
<b>Project Name:</b>	Evangel Baptist Church Addition
<b>Plan Date:</b>	May 8, 2015
<b>Location:</b>	2900 Lovington Drive, west of Dequindre Road
<b>Zoning:</b>	RT One Family Attached Residential and IB Integrated Industrial Business District (Proposed improvements are located in IB Zoning District)
<b>Action Requested:</b>	Site Plan Approval

### PROJECT AND SITE DESCRIPTION

The applicant is requesting site plan approval for an addition and site improvements to an existing place of worship located on Lovington Drive, west of Dequindre. The proposed addition is 5,360 sq. ft., primarily sanctuary/assembly space. Other proposed site improvements include reconfiguring and increasing the parking lot, adding new landscaping, and providing stormwater management.

The northern portion of the subject site is zoned RT One Family Attached Residential; however the southern portion where the the building addition and parking lot expansion is zoned IB Integrated Industrial Business District, and adjacent to IB, Integrated Industrial Business. The building will remain a place of worship, which is a permitted use in the IB Zoning District.

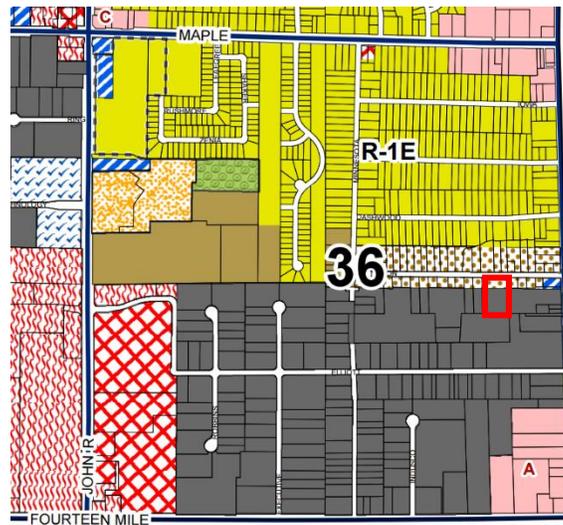
The subject site is located within the 100-year floodplain based on the City's Flood Hazard Area maps (Figure 3). Due to the building addition and parking lot expansion, the applicant is providing a new detention pond at the northwest corner of the site.

**Figure 1. Location of Subject Site**



Source: Google Earth

**Figure 2. Zoning for Subject Site**



 RT ONE FAMILY ATTACHED

 IB INTEGRATED INDUSTRIAL BUSINESS DISTRICT

Source: City of Troy Zoning Map

**Table 1. Adjacent Properties**

	<u>Master Plan</u>	<u>Zoning</u>	<u>Use</u>
North	Single Family Residential	RT One Family Attached	Residential
South	Single Family Residential	IB Integrated Industrial Business District	Industrial
East	Single Family Residential	RT One Family Attached, IB Integrated Industrial Business District	Residential
West	Single Family Residential	RT One Family Attached, IB Integrated Industrial Business District	Residential

**NATURAL RESOURCES**

- Topography:** The subject site is generally flat.
- Woodlands:** The subject site is previously developed. The survey does not indicate existing woodlands on the site. There are trees along Lovington Drive.
- Wetlands:** The survey does not indicate existing wetlands.
- Stormwater:** The City’s Flood Hazard Area map indicates that the subject site is located within the 100-year floodplain. Any proposed earth movement will require a permit from MDEQ and/or FEMA. The applicant has proposed a 25-year storm water detention pond at the northwest corner of the site. Because this site is located within the floodplain, we encourage the applicant to incorporate stormwater management best management practices.

**Figure 3. Flood Hazard Area**



**Items to be Addressed:** Work with engineering department regarding stormwater and incorporate best management practices.

**BUILDING LOCATION AND SITE ARRANGEMENT**

The subject site is currently improved with a 7,700 sq. ft., L-shaped building, currently used as a Place of Worship. The main entrance to the existing building is to the west, facing the parking lot. The proposed addition is 5,360 sq. ft. and is located south of the existing building. The main building and addition are connected with a 20 ft. by 20 ft. lobby.

The applicant is proposing to reconfigure the existing parking lot to provide two aisles running north-south with rows of perpendicular parking on either side. The storage shed and dumpster will be relocated. The sidewalk from the parking lot to the new addition terminates into a handicapped space. The applicant should provide a sidewalk along the entire length of the handicapped spaces in order to provide adequate access from the parking lot to the new addition. The applicant is required to add a 5-foot sidewalk along Lovington or seek a sidewalk waiver.

**Items to be Addressed:** 1) Provide a sidewalk along the entire length of the handicapped spaces; and 2). Add a 5-foot sidewalk along Lovington or seek a sidewalk waiver.

**AREA, WIDTH, HEIGHT, SETBACKS**

The subject site has two zoning classifications – IB Integrated Industrial Business and RT One Family Attached Residential. The proposed building addition is located in the portion of the site zoned IB District.

**Table 2. Adjacent Properties**

	<u>Required</u>			<u>Provided</u>	<u>Compliance</u>
	<u>Places of Worship</u>	<u>RT</u>	<u>IB</u>		
Max. Building Height					
Stories		2 ½	4	1	Complies
Feet		30 ft	50 ft	26'-8"	Complies
Setbacks					
Front	50 ft	25 ft	30 ft	59'-8"	Complies
Rear	50 ft	10 ft	20 ft	151'-7"	Complies
Side (Least)	50 ft	20 ft	10 ft	61'-9"	Complies
Side (Total)	100 ft	35 ft	20 ft	100 ft +	Complies
Max. Lot Coverage		30 %	40 %	10.7 %	Complies

The applicant has met the more restrictive requirements of the RT Zoning District as well as specific use provisions for Places of Worship, set forth in Section 6.21.

**Items to be Addressed:** None

**PARKING, LOADING**

**Table 3. Off-Street Parking Requirements**

	<u>Requirement</u>	<u>Required</u>	<u>Provided</u>	<u>Compliance</u>
<b>Existing</b>	1 space per 3 seat or 6 ft. of pews	14 pews of 14.35 ft (34 spaces)	34 spaces	Complies
<b>Addition</b>	1 space per 3 seat or 6 ft. of pews	28 pews of 15.85 ft. (74 spaces)	74 spaces	Complies
<b>Accessible</b>	5 accessible spaces per 101-150 spaces	5 spaces	5 spaces	Complies

*\*Based on applicant’s parking calculation.*

The applicant is reconfiguring the existing parking lot layout. The current parking lot and the proposed expansion directly abuts the western and southern property line. Section 13.06.C, requires paved areas be ten (10) feet from any side lot line that abuts an adjacent residentially zoned or used property. The adjacent western property is used as a residential property. Because it is an existing condition, the existing parking area does not need to meet the 10-foot greenbelt. However even though the expanded parking area is following the same setback line as the existing and abuts the rear portion of the residential property, the expanded parking lot area must either provide a 10-foot greenbelt or seek a variance from the Zoning Board of Appeals.

To meet the parking requirements the applicant has added three (3) spaces adjacent to the existing building. The existing building blocks the view of cars backing out of these spaces, and may create a traffic conflict. Also, these spaces appear to be directly adjacent to a primary building entrance. These three spaces should be relocated.

**Items to be Addressed:** 1). Provide a 10-foot greenbelt for the area of the expanded parking lot or seek a variance from the Zoning Board of Appeals; and 2). Relocate the three spaces adjacent to the existing building.

**SITE ACCESS AND CIRCULATION**

The subject site is served by an existing 26 ft wide driveway off of Lovington Drive. The driveway supports two lanes of traffic. The applicant has proposed reconfiguring the parking lot to improve the flow of vehicular traffic on site. The applicant will remove asphalt and concrete pathways south of the existing building. A new concrete sidewalk will be extended around the new addition and provide a clear, accessible pathway from new building exits.

**Items to be Addressed:** None

**LANDSCAPING**

The applicant has provided a landscaping plan, however, per Section 13.02, the applicant shall provide a landscape plan prepared and sealed by a licensed landscape architect for sites one (1) acre or greater. The site is over two (2) acres and is subject to this requirement.

**Table 4. Landscape Requirements**

	<u>Requirement</u>	<u>Required</u>	<u>Provided</u>	<u>Compliance</u>
Greenbelt (Lovington)	Min. of 10 ft. 1 tree per 30 ft. (deciduous)	300 / 30 = 10 trees	9 trees	Does not comply. Need to add one additional tree
Greenbelt (parking lot expansion adjacent to western property line)	Min. of 10 ft. 1 tree per 30 ft. (deciduous) with screening Alt 1 or 2	Min. of 10 ft. 1 tree per 30 ft. (deciduous) with screening Alt 1 or 2	None	Does not comply
Site Landscape	Min. 20 %	122,324 X 20% = 24,464 sq. ft.	64,946 sq. ft.	Complies
Parking Lot Landscape	1 tree per 8 ft	108 / 8 = 14 trees	14 trees. However only four (4) are located with parking lot	Planning Commission may permit parking lot trees to be planted outside of parking lot.
Stormwater Detention			Grass	See note below

Greenbelt:

In relation to the parking lot setback noted above, the applicant shall provide a ten-foot greenbelt with screening alternative 1 or 2; or obtain variance from Zoning Board of Appeals.

Parking lot landscaping

The applicant has provided the required number of parking lot trees; however only four (4) are located with the parking lot. There is a row twenty-six (26) spaces in the center of the parking

lot with no break for landscaping. We recommend that the Planning Commission consider requiring an additional landscape island be placed within the row of 26 spaces.

### Stormwater Detention

Due to the building addition and parking lot expansion, the applicant is providing a new detention pond at the northwest corner of the site. The applicant only indicates turf grass for landscaping. The applicant should either make this more of an amenity or natural feature of the site or relocate to a less visible location on site.

### Trash enclosure

The applicant has provided a trash enclosure screening that match the existing building.

**Items to be Addressed:** 1). Applicant shall provide a landscape plan that is prepared and sealed by a licensed landscape architect; 2). In relation to the parking lot setback noted above, the applicant shall provide a ten-foot greenbelt with screening alternative 1 or 2 or obtain variance from Zoning Board of Appeals; 3). Make the stormwater detention either more of an amenity or natural feature of the site or relocate to a less visible location on site; and 4). Add an additional landscape island within the row of 26 spaces.

## LIGHTING

The applicant has provided a lighting photometric plan. The light levels appears to exceed one (1) foot-candle along the western property line. Per Section 13.05.C.2, light shall not exceed one-tenth (0.1) foot-candles along any boundary adjacent to residentially zoned or used property. The applicant shall reduce light levels to meet ordinance standards. Applicant should provide a fixture cut sheet to ensure lighting is fully shielded. Applicant shall provide the height of the freestanding light fixtures. Maximum height shall be 25 feet. Lighting levels should be reduced between 11 pm and sunrise.

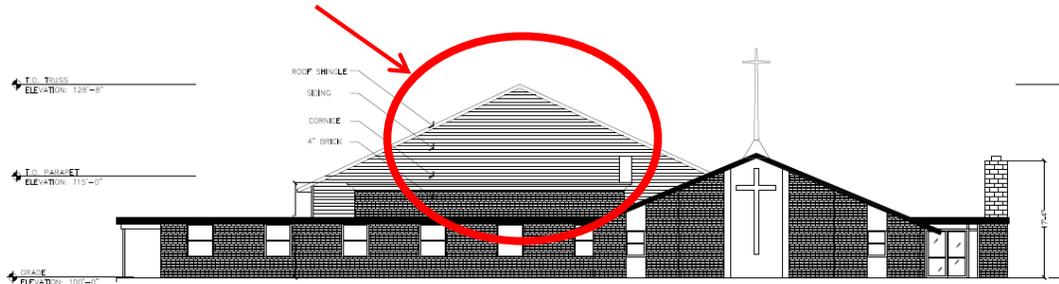
**Items to be Addressed:** 1). Applicant shall meet lighting level standard; 2). Applicant shall provide fixture height for freestanding pole lighting; 3). Applicant should provide a fixture cut sheet to ensure lighting is fully shielded; and 4). Applicant shall reduce lighting levels at night to reduce impact on adjacent homes.

## FLOOR PLAN AND ELEVATIONS

The applicant has provided floor plans and elevations for the building addition. The addition will have 4" brick for the new lobby entry. The brick will continue along the bottom 3 ft. of the east and west elevations. The rest of the addition will be clad in siding, presumably vinyl siding. The addition is taller than the existing building and the north elevation will be visible from Lovington Road. We encourage the applicant to break up the siding on the north elevation by incorporating

more brick or other materials to visually break up the large blank wall. One option would be to replicate the brick detail on the main building.

**Figure 5. North Elevation**



**Items to be Addressed:** Applicant is encouraged to enhance façade treatment along the north elevation.

## RECOMMENDATIONS

We support the expansion of the church property; however, we recommend that prior to preliminary site plan approval the applicant resubmits the following:

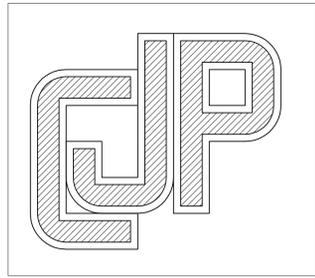
1. Work with engineering department regarding stormwater and incorporate best management practices.
2. Provide a sidewalk along the entire length of the handicapped spaces.
3. Add a 5-foot sidewalk along Lovington or seek a sidewalk waiver.
4. Provide a 10-foot greenbelt for the area of the expanded parking lot or seek a variance from the Zoning Board of Appeals.
5. Relocate the three spaces adjacent to the existing building.
6. Provide a landscape plan that is prepared and sealed by a licensed landscape architect.
7. In relation to the parking lot setback noted above, the applicant shall provide a ten-foot greenbelt with screening alternative 1 or 2 or obtain variance from Zoning Board of Appeals.
8. Make the stormwater detention either more of an amenity or natural feature of the site or relocate to a less visible location on site.
9. Add an additional landscape island within the row of 26 spaces.
10. Meet lighting level standard.
11. Provide fixture height for freestanding pole lighting.
12. Provide a fixture cut sheet to ensure lighting is fully shielded.
13. Reduce lighting levels at night to reduce impact on adjacent homes.
14. Applicant is encouraged to enhance façade treatment along the north elevation.

*Evangel Baptist Church*  
*June 3, 2015*

---

# 225-1431

cc: Saber Kassab, Applicant  
Haris Hakim, Engineer



CJP  
 ENGINEERING & DESIGN  
 7180 PEBBLE PARK DR  
 WEST BLOOMFIELD, MI 48322  
 harishakim@yahoo.com  
 PH: (248)376-5006  
 FAX: (248)297-6121

# Evangel Baptist Church Addition

2900 LOVINGTON DR.  
 TROY, MICHIGAN

## OWNER:

# Evangel Baptist Church

2900 LOVINGTON DR.  
 TROY, MICHIGAN  
 PH: (248)361-6161

<b>PROJECT:</b> Evangel Baptist Church Addition
<b>LOCATION:</b> 2900 LOVINGTON DR. TROY, MICHIGAN
<b>OWNER:</b>

### PROPERTY DESCRIPTION

Lots 80, 81 and 82 "Dequindre Estates", a Subdivision of part of the East 1/2 Section 36, T.2N., R.11E., Troy Twp. (now called City of Troy), Oakland County, Michigan as recorded in Liber 14, Page 47 of the OCR.

Drawing Index
- COVER SHEET
- SURVEY
SP-1 PROPOSED SITE PLAN
SP-2 PROPOSED LANDSCAPE PLAN
SP-3 PROPOSED GRADING PLAN
SP-4 PROPOSED LIGHTING -PHOTOMETRIC PLAN
A-1 PROPOSED FLOOR PLAN
A-2 PROPOSED ELEVATIONS
A-3 PROPOSED ELEVATIONS

DATE: 05/08/2015	COVER SHEET
REVISIONS	SHEET NOS.

**PROPERTY DESCRIPTION**

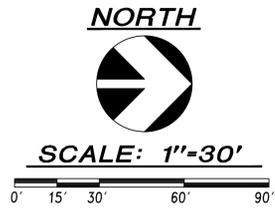
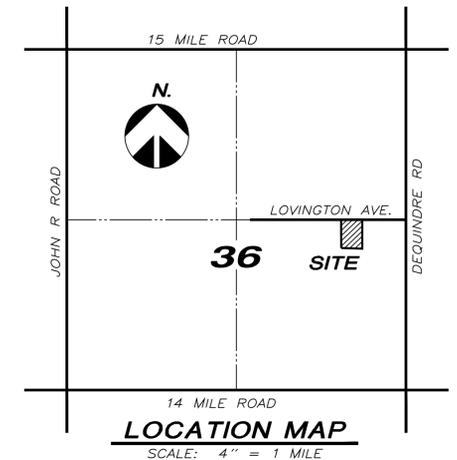
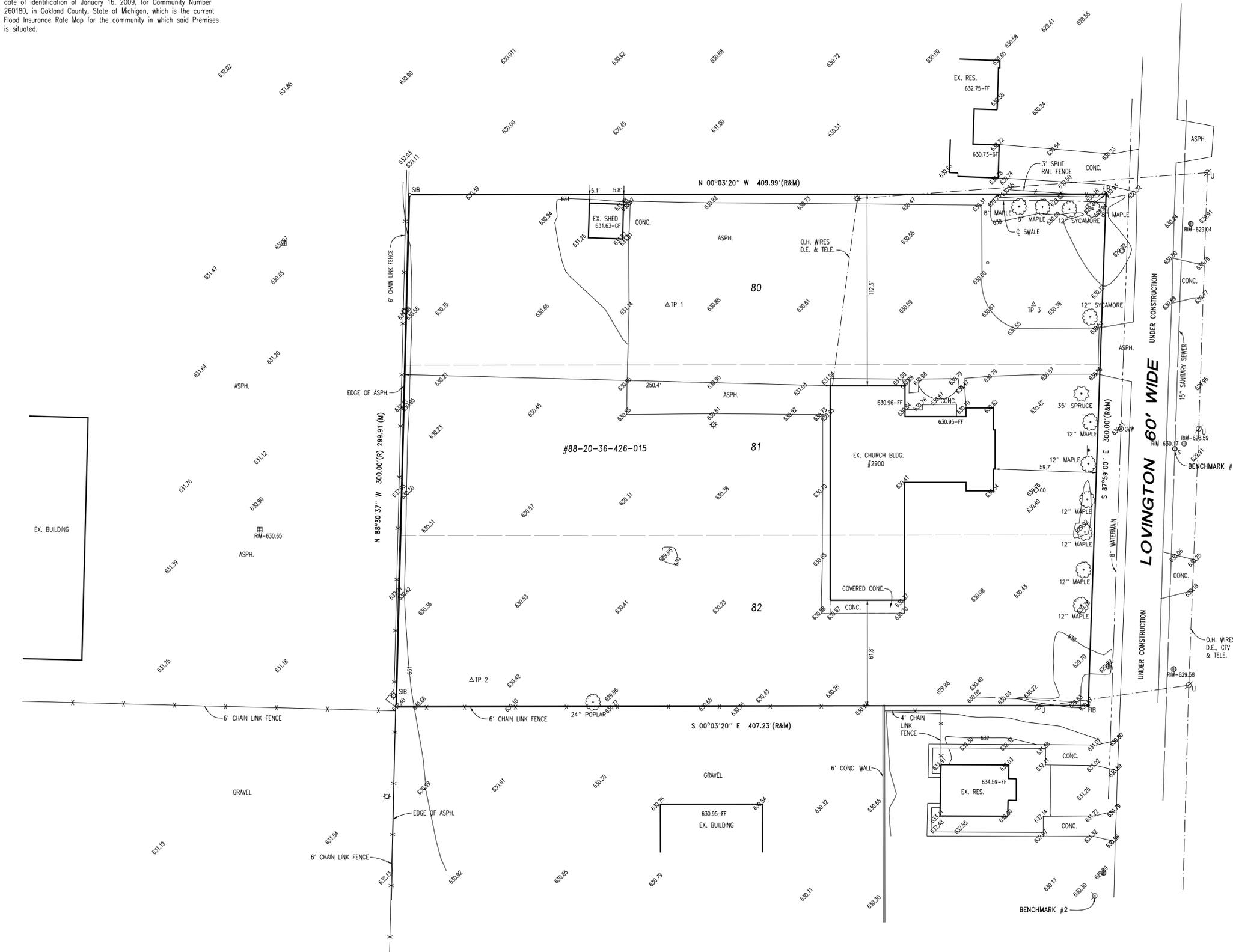
Lots 80, 81 and 82 "Dequindre Estates", a Subdivision of part of the East 1/2 Section 36, T.2N., R.11E., Troy Twp. (now called City of Troy), Oakland County, Michigan as recorded in Liber 14, Page 47 of the OCR.

**NOTE**

Said described property is located within an area having a Zone Designation of AE by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 26125C0562G, with a date of identification of January 16, 2009, for Community Number 260180, in Oakland County, State of Michigan, which is the current Flood Insurance Rate Map for the community in which said Premises is situated.

**NOTE**

THE LOCATION OF UTILITIES SHOWN ON THIS SURVEY, BOTH ABOVE AND BELOW GROUND, ARE SHOWN FROM INFORMATION OF RECORD SUPPLIED TO THE SURVEYOR AND A VISUAL INSPECTION OF THE PREMISES; NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. EXACT LOCATION SHOULD BE VERIFIED IN THE FIELD WITH THE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION WHICH MAY AFFECT THE UTILITY.



**BENCHMARKS**

B.M. #1 ELEV.=630.17  
 SANITARY RIM 5' NORTH OF NORTH  
 EDGE OF ROAD OPPOSITE #2900 LOVINGTON  
 DATUM - NAVD 88

B.M. #2 ELEV.=632.98  
 TOP OF HYDRANT 110' EAST OF NORTHEAST  
 CORNER OF PROPERTY  
 DATUM - NAVD 88

**LEGEND**

- ⊙ ROUND CATCH BASIN
- ⊠ SQUARE CATCH BASIN
- UTILITY MANHOLE
- ⊙ STORM MANHOLE
- < END OF PIPE
- SANITARY MANHOLE
- CLEAN-OUT
- MANHOLE
- HYDRANT
- GATE VALVE WELL
- WATER VALVE
- WATER BOX
- VALVE
- LIGHT POLE
- ⊠ AIR CONDITIONER
- ⊠ MAIL BOX
- FENCE POST
- DOWN SPOUT
- ⊕ SOIL BORING
- ⊠ ELEC TRANS PAD
- UTILITY POLE
- GUY ANCHOR
- GUY POLE
- SIGN POST
- SPRINKLER HEAD
- GAS METER
- TELEPHONE RISER
- ELECTRICAL RISER
- CABLE TV RISER
- FF FINISHED FLOOR
- GF GARAGE FLOOR
- BF BASEMENT FLOOR
- C CONCRETE
- CONC. CONCRETE
- SWN SET MAG. MAIL
- SIB SET IRON BAR
- FIB FOUND IRON BAR
- F-MON FOUND C. MONUMENT

**LEGEND**

- - - EX. WATER MAIN
- - - EX. STORM SEWER
- - - EX. SAN. SEWER
- - - EASEMENT
- - - EX. U.G. ELEC.
- - - EX. O.H. WIRES
- - - EX. U.G. TELE.
- - - EX. U.G. GAS

**3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES**

**Contractor Note:**  
 The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

**TOPOGRAPHIC SURVEY**  
 PART OF THE S.E. 1/4 OF SECTION 36  
 T.2N., R.11E., CITY OF TROY,  
 OAKLAND COUNTY, MICHIGAN

ADDITIONS AND/OR REVISIONS  
 DATE  
 130312-8655  
 Job No.  
 Date 5-17-13  
 Drawn T.M.P.  
 Check J.L.M.  
 Sheet 1 OF 1  
 Fl. Bk.  
 5/4/15  
 11/23/14  
 REMOVED IRRES PER CLIENT  
 CLIENT NAME

FOR:  
 EVANGEL BAPTIST CHURCH OF TROY  
 2900 LOVINGTON  
 TROY, MI 48063  
 SAM KASSAB (248) 361-6161

PHONE 886 731-8030  
 FAX 886 731-2605

**URBAN LAND CONSULTANTS**  
 PLANNERS LAND SURVEYORS  
 CIVIL ENGINEERS SHELBY TWP., MI 48316-4516  
 8600 23 MILE ROAD



CJP  
ENGINEERING & DESIGN  
7180 PEBBLE PARK DR  
WEST BLOOMFIELD, MI 48322  
harishakim@yahoo.com  
PH: (248)376-5006  
FAX: (248)297-6121

PROJECT:  
EVANGEL BAPTIST CHURCH  
ADDITION

LOCATION:  
2900 LOVINGTON DR.  
TROY, MICHIGAN

OWNER:

SUBMITAL:

DATE  
05/08/2015

REVISIONS:

DESIGNED BY:

DRAWN BY:

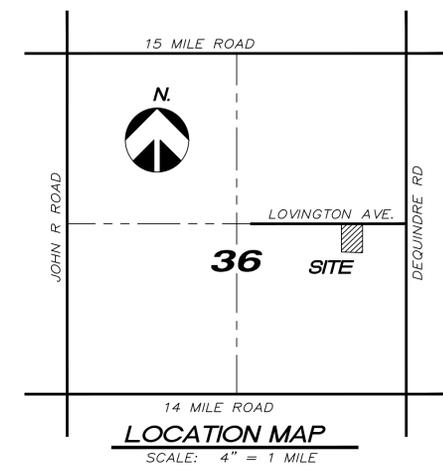
APPROVED BY:  
HARIS HAKIM, P.E.

SEAL

SHEET TITLE  
PROPOSED SITE PLAN

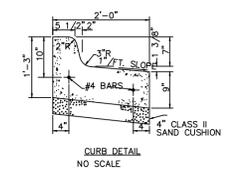
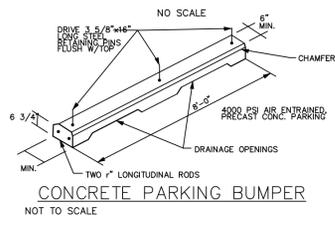
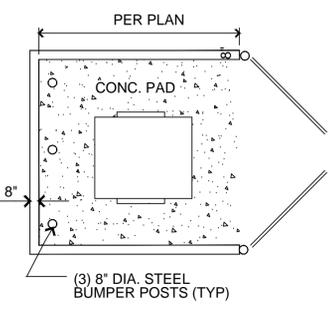
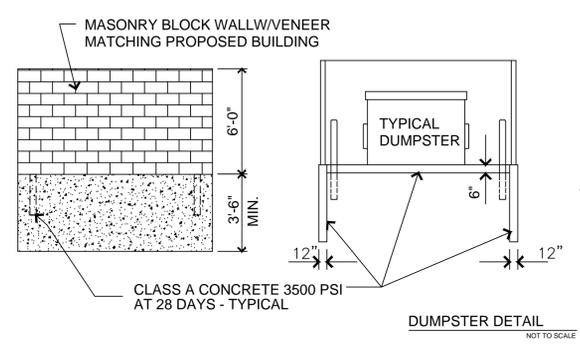
SCALE  
NOTED

SHEET #  
SP-1



**PROPERTY DESCRIPTION**

Lots 80, 81 and 82 "Dequindre Estates", a Subdivision of part of the East 1/2 Section 36, T.2N., R.11E., Troy Twp. (now called City of Troy), Oakland County, Michigan as recorded in Liber 14, Page 47 of the OCR.



**SITE DATA**

GOVERNING CODE: MICHIGAN BUILDING CODE 2012  
CITY OF TROY ZONING ORDINANCE  
BUILDING USE: CHURCH

AREA OF THE PROPERTY = 122,324 SQ.FT. = 2.808 ACRES

EXISTING BUILDING AREA = 7,701 SQ.FT.  
PROPOSED BUILDING AREA = 5,360 SQ.FT.  
EXISTING & PROPOSED BUILDING AREA = 13,061 SQ.FT.

1- ZONING:  
EXISTING: [RT] ONE FAMILY ATTACHED EXISTING  
AND [IB] INTEGRATED INDUSTRIAL AND BUSINESS DISTRICT

THE PROPOSED ADDITION IS IN THE IB ZONING PORTION

2- BUILDING HEIGHT:  
MAX. ALLOWED = 30'  
EXISTING = 18'-6"  
PROPOSED = 26'-8"

3- LOT COVERAGE:  
MAX. ALLOWED = 30%  
EXISTING = 6.3%  
PROPOSED = 4.4%  
EXISTING & PROPOSED = 10.7%

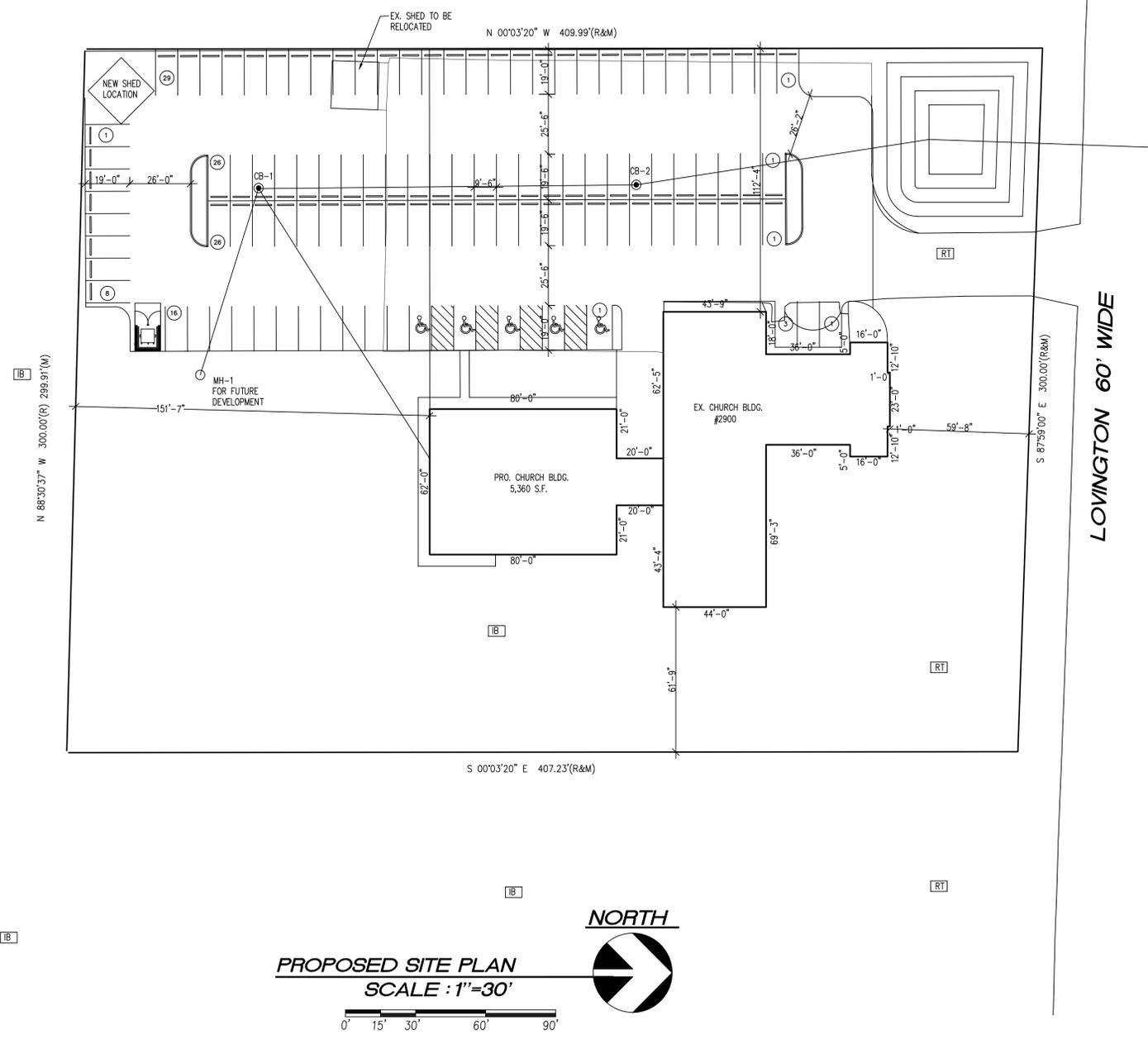
4- SETBACK REQUIREMENTS:  
FRONT, MIN. REQ. = 50' PROVIDED = 59.66' (EXISTING)  
SIDES, MIN. REQ. = 50' PROVIDED = 61.74' (EXISTING)  
REAR, MIN. REQ. = 50' PROVIDED = 151.56' (PROPOSED)

5- PARKING REQUIREMENTS

1 SPACE FOR EACH 3 SEATS OR 6 FEET OF PEWS IN THE MAIN UNIT OF WORSHIP  
14 PEWS OF 14.35 L.F.  
= 14X14.35=201 FEET/6=33.4 SPACES

28 PEWS OF 15.85 L.F.  
= 28X15.85=444/6=74 SPACES  
TOTAL 33.4+74=107.4=107 SPACES

TOTAL PARKING SPACES PROVIDED=108 SPACE (INCLUDING 5 H.C.)  
TOTAL PARKING SPACES REQUIRED=107 SPACE



LOVINGTON 60' WIDE



CJP  
ENGINEERING & DESIGN  
7180 PEBBLE PARK DR  
WEST BLOOMFIELD, MI 48322  
harishakim@yahoo.com  
PH: (248)376-5006  
FAX: (248)297-6121

PROJECT:  
EVANGEL BAPTIST CHURCH  
ADDITION

LOCATION:  
2900 LOVINGTON DR.  
TROY, MICHIGAN

OWNER:

SUBMITAL:

DATE  
05/08/2015

REVISIONS:

DESIGNED BY:

DRAWN BY:  
M.S.

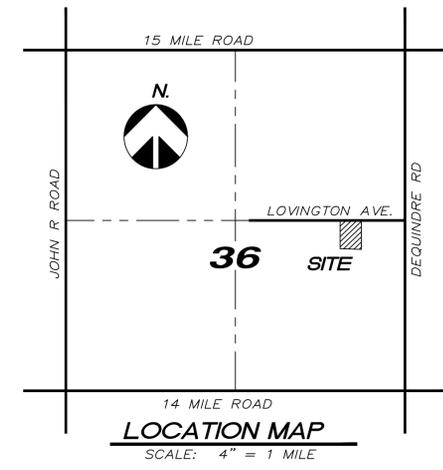
APPROVED BY:  
HARIS HAKIM, P.E.

SEAL

SHEET TITLE  
PROP. LANDSCAPE PLAN

SCALE  
NOTED

SHEET #  
SP-2



**PROPERTY DESCRIPTION**

Lots 80, 81 and 82 "Dequindre Estates", a Subdivision of part of the East 1/2 Section 36, T.2N., R.11E., Troy Twp. (now called City of Troy), Oakland County, Michigan as recorded in Liber 14, Page 47 of the OCR.

**LANDSCAPE DATA :**

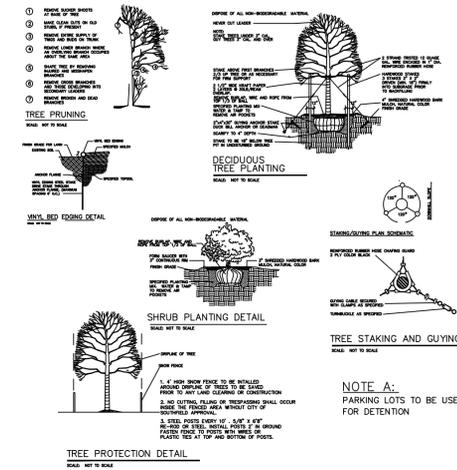
**GREENBELT REQUIREMENTS:**

-GREENBELT SHALL BE A MINIMUM OF TEN (10) FEET IN WIDTH.  
-THE GREENBELT SHALL BE LANDSCAPED WITH A MINIMUM OF ONE (1) DECIDUOUS TREE FOR EVERY THIRTY (30) LINEAL FEET OF FRONTAGE ABUTTING A PUBLIC ROAD RIGHT-OF-WAY=272/30=9 DECIDUOUS TREE  
TOTAL NUMBER OF DECIDUOUS TREE REQUIRED = 9  
TOTAL NUMBER OF DECIDUOUS TREE PROVIDED = 9 EXISTING

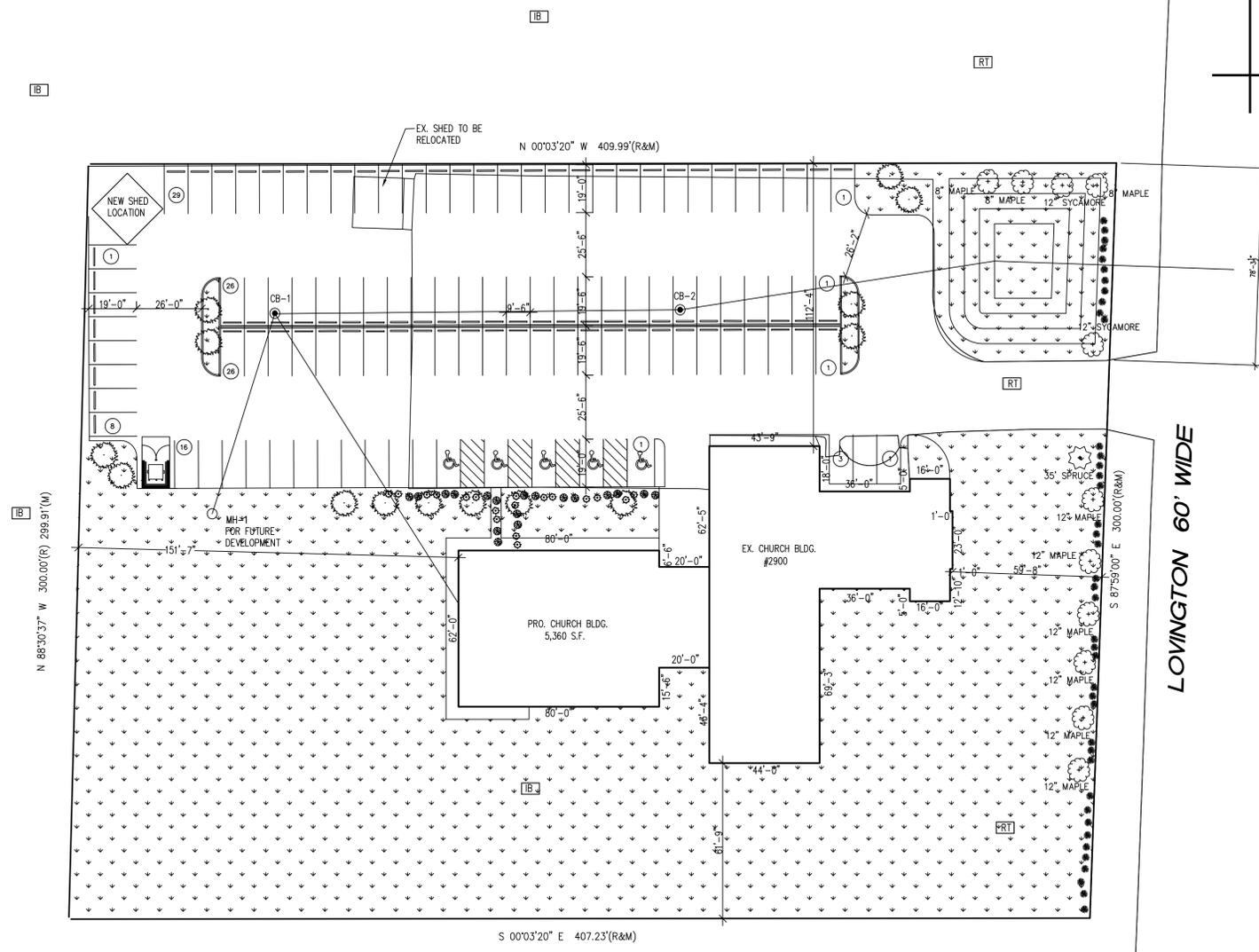
**LANDSCAPING CALCULATIONS:**  
MINIMUM OF TWENTY PERCENT (20%) OF THE SITE AREA SHALL BE COMPRISED OF LANDSCAPE MATERIAL.  
LANDSCAPE MATERIAL AREA REQUIRED=122,324X 20% =24464 SQ. FT.  
LANDSCAPE MATERIAL AREA PROVIDED =64946 SQ. FT.

**PARKING LOT LANDSCAPING :**  
A MINIMUM OF ONE (1) TREE FOR EVERY EIGHT (8) PARKING SPACES.  
LANDSCAPE MATERIAL AREA REQUIRED= 108 / 8 = 14 TREES  
LANDSCAPE MATERIAL AREA PROVIDED = 14 TREES

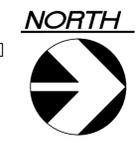
PLANT LIST	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL
18	36 IN HIGH	Eurospira alata 'Compacta'	Deerf Burning Bush	⊙
18	36 IN HIGH	Eurospira Fortunei 'Emerald N Gold'	Emerald N Gold	⊙
43	36 IN HIGH	Pinus Strobus 'Blue Shag'	Deerf Eastern White Pine	⊙
0	8'-3" CALIPER	GLEDITSIA TRIACANTHOS	TRUE SHADE HONEYLOCUST	⊙
16	8'-18 FEET TALL	PIZZA PLUNGERA 'HEDSPII'	HEADSPII SPRUCE	⊙
12	AS SHOWN ON THE PLAN			⊙



NOTE A:  
PARKING LOTS TO BE USED FOR DETENTION



**PROPOSED LANDSCAPE PLAN**  
SCALE : 1"=30'



LOVINGTON 60' WIDE



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WEST BLOOMFIELD, MI 48322  
harishakim@yahoo.com  
PH: (248)376-5006  
FAX: (248)297-6121

PROJECT:  
EVANGEL BAPTIST CHURCH  
ADDITION

LOCATION:  
2900 LOVINGTON DR.  
TROY, MICHIGAN

OWNER:

SUBMITAL:

DATE  
05/08/2015

REVISIONS:

DESIGNED BY:

DRAWN BY:

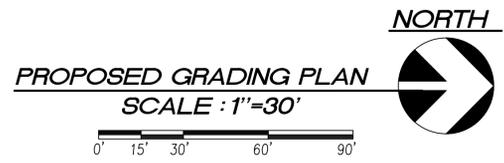
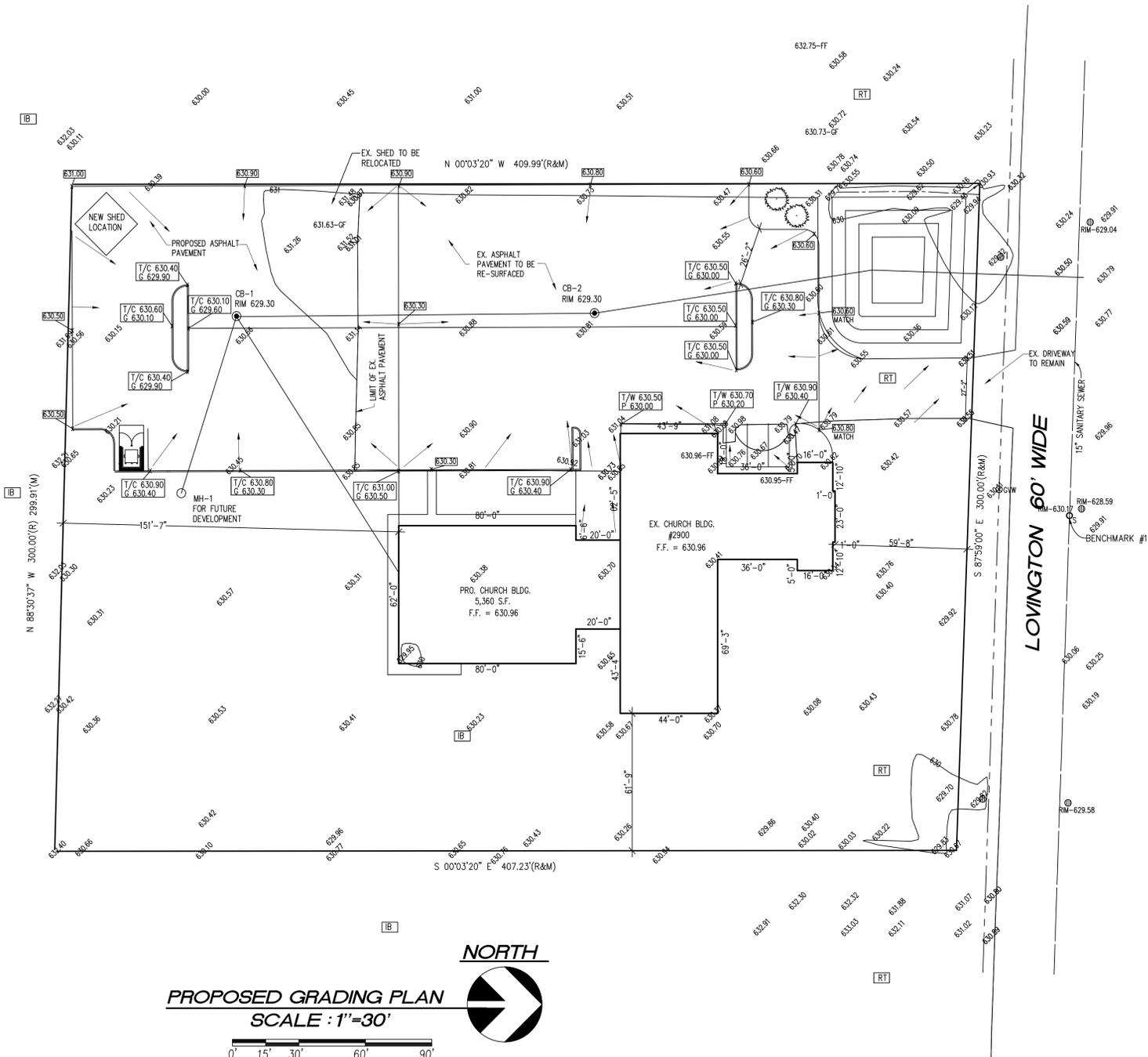
APPROVED BY:  
HARIS HAKIM, P.E.

SEAL

SHEET TITLE  
PROPOSED SITE PLAN

SCALE  
NOTED

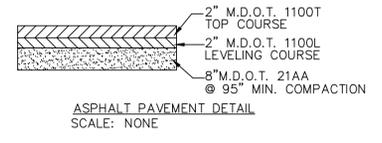
SHEET #  
SP-3



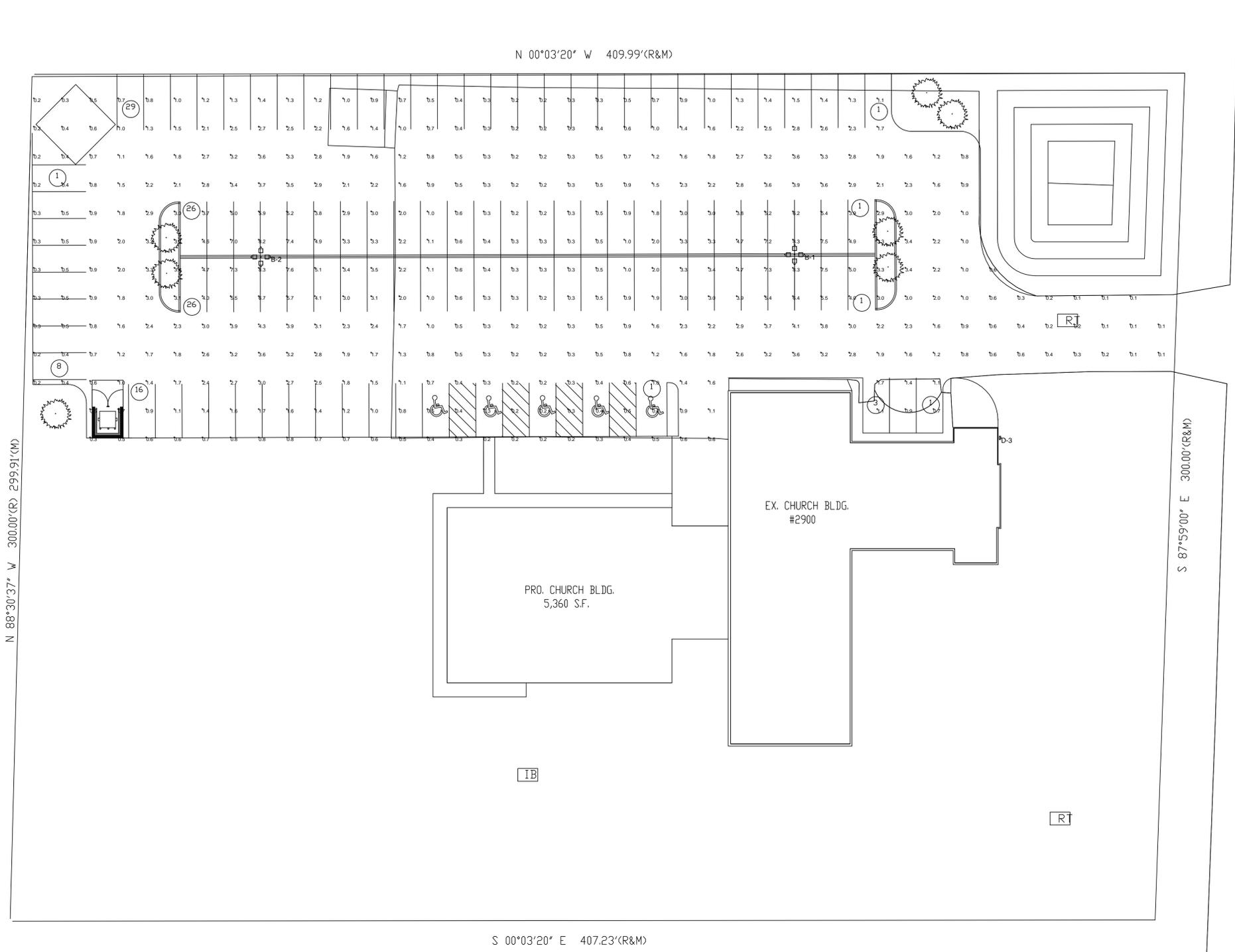
**BENCHMARKS**

B.M. #1 ELEV.=630.17  
SANITARY RIM 5' NORTH OF NORTH  
EDGE OF ROAD OPPOSITE #2900 LOVINGTON  
DATUM - NAVD 88

B.M. #2 ELEV.=632.98  
TOP OF HYDRANT 110' EAST OF NORTHEAST  
CORNER OF PROPERTY  
DATUM - NAVD 88



LOVINGTON 60' WIDE



**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	B	2	KSF2 400M R4SC (PROBE)	Specification Area Luminaire, 400W Metal Halide, R4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400-WATT CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION.	KSF2_400M_R4SC_(PROBE).IES	32000	0.81	1848
	D	1	TWH 175M FS (PROBE)	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR AND FULL SHIELD	ONE 175-WATT CLEAR ED-28 METAL HALIDE HORIZONTAL POSITION.	TWH_175M_FS_(PROBE).IES	12800	0.81	213

**LUMINAIRE LOCATIONS**

No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	B	308.3	348.1	25.0	25.0	0.0	0.0			
2	B	118.4	347.3	25.0	25.0	0.0	0.0			
3	D	381.3	283.3	16.0	16.0	90.5	0.0	381.3	283.3	0.0

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.8 fc	8.3 fc	0.1 fc	83.0:1	18.0:1

**CJP ENGINEERING & DESIGN**  
 7180 PEBBLE PARK DR  
 WEST BLOOMFIELD, MI 48322  
 horishakim@yahoo.com  
 PH: (248)376-5006  
 FAX: (248)297-6121

**PROJECT:**  
 EVANGEL BAPTIST CHURCH ADDITION

**LOCATION:**  
 2900 LOVINGTON DR.  
 TROY, MICHIGAN

**OWNER:**

**SUBMITAL:**

**DATE**  
 05/08/2015

**REVISIONS:**

**DESIGNED BY:**

**DRAWN BY:**

**APPROVED BY:**  
 HARIS HAKIM, P.E.

**SHEET TITLE**  
 PROPOSED LIGHTING-  
 PHOTOMETRIC PLAN

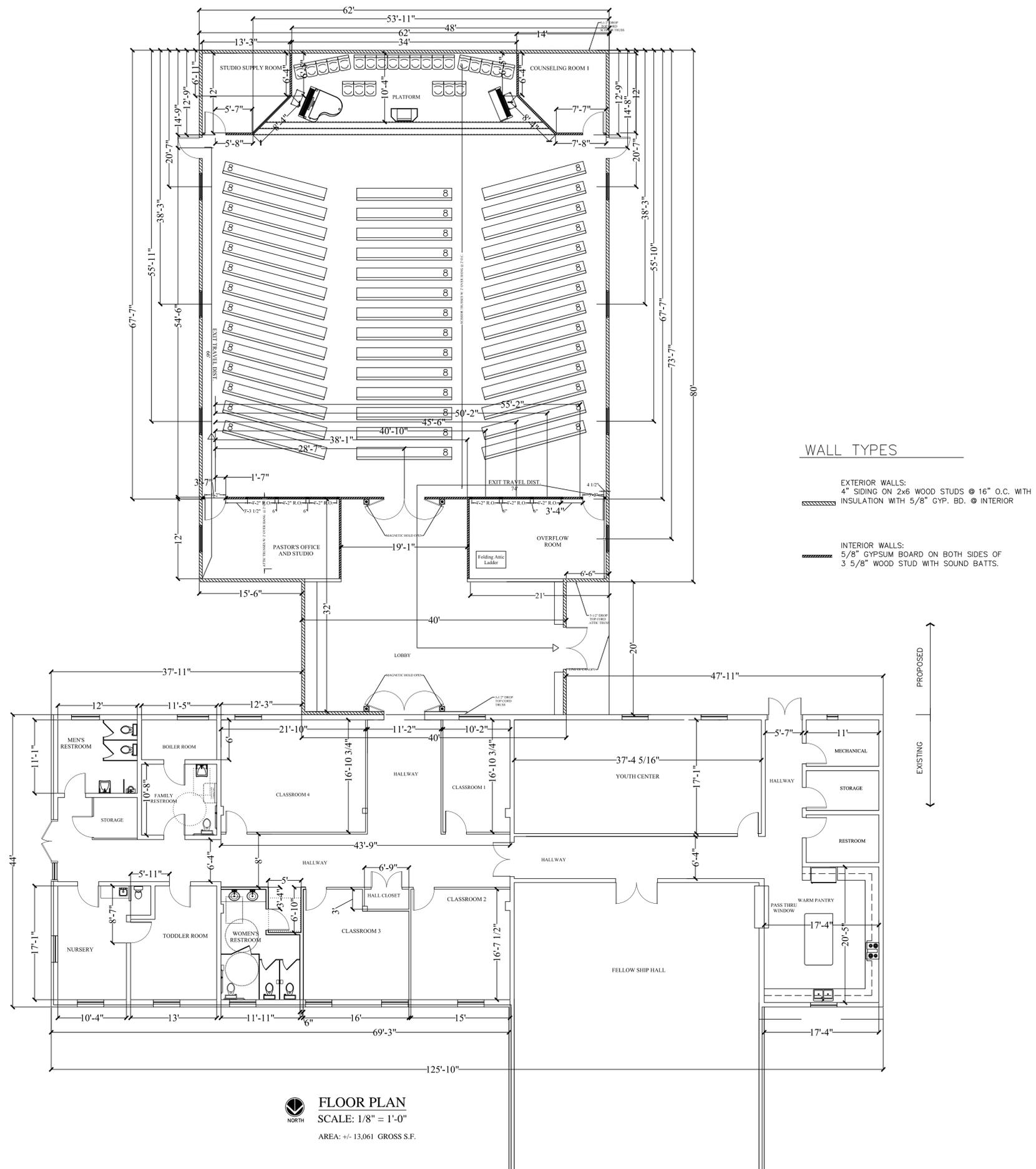
**SCALE**  
 NOTED

**SHEET #**  
 SP-4

**PROPOSED LIGHTING- PHOTOMETRIC PLAN**  
 Scale 1" = 20'

# BUILDING DATA

GOVERNING CODE: MICHIGAN BUILDING CODE 2012  
 USE GROUP: A-3  
 CONSTRUCTION TYPE: 5B  
 EXIT TRAVEL DIST. > 200' NO SPRINKLER SYSTEM REQUIRED  
 FLOOR AREA:  
 EXISTING BUILDING AREA = 7,701 SQ.FT.  
 PROPOSED BUILDING AREA = 5,760 SQ.FT.  
 EXISTING & PROPOSED BUILDING AREA = 13,461 SQ.FT.  
 OCCUPANT LOAD:  
 MAXIMUM FIXED SEAT=324





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 harishakim@yahoo.com  
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 FAX: (248)297-6121

**PROJECT:**  
 EVANGEL BAPTIST CHURCH  
 ADDITION

**LOCATION:**  
 2900 LOVINGTON DR.  
 TROY, MICHIGAN

**OWNER:**

**SUBMITAL:**

**DATE**  
 05/08/2015

**REVISIONS:**

**DESIGNED BY:**

**DRAWN BY:**  
 M.S.

**APPROVED BY:**  
 HARIS HAKIM, P.E.

**SEAL**

**SHEET TITLE**  
 DIMENSIONED  
 FLOOR PLAN

**SCALE**  
 NOTED

**SHEET #**  
 A-1



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PROJECT:

EVANGEL BAPTIST CHURCH  
ADDITION

LOCATION:

2900 LOVINGTON DR.  
TROY, MICHIGAN

OWNER:

SUBMITAL:

DATE  
05/08/2015

REVISIONS:

DESIGNED BY:

DRAWN BY:  
M.S.

APPROVED BY:  
HARIS HAKIM, P.E.

SEAL

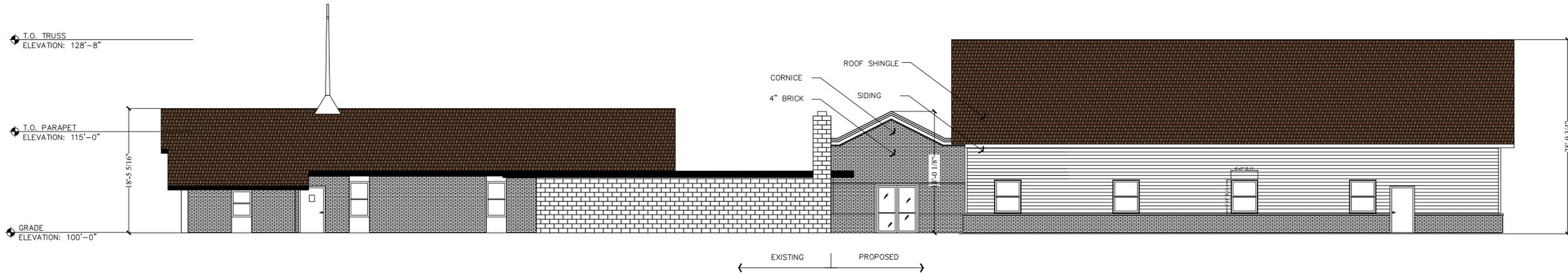
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ELEVATIONS

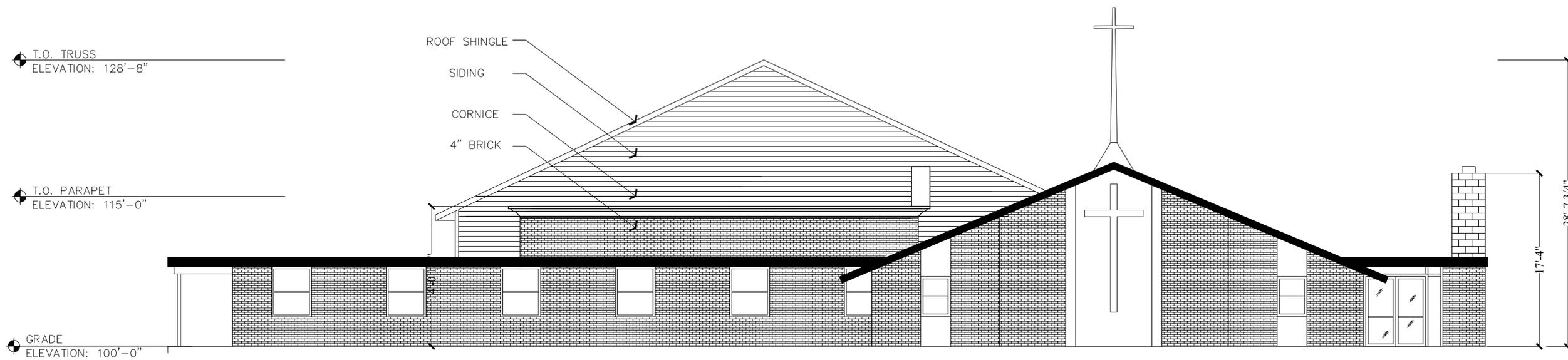
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NOTED

SHEET #

A-2



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



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PROJECT:

EVANGEL BAPTIST CHURCH  
ADDITION

LOCATION:

2900 LOVINGTON DR.  
TROY, MICHIGAN

OWNER:

SUBMITAL:

DATE

05/08/2015

REVISIONS:

DESIGNED BY:

DRAWN BY:

M.S.

APPROVED BY:

HARIS HAKIM, P.E.

SEAL

SHEET TITLE

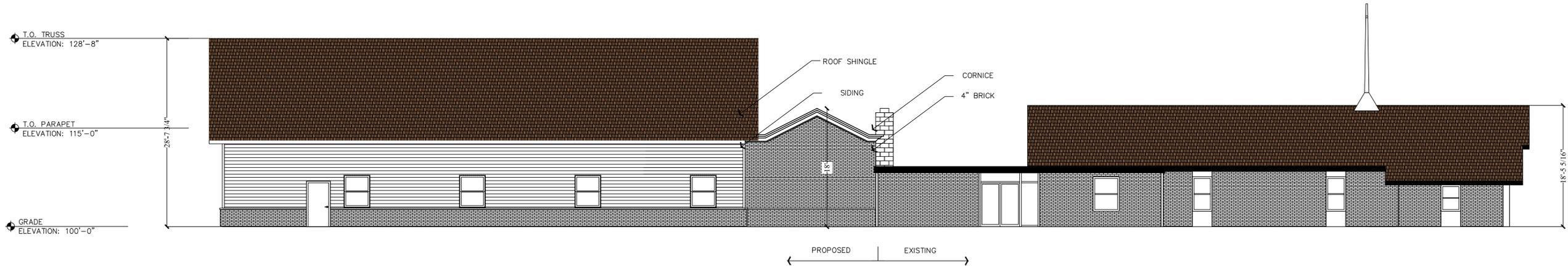
ELEVATIONS

SCALE

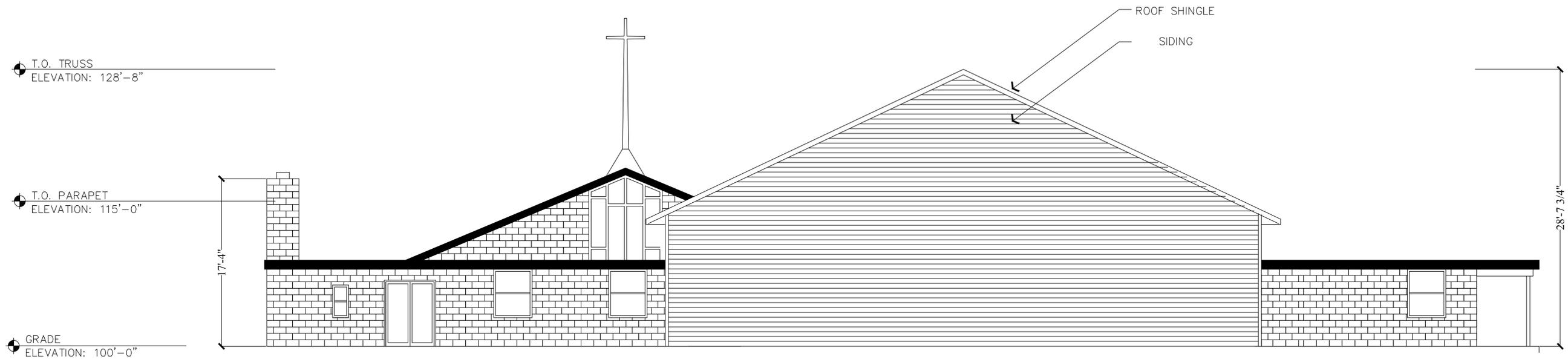
NOTED

SHEET #

A-3



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

DATE: June 5, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 998) – Proposed Murray Plaza, West side of Rochester between Vanderpool and Trombley (3385 Rochester), Section 22, Currently Zoned GB (General Business) District

The petitioner Hassane Oseili submitted the above referenced Preliminary Site Plan application for the proposed retail development. The proposed retail store is to be located on the west side of Rochester Road on a former restaurant site. The Planning Commission considered this item on September 23, 2014 but did not take action, as there were design deficiencies.

The property is currently zoned GB (General Business) District. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from September 23, 2014 Planning Commission meeting.

G:\SITE PLANS\SP 998 Murray Plaza Sec 22\SP-998 PC Memo 06 09 2015.docx

**PROPOSED RESOLUTION**

PRELIMINARY SITE PLAN REVIEW (File Number SP 998) – Proposed Murray Plaza, West side of Rochester between Vanderpool and Trombley (3385 Rochester), Section 22, Currently Zoned GB (General Business) District

**Resolution # PC-2015-06-**

Moved by:

Seconded by:

**RESOLVED**, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Murray Plaza, located west side of Rochester between Vanderpool and Trombley (3385 Rochester), Section 22, within the GB (General Business) District, be (granted, subject to the following):

1. Reduce parking lot drive aisle to 24-feet.
2. Provide easement agreement for final site plan.
3. Reduce concrete slab in front of building to a maximum ten feet (10') in width.
4. Clarify number and location of building-mounted lighting.

(denied, for the following reasons: \_\_\_\_\_) or

(postponed, for the following reasons:

Yes:

No:

**MOTION CARRIED/FAILED**



Legend:

Tax Parcel

Road Centerline Text

104 0 52 104Feet

Scale 1: 625



**Legend:**

- Tax Parcel
- Road Centerline Text
- Form Based Zoning 2
  - (PUD) Planned Unit Development
  - (CF) Community Facilities District
  - (EP) Environmental Protection District
  - (BB) Big Beaver Road
  - (MR) Maple Road
  - (NN) Neighborhood Nodes (A-U)
  - (CB) Community Business
  - (GB) General Business
  - (IB) Integrated Industrial Business District
  - (O) Office Building District
  - (OM) Office Mixed Use
  - (P) Vehicular Parking District
  - (R-1A) One Family Residential District
  - (R-1B) One Family Residential District
  - (R-1C) One Family Residential District
  - (R-1D) One Family Residential District
  - (R-1E) One Family Residential District
  - (RT) One Family Attached Residential District
  - (MF) Multi-Family Residential
  - (MHP) Manufactured Housing
  - (UR) Urban Residential
  - (RC) Research Center District
  - (PV) Planned Vehicle Sales

200 0 100 200 Feet

Scale 1: 1,200



CARLISLE

WORTMAN  
associates, inc.

605 S. Main Street, Ste. 1  
Ann Arbor, MI 48104

(734) 662-2200  
(734) 662-1935 Fax

Date: June 3, 2015

## Preliminary Site Plan Review For City of Troy, Michigan

<b>Applicant:</b>	Hussein Abdu Murray 330 Newcastle Dr. Rochester Hills, MI 48306
<b>Project Name:</b>	Murray Plaza
<b>Plan Date:</b>	July 7, 2014
<b>Latest Revision:</b>	October 30, 2014
<b>Location:</b>	3385 Rochester Road – between E. Wattles and E. Big Beaver
<b>Zoning:</b>	GB, General Business
<b>Action Requested:</b>	Preliminary Site Plan
<b>Required Information:</b>	As noted in review.

### PROJECT SITE AND DESCRIPTION

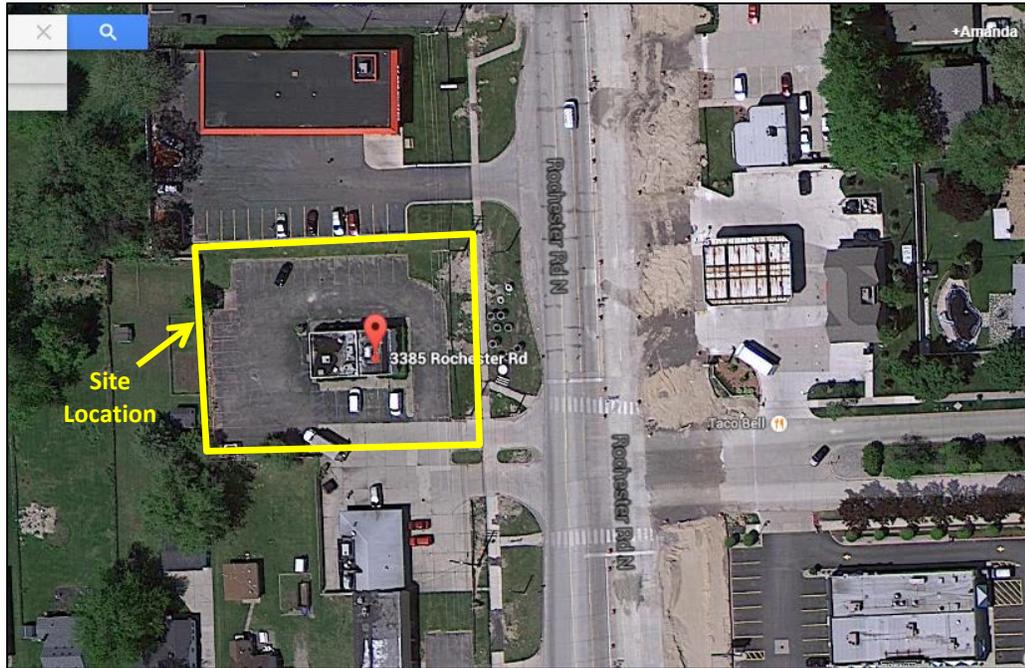
The applicant is requesting preliminary site plan approval to demolish an existing building and construct a new 4,750 sq. ft., 20-foot tall retail building. The floor plans indicate that the space will be divided into four (4) separate tenant spaces.

The parcel, located on the west side of Rochester Road between Big Beaver and Wattles, is approximately 0.53 acres in size and is zoned GB, General Business District. Per Section 4.21 of the Zoning Ordinance, general retail is a permitted use within the GB District. The parcel is currently improved with a 1,450 sq. ft. building and asphalt parking area, which will be demolished to accommodate the new development.

Location of Subject Property

The subject property is located at 3385 Rochester Road (west side of Rochester between E. Wattles and E. Big Beaver Roads. An aerial image of the subject property is depicted in **Figure 1**, below.

**Figure 1. – Subject Site**



Size of Subject Property

The overall size of the subject property is 23,140 sq. ft. (0.53 acres).

Proposed Use(s) of Subject Parcel

General retail (4 tenant spaces).

Current Use of Subject Property

Vacant commercial building (approx.1,450 sq. ft.).

Current Zoning

The property is currently zoned GB, General Business. Adjacent parcels are zoned as follows:

**Table 1. – Adjacent Zoning**

Direction	Zoning	Use
North	GB, General Business	Commercial
South	GB, General Business	Commercial / Single-family residential
East	GB, General Business	Commercial
West	R-1E, Single-Family Residential	Single-family residential

**AREA, WIDTH, HEIGHT, SETBACKS**

Section 4.14.C establishes the dimensional requirements for structures within the GB District. The requirements and the proposed dimensions are highlighted in **Table 2** below.

*Table 2. – Dimensional Requirements*

	<b>Required:</b>	<b>Provided:</b>	<b>Compliance</b>
Front (Rochester)	10 feet minimum setback	39 feet	Complies
Side (north)*	0 feet minimum setback	0.55 feet	Complies
Side (south)*	0 feet minimum setback	28.72 feet	Complies
Rear (east) abutting to residential**	75 feet minimum setback	90 feet	Complies
Rear Yard Greenbelt	10 feet minimum	10.5 feet	Complies
Building Height	Maximum 5 stories, 75 feet	20 feet	Complies
Minimum Floor Area	500 ft.	5,906 sq. ft.	Complies

\* Per Section 4.14.D, no side yards are required along the interior side lot lines of the District or along side lot lines in common with any non-residential district.

\*\* In GB Districts, no building shall be closer than seventy-five (75) feet from the boundary of any single-family residential zoning district.

The proposed dimensions meet all of the requirements of the GB District.

**Items to be Addressed:** None

**PARKING**

Section 13.06 of the Zoning Ordinance provides parking requirements for general retail uses, as highlighted in **Table 3**, below.

*Table 3. – Parking and Loading Requirements*

	<b>Required</b>	<b>Provided</b>	<b>Compliance</b>
Commercial/Retail: 1 space per 250 sq/ft. gross floor area*	4,750 sq.ft / 250 = 19 spaces	19 spaces	Complies
Barrier Free	2	2	Complies
Bicycle Parking	2	2	Complies
Loading	1	1	Complies

\* Per the Zoning Ordinance, **gross commercial floor area** is defined as the sum of all horizontal areas of all floors of the building, as measured from the exterior faces of the exterior walls.

The applicant has meet the minimum parking requirements for general retail. Any more intense use (restaurant, etc) will not be permitted at this site unless additional parking is provided.

Parking spaces measure 9.5' by 19', meeting Ordinance standards. The drive-aisle in the parking lot is 36-feet wide. The City only requires 24 feet. This drive-aisle should be narrowed to 24-feet in order to provide additional landscape area and buffer along the rear property line.

Section 13.09 sets off-street loading and unloading requirements. One (1) 500 sq. ft. loading space is required for the site. One (1) loading space is provided (12' x 30'/360 sq. ft.) at the southwest corner of the site adjacent to the dumpster.

Section 13.10.C. requires all sites with parking of ten (10) spaces of greater to provide a bike rack for at least two (2) bicycles within fifty (50) feet of the building entrance. A bike rack with two (2) spaces is provided at the front of the building, meeting Ordinance standards.

**Items to be Addressed:** Reduce parking lot drive aisle to 24-feet.

## SITE ACCESS AND CIRCULATION

Access to the site will be provided via the existing curb-cut at the southern end of the site. The applicant should provide the existing the ingress/egress easement with the southern property owner to be verified as part of the Final Site Plan approval.

A fifteen-foot (15') wide concrete slab is provided in front of the building between the structure and Rochester Road. It appears that the slab will provide pedestrian access to the front doors and the bike racks. The concrete slab should be reduced to a maximum of ten (10) feet in width to eliminate unnecessary impervious surface and the applicant should extend the curb line from Rochester Road around the 5-foot walkway around the building and around the entirety of the parking lot.

A five (5) foot wide sidewalk will be provided along the west and south sides of the building and between the sidewalk adjacent to Rochester Road and the front entrance. We defer to the City Engineer for additional comments regarding site access and circulation.

**Items to be Addressed:** 1) Provide easement agreement; and 2) Reduce concrete slab in front of building to a maximum ten feet (10') in width.

## LANDSCAPING

A preliminary landscape plan has been provided indicating a mix of evergreen and deciduous trees and shrubs. Landscaping requirements (Article 13) and proposed landscaping are provided in **Table 4**, below.

	Required	Provided	Compliance
--	----------	----------	------------

<u>Greenbelt:</u> 10 feet in width along Rochester Road.	10 ft.	24 ft.	Complies
<u>Street Trees:</u> Greenbelt landscaped with one (1) deciduous tree for every thirty (30) lineal feet of frontage.	125' = 5 trees	5 trees (Maple and Honeylocust) and 1/3 slope berm	Complies
<u>Site Landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	20%	20%	Complies
<u>Parking Lot Landscaping:</u> One (1) tree for every eight (8) parking spaces. Trees may be located adjacent to parking lot with Planning Commission approval.	19 spaces = 3 trees	3 trees (spruce)	Complies
<u>Screening Between Land Uses:</u> Maintain a ten (10) foot landscape buffer with one (1) tree per ten (10) feet.	125' = 13 trees	13 trees (spruce)	Complies

Landscaping Location: All trees must be outside of the 12' permanent public utility easement located at the front of the property; existing AT&T underground and overhead wires are located on the site. All proposed landscaping is outside of this easement.

Trash Enclosure: A trash enclosure is proposed at the southwest corner of the site. Details and elevations of the enclosure have been provided, illustrating a brick enclosure (to match building) with a metal gate. The enclosure measures eight (8) feet in height, meeting the standards of Section 13.03.

Transformer: A transformer is proposed along the northern property line. Per Section 13.04, at-grade equipment must be screened with architectural and/or landscape materials matching or harmonious with the building or landscape materials provided elsewhere on site. "Emerald n' Gold," "burning bush" and white pines are proposed around the perimeter of the transformer, providing adequate screening.

***Items to be Addressed: None***

## PHOTOMETRICS

A preliminary photometric plan and lighting details have been provided. The plan indicates a total of five (5) pole-mounted lights and three (3) exterior building-mounted lights. Three (3) pole fixtures are proposed at the rear of the site adjacent to the property line, while two (2) are proposed in the front yard adjacent to Rochester Road. The fixtures adjacent to the residential properties to the west are all fifteen (15) feet in height. All three (3) building-mounted lights are proposed for the south side of the building.

We note that the number and locations of building-mounted lights indicated on the photometric plan are not consistent with those shown on the building elevations. The applicant should address this discrepancy.

Per Section 13.05, pole-mounted fixtures shall be fully cut-off or fully-shielded and directed downward to prevent glare. The lighting plan indicates that all pole fixtures will be fully-shielded. The maximum height of pole fixtures shall be twenty-five (25) feet. The height of the proposed pole fixtures will range from 14 to 20 feet, meeting Ordinance standards.

The photometric levels meet Ordinance requirements.

**Items to be Addressed:** *Clarify number and location of building-mounted lighting.*

## FLOOR PLANS AND ELEVATIONS

Floor plans and building elevations have been provided. Four (4) tenant spaces are provided. Building elevations illustrate a red brick and stone façade with decorative limestone. Applicant has been asked to provide material samples at meeting.

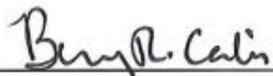
**Items to be Addressed:** *None*

## RECOMMENDATION

We find that the proposed site plan is consistent with the goals and regulations of the Zoning Ordinance and is a major improvement to the existing vacant structure. We recommend that the Planning Commission grant preliminary site plan approval, with the following conditions:

1. *Reduce parking lot drive aisle to 24-feet.*
2. *Provide easement agreement for final site plan.*
3. *Reduce concrete slab in front of building to a maximum ten feet (10') in width.*
4. *Clarify number and location of building-mounted lighting.*

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.  
Benjamin R. Carlisle, LEED AP, AICP

**PRELIMINARY SITE PLAN REVIEW**

7. PRELIMINARY SITE PLAN REVIEW (File Number SP 998) – Proposed Murray Plaza, West side of Rochester between Vanderpool and Trombley (3385 Rochester), Section 22, Currently Zoned GB (General Business) District

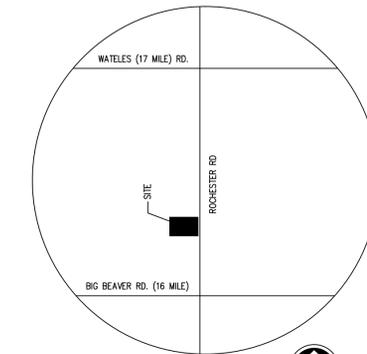
Mr. Savidant stated the Preliminary Site Plan application does not meet setback and greenbelt requirements of the Zoning Ordinance and identified multiple variances that would have to be sought by the applicant prior to the Planning Commission action. Mr. Savidant strongly encouraged the petitioner to consider moving the building closer to Rochester Road. He said that would provide a better site plan design and eliminate having to seek variances from the Zoning Board of Appeals for which the applicant would have to demonstrate practical difficulty.

Ed Al-Saati of A&M Consultants and Hussane Oseili of Quality One Construction were present to represent the property owner. Mr. Al-Saati said he would inform his client of the Planning Consultant recommendation and discussion at tonight's meeting.

There was discussion on:

- Entry doors for both front and rear elevations.
- Attractive customer entrance in rear.
- Visually attractive front elevation.
- Screening single family residential.
- Street presence in relation to neighboring businesses.

**MURRAY PLAZA  
3385 ROCHESTER RD.  
TROY, MICHIGAN**



LOCATION MAP  
SCALE: NOT TO SCALE

**PROJECT:**  
MURRAY PLAZA

**OWNER'S NAME:**  
HUSSEIN ABU MURRAY  
3730 NEWCASTLE DR.  
ROCHESTER HILLS, MI 48306

**LOCATION:**  
3385 ROCHESTER RD.  
TROY, MICHIGAN

LEGAL DESCRIPTION:

THE WEST 108 FEET OF LOT 1 & THE NORTH 20 FEET OF THE WEST 108 FEET OF LOT 2 & THE NORTH 130 FEET OF THE EAST 70 FEET OF LOT 4 "SUPERVISOR'S PLAT No. 17" OF PART OF THE S.E. 1/4 OF SECTION 22, T. 2 N., R.11 E., TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN. AS RECORDED IN LIBER 28 OF PLATS, ON PAGE 36 OF THE OAKLAND COUNTY RECORDS.

**OWNER/APPLICANT**

HUSSEIN ABU MURRAY  
3730 NEWCASTLE DR.  
ROCHESTER HILLS, MI 48306

**ARCHTECT/CIVIL ENGINEER**



13746 MICHIGAN AVE.  
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FAX:(313)582-0028

**Drawing Index**

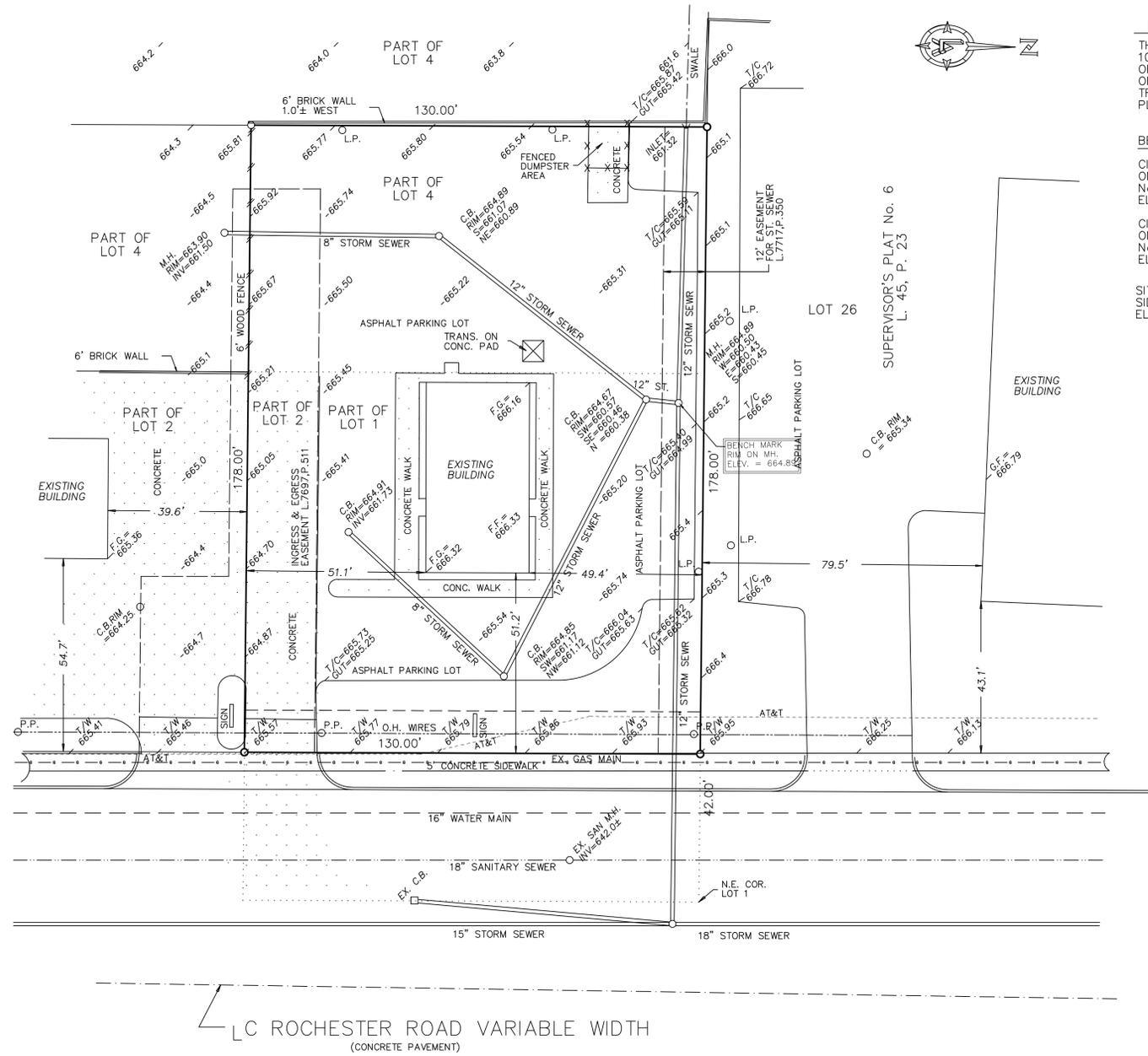
SHEET	TITLE
-	COVER SHEET
-	BOUNDARY / TOPOGRAPHIC SURVEY PLAN
SP-1	PRELIMINARY SITE PLAN
SP-2	PRELIMINARY GRADING PLAN
SP-3	PRELIMINARY LANDSCAPING PLAN
SP-4	PRELIMINARY PHOTOMETRIC / LIGHTING PLAN
A-1	PRELIMINARY FLOOR PLAN & ELEVATIONS

DATE: 06/10/2014

REVISIONS SHEET NOS.

09-02-2014	SP-1, SP-2, SP-3, SP-4, A-1
10-30-2014	SP-1, SP-2, SP-3, SP-4, A-1

COVER SHEET



LC ROCHESTER ROAD VARIABLE WIDTH  
(CONCRETE PAVEMENT)

**BOUNDARY SURVEY / TOPOGRAPHIC PLAN**  
SCALE 1"=20'



**LEGAL DESCRIPTION:**

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**BENCHMARKS:**

CITY BENCHMARK #1237 - ARROW ON TOP OF HYDRANT ON THE WEST SIDE OF ROCHESTER ROAD AT BUILDING No. 3373 ELEVATION = 667.223 N.G.V.D.  
CITY BENCHMARK #1239 - ARROW ON TOP OF HYDRANT ON THE WEST SIDE OF ROCHESTER ROAD AT BUILDING No. 3499 ELEVATION = 667.616 N.G.V.D.  
SITE BENCHMARK - RIM ON STORM M.H. NORTH SIDE OF THE PROPERTY ELEVATION = 664.89 N.G.V.D.

**PROJECT:**  
MURRAY PLAZA

**OWNER'S NAME:**  
HUSSEIN ABU MURRAY  
3730 NEWCASTLE DR.  
ROCHESTER HILLS, MI 48306

**LOCATION:**  
3385 ROCHESTER RD.  
TROY, MICHIGAN

**A & M CONSULTANTS INC.**  
13746 MICHIGAN AVE  
DEARBORN, MI 48126  
PH:(313) 582-0022  
FAX:(313) 582-0028

**DRAWN BY:**  
A.A.

**APPROVED BY:**  
ADNAN AL-SAATI, P.E.

**SUBMITTALS**

**REVISIONS:**  
09/02/2014  
10/30/2014

<b>PROJECT NO</b>
<b>DATE</b> 01/07/2014
<b>SCALE</b> NOTED
<b>SHEET TITLE</b> BOUNDARY / TOPOGRAPHIC SURVEY PLAN
<b>SEAL</b>

**PROJECT:**

MURRAY PLAZA

**OWNER'S NAME:**

HUSSEIN ABU MURRAY  
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**DRAWN BY:**

A.A

**APPROVED BY:**

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**SUBMITTALS**

**REVISIONS:**

09/02/2014  
10/30/2014

**PROJECT NO**

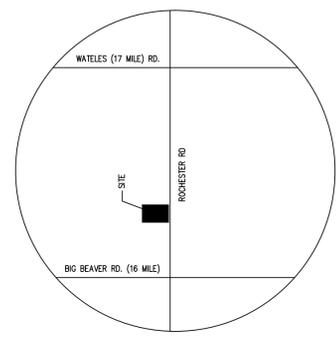
DATE  
07/07/2014

SCALE  
NOTED

SHEET TITLE  
PRELIMINARY  
SITE PLAN

SP-1

SEAL



LOCATION MAP  
N.T.S.



**PROPERTY DESCRIPTION :**

THE WEST 108 FEET OF LOT 1 & THE NORTH 20 FEET OF THE WEST 108 FEET OF LOT 2 & THE NORTH 130 FEET OF THE EAST 70 FEET OF LOT 4 "SUPERVISOR'S PLAT No. 17" OF PART OF THE S.E. 1/4 OF SECTION 22, T. 2 N., R.11 E., TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 28 OF PLATS, ON PAGE 36 OF THE OAKLAND COUNTY RECORDS.

**SITE DATA :**

GOVERNING CODE: MICHIGAN BUILDING CODE 2009 AND CITY OF TROY ZONING ORDINANCE  
BUILDING USE: RETAIL PLAZA  
USE GROUP: MIXED USE M/ MERCANTILE & S STORAGE

AREA OF THE PROPERTY = 23,140 SQ.FT. = 0.53 ACRES  
PROPOSED BUILDING AREA = 5906 SQ.FT.  
EXISTING BUILDING AREA TO BE REMOVED = 1,590 SQ.FT.

1- ZONING: **GB** GENERAL BUSINESS DISTRICT

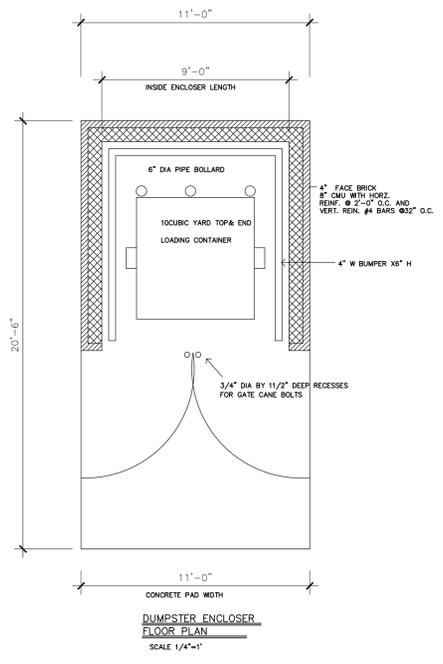
2- BUILDING HEIGHT:  
PROPOSED BUILDING = 20'

3- LOT COVERAGE:  
PROPOSED BUILDING = 25%

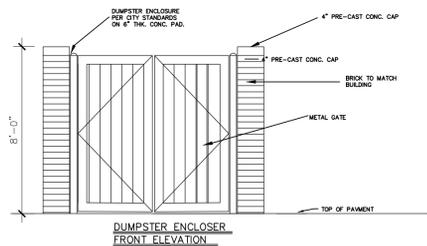
4- SETBACK REQUIREMENTS:  
FRONT: MIN. REQ. = 10' PROPOSED = 40.16'  
SIDES: TOTAL REQ. = 0' PROPOSED = NORTH 0.55'-SOUTH 28.72'  
REAR REQ. = 75' PROPOSED = 77.45'

5- PARKING REQUIREMENTS  
WAREHOUSE USE:  
1 SPACE PER EACH 1500 SQ. FT. OF GROSS FLOOR AREA  
STORAGE AREA=356X4=1424 SF. = 1424 /1500 =0.94 SPACES  
MERCANTILE USE: 5906-1424=4482 S.F.  
1 SPACE PER EACH 250 SQ. FT. OF GROSS FLOOR AREA = 4482/250 =17.9 SPACES  
TOTAL NUMBER OF PARKING SPACES REQUIRED = 19 SPACES  
TOTAL NUMBER OF PARKING SPACES PROVIDED =0.94+17.9=18.8= 19 SPACES  
INCLUDING (2 H.C SPACES) & (2 BICYCLES SPACES)  
OFF STREET LOADING REQUIREMENT  
TOTAL NUMBER OF OFF-STREET PARKING SPACES PROVIDED = 1 SPACES  
PLUS 1 SPACE PER EACH ADDITIONAL 20,000 SQ. FT. GFA

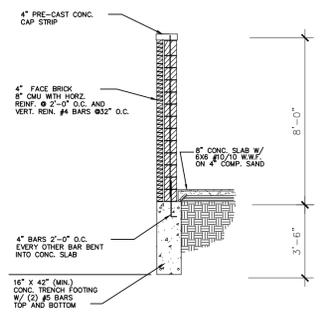
NOTE A:  
PARKING LOTS TO BE USED FOR DETENTION



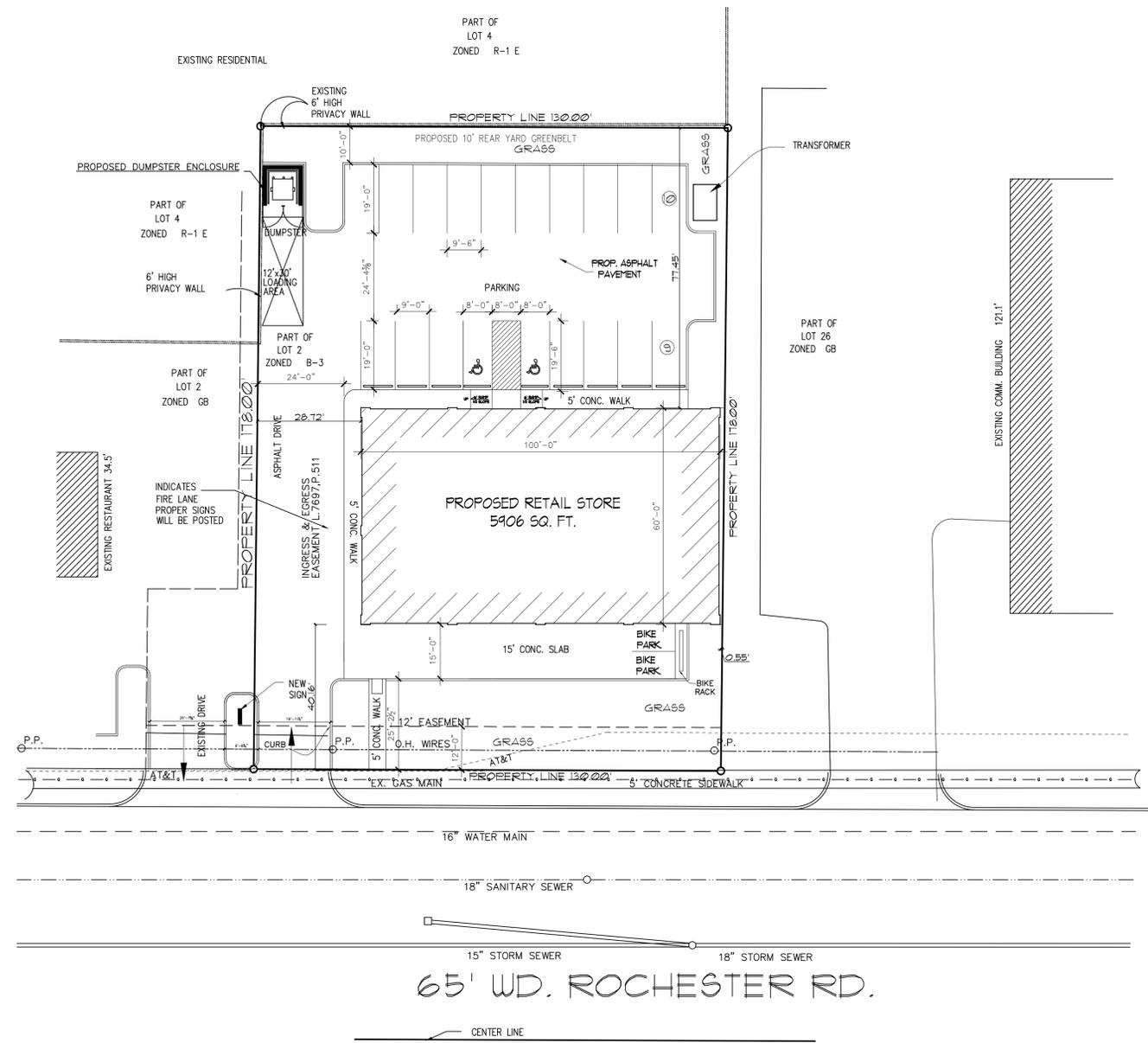
DUMPSTER ENCLOSURE FLOOR PLAN  
SCALE 1/4"=1'



DUMPSTER ENCLOSURE FRONT ELEVATION  
SCALE 1/4"=1'



DUMPSTER ENCLOSURE WALL SECTION  
SCALE 1/4"=1'



PROPOSED SITE PLAN  
SCALE 1"=20'



PROJECT:

MURRAY PLAZA

OWNER'S NAME

HUSSEIN ABU MURRAY  
3730 NEWCASTLE DR.  
ROCHESTER HILLS, MI 48306

LOCATION:

3385 ROCHESTER RD.  
TROY, MICHIGAN

A & M

CONSULTANTS  
INC.

13746 MICHIGAN AVE  
DEARBORN, MI 48126

PH:(313) 582-0022  
FAX:(313) 582-0028

DRAWN BY:

A.A

APPROVED BY:

ADNAN AL-SAATI, P.E.

SUBMITTALS

REVISIONS:

09/02/2014  
10/31/2014

PROJECT NO

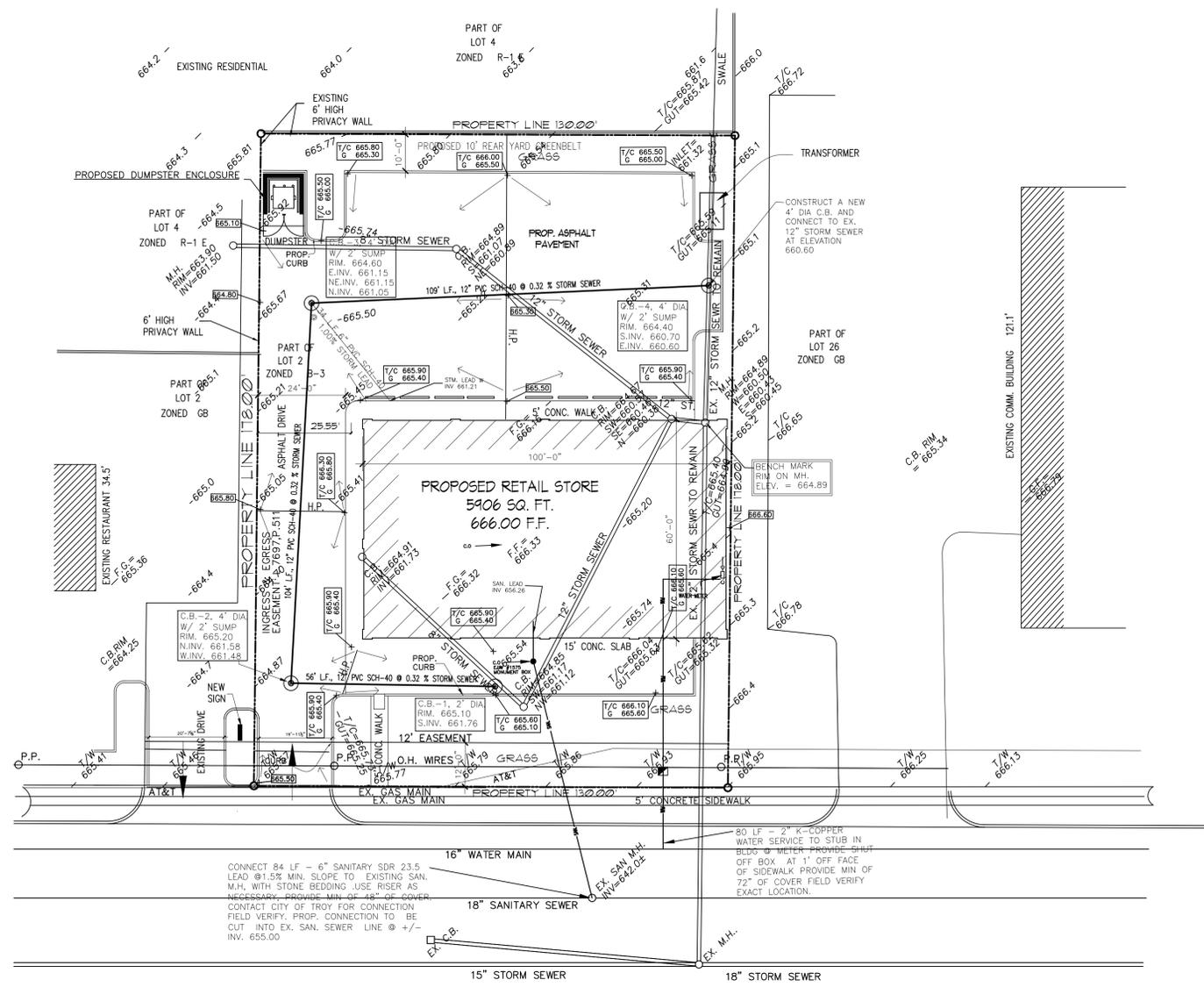
DATE  
01/07/2014  
SCALE  
NOTED

SHEET TITLE

PRELIMINARY GRADING  
PLAN

SP-2

SEAL



**LEGAL DESCRIPTION:**  
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 ELEVATION = 667.223 N.G.V.D.  
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 ELEVATION = 667.616 N.G.V.D.  
 SITE BENCHMARK - RIM ON STORM M.H. NORTH SIDE OF THE PROPERTY  
 ELEVATION = 664.89 N.G.V.D.

**DETERMINATION OF DETENTION VOLUME**  
 AVERAGE C VALUE FOR EXISTING CONDITIONS:  
 $(0.25 \times 0.065 + 0.95 \times 0.466) / 0.531 = 0.864$   
 AVERAGE C VALUE FOR PROPOSED CONDITIONS:  
 $(0.25 \times 0.17 + 0.95 \times 0.414) / 0.531 = 0.796 < 0.864$   
 THEREFORE NO DETENTION IS NEEDED

**GRADING PLAN**  
 SCALE 1"=20'



# LANDSCAPE DATA :

## GREENBELT REQUIREMENTS:

- GREENBELT SHALL BE A MINIMUM OF TEN (10) FEET IN WIDTH.
- THE GREENBELT SHALL BE LANDSCAPED WITH A MINIMUM OF ONE (1) DECIDUOUS TREE FOR EVERY THIRTY (30) LINEAL FEET OF FRONTAGE ABUTTING A PUBLIC ROAD RIGHT-OF-WAY =  $130 / 30 = 4.4 = 5$  DECIDUOUS TREE
- TOTAL NUMBER OF DECIDUOUS TREE REQUIRED = 5
- TOTAL NUMBER OF DECIDUOUS TREE PROVIDED = 5

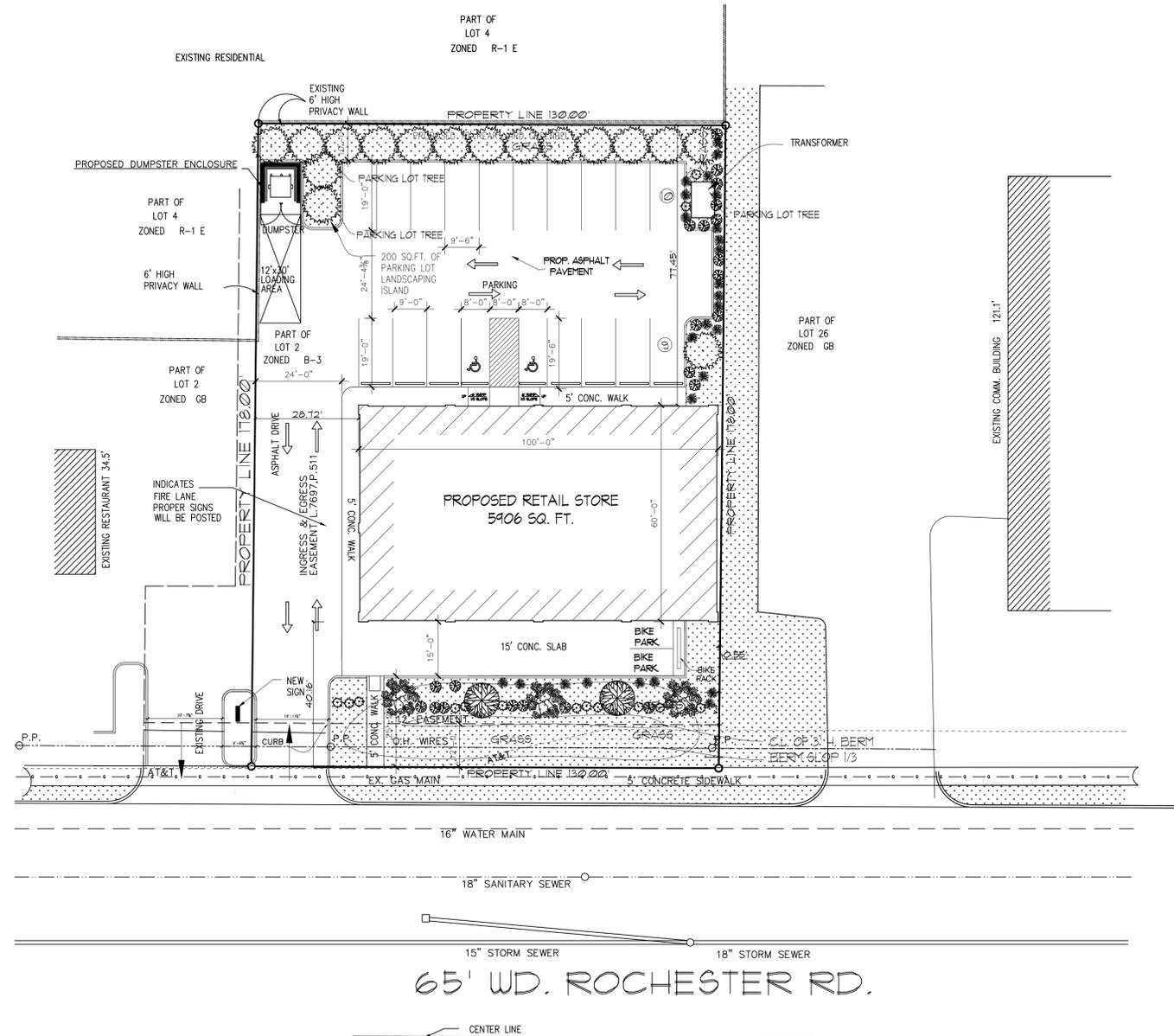
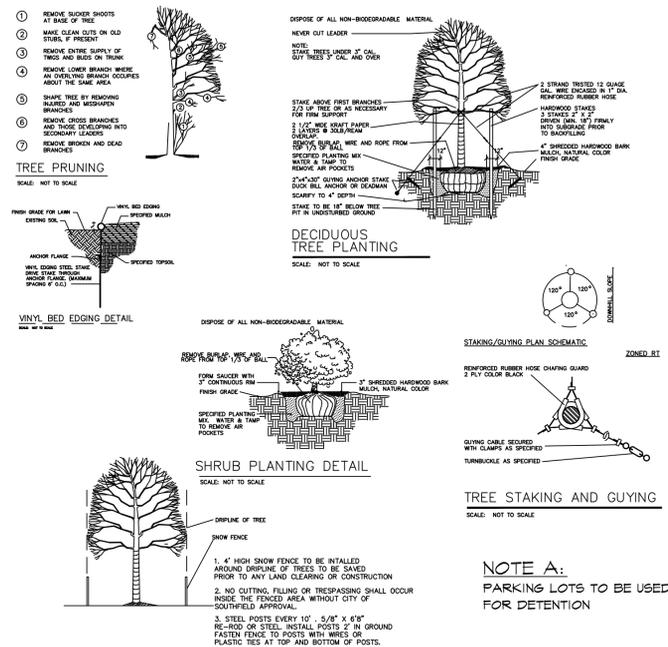
## LANDSCAPING CALCULATIONS:

MINIMUM OF TWENTY PERCENT (20%) OF THE SITE AREA SHALL BE COMPRISED OF LANDSCAPE MATERIAL.  
 LANDSCAPE MATERIAL AREA REQUIRED =  $23140 \times 20\% = 4628$  SQ. FT.  
 LANDSCAPE MATERIAL AREA PROVIDED = 4635 SQ. FT.

## PARKING LOT LANDSCAPING :

A MINIMUM OF ONE (1) TREE FOR EVERY EIGHT (8) PARKING SPACES.  
 LANDSCAPE MATERIAL AREA REQUIRED =  $19 / 8 = 2.3 = 3$  TREES  
 LANDSCAPE MATERIAL AREA PROVIDED = 3 TREES

PLANT LIST	QUAN	SIZE	BOTANICAL NAME	COMMON NAME	SYMBOL
SHRUBS & BUSHES	14	36 IN HIGH	Euonymus alatus "Compactus"	Dwarf Burning Bush	
	22	36 IN HIGH	Euonymus Fortunei "Emerald N' Gold"	Emerald N' Gold	
	26	36 IN HIGH	Pinus Strobus "Blue Shag"	Dwarf Eastern White Pine	
DECIDUOUS TREES	3	2 1/2"-3" CAULIP	ACRE PLATANODES 'CRIMSON KING'	CRIMSON KING MAPLE TREE	
	2	2 1/2"-3" CAULIP	GLEDITSIA TRIACANTHOS	TRUE SHADE HONEYLOCUST	
EVERGREEN TREES	16	8-10 FEET TALL	PICEA PUNGENA 'HOOPSII'	HOOPSII SPRUCE	



PROPOSED LANDSCAPE PLAN  
 SCALE 1"=20'



**PROJECT:**  
 MURRAY PLAZA

**OWNER'S NAME:**  
 HUSSEIN ABU MURRAY  
 3730 NEWCASTLE DR.  
 ROCHESTER HILLS, MI 48306

**LOCATION:**  
 3385 ROCHESTER RD.  
 TROY, MICHIGAN

**A & M CONSULTANTS INC.**

13746 MICHIGAN AVE  
 DEARBORN, MI 48126

PH:(313) 582-0022  
 FAX:(313) 582-0028

**DRAWN BY:**  
 A.A

**APPROVED BY:**  
 ADNAN AL-SAATI, P.E.

**SUBMITTALS**

**REVISIONS:**

09/02/2014  
 10/30/2014

**PROJECT NO**

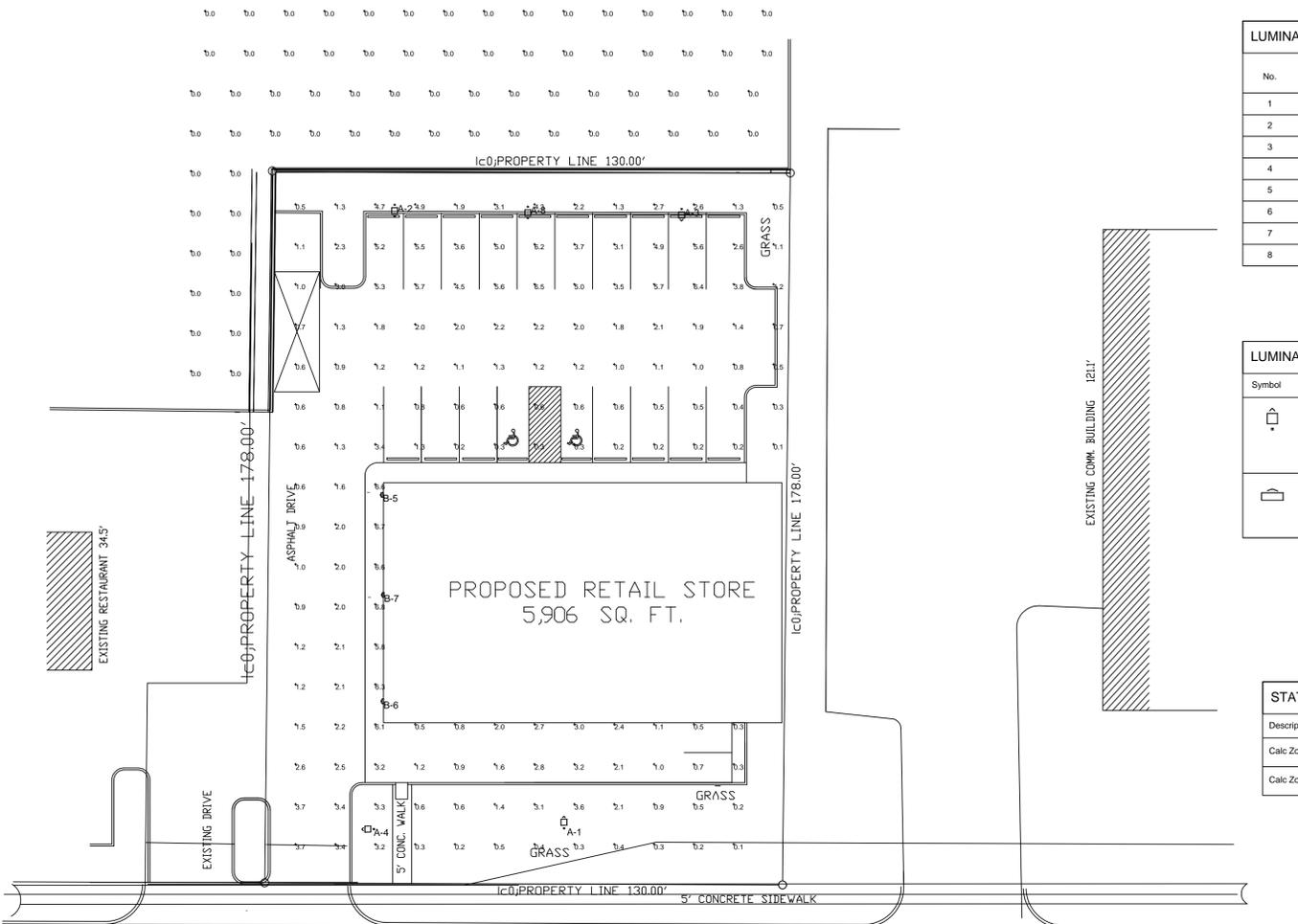
**DATE**  
 07/07/2014

**SCALE**  
 NOTED

**SHEET TITLE**  
 PRELIMINARY LANDSCAPE PLAN

SP-3

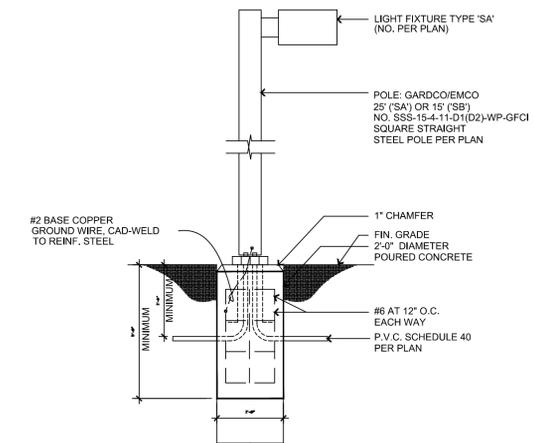
**SEAL**



LUMINAIRE LOCATIONS										
No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
1	A	808.6	115.9	20.0	20.0	-0.4	0.0	808.6	117.4	0.0
2	A	766.0	271.8	15.0	15.0	180.0	0.0	766.0	270.3	0.0
3	A	838.1	270.8	15.0	15.0	180.0	0.0	838.1	269.3	0.0
4	A	760.8	115.8	20.0	20.0	269.4	0.0	759.3	115.7	0.0
5	B	768.3	199.3	14.0	14.0	-90.0	0.0	768.3	199.3	0.0
6	B	768.5	147.7	14.0	14.0	-90.0	0.0	768.5	147.7	0.0
7	B	768.6	174.3	14.0	14.0	-90.0	0.0	768.6	174.3	0.0
8	A	799.5	271.3	15.0	15.0	180.0	0.0	799.5	269.8	0.0

LUMINAIRE SCHEDULE										
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	
	A	5	KSF2 250M RASC (PROBE)	Specification Area Luminaire, 250W Metal Halide, RASC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	KSF2_250M_RASC_(PROBE) (1).ies	20000	0.81	297	
	B	3	TWH 150M FS (PROBE)	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR AND FULL SHIELD	ONE 150-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	TWH_150M_FS_(PROBE).ies	12000	0.81	185	

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.1 fc	6.8 fc	0.1 fc	68.0:1	21.0:1
Calc Zone #2	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A



LIGHT POLE BASE DETAIL  
SCALE: NONE

- NOTES:
- ALL CONDUITS SHOWN SHALL BE RUN MINIMUM 3'-0" BELOW FINISHED PAVEMENT ELEVATION.
  - COORDINATE EXACT ROUTING OF PRIMARY CONDUITS WITH LOCAL UTILITY COMPANIES
  - LIGHT POLE BASES SHALL BE SET BACK 4'-0" FROM EDGE OF PAVEMENT TO CENTERLINE.

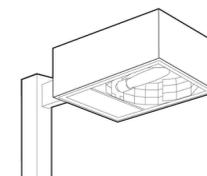
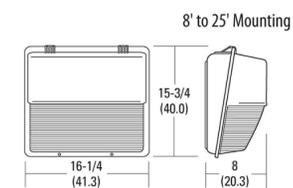


Wall Packs

**TWH**

METAL HALIDE: 70W - 400W

- Specifications
- Height: 15-3/4 (40.0)
  - Width: 16-1/4 (41.3)
  - Depth: 8 (20.3)
  - \*Weight: 29.95 (13.59kg)
  - All dimensions are inches (centimeters) unless otherwise indicated.
  - \*Weight as configured in example below.

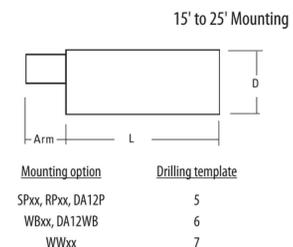


Area Lighting

**KSF2**

METAL HALIDE: 250-400W

- Specifications
- EPA: 2.0 ft<sup>2</sup> (.28 m<sup>2</sup>) (includes arm)
  - Length: 24-19/32 (62.5)
  - Width: 17-25/32 (62.5)
  - Depth: 8-5/16 (21.1)
  - Arm: 4 (10.2)
  - \*Weight: 52 lbs (23.6 kg)
  - \*Weight as configured in example below.
  - All dimensions are inches (centimeters) unless otherwise specified.



PHOTOMETRIC / LIGHTING PLAN  
SCALE 1"=20'



Plan View  
Scale 1"=20'

PROJECT:

MURRAY PLAZA

OWNER'S NAME

HUSSEIN ABU MURRAY  
3730 NEWCASTLE DR.  
ROCHESTER HILLS, MI 48306

LOCATION:

3385 ROCHESTER RD.  
TROY, MICHIGAN

A & M  
CONSULTANTS  
INC.

13746 MICHIGAN AVE  
DEARBORN, MI 48126

PH:(313) 582-0022  
FAX:(313) 582-0028

DRAWN BY:

A.A

APPROVED BY:

ADNAN AL-SAATI, P.E.

SUBMITTALS

REVISIONS:

09/02/2014  
10/30/2014

PROJECT NO

DATE

07/07/2014

SCALE

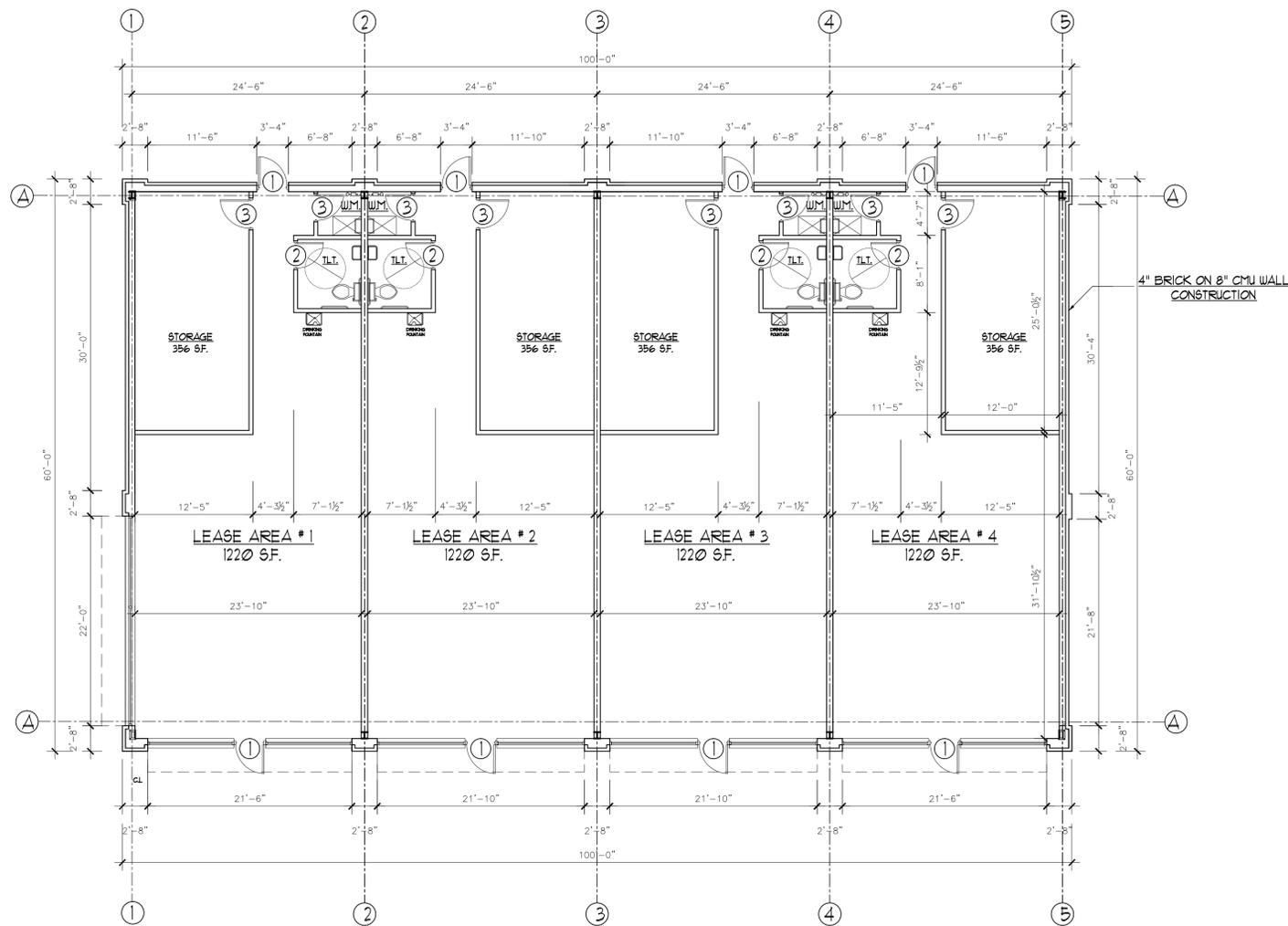
NOTED

SHEET TITLE

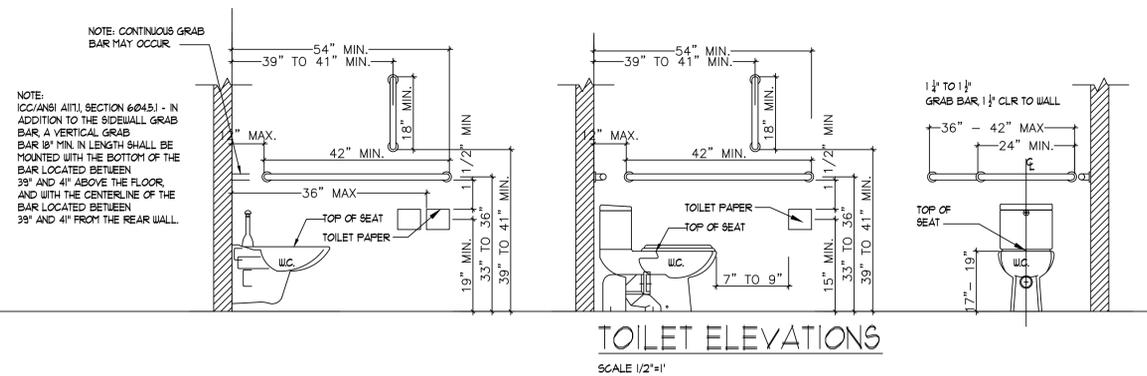
PRELIMINARY  
PHOTOMETRIC/  
LIGHTING PLAN

SP-4

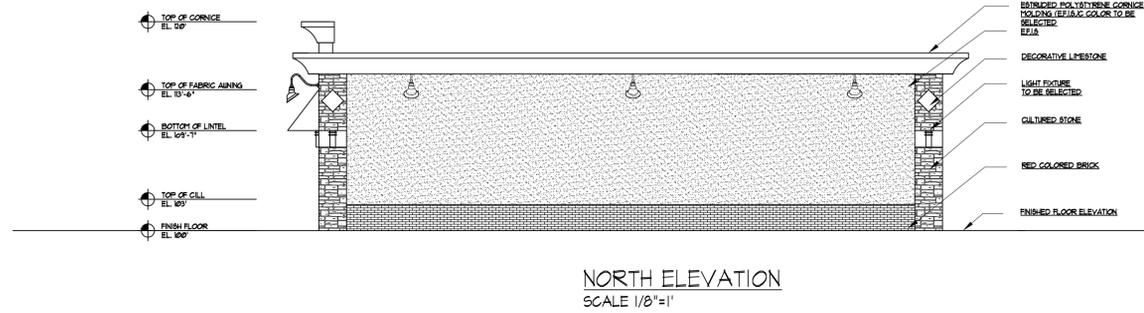
SEAL



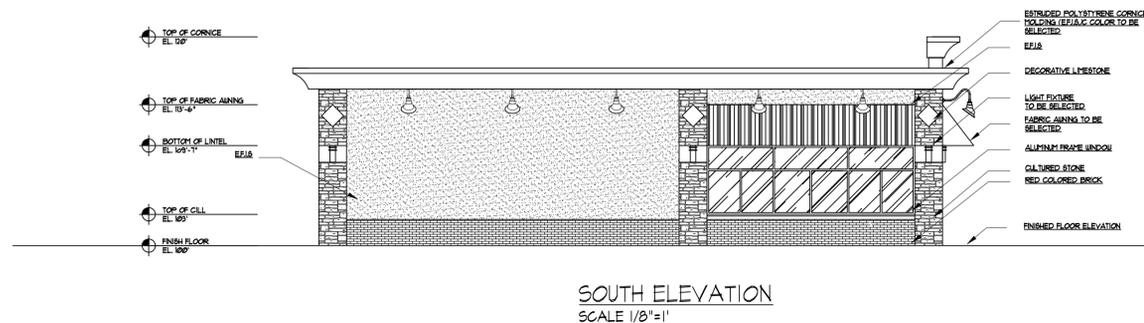
FLOOR PLAN  
SCALE 1/8"=1'



TOILET ELEVATIONS  
SCALE 1/2"=1'



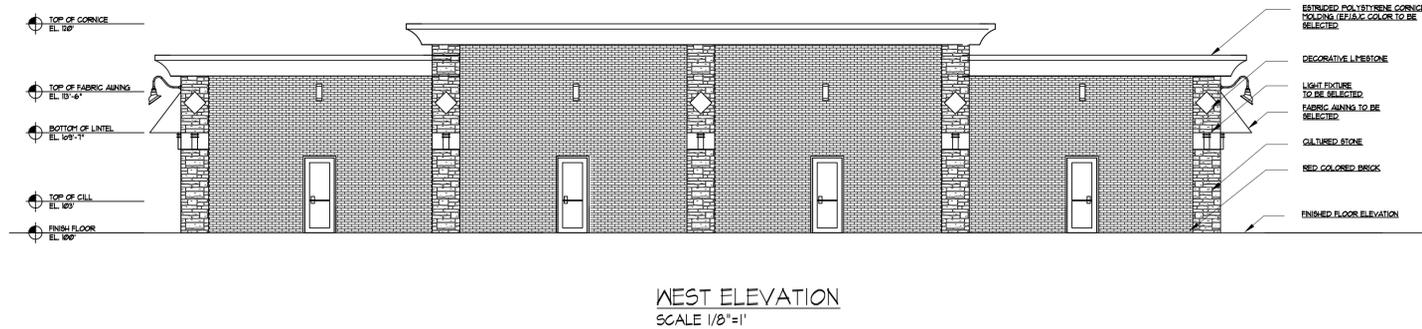
NORTH ELEVATION  
SCALE 1/8"=1'



SOUTH ELEVATION  
SCALE 1/8"=1'



EAST ELEVATION  
SCALE 1/8"=1'



WEST ELEVATION  
SCALE 1/8"=1'

**PROJECT:**  
MURRAY PLAZA

**OWNER'S NAME:**  
HUSSEIN ABU MURRAY  
3730 NEWCASTLE DR.  
ROCHESTER HILLS, MI 48306

**LOCATION:**  
3385 ROCHESTER RD.  
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**APPROVED BY:**  
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**SUBMITTALS**

**REVISIONS:**

09/02/2014  
10/30/2014

**PROJECT NO**

**DATE**  
07/07/2014

**SCALE**  
NOTED

**SHEET TITLE**  
PRELIMINARY  
FLOOR PLAN  
ELEVATIONS

A-1

**SEAL**