



PLANNING COMMISSION

MEETING AGENDA

REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Donald Edmunds, Chair, Philip Sanzica, Vice Chair
Ollie Apahidean, Karen Crusse, Michael W. Hutson, Tom Krent
Padma Kuppa and John J. Tagle

July 28, 2015

7:00 P.M.

Council Board Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – July 14, 2015
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT
7. PLANNING AND ZONING REPORT

PRELIMINARY SITE PLAN REVIEWS

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 1008) – Proposed Virginia Tile Showroom, East side of Crooks, North of Maple (1820 Crooks), Section 28, Currently Zoned MR (Maple Road) District
9. PRELIMINARY SITE PLAN REVIEW (File Number SP 1009) – Proposed Sedona Taphouse Restaurant, South side of Big Beaver, East of Livernois (198 E Big Beaver), Section 27, Currently Zoned BB (Big Beaver) District

CONDITIONAL REZONING REQUEST

10. PUBLIC HEARING - CONDITIONAL REZONING APPLICATION (File Number CR 013) – Proposed Amber Studios and Lofts, East side of Livernois between Vermont and Birchwood, Section 21, From O (Office) District to MR (Maple Road) District

OTHER BUSINESS

11. PLANNED UNIT DEVELOPMENT APPLICATION (PUD 014) – Proposed Stonecrest Planned Unit Development, East side of Livernois between Big Beaver and Wattles, Section 22, Currently Zoned R-1E (One Family Residential) District
12. ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 248) – Woodland Protection
13. PUBLIC COMMENT – Items on Current Agenda
14. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymt.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Edmunds called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 14, 2015 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Ollie Apahidean
Karen Crusse
Donald Edmunds
Michael W. Hutson
Padma Kuppa
Tom Krent
Thomas Strat
John J. Tagle

Absent:

Philip Sanzica

Also Present:

R. Brent Savidant, Planning Director
Allan Motzny, Assistant City Attorney
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2015-07-042

Moved by: Krent

Seconded by: Strat

RESOLVED, To approve the Agenda as prepared.

Yes: All present (8)

Absent: Sanzica

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2015-07-043

Moved by: Tagle

Seconded by: Kuppa

RESOLVED, To approve the minutes of the June 23, 2015 Regular meeting as published.

Yes: All present (8)

Absent: Sanzica

MOTION CARRIED

4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (File Number SP 1007) – Proposed Evangel Baptist Church of Troy Auditorium, South of Maple, West of Dequindre (2900 Lovington), Section 36, Currently Zoned RT (One Family Attached Residential) and IB (Integrated Industrial and Business) Districts

Mr. Savidant presented the item and addressed the revisions to the application. He reported it is recommended to grant Preliminary Site Plan approval with the conditions as stated in the Planning Consultant report dated June 3, 2015.

Saber Kassab of SK Properties was present to represent Evangel Baptist Church.

Chair Edmunds opened the floor for public comment. There was no one present; the floor was closed.

Resolution # PC-2015-07-044

Moved by: Hutson
Seconded by: Apahidean

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Evangel Baptist Church of Troy Auditorium, located south of Maple, west of Dequindre (2900 Lovington), Section 36, within the RT (One Family Attached Residential) and IB (Integrated Industrial and Business) Districts, be granted, subject to the applicant addressing the following items at Final Site Plan review:

1. Submit required stormwater calculations and incorporate stormwater best management practices where possible.
2. Incorporate alternative vegetation in detention pond.
3. Add a 5-foot sidewalk along Lovington or seek a sidewalk waiver.
4. Submit a landscape plan sealed by a licensed landscape architect.

Yes: All present (8)
Absent: Sanzica

MOTION CARRIED

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

6. **PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 414)** – Proposed Speedway Service Station, Southeast Corner of Big Beaver and John R (2980 John R), Section 25, Currently Zoned GB (General Business) District (Controlled by Consent Judgment)

Mr. Savidant reviewed the proposed improvements for the Speedway service station. He reported the application meets all the required Special Use standards and it is recommended to grant Special Use and Preliminary Site Plan approval with the conditions as identified in the Planning Consultant report dated June 25, 2015.

Michael Engman was present to represent Speedway.

There was discussion on expanding the existing greenbelt along Big Beaver.

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED

Resolution # PC-2015-07-045

Moved by: Krent

Seconded by: Tagle

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed improvements to the Speedway service station, located at the southeast corner of Big Beaver and John R (2980 John R), Section 25, currently Zoned GB (General Business) District (Controlled by Consent Judgment), be granted, subject to the applicant resubmitting the following items as part of Final Site Plan review:

1. Remove the ten (10) parking spaces adjacent to Big Beaver and provide a minimum of 10 feet of additional landscaping to the existing green space along Big Beaver.
2. Submit canopy elevations that are architecturally compatible to the principal building.
3. Confirm that the masonry of new building matches existing masonry of the main building.
4. Resubmit lighting and photometric plan that is compliant with Section 13.05.

Yes: All present (9)

Absent: Sanzica

MOTION CARRIED

OTHER BUSINESS

7. **PUBLIC COMMENT** – Items on Current Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENT**

The members and staff thanked Mr. Strat for his exceptional service to the Board and expressed best wishes to him and his family.

Mr. Savidant addressed the July 28, 2015 Planning Commission agenda.

Mr. Motzny introduced Assistant City Attorney Nicole MacMillan.

The Regular meeting of the Planning Commission adjourned at 7:45 p.m.

Respectfully submitted,

Donald Edmunds, Chair

Kathy L. Czarnecki, Recording Secretary

G:\Planning Commission Minutes\2015 PC Minutes\Draft\2015 07 14 Regular Meeting_Draft.doc

DATE: July 27, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 1008) – Proposed Virginia Tile Showroom, East side of Crooks, North of Maple (1820 Crooks), Section 28, Currently Zoned MR (Maple Road) District

The petitioner Saroki Architecture submitted the above referenced Preliminary Site Plan application for a proposed showroom and warehouse at 1820 Crooks.

The property is currently zoned MR (Maple Road) Zoning District. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP 1008 Virginia Tile Showroom Sec 28\SP-1008 PC Memo 2015 07 28.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP 1008) – Proposed Virginia Tile Showroom, East side of Crooks, North of Maple (1820 Crooks), Section 28, Currently Zoned MR (Maple Road) District

Resolution # PC-2015-07-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Virginia Tile Showroom, located on the east side of Crooks and north of Maple (1820 Crooks), Section 28, within the MR (Maple Road) District, be granted, subject to the following:

- 1) Demonstrate shared parking compatibility by providing additional information regarding hours of operation and number of employees and provide parking reciprocal easement.
- 2) Provide additional information regarding anticipated delivery truck size.
- 3) Provide all cross-access agreements prior to Final approval.
- 4) Widen Crooks sidewalk to eight (8) feet.
- 5) Reduce lighting level along the northern property line.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED



Legend:

- Aerial
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

200 0 100 200Feet

Scale 1: 1,200



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: July 21, 2015

Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Victor Sarokia, FAIA c/o Saroki Architecture 430 N. Old Woodward Birmingham, MI 48009
Project Name:	Virginia Tile Showroom
Plan Date:	June 16, 2015
Location:	1820 Crooks Road: East side of Crooks Road, north of Maple Rd.
Zoning:	MR, Maple Road Form Based District
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

The applicant is requesting preliminary site plan approval for a commercial development on the east side of Crooks Road, north of Maple Road. The 1.3 acre site is currently vacant. The applicant is proposing a 15,000 sq. ft. Virginia Tile showroom with 2,000 sq. ft. of ancillary office and support spaces. Virginia Tile is a provider of ceramic tile and natural stone. Access to the site will be via the existing curb-cut off Crooks Rd., which is currently shared with the property to the north. Additional cross-access is proposed to the properties to the east and south.

The adjacent property to the east (fronting on Northwood Drive), is also owned by Virginia Tile and used for warehousing. The applicant proposes shared parking between the two sites.

The property is zoned Maple Road District. The proposed commercial development and use are

permitted by right within the District and require Site Plan approval from the Planning Commission.

Location of Subject Property:

East side of Crooks Rd. north of Maple Rd.

Proposed Use of Subject Parcel:

Virginia Tile showroom and sale center with ancillary office.

Current Use of Subject Property:

Vacant

Current Zoning:

The property is currently zoned Maple Road Form Based Code, site type B.

Figure 1. – Subject Site Location



Table 1. – Adjacent Zoning and Land Use

Direction	Zoning	Use
North	MR, Maple Road FB	Office
South	MR, Maple Road FB	Office
East	MR, IB, Integrated Industrial Business	Industrial/Office
West	MR, Maple Road FB	Office

MASTER PLAN

The subject site is located within the Maple Road area of the Troy 2008 Master Plan. The intent of the Maple Road area is to provide limited opportunities for transitional or service-oriented uses that complement the primary adjacent industrial areas. Additional goals of the Maple Road area include access management, high-quality architecture, and integrated developments.

The proposed showroom use meets the intent of the Maple Road area and is permitted within the Maple Road Form Based District. Additionally, the applicant proposes high-quality building form and architecture which will provide a unique appearance to this portion of Crooks Road. The development is generally consistent with the goals of the Master Plan.

Items to be Addressed: None

NATURAL FEATURES

Based upon the provided topographic survey, the site is relatively flat. Several small portions of the site are improved with asphalt, concrete and gravel. Several existing trees located in the western portion of the site will be removed as part of the development. According to the MDEQ online wetlands map, no wetlands are located on site.

Items to be Addressed: None

BUILDING ORIENTATION AND OVERALL SITE LAYOUT

The proposed development will be constructed on a vacant lot. As discussed within the Area, Width, Height and Setbacks section below, the general building placement and site layout comply with the standards of the Maple Road Form Based District. The building is proposed to be placed at the ten foot build-to line, and the parking areas will be located in the rear and side yards. The existing access point of Crooks will remain and be widened.

Items to be Addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

The site is being developed with a Building Form A building. Building Form A buildings are permitted for Site Type B within the Maple Road District. Table 5.03.B1 establishes the dimensional requirements for Building Form A.

Table 2. – Building Form A

	Required/Allowed	Provided	Compliance
Front (Crooks)	10 foot build-to-line	10 ft.	Complies
Side	0 ft.	19 ft.	Complies
Rear	30 ft. minimum	167 ft.	Complies
Open Space	30 percent	17,145 sq. ft. (31%)	Complies
Parking	Side or rear yard and screened	Located in rear and side yard.	Complies
Building Height	Minimum: 14 ft. Maximum: 45 ft.	25' 8"	Complies

The proposed building and site arrangement comply with all Maple Road bulk requirements.

Items to be Addressed: None

PARKING

Section 13.06.G of the Zoning Ordinance requires:

Table 3. – Parking Requirements

	Required	Provided
<u>General Commercial/Retail</u> 1 space/250 sq. ft. gross floor area	17,225 sq. ft = 69 spaces	39 on-site spaces + 61 shared spaces = 100 spaces.
Barrier-Free	3 spaces	3 spaces
Bicycle Parking	2	2 spaces
Loading	1 space	1 space

Based on 17,225 gross sq. ft. of commercial space, sixty-nine (69) parking spaces are required. The applicant proposes thirty-nine (39) spaces on-site. The adjacent property to the east (fronting on Northwood Drive), is also owned by Virginia Tile and used for warehousing. The owner notes that the Northwoods Drive property has excess parking. They find that the total 100 spaces should be sufficient for both buildings. Per Section 13.06, shared parking may be permitted, provided a reciprocal parking easement is provided by the property owners and the applicant can demonstrate that the peak usage will occur at different periods of the day. Even

though the same owner owns both properties, a reciprocal parking easement is required in the case that one of the properties is sold.

A 10' x 25' loading zone is proposed adjacent to the east side of the building. Section 13.09 requires loading spaces to be at least fifty (50) feet in length. However, the Planning Commission may modify this requirement for uses that will involve smaller delivery trucks. The applicant should provide additional information regarding anticipated delivery truck size. Parking space and aisle dimensions meet Ordinance requirements.

Items to be Addressed: 1) Demonstrate shared parking compatibility by providing additional information regarding hours of operation and number of employees; 2) Provide parking reciprocal easement; and 3) Provide additional information regarding anticipated delivery truck size.

SITE ACCESS AND CIRCULATION

Access to the site will be provided via the existing curb cut off Crooks Road, which will be widened. The applicant shall receive a permit from RCOC prior to widening the drive approach. The existing drive is shared with the property to the north and, according to Sheet 1, an existing cross-access agreement is in place. Additional cross-access is proposed to the property to the east and south. The applicant should provide all cross-access agreements prior to final site plan approval.

Sidewalks along major mile roads are required to be eight (8) feet. The applicant will be required to widen Crooks sidewalk to eight (8) feet.

Items to be Addressed: 1). Provide all cross-access agreements prior to final site plan approval; and 2). Widen Crooks sidewalk to eight (8) feet.

LANDSCAPING

The applicant has provided a preliminary landscape plan. Landscaping shall be provided in accordance with Section 13.02 and as highlighted below:

Table 4. – Landscaping Requirements

	Required	Provided	Compliance
Street Trees: Greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet.	165 lineal feet = 6 trees	6 trees and various shrubs	Complies
Site Landscaping: A minimum of twenty percent (20%) of the site	9,448 sq. ft. of landscaping	Over 10,000 sq. ft.*	Complies

area shall be comprised of landscape material.			
Interior Parking Lot Landscaping: 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	39 spaces = 5 trees	14 trees	Complies
Parking Lot Screening: Screened with a minimum 30-inch masonry wall on required building line or within 5 ft. of building line.	30" masonry screen wall with landscaping.	30" screen wall with landscaping	Complies

*Site area landscaping may include a combination of the preservation of existing tree cover, planting of new trees and plant material, landscape plazas, gardens and building foundation planting beds.

The proposed preliminary landscape plan meets Zoning Ordinance standards. However, the applicant should provide landscape calculations on the final site plan to confirm that requirements have been met.

Parking Lot Screening: The applicant proposes a 30" masonry brick screen wall adjacent to Crooks Rd. to screen the side yard parking area. Details of the wall have been provided. Shrub rose and boxwood shrubs will be placed around the screen wall.

Trash Enclosure: A trash enclosure is proposed at the northeast corner of the site. The trash enclosure will be screened with a brick screen wall and steel-reinforced wood gate.

Courtyard: A courtyard with five (5) trees is proposed to the southeast of the building adjacent to the parking lot. The courtyard provides a pedestrian and staff amenity.

Items to be Addressed: None

PEDESTRIAN CIRCULATION

There is an existing sidewalk along Crooks Rd. A new seven (7) foot sidewalk will provide a connection between the existing Crooks Rd. sidewalk and the main building entrance located on the north side of the building. Additional building entrances are provided adjacent to Crooks Road and adjacent to the rear parking area.

Items to be Addressed: None

LIGHTING

The applicant has submitted a lighting and photometric plan. In addition to building lighting, the applicant proposes three (3) single-headed pole lights and three (3) double-headed pole lights

in the parking lot. Lighting levels slightly exceeds ordinance requirements along the northern property line.

Items to be Addressed: *Reduce lighting level along the northern property line.*

UTILITIES

The applicant proposes an underground stormwater detention facility in the rear parking area. The site plan denotes that a new overhead electricity line will be constructed to the south of the building; the applicant will provide a new utility easement running along the south edge of the property.

Items to be Addressed: *None*

FLOOR PLANS AND ELEVATIONS

The applicant has submitted floor plans and elevations. The architecture complies with the Maple Road Form Based District standards, including the use of material changes, projections, façade articulation and fenestration and windows. The building provides architectural detail as well as changes in horizontal and vertical scaling, variations in material, and pattern to provide ground story activation. See design standards below for additional information.

The building facades will be constructed of block masonry, glass and porcelain panels. The applicant has not indicated building color. As required, the applicant shall submit samples, swatches or manufacturer's specification sheets of the predominant proposed exterior materials and colors.

Items to be Addressed: *Submit samples, swatches or manufacturer's specification sheets of the predominant proposed exterior materials and colors at Planning Commission meeting.*

DESIGN STANDARDS

The Maple Road design standards provide the Planning Commission with direction when reviewing the proposed design of this development. These design standards, as provided in Section 5.05, are listed below:

Façade Variation

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet.

Comment: Through the use of material changes, changes in vertical scaling and fenestration, the proposed building meets this standard.

Pedestrian Access/Entrance

- a. *Primary Entrance: The primary entrance for non-residential buildings shall be clearly identifiable and usable and located facing the right-of-way.*

Comment: While the main building entrance faces the side parking lot, the building is accessible from Crooks Rd.

- b. *Pedestrian Connection: A pedestrian connection (5 ft. in width) shall provide a clear connection between the primary street and the building*

Comment: A seven (7) foot sidewalk connects the Crooks Rd. sidewalk to the main building entrance.

- c. *Additional Entrances: In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance.*

Comment: Prominent building entrances are provided adjacent to Crooks Rd. and adjacent to the parking lots on the northern and eastern sides of the building.

Ground Story Activation

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing [...] a parking area shall be no less than thirty (30) percent of the façade.

Comment: Through windows, doors, varying wall design, and the outdoor courtyard area, the transparency requirement has been met.

Transitional Features

Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.

Comment: Due to the proximity of other commercial, office and industrial uses, the proposed commercial development is not more intense than adjacent uses. However, the design of the proposed building appears to mitigate any potential incompatibility between adjacent uses.

Site Access and Parking

- a. *Required Parking: Off-street parking shall be provided in accordance with the standards set forth in Article 13. [...] Applicants (in form based districts) are encouraged to consider the provisions for shared parking.*

Comment: The applicant proposes a shared parking arrangement. The Planning Commission should address the issues provided within the “parking” section of this review.

b. *Location*

- i. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site’s linear feet along the building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*
- ii. *For a corner lot, shall be no more than fifty (50) percent of the site’s cumulative linear feet [...].*
- iii. *For a double frontage lot, the cumulative total of all frontages shall be no more than sixty-five (65) percent of the total site’s linear feet [...].*
- iv. *Where off-street parking is visible from a street, it should be screened in accordance with Section 13.02.C.*

Comment: Side yard parking is proposed. The parking area only occupies approximately sixteen (16) percent of the total site’s linear feet along the building line, meeting Ordinance requirements. A brick screen wall with landscaping is proposed to screen the side-yard parking.

Items to be Addressed: None

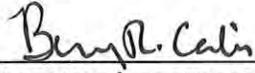
SUMMARY OF FINDINGS

We support the conceptual development of this site, and find that the concept plan is consistent with the vision for the Maple Road district and the requirements of the Maple Road Form Based District. We recommend approval with the following items to be submitted as part of the final site plan:

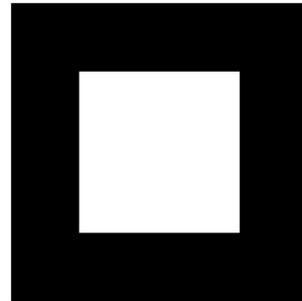
- 1) *Demonstrate shared parking compatibility by providing additional information regarding hours of operation and number of employees and provide parking reciprocal easement.*
- 2) *Provide additional information regarding anticipated delivery truck size.*
- 3) *Provide all cross-access agreements.*
- 4) *Widen Crooks sidewalk to eight (8) feet.*

Virginia Tile
July 21, 2015

5) *Reduce lighting level along the northern property line.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



VIRGINIATILE

1820 CROOKS ROAD
TROY, MICHIGAN

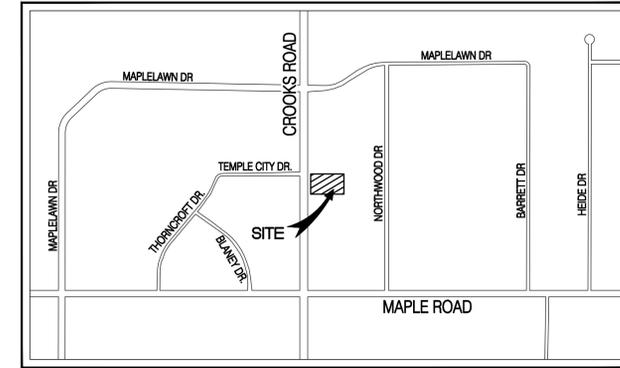
PRELIMINARY SITE PLAN APPROVAL

JULY 28, 2015

SAROKI
ARCHITECTURE

VIRGINIA TILE PROPOSED NEW SHOWROOM

1820 Crooks Road
Troy, Michigan, 48084



site location map:



Owner:

WRK/TROY, LLC
24404 Indoplex Circle
Farmington Hills, Michigan 48335

Architect:

Saroki Architecture
430 N. Old Woodward Avenue / Suite 300
Birmingham, Michigan 48009
T: 248.258.5707
F: 248.258.5515
Contact: Victor Saroki, FAIA

Civil Engineer:

Nowak & Fraus Engineers
46777 Woodward Avenue
Pontiac, MI 48348
T: 248-332-7931
F: 248-332-8257
Contact: Patrick Williams, P.E

Zoning Ordinance Information:

Zone: MR
Street Type: MR-A
Site Type: MR-B
Use Group: 5 (Retail)
Building Form: A

Building Area:

17,225 S.F. Gross Building Area
15,301 S.F. Net Building Area

Site Area:

55,500 S.F. (1.274 AC) Gross Site Area
47,240 S.F. (1.084 AC) Net Site Area

Parking Requirements:

Spaces Provided: 39
Spaces Required: 61

Open Space Requirements:

Open Space Provided: 31% = 17,145 / 55,500
Open Space Required: 30%

Sheet Index:										
●	ISSUED SHEET									
○	ISSUED FOR REFERENCE ONLY									
☐	NOT INCLUDED / NOT ISSUED									
GENERAL										
A000	COVER SHEET / SITE INFORMATION	●								
CIVIL										
1	EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY	●								
C-2	PRELIMINARY GRADING PLAN	●								
LANDSCAPE										
L1	LANDSCAPE PLAN	●								
ARCHITECTURAL										
SP1	SITE PLAN	●								
A110	FLOOR PLAN	●								
A200	NORTH ELEVATION	●								
A201	WEST ELEVATION	●								
A202	SOUTH ELEVATION	●								
A203	EAST ELEVATION	●								
-	SITE LIGHTING AT GRADE	●								

SAROKI
ARCHITECTURE

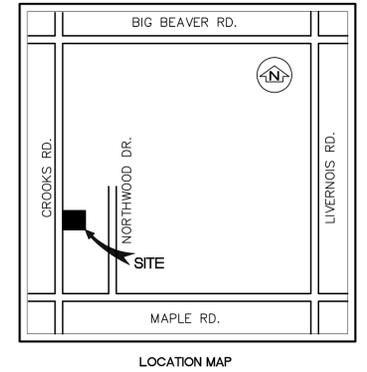
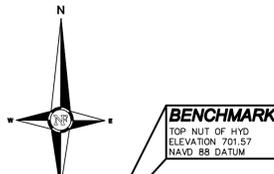
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI

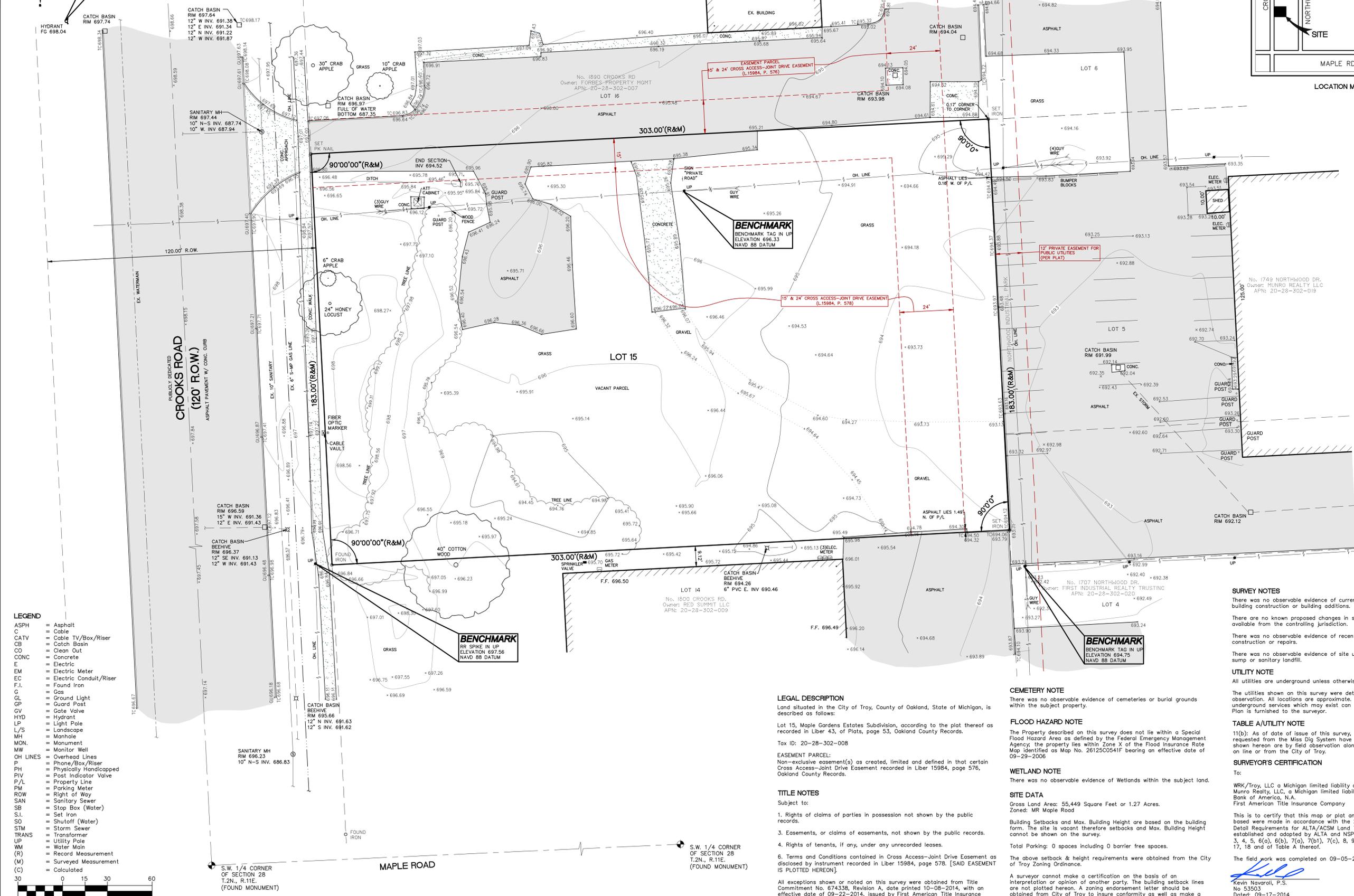
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
A000
COVER SHEET



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVENUE
PONTIAC, MI 48342
TEL. (248) 332-7931
FAX. (248) 332-8257
EMAIL: rfraus@nowakfraus.com

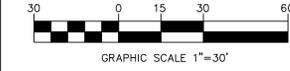


TOPO LEGEND

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[Symbol]	CLEAN OUT
[Symbol]	COMBINED SEWER MANHOLE
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[Symbol]	HYDRANT
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[Symbol]	TELEPHONE MANHOLE
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[Symbol]	ROCK/BUILDUP
[Symbol]	SPRINKLER VALVE BOX
[Symbol]	SPRINKLER HEAD
[Symbol]	FOUND PROPERTY MARKER
[Symbol]	GROUND ELEVATION
[Symbol]	STORM SEWER
[Symbol]	SANITARY SEWER
[Symbol]	WATER MAIN
[Symbol]	GAS MAIN
[Symbol]	OVERHEAD CABLES
[Symbol]	UNDERGROUND CABLES

LEGEND

ASPH	= Asphalt
C	= Cable
CATV	= Cable TV/Box/Riser
CB	= Catch Basin
CO	= Clean Out
CONC	= Concrete
E	= Electric
EM	= Electric Meter
EC	= Electric Conduit/Riser
F.I.	= Found Iron
G	= Gas
GL	= Ground Light
GP	= Guard Post
GV	= Gate Valve
HYD	= Hydrant
LP	= Light Pole
L/S	= Landscape
MH	= Manhole
MON.	= Monument
MW	= Monitor Well
OH LINES	= Overhead Lines
P	= Phone/Box/Riser
PH	= Physically Handicapped
PVI	= Post Indicator Valve
P/L	= Property Line
PM	= Parking Meter
ROW	= Right of Way
SAN	= Sanitary Sewer
SB	= Stop Box (Water)
S.I.	= Set Iron
SO	= Shutoff (Water)
STM	= Storm Sewer
TRANS	= Transformer
UP	= Utility Pole
WM	= Water Main
(R)	= Record Measurement
(M)	= Surveyed Measurement
(C)	= Calculated



PROJECT
INDUSTRIAL BLDG.

PROJECT LOCATION
1820 Crooks Road
Part of the SW 1/4 of
Section 28, T.2N, R.11E
City of Troy,
Oakland County, Michigan

SHEET
Boundary/Topographic/
ALTA/ACSM Survey

REVISIONS
10-10-2014 Rev. per New Title Commitment
11-20-2014 Rev. Certification

DATE ISSUED:
09-17-2014

SCALE:
1"=30'

NFB JOB NO.
I232

SHEET NO.
1

DRAWN BY:
D. McConkey

APPROVED BY:
K.N./R.FRAUS

EMAIL:
rfraus@nowakfraus.com

DATE ISSUED:
09-17-2014

SCALE:
1"=30'

NFB JOB NO.
I232

SHEET NO.
1

LEGAL DESCRIPTION
Land situated in the City of Troy, County of Oakland, State of Michigan, is described as follows:
Lot 15, Maple Gardens Estates Subdivision, according to the plat thereof as recorded in Liber 43, of Plots, page 53, Oakland County Records.
Tax ID: 20-28-302-008

EASEMENT PARCEL:
Non-exclusive easement(s) as created, limited and defined in that certain Cross Access-Joint Drive Easement recorded in Liber 15984, page 576, Oakland County Records.

CEMETERY NOTE
There was no observable evidence of cemeteries or burial grounds within the subject property.

FLOOD HAZARD NOTE
The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26125C0541F bearing an effective date of 09-29-2006.

WETLAND NOTE
There was no observable evidence of Wetlands within the subject land.

SITE DATA
Gross Land Area: 55,449 Square Feet or 1.27 Acres.
Zoned: MR Maple Road

Building Setbacks and Max. Building Height are based on the building form. The site is vacant therefore setbacks and Max. Building Height cannot be shown on the survey.

Total Parking: 0 spaces including 0 barrier free spaces.

The above setback & height requirements were obtained from the City of Troy Zoning Ordinance.

A surveyor cannot make a certification on the basis of an interpretation or opinion of another party. The building setback lines are not plotted hereon. A zoning endorsement letter should be obtained from City of Troy to insure conformity as well as make a final determination of the required building setback requirements.

LEGAL DESCRIPTION
Land situated in the City of Troy, County of Oakland, State of Michigan, is described as follows:
Lot 15, Maple Gardens Estates Subdivision, according to the plat thereof as recorded in Liber 43, of Plots, page 53, Oakland County Records.
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Tax ID: 20-28-302-008

EASEMENT PARCEL:
Non-exclusive easement(s) as created, limited and defined in that certain Cross Access-Joint Drive Easement recorded in Liber 15984, page 576, Oakland County Records.

SURVEY NOTES
There was no observable evidence of current earth moving work, building construction or building additions.

There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.

There was no observable evidence of recent street or sidewalk construction or repairs.

There was no observable evidence of site use as a solid waste dump, sump or sanitary landfill.

UTILITY NOTE
All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

TABLE A/UTILITY NOTE
11(b). As of date of issue of this survey, underground utility plans requested from the Miss Dig System have not been delivered. Utilities shown hereon are by field observation along with utility plans available on line or from the City of Troy.

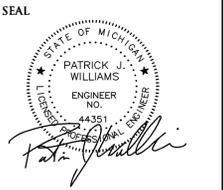
SURVEYOR'S CERTIFICATION
To:
WRK/Troy, LLC a Michigan limited liability company
Manro Realty, LLC, a Michigan limited liability company
Bank of America, N.A.
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 11(a), 11(b), 13, 14, 16, 17, 18 and of Table A thereof.

The field work was completed on 09-05-2014

Kevin Navaroli, P.S.
No. 53503
Dated: 09-17-2014
Revised: 11-20-2014





PROJECT
Virginia Tile-
1820 Crooks Road

CLIENT
Saroki Architecture
430 N. Old Woodward
Birmingham, MI 48009

Contact:
Victor Saroki
Tel. (248) 258-5707

PROJECT LOCATION
Part of the SW 1/4
of Section 28,
T.2N., R.11E
City of Troy,
Oakland County, Michigan

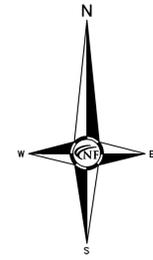
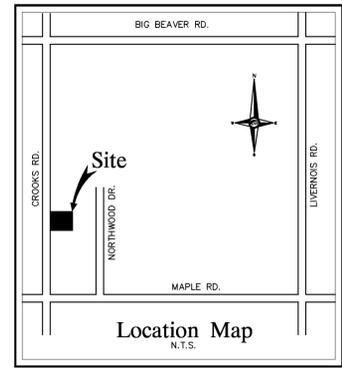
SHEET
Preliminary Grading Plan



Know what's below
Call before you dig.

REVISIONS

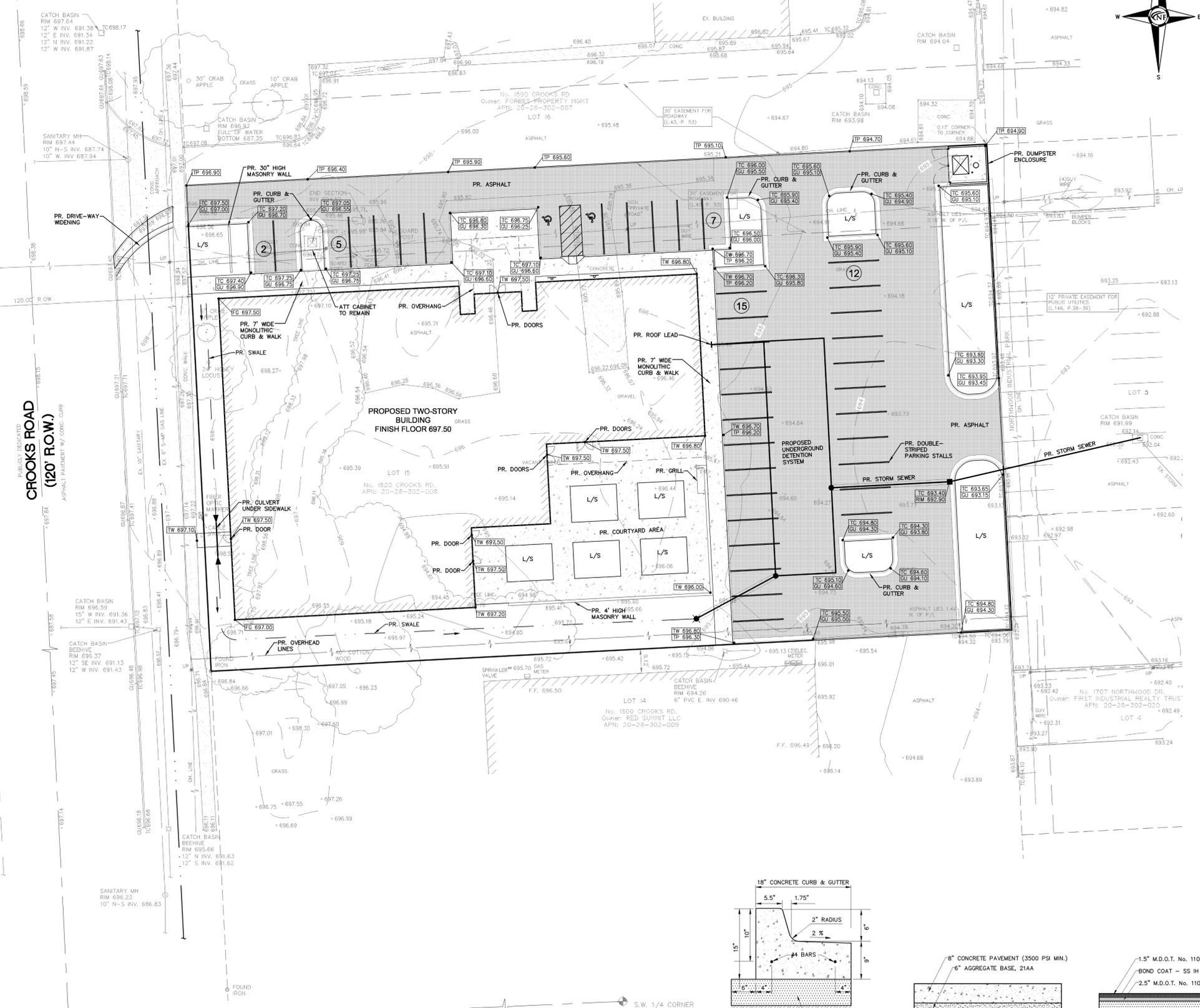
DRAWN BY:
C. Hazzard
DESIGNED BY:
P. Williams
APPROVED BY:
P. Williams
DATE:
June 15, 2015
SCALE: 1" = 20'
NFE JOB NO. 1231-01 SHEET NO. C-2



W. 1/4 CORNER
OF SECTION 28
T.2N., R.11E
(FOUND MONUMENT)

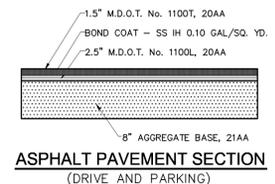
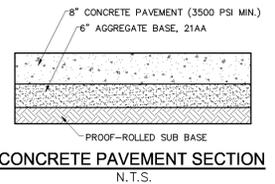
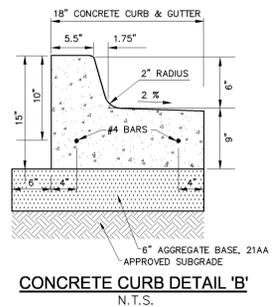
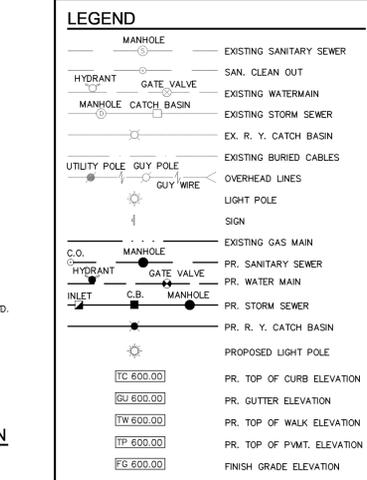
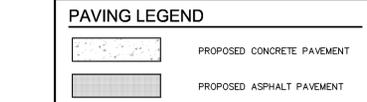
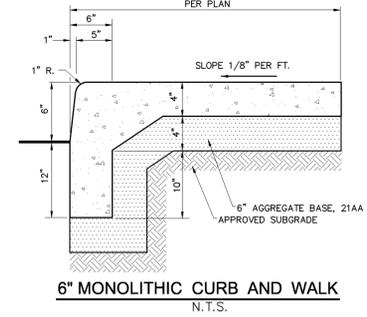
PUBLICLY DEDICATED
CROOKS ROAD
(120' R.O.W.)

S.W. 1/4 CORNER
OF SECTION 28
T.2N., R.11E
(FOUND MONUMENT)

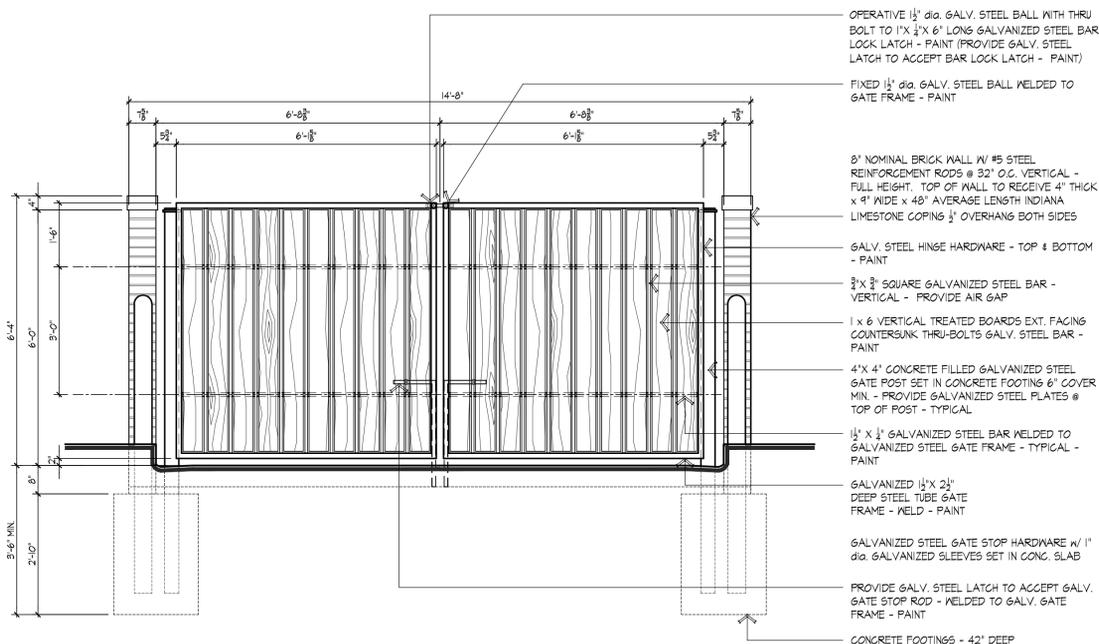


GENERAL PAVING NOTES

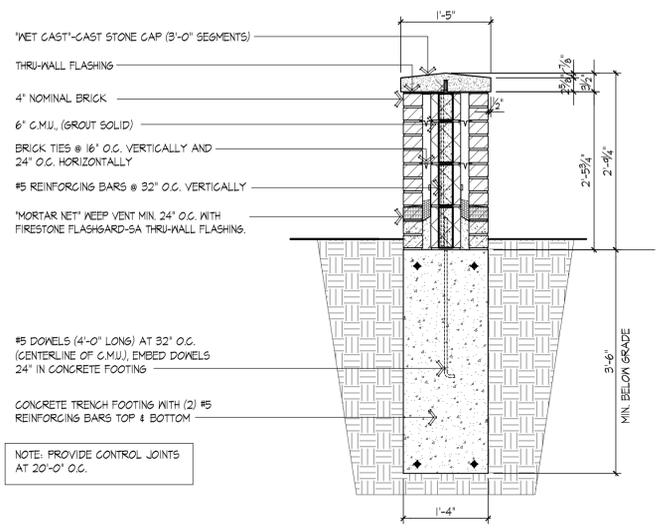
- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.
- PAVEMENT SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RAIL.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.



A
B
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H



C3 Trash Enclosure Elevation
SCALE: 1/2" = 1'-0"



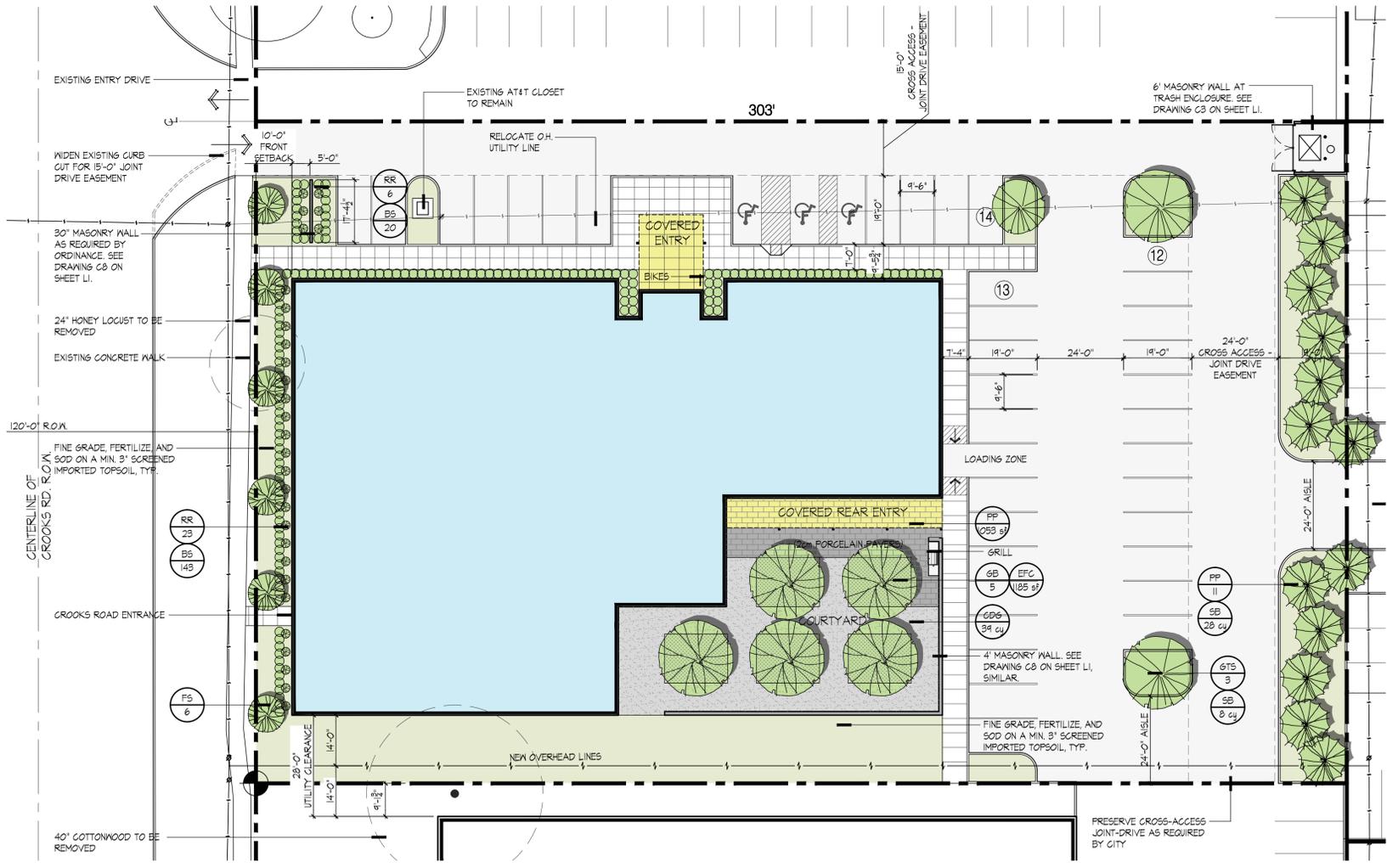
C3 Section at Site Wall
SCALE: 3/4" = 1'-0"

PLANT & MATERIAL SCHEDULE					
Sym.	Qty.	Botanical Name	Common Name	Size	Root
Deciduous Trees					
F5	6	<i>Fagus sylvatica</i> 'Red Obelisk'	Red Columnar Beech	3 - 3 1/2" cal.	B & B
GT5	3	<i>Gleditsia triacanthos</i> inermis 'Skyline'	Skyline Honeylocust	3 - 3 1/2" cal.	B & B
GB	5	<i>Ginkgo biloba</i>	Maidenhair Tree	3 - 3 1/2" cal.	B & B
Evergreen Trees					
PP	11	<i>Picea pungens</i>	Colorado Spruce	12" - 14" ht.	B & B
Shrubs					
RR	24	<i>Rosa radrazz</i>	Knock Out Shrub Rose	30" - 36" ht.	B & B
BS	163	<i>Buxus sempervirens</i>	Common Boxwood	18" - 24" ht.	B & B
Groundcovers					
EFC	1185 sf	<i>Euonymus fortunei</i> 'Coloratus'	Purpleleaf Wintercreeper	1 gal.	Con
Materials					
CD6	34 cy	Compacted Decomposed Granite			Install 6" deep
SB	36 cy	Shredded hardwood bark mulch (seasoned, dark brown)			Install 4" deep
BST	1053 sf	Porcelain Pavers (2cm thick)		18" x 36"	

F2 Plant and Material Schedule
SCALE: None

LANDSCAPE CALCULATIONS			
	Required	Provided	Compliance
Street Trees: Greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet.	165 lineal feet = 6 trees	6 trees and various shrubs	Complies
Site Landscaping: A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	9,448 sq. ft.	Over 10,000 sq. ft.	Complies
Interior Parking Lot Landscaping: One (1) tree for every eight (8) parking spaces.	34 spaces = 5 trees	14 trees	Complies
Parking Lot Screening: Screened with a minimum 30-inch masonry wall on required building line or within 5 ft. of building line.	30" masonry screen wall	30" masonry screen wall with landscaping	Complies

H2 Landscape Calculations
SCALE: None



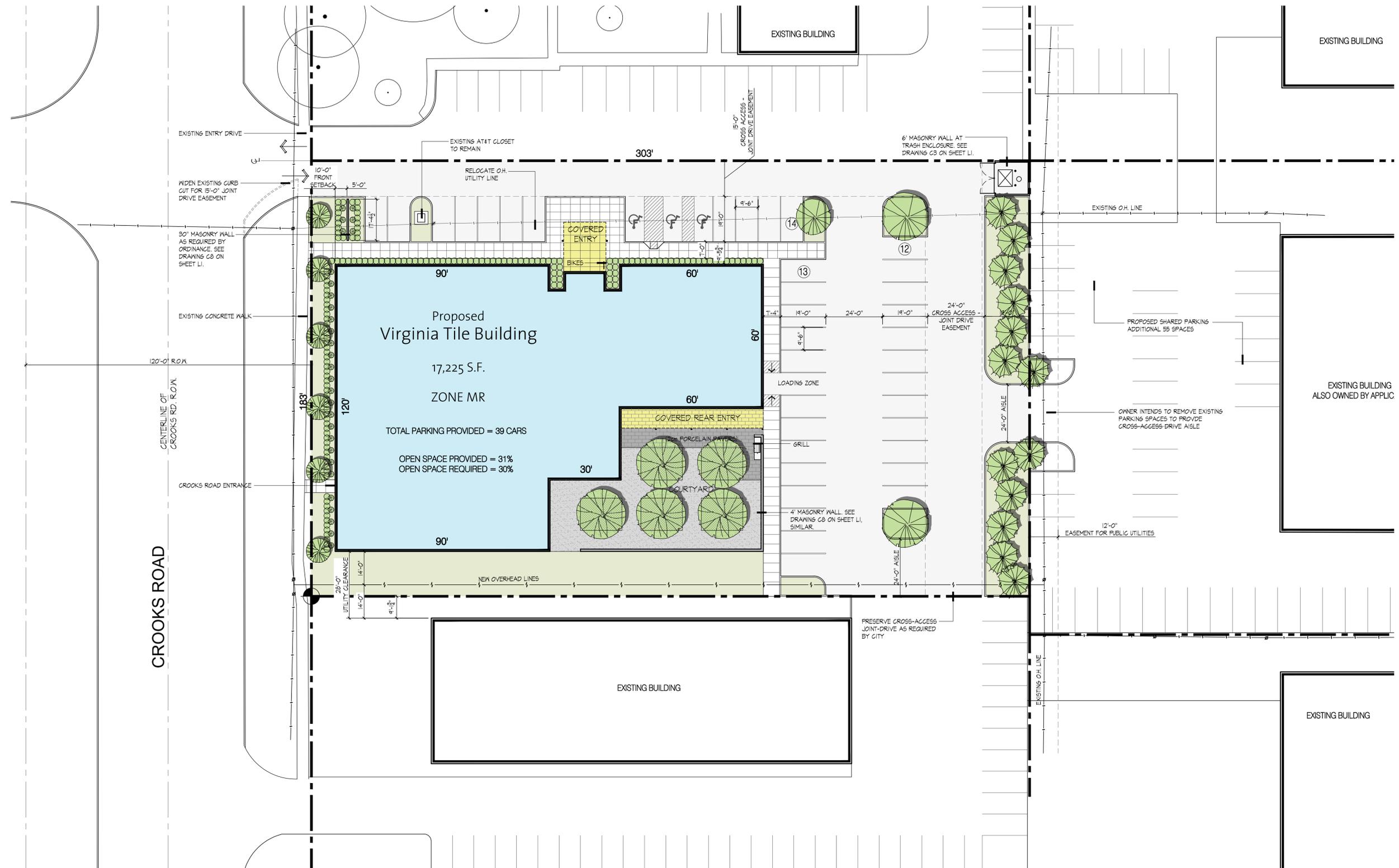
H7 Preliminary Landscape Plan
SCALE: 1" = 20'

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
L1
LANDSCAPE PLAN

A
B
C
D
E
F
G
H



SAROKI
 ARCHITECTURE
 430 N. OLD WOODWARD
 BIRMINGHAM, MI 48009
 P. 248.258.5707
 F. 248.258.5515
 SarokiArchitecture.com

Project:
 Virginia Tile
 1820 Crooks Road
 Troy, MI
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
 SP1
 ARCHITECTURAL SITE PLAN

Preliminary Site Plan
 SCALE: 1" = 20'

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



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ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
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SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
A110
FLOOR PLAN



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



F6 North Elevation
A200 SCALE: 1/8" = 1'-0"

SIGN ORDINANCE INFORMATION

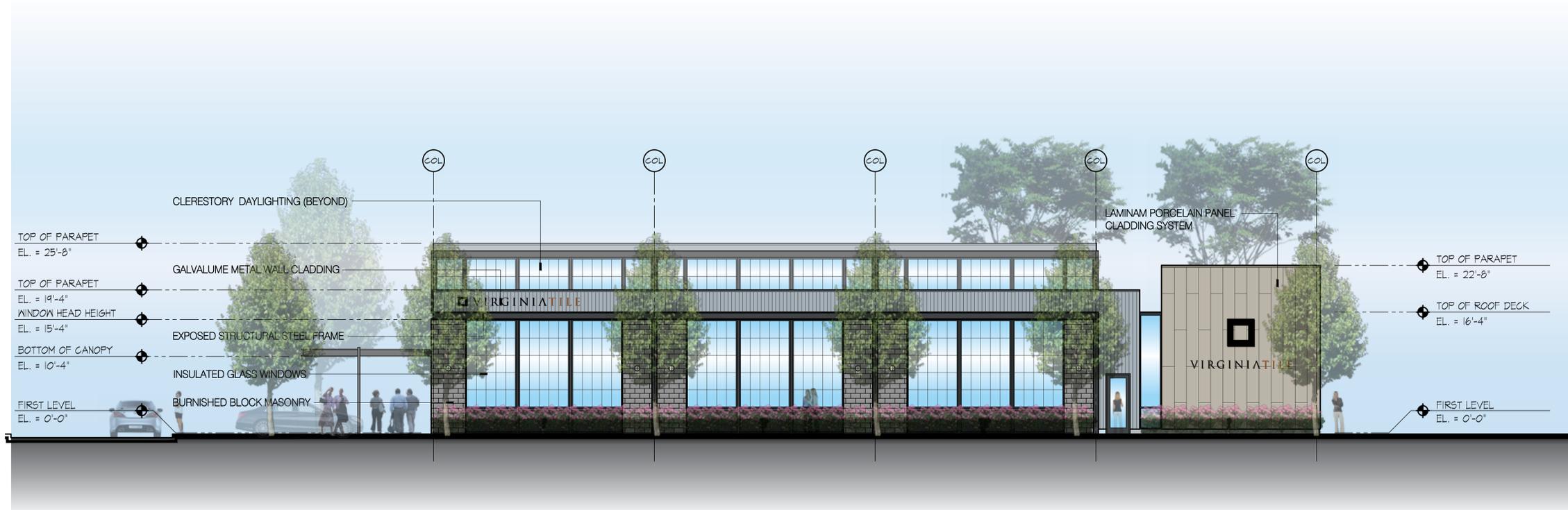
WALL SIGN AREA ALLOWED: 10%
WALL SIGN AREA USED: 2.3%

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
A200
EXTERIOR ELEVATIONS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



F6 West Elevation
A20 SCALE: 1/8" = 1'-0"

SIGN ORDINANCE INFORMATION

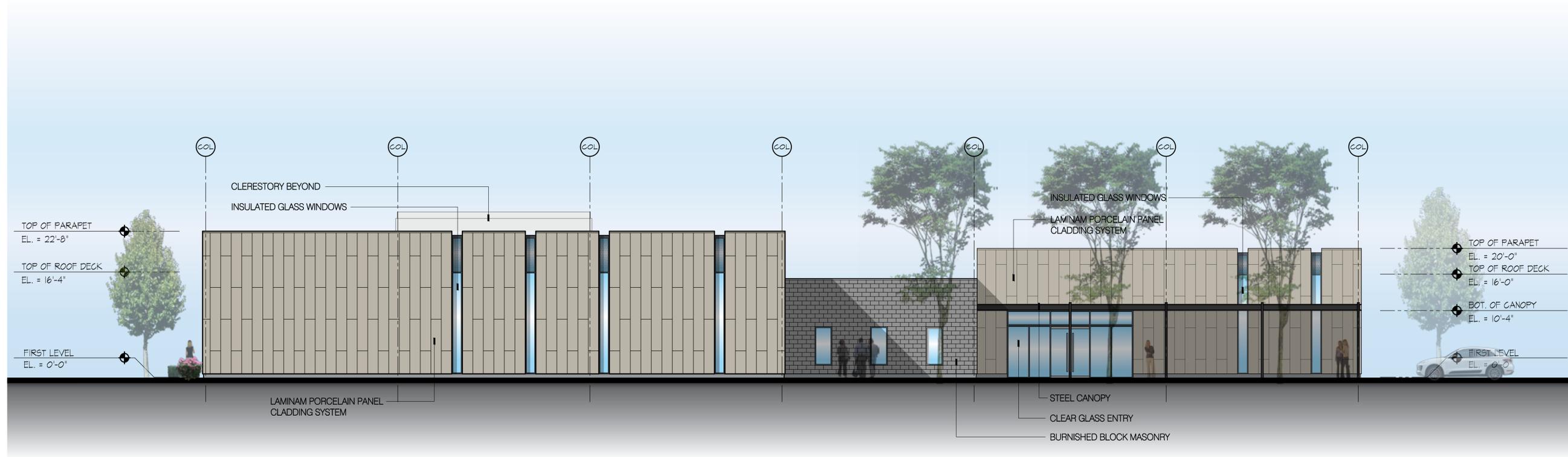
WALL SIGN AREA ALLOWED: 10%
WALL SIGN AREA USED: 6.5%

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI
Date: Issued For:
07-21-2015 PRELIM. SITE PLAN APPROVAL

Sheet No.:
A201
EXTERIOR ELEVATIONS

A
B
C
D
E
F
G
H



F6 South Elevation
A202 SCALE: 1/8" = 1'-0"

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
A202
EXTERIOR ELEVATIONS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



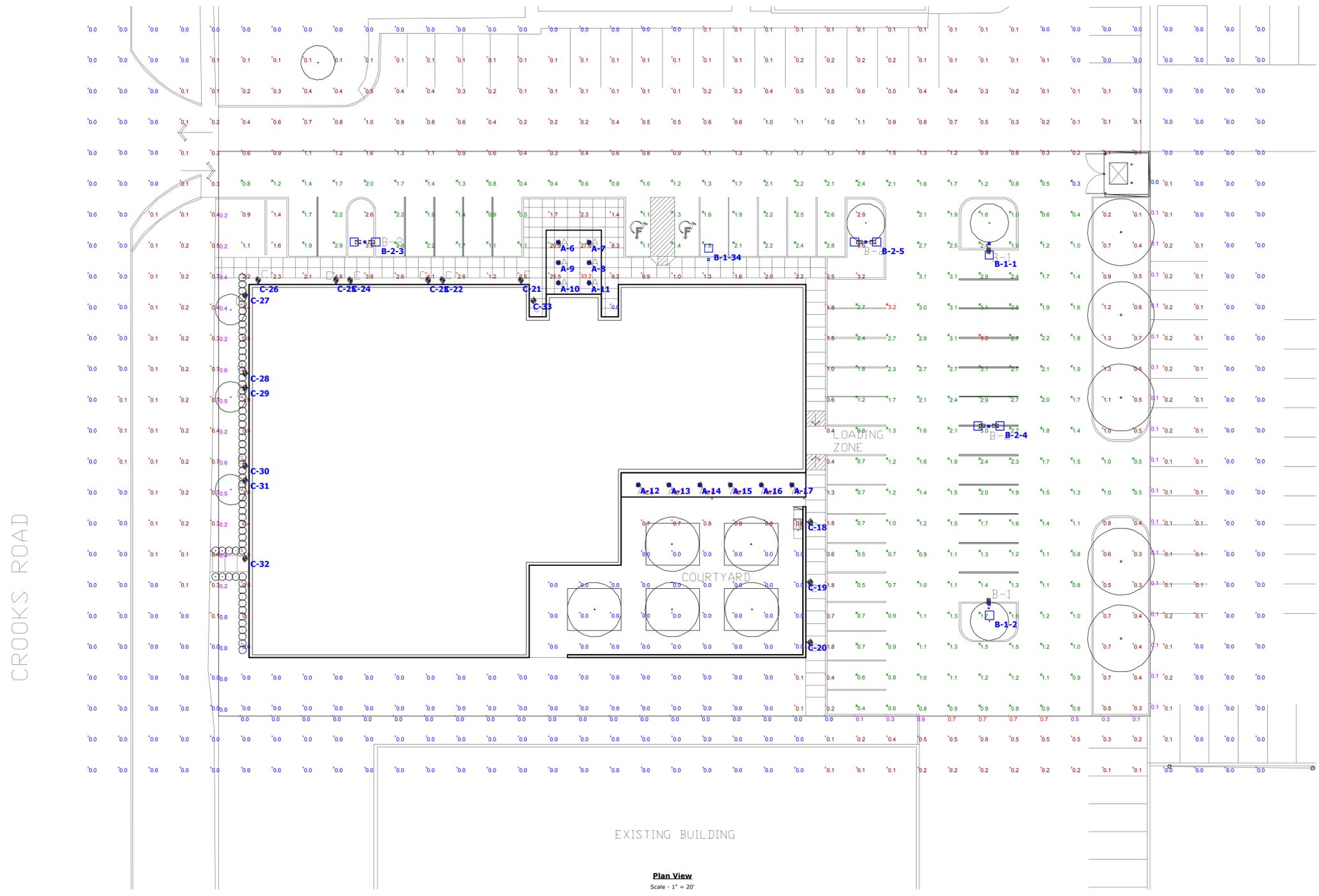
F6 East Elevation
A203 SCALE: 1/8" = 1'-0"

SAROKI
ARCHITECTURE
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009
P. 248.258.5707
F. 248.258.5515
SarokiArchitecture.com

Project:
Virginia Tile
1820 Crooks Road
Troy, MI
Date: 07-21-2015 **Issued For:** PRELIM. SITE PLAN APPROVAL

Sheet No.:
A203
EXTERIOR ELEVATIONS

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



EXISTING BUILDING

Plan View
Scale - 1" = 20'

Luminaire Locations						
No.	Label	Location		MH	Orientation	Tilt
		X	Y			
1	B-1	240.15	133.06	25.00	180.00	0.00
2	B-1	240.24	16.33	25.00	180.00	0.00
3	B-2	37.10	133.65	25.00	90.00	0.00
4	B-2	240.04	74.05	25.00	90.00	0.00
5	B-2	199.96	133.68	25.00	90.00	0.00
6	A	100.04	133.60	12.00	90.00	0.00
7	A	110.11	133.51	12.00	90.00	0.00
8	A	110.11	126.96	12.00	90.00	0.00
9	A	100.00	127.00	12.00	90.00	0.00
10	A	100.04	120.45	12.00	90.00	0.00
11	A	109.98	120.36	12.00	90.00	0.00
12	A	125.99	55.03	12.00	0.00	0.00
13	A	136.02	54.98	12.00	0.00	0.00
14	A	146.00	54.93	12.00	0.00	0.00
15	A	156.13	54.98	12.00	0.00	0.00
16	A	166.01	54.93	12.00	0.00	0.00
17	A	175.98	55.08	12.00	0.00	0.00
18	C	180.70	43.03	4.00	90.00	0.00
19	C	180.73	23.51	4.00	90.00	0.00
20	C	180.70	4.01	4.00	90.00	0.00
21	C	87.84	120.25	8.00	0.00	0.00
22	C	62.32	120.22	8.00	0.00	0.00
23	C	57.65	120.22	8.00	0.00	0.00
24	C	32.30	120.28	8.00	0.00	0.00
25	C	27.60	120.25	8.00	0.00	0.00
26	C	2.34	120.13	8.00	0.00	0.00
27	C	-0.62	116.43	8.00	270.00	0.00
28	C	-0.68	91.15	8.00	270.00	0.00
29	C	-0.66	86.43	8.00	270.00	0.00
30	C	-0.66	61.15	8.00	270.00	0.00
31	C	-0.64	56.46	8.00	270.00	0.00
32	C	-0.64	31.09	8.00	270.00	0.00
33	C	91.29	114.53	8.00	90.00	0.00
34	B-1	148.85	128.05	25.00	0.00	0.00

Luminaire Schedule											
Symbol	Label	Quantity	Manufacturer	Description	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	12	Gotham Architectural Lighting	8" LED DOWNLIGHT, 4100K, 2200 LUMENS, STANDARD DISTRIBUTION WITH CLEAR SPECULAR REFLECTOR	EVO 41/22 BAR LS 120	LED	1	EVO_41_22_BA R_LS_120.ies	2556.711	0.9	39.3
	B-1	3	Lithonia Lighting	AS1 LED GEN 1 HLM, 63 LEDS, 350mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	AS1 LED 1 63B350/40K SR3	ONE 74.8-WATT LED, AIMED DOWN POS.	1	AS1_LED_1_63 B350_40K_SR3 .ies	6275.9	0.9	74
	B-2	3	Lithonia Lighting	AS1 LED GEN 1 HLM, 63 LEDS, 350mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	AS1 LED 1 63B350/40K SR3	ONE 74.8-WATT LED, AIMED DOWN POS.	1	AS1_LED_1_63 B350_40K_SR3 .ies	6275.9	0.9	148
	C	16	Louis Poulsen	Skot U-post	SKT 1-26WCF	Compacr FL	1	skot wall_ceiling_1_26w_32w_cf gx24q-3_asymmetric_opal_wall_mounted_32wt c_tel_90655001.ies	2400	0.72	35

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL LTG VALUES AT GRADE	+	0.9 fc	33.2 fc	0.0 fc	N/A	N/A
PARKING LOT	X	1.6 fc	3.2 fc	0.3 fc	10.7:1	5.3:1
PROPERTY LINE	+	0.2 fc	0.7 fc	0.0 fc	N/A	N/A

Note

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. GBA DOES NOT ACT AS THE CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS. POLES SPECIFICATIONS ARE NOT INCLUDED WITH EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

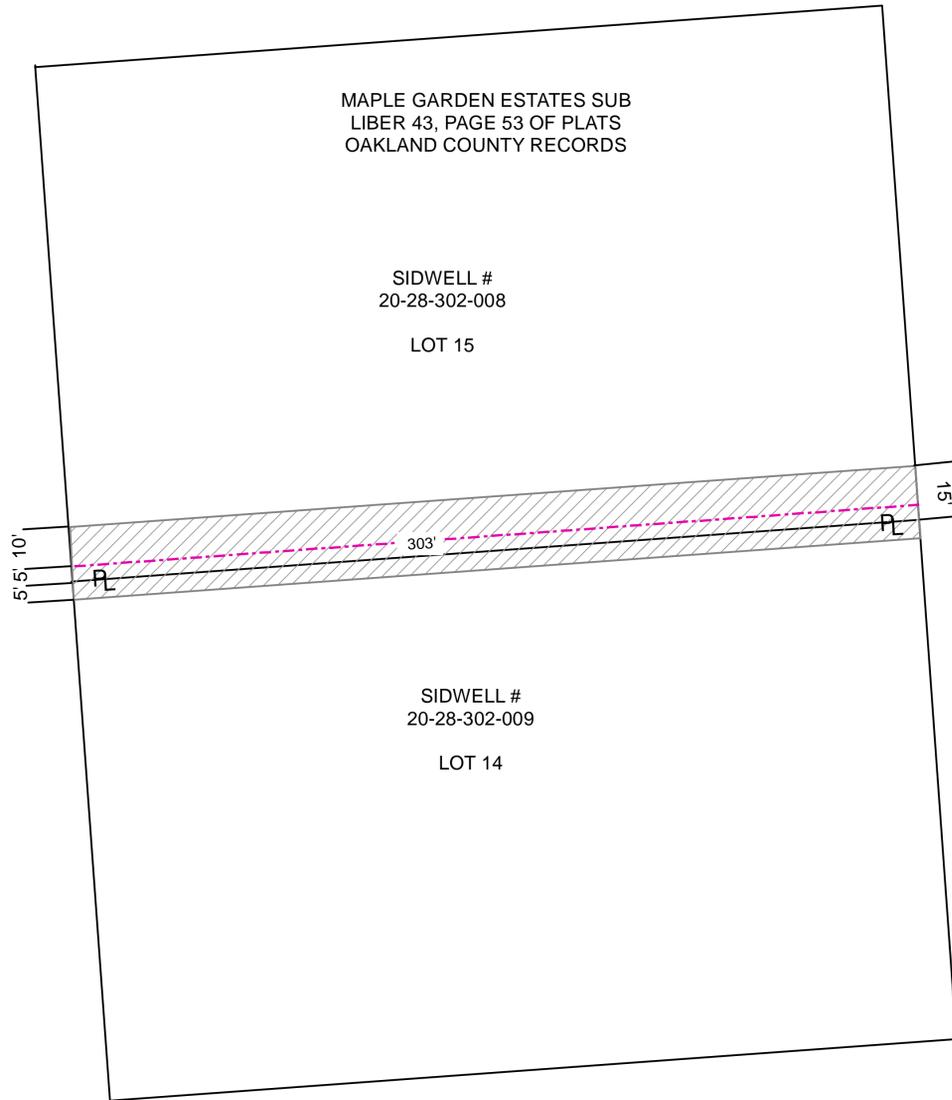


EXHIBIT 'A'

PWO: 42647881
CWO: 42782711
SRW: 42782718

20' EASEMENT

 - 20' EASEMENT
 - PROP LOCATION OF NEW OVERHEAD LEAD



PWO: 42647881
CWO: 42782711
SRW: 42782718

Work Order # 42782711	Work Order Description EASEMENT ACROSS SIDWELL'S 20-28-302-008 & 009			GIS-DSN 42782716	SRW 42782718	PH	PLC		
Service Center PONTIAC	Circuit #1 ARNLD 2731	Circuit #2	COH 42782735	COS	CUG	CUL	CUS		
Worksite City TROY		Worksite Twp. TROY		Worksite County OAKLAND					
Town 2N	Range 11E	Section 28	Qtr SW1/4	Planner Name FLEMING - 248.427.2966	Plot Date 6-5-15	CUE Req# 521629	Ver 1	Scale NTS	Target Fin D

VIRGINIATILE
38720 PLYMOUTH ROAD, LYNDRA, MI 48129
PHONE: 734.762.2850 • FAX: 734.451.0344

April 27, 2015

Mr. Mark Downing
Red Summit, LLC
19785 W. 12 Mile Rd.
Southfield, MI 48076

Dear Mr. Downing,

I am the owner of the property to the north of your building at 1800 Crooks in Troy. I have a wholesale distribution company. I am planning to build a showroom building on the property for our business. Virginia Tile Company. It is being building.

Our property has existing overh...
This is where we are planning an...
We are going to relocate the ove...
lines will remain entirely on our p...
back of your existing building. D1...
red/pink on the attached drawing...
property line, 14 feet from each...
property line.

Our problem...as we have design...
row of parking on the NORTH sid...
the building by approximately 7 f...
drawing).

Your building is 9 feet from the s...
NORTH side of the proposed buil...
new utility easement to go up to...
between the utility easement to...
utility lines would remain entirel...
poles would be on our property. I...
Your approval would mean that c...
DTE need to service the lines and

We are sort of on hold now pending your consideration of this request. We will move forward either way. If you are not in agreement, we will have to adjust the size of the building we have designed, so your serious consideration of this is important. I am willing to offer you \$5000.00 for your approval. Keep in mind that there will be no impact on your property. All it would mean is that 7 feet of the access easement would be on your property.

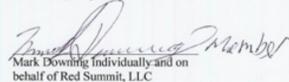
Thank you for your consideration. I can be reached by email at stephenson@virginiatile.com or by cell at 248.388.6985. I will appreciate your quick response to my request.

Regards,

William H Stephenson
President
Virginia Tile

Acknowledgment

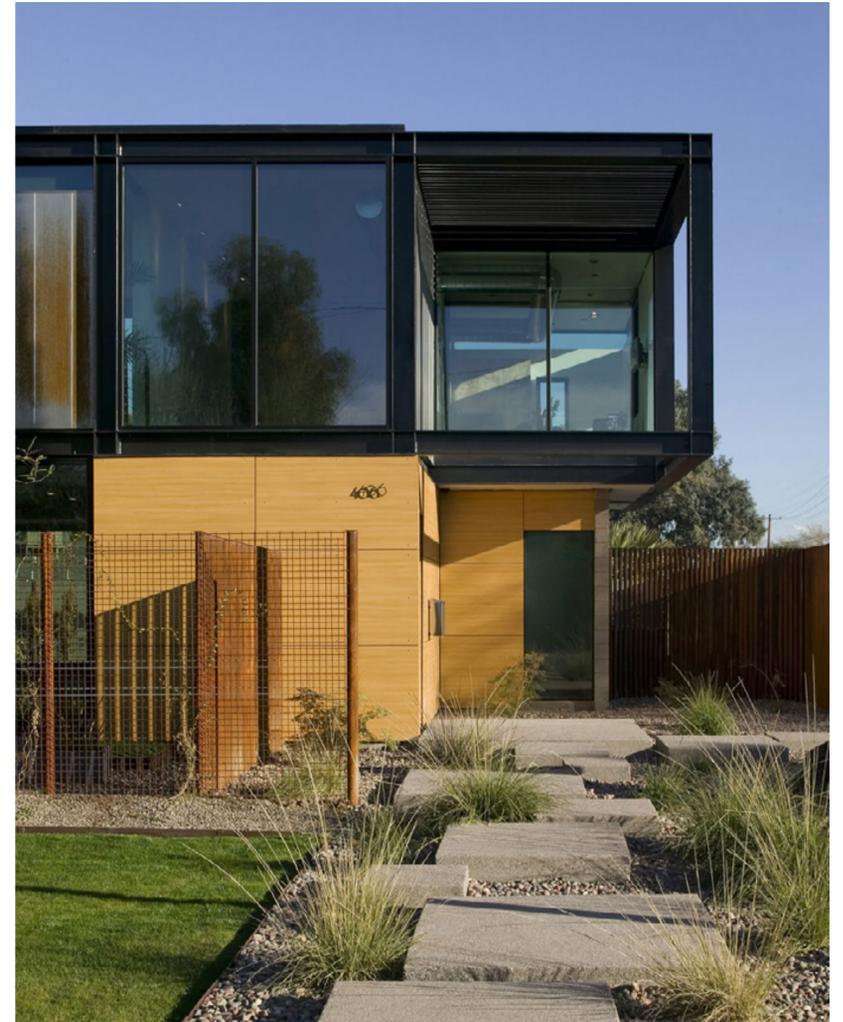
I have read and understand the above letter. On my behalf and on behalf of Red Summit, LLC a Michigan limited liability company, this will acknowledge our agreement to grant DTE a new permanent utility access easement (the "Easement") along the North property line of the property commonly known as 1800 Crooks Road Troy, Michigan (the "Property"). The Easement will run with the land. The Easement will affect the North 7 feet of the Property. Red Summit, LLC agrees to accept the sum of Five Thousand Dollars (\$5,000.00) in full consideration for the Easement. The consideration will be paid when the duly executed Easement is accepted for recording by the Oakland County Register of Deeds.

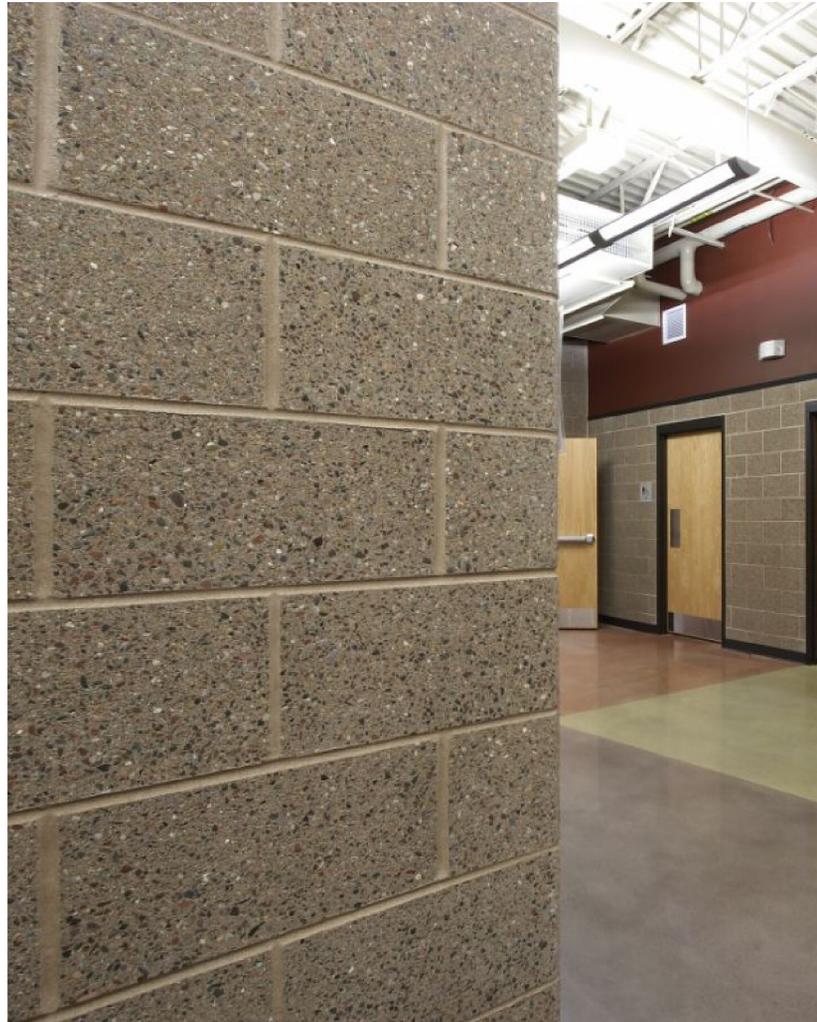

Mark Downing Individually and on
behalf of Red Summit, LLC

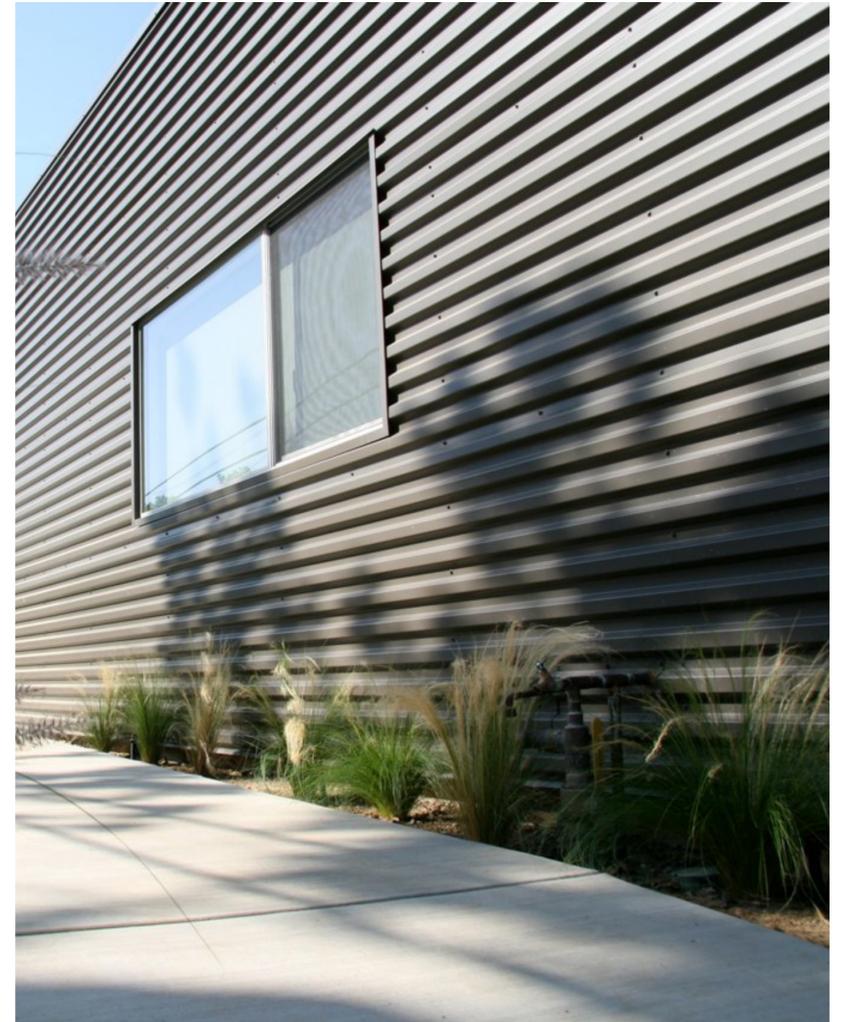
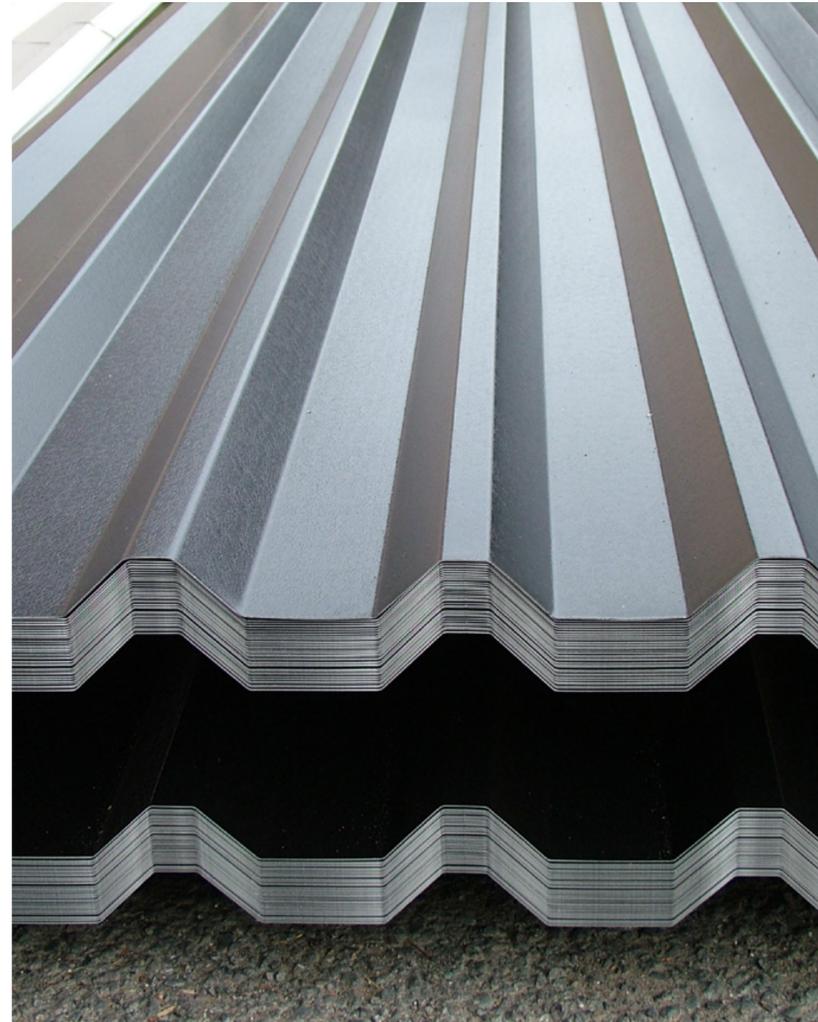
Dated: May 2nd, 2015

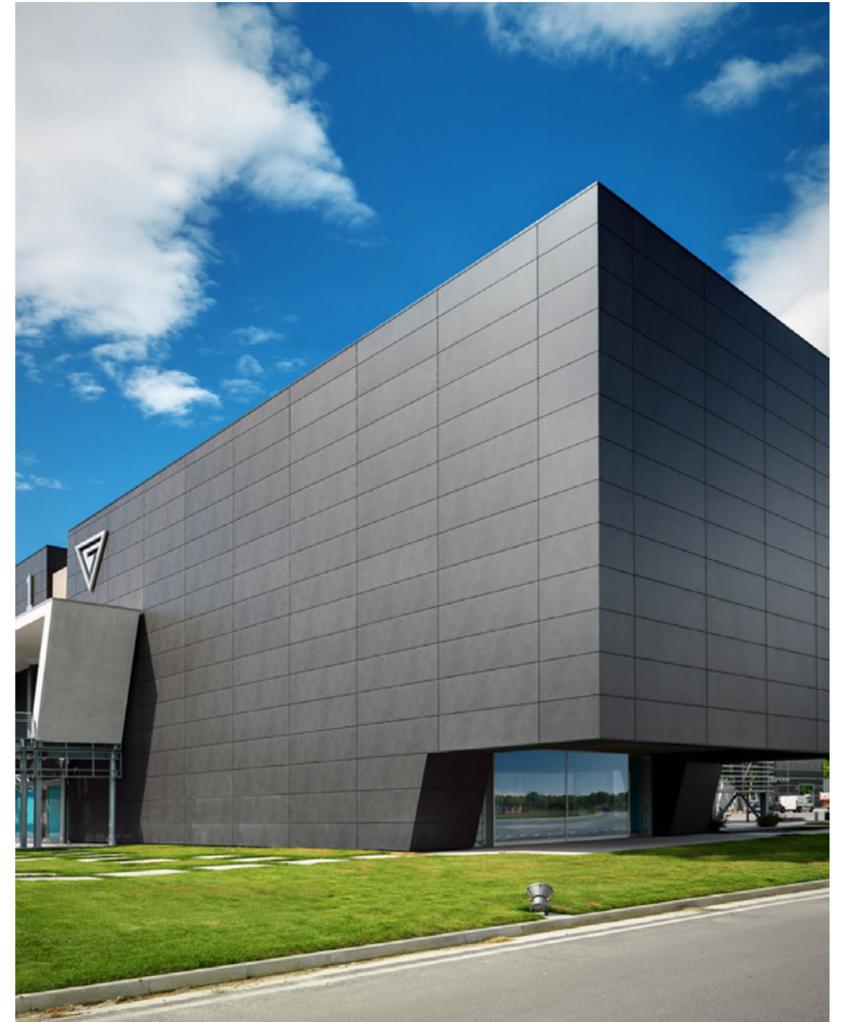
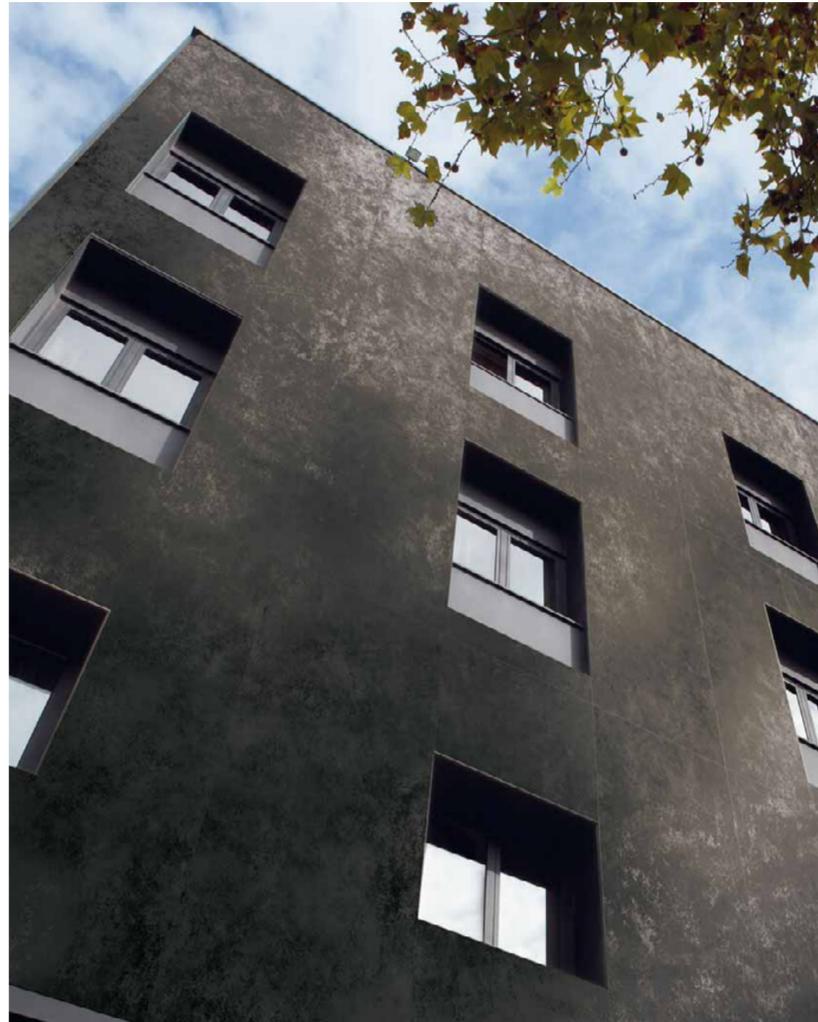
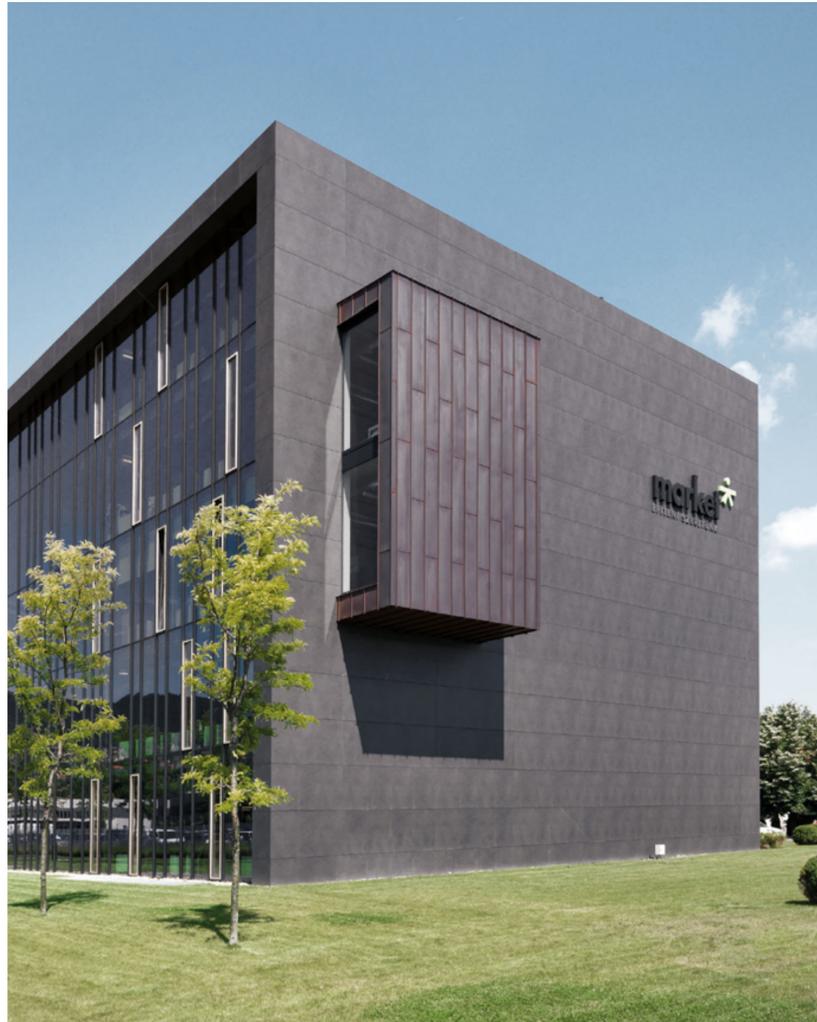
Utility Easement Contract

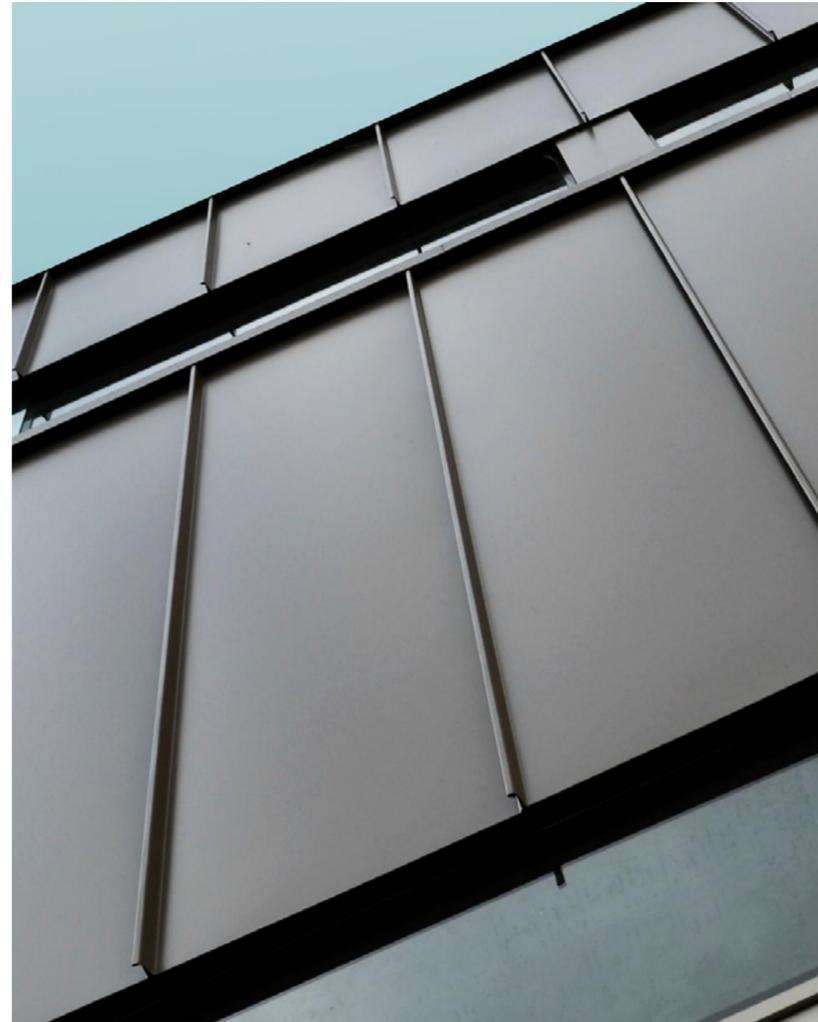
Exterior Materials











Landscape Materials



Red Columnar Beech



Skyline Honeylocust



Ginkgo Biloba



Colorado Spruce



Rose and Boxwood Hedge



Purpleleaf Wintercreeper



Crushed Decomposed Granite



Shredded Hardwood Bark Mulch



Bluestone

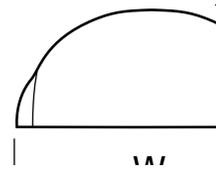
Site Lighting



AERIS

Specifications

EPA: 0.7 ft²
(0.07 m²)



Aeris AS1 LED



Gotham 8" EVO LED



Louis Poulsen SKOT Wall Sconce

DATE: July 27, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 1009) – Proposed Sedona Taphouse Restaurant, South side of Big Beaver, East of Livernois (198 E Big Beaver), Section 27, Currently Zoned BB (Big Beaver) District

The petitioner Knollenberg Hospitality LLC submitted the above referenced Preliminary Site Plan application for a proposed restaurant with rooftop seating at 198 E. Big Beaver.

The property is currently zoned BB (Big Beaver) Zoning District. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP 1009 Sedona Taphouse Restaurant Sec 27\SP-1009 PC Memo 2015 07 28.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP 1009) – Proposed Sedona Taphouse Restaurant, South side of Big Beaver, East of Livernois (198 E Big Beaver), Section 27, Currently Zoned BB (Big Beaver) District

Resolution # PC-2015-07-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Sedona Taphouse Restaurant, located on the south side of Big Beaver and east of Livernois (198 E. Big Beaver), Section 27, within the BB (Big Beaver) District, be granted, subject to the following:

1. Provide easement document for cross-access to the property to the south prior to Final approval;
2. Reconsider the layout of greenbelts, drive-aisles, and pedestrian walkway within the parking lot including reducing greenbelts, increase the westernmost drive-aisle width, adding a minimum 5-foot wide pedestrian spine between the row of parking, and increasing westernmost stall length from 18 to 19 feet.
3. Add a striped crosswalk across the drive-aisle from the pedestrian spine to the sidewalk along the rear of the building.
4. Provide site landscaping calculation.
5. Indicate trash enclosure screening.
6. Provide samples, swatches, or manufacturer’s specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including walls and fences.
7. Submit a lighting plan that complies with Article 13 of the Zoning Ordinance.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED



Legend:

Aerial

- Red: Band_1
- Green: Band_2
- Blue: Band_3

200 0 100 200Feet

Scale 1: 1,200



Legend:

Form Based Zoning 2

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Aerial

- Red: Band_1
- Green: Band_2
- Blue: Band_3

333 0 167 333Feet

Scale 1: 2,000



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

July 21, 2015

Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Knollenberg Hospitality LLC
Project Name:	Sedona Taproom
Plan Date:	November 2014
Location:	Southside of Big Beaver, east of Livernois
Zoning:	BB, Big Beaver Form-based district
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

We received a site plan and accompanying documents for a proposed commercial development on the southside of Big Beaver Road, east of Livernois. The 0.83 acre parcel is currently developed as a one-story office building.

The applicant is proposing to demolish the current building and construct a 5,100 sf free-standing Sedona Tap. Sedona Tap is a beer-based restaurant from Virginia. This is the six restaurant nationally and the first franchise in Michigan. The restaurant is proposing a rooftop bar/patio area that fronts on Big Beaver. Access to the site will be via the existing curb cut off Big Beaver.

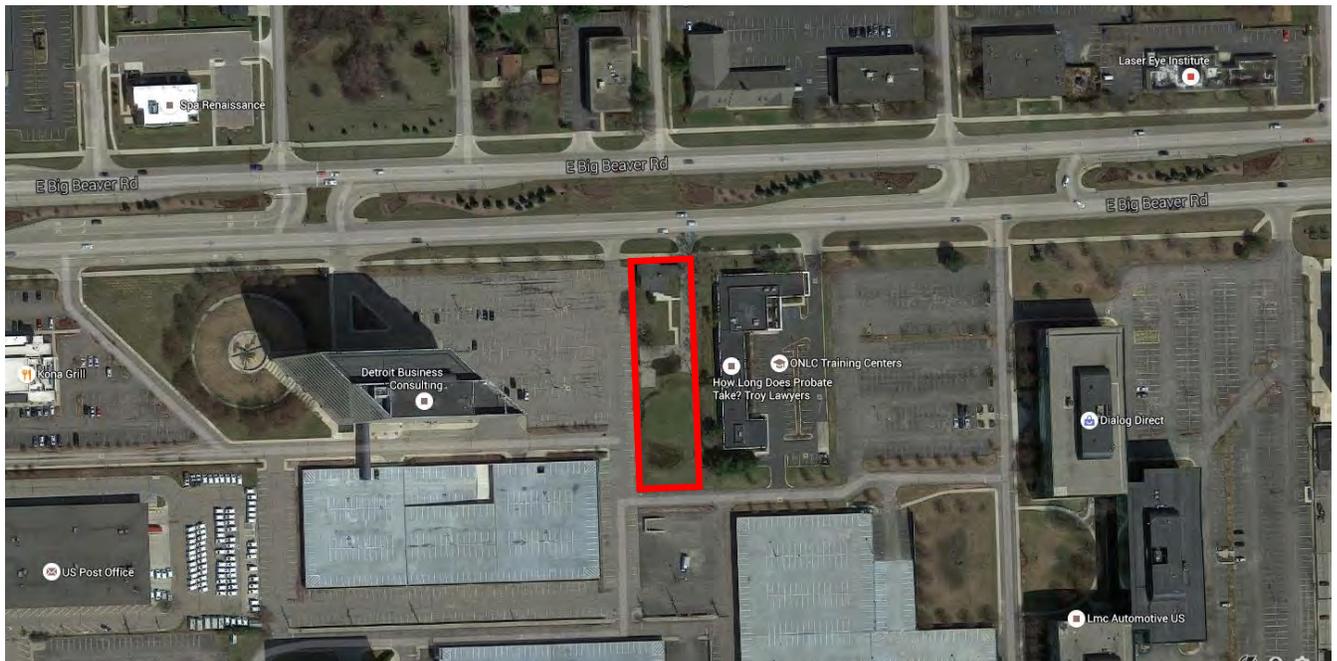
The property is zoned Big Beaver Form-Based District. The proposed development and use are by-right and require Site Plan Review approval from the Planning Commission.

Location of Subject Property:
Southside of Big Beaver, east of Livernois

Proposed Uses of Subject Parcel:
Sedona Taproom

Current Use of Subject Property:
Office Building

Current Zoning:
The property is currently zoned Big Beaver Form Based Code, site type A



Direction	Zoning	Use
North	BB, Big Beaver Form Based	Office
South	BB, Big Beaver Form Based	Office
East	BB, Big Beaver Form Based	Office
West	BB, Big Beaver Form Based	Office

MASTER PLAN

The site is located within the Big Beaver Corridor district in the Troy 2008 Master Plan. The intent of the Big Beaver District is to have ground level spaces front on Big Beaver occupied by shops, entertainment, restaurant, and similar uses that stimulate interest and activity. The upper-level floors should be occupied by office and residential uses. The intent for future development along Big Beaver is building

from lot line to lot line that incorporates vertically integrated mixed-use commercial, office and residential towers.

First item of note is that due to the size of the site mixed use would be difficult because of parking demand. Secondly, though the applicant is not providing a mixed-use second story, the applicant is providing a unique feature of a second story patio/bar. This will provide a unique feature to the Big Beaver corridor and provide an increase in entertainment options. The development is consistent with the Master Plan.

Items to be Addressed: None.

BUILDING ORIENTATION AND OVERALL SITE LAYOUT

The proposed development is replacing the existing one-story office building. The removal of the existing building and placement along Big Beaver brings the site into conformance with the Big Beaver Form Based District. All parking is located in the rear of the building and screened from Big Beaver. The existing access point of Big Beaver will remain.

Items to be Addressed: None

SITE ACCESS, and CIRCULATION

Access to the site is provided via the existing curb cut of Big Beaver. In addition, there is access to the rear portion of the parking lot through cross access with neighboring parking lots. Internal circulation will be one-way circulation system with angled parking. The applicant shows cross-access to the property to the south. The applicant should provide the easement document.

The lot is only 100-feet wide and within that 100-feet the applicant has to provide two (2) greenbelts, three (3) rows of parking, and two (2) drive-aisles. Considering the narrowness of the site, we find that the applicant should reconsider the layout of greenbelts, drive-aisles, and pedestrian walkway within the parking lot:

1. The westernmost drive-aisle is only 14-feet wide, which is narrow considering there is parking along both sides of the aisle. The applicant should increase the westernmost drive by a few feet.
2. We find that because most of the parking is a significant distance and requires most patrons to walk through the parking lot applicant should provide a minimum 5-foot wide pedestrian spine between the center row of parking. A 5-foot pedestrian spine will provide a sheltered pedestrian path to the front entrance. The spine should include a stripped crosswalk across the drive-aisle to the building to indicate pedestrian crossing.

Increasing the width of the drive-aisles and inserting a 5-foot wide pedestrian will require a reduction of the proposed greenbelts. The greenbelts are not an ordinance requirement but were provided by the applicant to distinguish their parking lot and provide visual screening. If the greenbelts are reduced to less than 7-feet in width, the applicant must increase the westernmost parking lot length from 18 to 19-feet.

Items to be Addressed: 1). Provide easement document for cross-access to the property to the south; 2). Reconsider the layout of greenbelts, drive-aisles, and pedestrian walkway within the parking lot

including reducing greenbelts, increase the westernmost drive-aisle width, adding a minimum 5-foot wide pedestrian spine between the row of parking, and increasing westernmost stall length from 18 to 19 feet.; and 3). Add a striped crosswalk across the drive-aisle from the pedestrian spine to the sidewalk along the rear of the building.

AREA, WIDTH, HEIGHT, SETBACKS

The site is being developed with a Building Form A building. Building Form A is a permitted building form for Site Type C. Table 5.03.B1 establishes the dimensional requirements for the building form A:

	Required / Allowed	Provided	Compliance
Front (Big Beaver)	10 foot build-to-line	10 feet	Complies
Rear	30 foot minimum	Over 30 feet	Complies
Side	0 foot	4 feet	Complies
Lot Coverage	30 percent	14 percent	Complies
Building Height	Minimum 14 feet Maximum 45 feet	21-feet	Complies
Parking	Big Beaver: Not located in front yard and screening	Not located in front yard and screened	Complies

The site complies with all Big Beaver bulk requirements.

Items to be Addressed: None

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
1 space per 2 seats	150 seats = 75 spaces	82 spaces
Barrier Free	4	4
Bicycle Parking	2	6
Loading	0	0
Total	75 automobile + 2 bicycle	82 spaces + 6 bicycle

The applicant has provided the required spaces. Parking is sufficient based on the proposed uses. In addition, according to the applicant, valet parking will be available.

Items to be Addressed: None

LANDSCAPING/HARDSCAPE BIG BEAVER

The applicant has provided a landscape plan.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	100 feet = 3 trees	4	Complies
<u>Site landscaping:</u> A minimum of fifteen percent (15%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brick, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.	5,423 sq/ft	Calculation not provided	Calculation not provided
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	8	8 (3 trees are planted along parking lot edge)	Compliant with Planning Commission approval.

Transformer / Trash Enclosure:

The trash enclosure is screened on the west with five (5) juniper trees. There are no other notes nor details provided on the Plans to indicate trash enclosure screening.

Items to be Addressed: 1). Provide site landscaping calculation; and 2). Indicate trash enclosure screening.

FLOOR PLAN AND ELEVATIONS

The applicant has submitted floor plans and elevations. The architecture complies with the Big Beaver Form Based District standards including the use of material changes, projections, façade articulation and fenestration and windows. The architecture provides architectural detail as well as changes in horizontal and vertical scaling, variations in material, pattern, and color, to provide ground story activation. See design standards below for more information.

The building will be constructed primarily of brick and glass. We’ve requested that the applicant submit samples, swatches, or manufacturer’s specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including walls and fences.

Items to be Addressed: *Submit samples, swatches, or manufacturer's specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including walls and fences.*

LIGHTING

The applicant did not submit a lighting and photometric plan.

Items to be Addressed: *The applicant should submit a plan that complies with Article 13 of the Zoning Ordinance.*

DESIGN STANDARDS

The Big Beaver design standards provide the Planning Commission with direction when reviewing the proposed design features of this development.

Façade Variation.

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet.

Through the use of material changes, projections, façade articulation and fenestration, the all buildings comply with this standard.

Pedestrian Access / Entrance.

- a. *Primary Entrance: The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street.*

There is a door directly fronting and assessable from Big Beaver.

- b. *Pedestrian Connection. The pedestrian connection shall be fully paved and maintained surface not less than five (5) feet in width.*

The applicant has provided significant improvements to the pedestrian realm along Big Beaver.

- c. *Additional Entrances. In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance.*

Complies

Ground Story Activation.

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the

50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.

Through windows, doors, varying wall design, and the outdoor dining area, the transparency requirement has been met.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Due to proximity of other commercial uses, the commercial development is not more intense which would require transitional features.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.*

The applicant has provided the required parking.

- b. *Location.*

- I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

All the parking is located to the rear of the building and complies with parking location requirements.

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Not Applicable

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.*

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

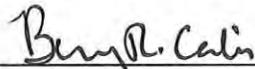
Not Applicable

Items to be Addressed: None

SUMMARY OF FINDINGS

We support the development of this site, and find that the plan and development details are consistent with the vision along Big Beaver and the requirements of Big Beaver Form Based District. We recommend preliminary site plan approval with the following conditions:

- 1) Provide easement document for cross-access to the property to the south;
- 2) Reconsider the layout of greenbelts, drive-aisles, and pedestrian walkway within the parking lot including reducing greenbelts, increase the westernmost drive-aisle width, adding a minimum 5-foot wide pedestrian spine between the row of parking, and increasing westernmost stall length from 18 to 19 feet.
- 3) Add a striped crosswalk across the drive-aisle from the pedestrian spine to the sidewalk along the rear of the building.
- 4) Provide site landscaping calculation.
- 5) Indicate trash enclosure screening.
- 6) Provide samples, swatches, or manufacturer's specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including walls and fences.
- 7) Submit a lighting plan that complies with Article 13 of the Zoning Ordinance.



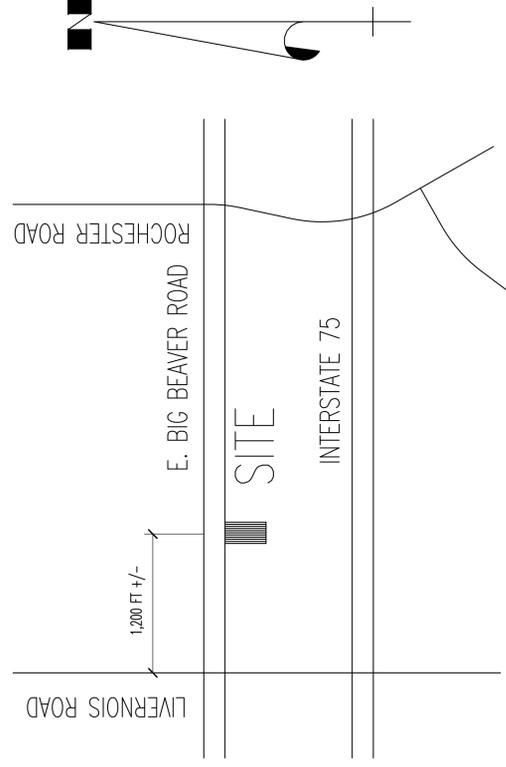
CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

SITE PLAN

FOR REDEVELOPMENT OF

198 EAST BIG BEAVER ROAD

A PART OF THE NORTHWEST 1/4 OF SECTION 27, T-2-N, R-11-E
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP

DESCRIPTION

PARCEL 20-27-101-061
(ADDRESS 197 E. BIG BEAVER ROAD, TROY, MICHIGAN)
A PART OF THE NORTHEAST 1/4 OF SECTION 27, T-2-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN
BEING MORE PARTICULARLY DESCRIBED AS LOT 10 EXCEPTING THE SOUTHERLY 200 FEET AND THE NORTHERLY 42
FEET FOR BIG BEAVER ROAD, OF "FROST SUNNY ACRES" SUBDIVISION AS RECORDED IN LIBER 64 OF PLATS,
PAGE 9 OAKLAND COUNTY RECORDS. CONTAINING 0.83 ACRES.

PROPRIETOR:

MARTIN J. KNOLLENBERG
198 E. BIG BEAVER ROAD
TROY, MICHIGAN 48083-1203
PH (248) 528-0200

ENGINEER/SURVEYOR:

SURVEY TECH
CIVIL ENGINEERING - LAND SURVEYING
3253 LYNHURST CT., OAKLAND MI 48306
CONTACT: MR. PAUL BOOMER (PROJECT MANAGER)
PH (248) 524-5254
MR. MAHER FAIK (PRINCIPAL)
PH (248) 670-65565
FAX (248) 377-8883

ARCHITECT

THOMAS STRAT
2605 CROOKS ROAD
TROY, MICHIGAN 48084
PH (248) 703-3361

LANDSCAPE ARCHITECT

J. BRIAN DEVLIN
31736 WEST CHICAGO AVENUE
LIVONIA, MI 48150-2830

SHEET INDEX

- 1) COVER SHEET
- 2) LANDSCAPE PLAN
- 3) EXISTING CONDITIONS PLAN
- 4) DEMOLITION PLAN
- 5) ENGINEERING SITE/PLAN
- 6)

BENCHMARKS:

CITY OF TROY BENCHMARK
BM 1295
NORTH RIM OF COMMUNICATIONS MH AT THE
NORTHEAST CORNER OF BIG BEAVER AND
HELENA ST
ELEV 671.94 (NAVD 88)
SITE BENCHMARKS
BM 1
RIM OF SANITARY SEWER MANHOLE LOCATED
55'+/- NORTHEAST OF THE NORTHWEST
PROPERTY CORNER, 5 FEET SOUTH OF THE
CURB OF BIG BEAVER ROAD
ELEV 672.00 (NAVD 88)
BM 2
P.K. NAIL IN THE SOUTHWEST FACE OF
UTILITY POLE LOCATED 35 FEET NORTH
OF THE SOUTHEAST PROPERTY CORNER
ELEV 670.15 (NAVD 88)

PROJECT MANAGER
PAUL J. BOOMER

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE MUNICIPALITY'S
CURRENT STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL NOTIFY THE
MUNICIPALITY AND/OR THE AUTHORITY
HAVING JURISDICTION, 48 HOURS PRIOR
TO THE BEGINNING OF CONSTRUCTION.

THE CONTRACTOR SHALL CONTACT
"MISS DIG", 1-800-482-7171, 72 HOURS
IN ADVANCE OF CONSTRUCTION FOR
EXISTING UNDERGROUND UTILITY
LOCATIONS.

FULL TIME INSPECTION WILL BE
REQUIRED DURING THE INSTALLATION
OF SANITARY SEWERS, STORM SEWERS,
DRAINS, WATER MAINS, STREETS, AND
APPURTENANCES.

SHEET 1

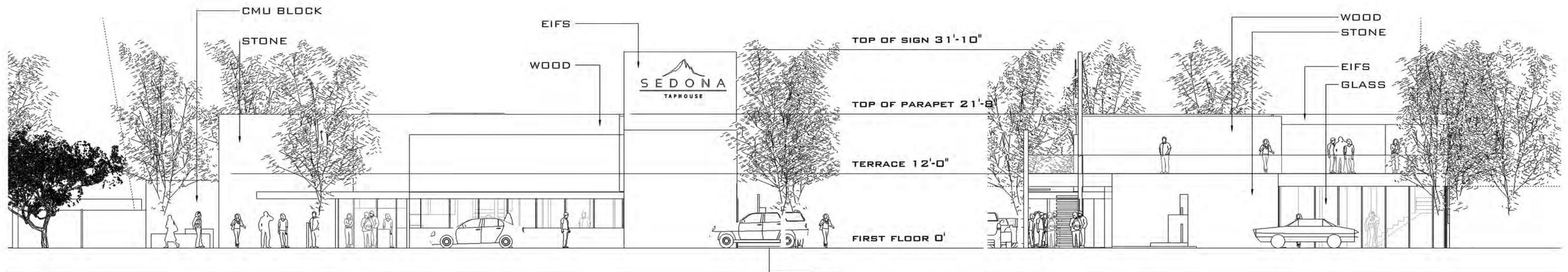
NOVEMBER 2014

SURVEY TECH

CIVIL ENGINEERING AND LAND SURVEYING
3253 LYNHURST CT., OAKLAND MI 48306
PH (248) 670-6556 FAX (248) 377-8883

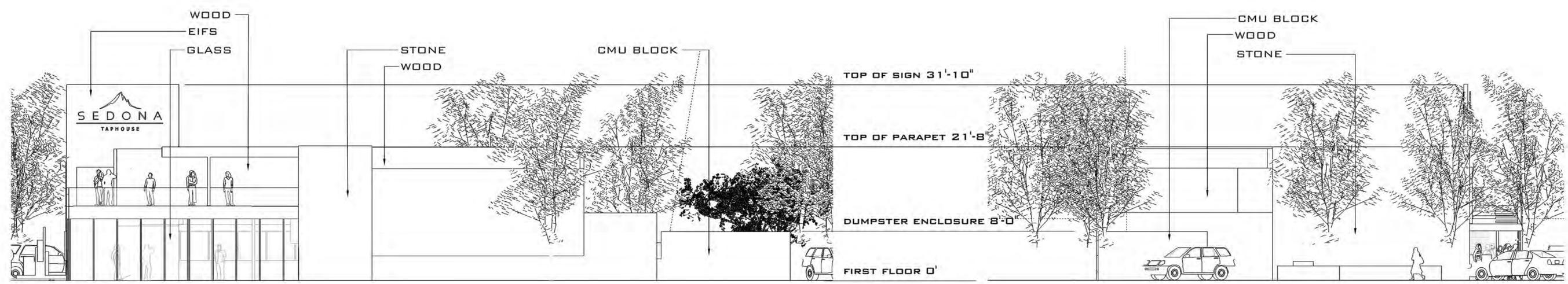
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THE ARCHITECT.



WEST ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

THOMAS STRAT ARCHITECTS
SEDONA TAPHOUSE - TROY, MI

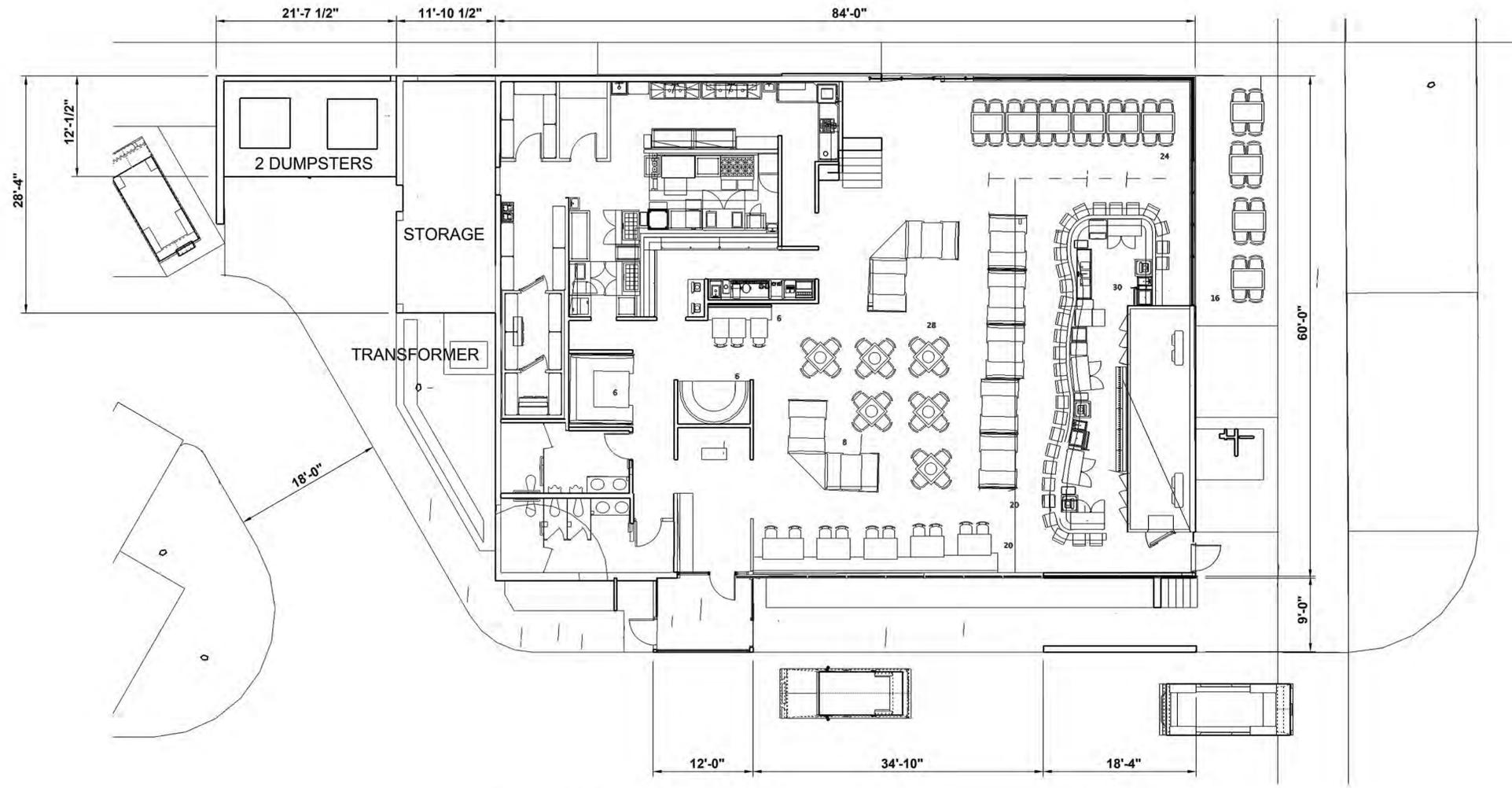
THOMAS STRAT ARCHITECTS
248.703.3361
2605 CROOKE RD
TROY, MI 48064
tstratarch@gmail.com

REVISIONS

15 JUNE, 2015
JOB NO. 1505
SHEET NO.

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FLOOR PLAN
SCALE: 1/8" = 1'-0"

THOMAS STRAT ARCHITECTS
SEDONA TAPHOUSE - TROY, MI

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15 JUNE, 2015
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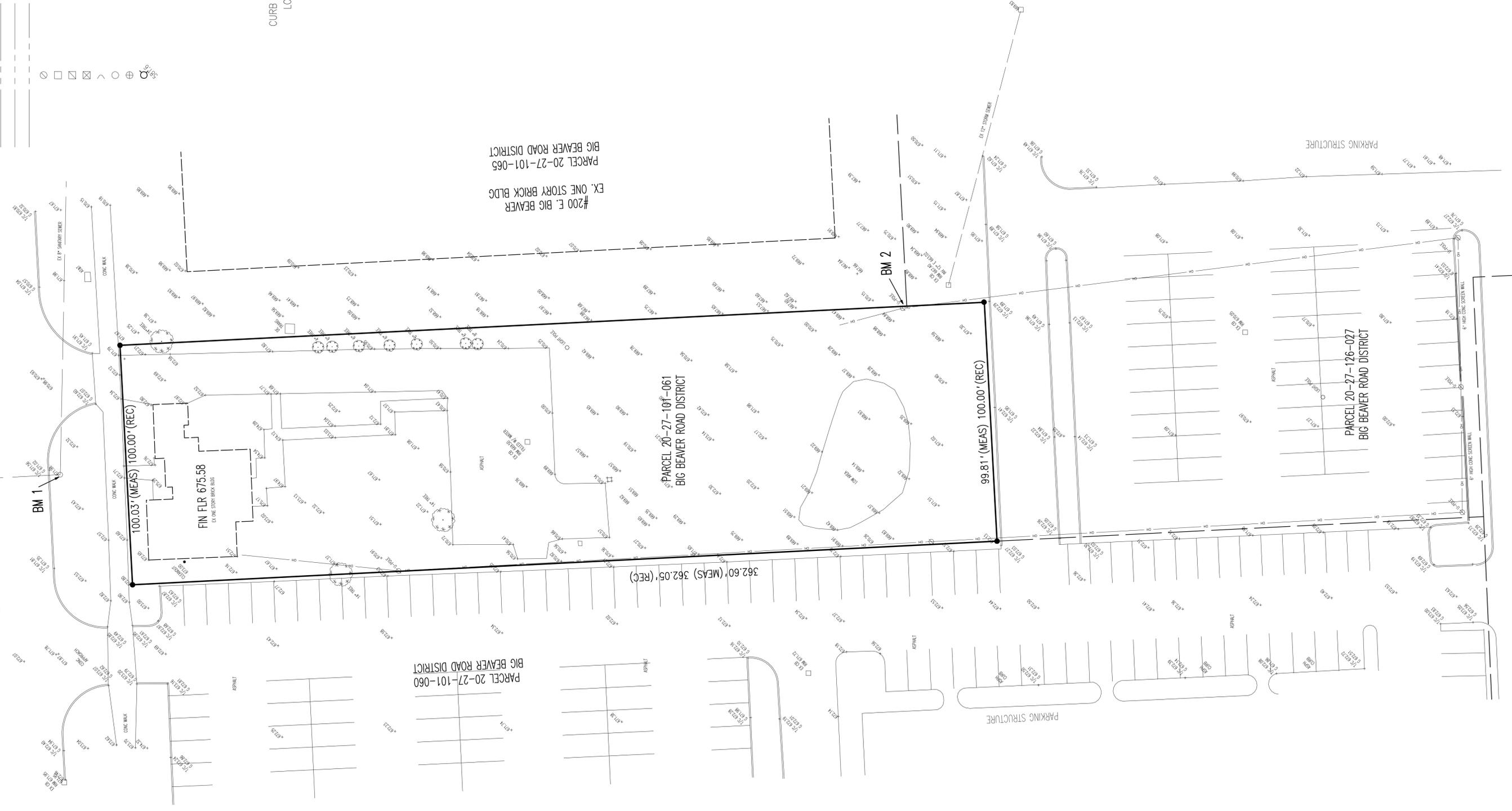
LEGEND

EXISTING

PROPOSED

- | | |
|-------------------------------------|----------------------|
| STORM SEWER | STORM SEWER |
| SANITARY SEWER | SANITARY SEWER |
| WATERMAIN | WATERMAIN |
| GAS MAIN | GAS MAIN |
| ELEC. TELE. CABLE | ELEC. TELE. CABLE |
| STORM MANHOLE | STORM MANHOLE |
| CATCH BASIN | CATCH BASIN |
| INLET | INLET |
| REARYARD CATCH BASIN | REARYARD CATCH BASIN |
| END SECTION | END SECTION |
| SANITARY MANHOLE | SANITARY MANHOLE |
| GATE VALVE AND WELL | GATE VALVE AND WELL |
| HYDRANT | HYDRANT |
| GRADE | 91.7 |
| PAVEMENT GRADE | P |
| TOP OF CURB | T/C |
| TOP OF WALK | T/W |
| SWALE GRADE | SW |
| SPOT GRADE/GUTTER | G |
| DRAINAGE AREA | |
| CURB AND GUTTER INLET FILTER (S1-4) | |
| LOW POINT INLET FILTER (S1-2) | |
| SILT FENCING (SP-2) | |
| GRADING LIMITS | |

EAST BOUND BIG BEAVER



DATE	REVISION

72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

SURVEY TECH
3253 LYNHURST COURT
OAKLAND TOWNSHIP, MICHIGAN 48306

PROPRIETOR:
MARTIN J. KNOXBERG
198 E. BIG BEAVER ROAD
PH (248) 588-0200

EXISTING CONDITIONS PLAN
REDEVELOPMENT OF
198 E. BIG BEAVER ROAD
SECTION 27, CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DATE DEC 2014	DRAWN PB
SCALE 1" = 20'	DESIGN PB
SHEET 3	SECTION 27
NO. 14118-53	T-2-N-R-11-E

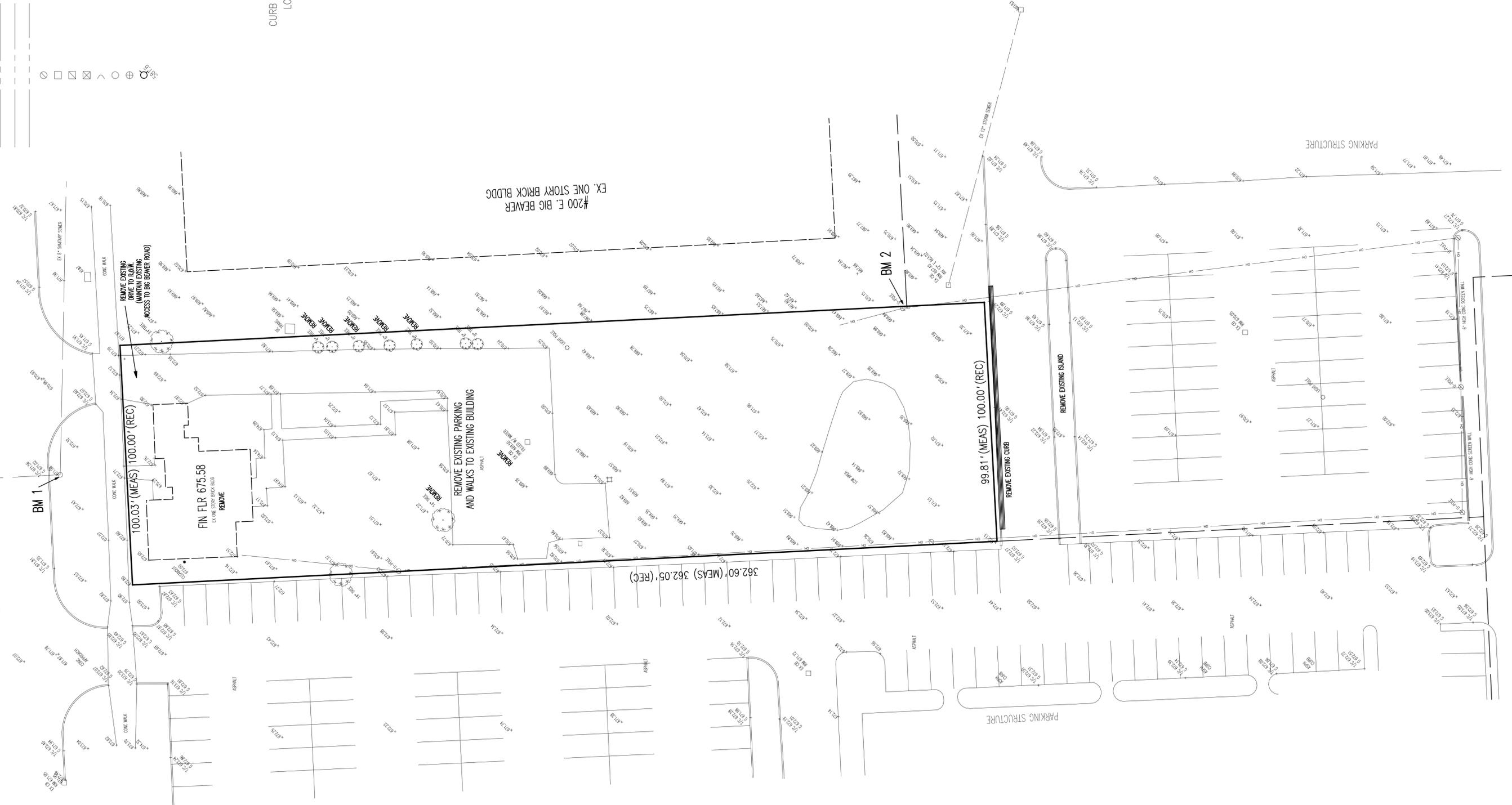
LEGEND

EXISTING

PROPOSED

- | | |
|---|---|
| <ul style="list-style-type: none"> ○ STORM SEWER □ SANITARY SEWER □ WATERMAIN □ GAS MAIN ○ ELEC. TELE. CABLE ○ STORM MANHOLE ○ CATCH BASIN ○ INLET ○ REARYARD CATCH BASIN ○ END SECTION ○ SANITARY MANHOLE ○ GATE VALVE AND WELL ○ HYDRANT ○ GRADE 91.7 ○ P ○ T/C ○ T/W ○ SW ○ G | <ul style="list-style-type: none"> ○ STORM SEWER ○ SANITARY SEWER ○ WATERMAIN ○ GAS MAIN ○ ELEC. TELE. CABLE ○ STORM MANHOLE ○ CATCH BASIN ○ INLET ○ REARYARD CATCH BASIN ○ END SECTION ○ SANITARY MANHOLE ○ GATE VALVE AND WELL ○ HYDRANT ○ GRADE 91.7 ○ P ○ T/C ○ T/W ○ SW ○ G |
|---|---|
-
- | |
|---|
| <ul style="list-style-type: none"> ○ CURB AND GUTTER INLET FILTER (SI-4) ○ LOW POINT INLET FILTER (SI-2) ○ SILT FENCING (SP-2) ○ GRADING LIMITS |
|---|

EAST BOUND BIG BEAVER



DATE	REVISION



SURVEY TECH
 3253 LYNHURST COURT
 OAKLAND TOWNSHIP, MICHIGAN 48306

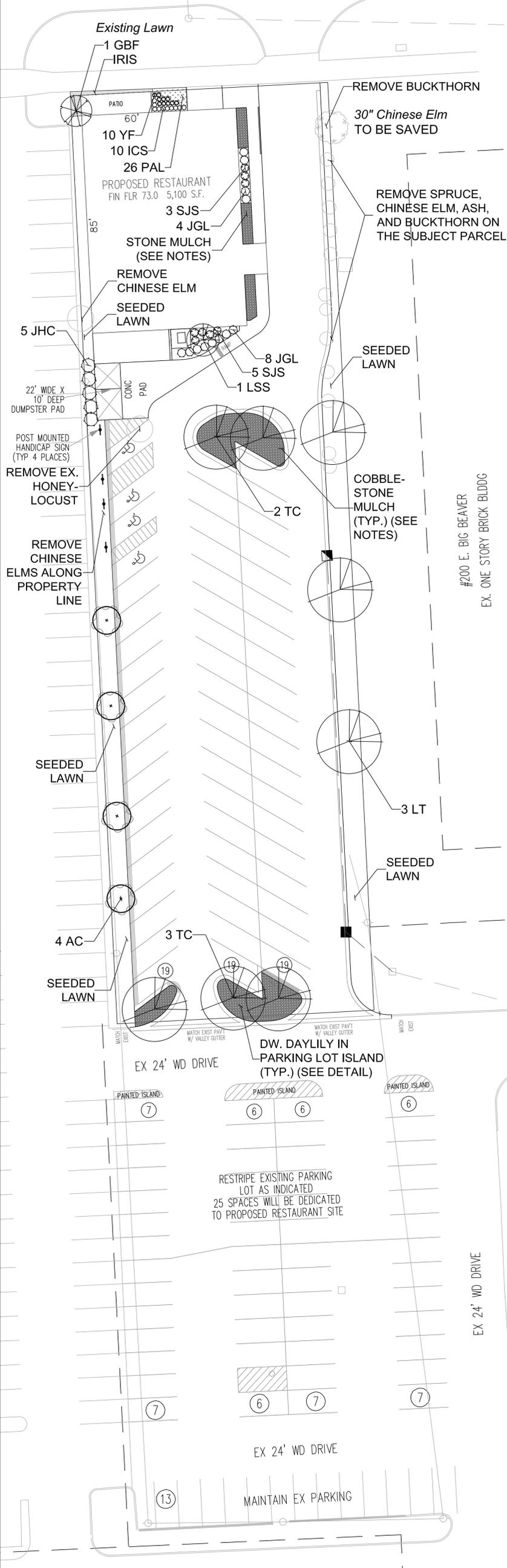
PROPRIETOR:
 MARTIN J. KNOXBERG
 198 E. BIG BEAVER ROAD
 PH (248) 588-0200

**DEMOLITION PLAN
 REDEVELOPMENT OF
 198 E. BIG BEAVER ROAD**
 SECTION 27, CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DRAWN PB
 DESIGN PB
 SECTION 27
 T-3-N-R-9-E

DATE DEC 2014
 SCALE 1" = 20'
 SHEET 4
 NO. 14118-54

EAST BOUND BIG BEAVER



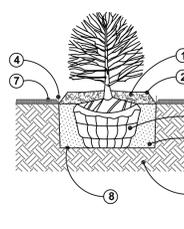
GENERAL NOTES FOR ALL PLANTINGS:

- * DO NOT CUT CENTRAL LEADER.
- * REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- * PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- * CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

NOTE:

- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.

- 1 SHREDDED BARK MULCH AT FOUR INCH (4") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR.
- 2 FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED.
- 3 CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 4 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- 5 EXCAVATE PLANTING HOLE AND BACKFILL WITH PREPARED PLANTING MIX.
- 6 UNDISTURBED SUBGRADE.
- 7 LAWN.
- 8 SCARIFY SUBGRADE.

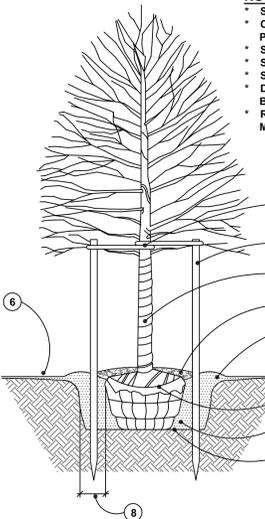


SHRUB

NOTES:

- * STAKE TREES UNDER FOUR INCH (4") CALIPER.
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- * SET STAKES VERTICAL & EVENLY SPACED.
- * STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- * DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- * REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

- 1 STAKE TREE JUST BELOW FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- 3 APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- 4 SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- 5 MOUND TO FORM TREE SAUCER.
- 6 FINISH GRADE SLOPED AWAY FROM TREE.
- 7 CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 8 WIDTH OF ROOTBALL ON EACH SIDE.
- 9 PLANTING MIX SHALL BE AMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- 10 SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



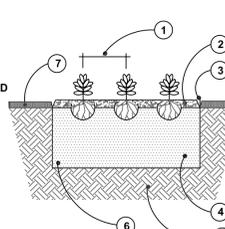
DECIDUOUS TREE

PLANTING DETAILS

NOTE:

- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.

- 1 SEE PLANT LIST FOR SPACING DISTANCE.
- 2 SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT FOUR INCH (4") MINIMUM DEPTH.
- 3 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- 4 EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
- 5 UNDISTURBED SUBGRADE.
- 6 PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
- 7 LAWN.



ANNUAL / PERENNIAL / GROUNDCOVER

NOTES:

- * STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH, GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.
- * CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- * NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- * SET STAKES VERTICAL AND EVENLY SPACED.
- * REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

- 1 STAKE TREE AS INDICATED USING TWO INCH TO THREE INCHES (2"-3") WIDE BELT-LIKE MATERIAL OF NYLON, PLASTIC, OR OTHER ACCEPTABLE MATERIAL. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- 3 SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- 4 MOUND TO FORM TREE SAUCER.
- 5 FINISH GRADE SLOPED AWAY FROM TREE.
- 6 CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 7 PLANTING MIX SHALL BE AMENDED PER SITE CONDITIONS AND PLANT REQUIREMENTS.
- 8 WIDTH OF ROOTBALL ON EACH SIDE.
- 9 SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



EVERGREEN TREE

not to scale

LANDSCAPE DEVELOPMENT NOTES:

PLANTING

1. Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Troy, Michigan.
2. The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
4. Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
5. Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
6. The Contractor is responsible for planning the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
7. When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
8. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Only natural color shredded hardwood bark mulch will be accepted.
9. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
10. All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
11. Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
12. All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil. Peat sod is not acceptable. Existing lawn in generally good condition but with bare, sparse, or weedy areas must be renovated by filling in low areas, raking, overseeding, and top dressing all sparse and bare spots and continuing with a weed and feed program.
13. All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
14. Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
15. All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
16. Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner:
 - a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site;
 - b. Call the City for an inspection prior to backfilling;
 - c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
17. Edging shall consist of Ryerson Steel edging or approved equivalent.
18. Elevate the rootballs of Yew shrubs to allow for better drainage.

MATERIAL

1. Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be:
 - a. Nursery grown;
 - b. State Department of Agriculture inspected;
 - c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted);
 - d. Staked, wrapped, watered, and mulched according to the details provided; and
 - e. Guaranteed for one (1) year.
2. Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
3. The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
4. Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
5. Stone mulch at the building foundation to consist of a Western Sunfire color mix one inch to two inch (1" - 2") in diameter six inches (6") deep over geotextile fabric. Cobblestone mulch in the parking lot islands to consist of two inch to four inch (2" - 4") cobbles six inches (6") deep over geotextile fabric.

GENERAL

1. Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
2. The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
4. All landscape areas including parking lot islands shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
5. All written dimensions override scale dimensions on the plans.
6. Report all changes, substitutions, or deletions to the Owner's representative.
7. All bidders must inspect the site and report any discrepancies to the Owner's representative.
8. All specifications are subject to change due to existing conditions.
9. The Owner's representative reserves the right to approve all plant material.

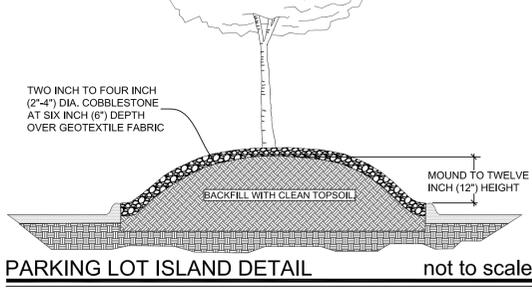
MAINTENANCE OF GENERAL LANDSCAPE AREAS

1. The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
3. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
4. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
5. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
6. Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

PLANT LIST

KEY QTY.	BOTANICAL NAME	SIZE	COMMON NAME
LANDSCAPING ADJACENT TO ROADS			
GBF 1	<i>Ginkgo biloba</i> "Fastigiata"	Fastigiata Maidenhair Tree	2-1/2" cal. B&B
ICS 10	<i>Ilex crenata</i> "Sky Pencil"	Sky Pencil Japanese Holly	30" ht., 5 gal. pot
PAL 26	<i>Pennisetum alopecuroides</i> "Little Bunny"	Little Bunny Dwl. Fountain Grass	1 gal. pot, 24" o.c.
YF 10	<i>Yucca filamentosa</i>	Yucca	3 gal. pot
IRIS 5	<i>Irish pallida</i> "Aureo-Variagata"	Aureo-Variagata Sweet Iris	1 gal. pot, 24" o.c.
GENERAL SITE PLANTING			
JGL 12	<i>Juniperus chinensis</i> "Gold Lace"	Gold Lace Juniper	24" spr., 3 gal. pot
JHC 5	<i>Juniperus chin.</i> "Heiz Columarata"	Heiz Columar Juniper	4'-5" ht. B&B
SJS 8	<i>Spiraea japonica</i> "Shirobana"	Shirobani Japanese Spirea	24" ht., 3 gal. pot
PARKING LOT LANDSCAPING			
AC 4	<i>Amelanchier canadensis</i>	Serviceberry	2" cal. B&B
LSS 1	<i>Liquidambar styraciflua</i> "Slender Silhouette"	Slender Silhouette Sweetgum	3" cal. B&B
LT 3	<i>Liriodendron tulipifera</i>	Tulip tree	3" cal. B&B
TC 5	<i>Tilia cordata</i> "Greenspire"	Greenspire European Linden	3" cal. B&B
HHR 5	<i>Hemerocallis</i> sp. "Happy Returns"	Happy Returns Daylily	1 gal. pot, 18" o.c.

* Quantity to be determined by the Landscape Contractor in the field.

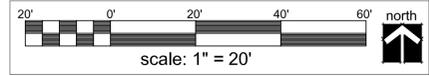


PARKING LOT ISLAND DETAIL

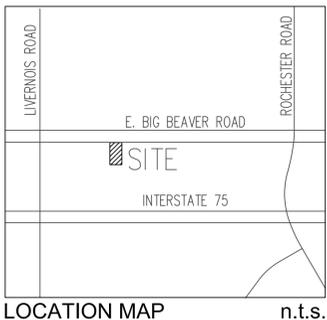
not to scale

LANDSCAPE CALCULATIONS:

- LANDSCAPING ADJACENT TO ROADS
 East Big Beaver Road (100 l.f.)
 * One (1) deciduous tree / 30 l.f. = 3.33 trees = 4 trees
 PARKING LOT LANDSCAPING (82 spaces)
 * One (1) deciduous tree for every eight (8) parking spaces equals 10.25 trees or 11 trees



scale: 1" = 20'



LOCATION MAP

date: June 22, 2015
 revised: 06-25-2015 Client review.



LANDSCAPE PLAN FOR: PROJECT LOCATION:
 Mr. Martin J. Knollenberg Proposed Restaurant
 198 East Big Beaver Road Development
 Troy, Michigan 48083-1203 198 East Big Beaver Road
 (248) 528-0200 Troy, Michigan 48083

LANDSCAPE PLAN BY:
 Nagy Devlin Land Design, L.L.C.
 31736 West Chicago Ave.
 Livonia, Michigan 48150
 (734) 634-9208



J. Brian Devlin
 AUTOCAD SIGNATURE
 ORIGINAL IN BLUE

SHEET 2: LANDSCAPE PLANTING PLAN

* Base data provided by Creative Land, L.L.C.

LANDSCAPE PLANTING PLAN

scale: 1" = 20'

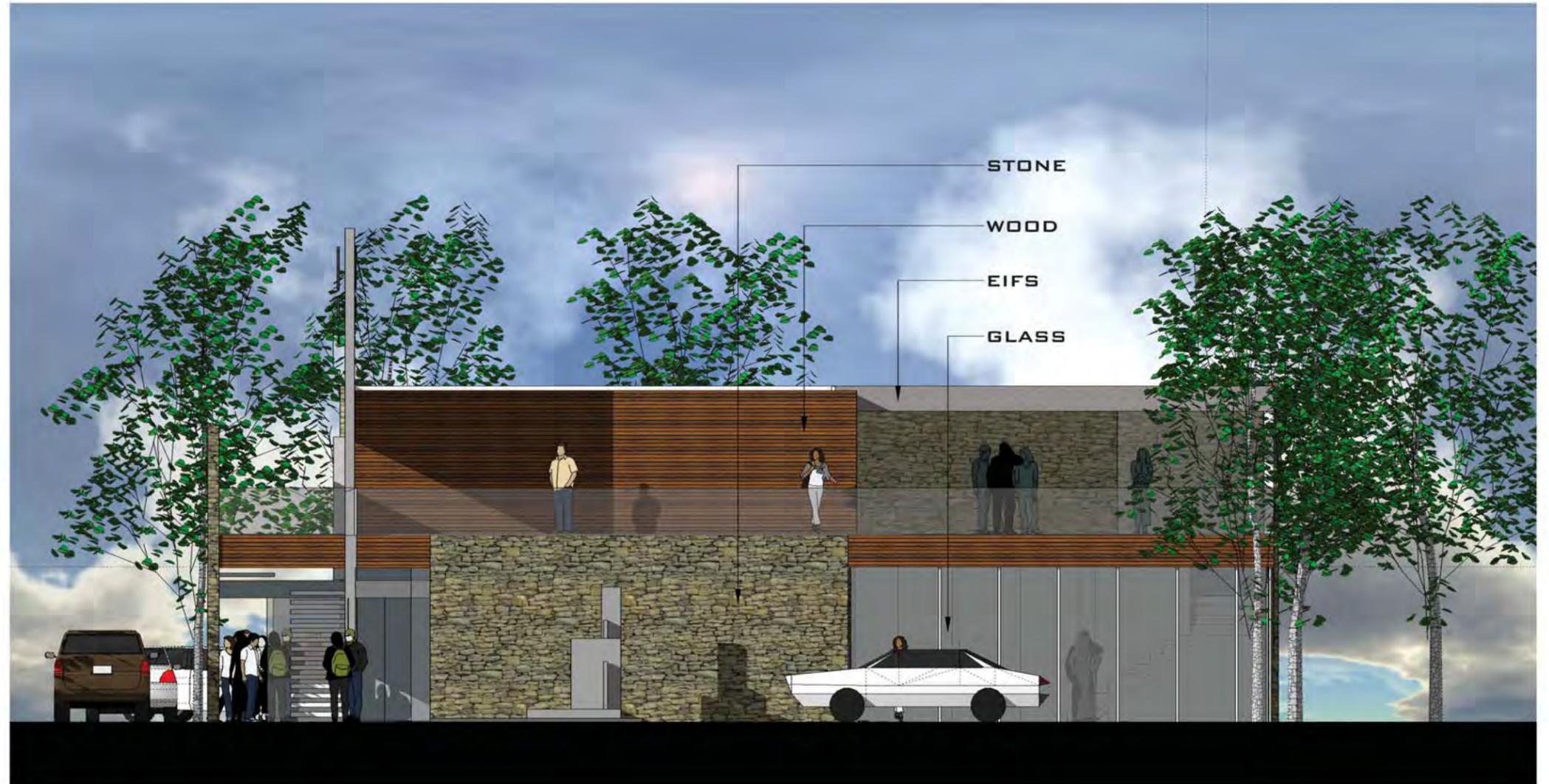


SEDONA TAPHOUSE - TROY, MI

STUDIO
OF

THOMAS **STRAT**
ARCHITECTS

2605 CROOKS ROAD TROY, MI 48064 TSTRATARCH@GMAIL.COM 248.703.3361



NORTH ELEVATION

STUDIO
OF

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ARCHITECTS

2605 CROOKS ROAD TROY, MI 48064 TSTRATARCH@GMAIL.COM 248.703.3361



EAST ELEVATION

STUDIO
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SOUTH ELEVATION

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WEST ELEVATION

STUDIO
OF

THOMAS **STRAT**
ARCHITECTS

2605 CROOKS ROAD TROY, MI 48064 TSTRATARCH@GMAIL.COM 248.703.3361

DATE: July 27, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: CONDITIONAL REZONING APPLICATION (File Number CR 013) – Proposed Amber Studios and Lofts, East side of Livernois between Vermont and Birchwood, Section 21, From O (Office) District to MR (Maple Road) District

The applicant, Amber Properties Company, seeks a conditional rezoning of the subject parcel from O (Office) District to MR (Maple Road) District. As part of the application, the applicant submitted a Preliminary Site Plan for a three-story building with a mezzanine. The proposed 35-unit building is 36 feet in height, measured at the midpoint of the roof.

The site is within the Maple Road classification in the City of Troy Master Plan. This classification supports a wide range of uses including multiple-family residential development.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Report prepared by Carlisle/Wortman Associates, Inc.
4. Public comment

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PROPOSED RESOLUTION

PUBLIC HEARING - CONDITIONAL REZONING APPLICATION (File Number CR 013)
– Proposed Amber Studios and Lofts, East side of Livernois between Vermont and Birchwood, Section 21, From O (Office) District to MR (Maple Road) District

Resolution # PC-2015-07-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the O to MR conditional rezoning request, which incorporates Preliminary Site Plan Approval, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the east side of Livernois, between Vermont and Birchwood, within Section 21, being approximately 0.5 acres in size, be granted for the following reasons.

1. The request complies with the Master Plan
2. The Form-Based District would permit greater flexibility in use and development of the property.
3. The abundance of Office District property in the City has been well documented.
4. The rezoning would be compatible with surrounding zoning and land use.
5. The site can be adequately served with municipal water and sewer.

BE IT FURTHER RESOLVED, That the Planning Commission recommends the following site plan design considerations:

1. Obtain alley vacation prior to Final approval.
2. Provide one (1) additional barrier free parking space.
3. Remove the single space directly adjacent to the north side of the building.
4. Remove one (1) parking space along the western property line and add five (5) additional feet to each greenbelt along Vermont and Birchwood.
5. Address berming and landscaping within north and south greenbelt.
6. Purchase additional 9-foot of alley or if additional 9-foot of alley cannot be purchased, address screening and landscape deficiencies within eastern greenbelt.
7. Address trash enclosure screening including material use and southern side of trash enclosure.
8. Propose pole height as low as possible to mitigate impact upon adjacent single-family properties, as determined by Planning Commission.

Yes:

No:

MOTION PASSED / FAILED



Legend:

- Aerial
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

150 0 75 150Feet

Scale 1: 900



Legend:

Form Based Zoning 2

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Aerial

- Red: Band_1
- Green: Band_2
- Blue: Band_3

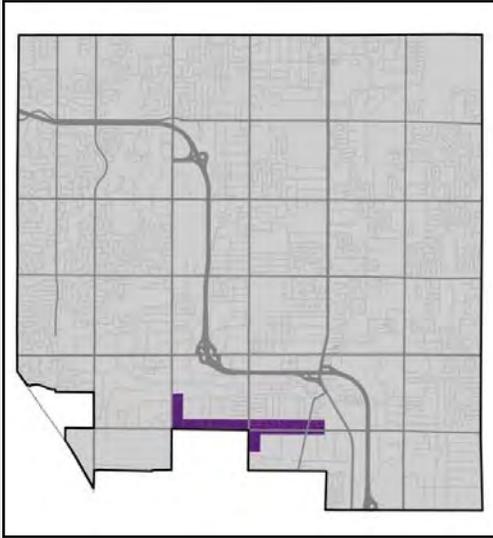
183 0 92 183Feet

Scale 1: 1,100

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 5/22/2015

**Maple Road:
Mixed-Use**



- *Predominantly industrial area, but with limited opportunities for transitional or service-oriented uses that complement the primary adjacent industrial areas*
- *Potential for urban-style open floorplan housing in redeveloping areas*
- *Focus on the quality of access management throughout Maple Road*

The Maple Road Corridor provides an opportunity for new, emerging land use types in the City of Troy. Limited development of industrial-style 3 to 4 story buildings with open-floorplan housing, developed in a transit-oriented setting, for instance, may be appropriate in some places. This type of development would help diversify the City’s housing stock and provide a more effective buffer between the Corridor and the industrial uses located in the immediate area.

Uses designed to support the workforce in the area may also be appropriate. Local commercial or small, mixed-use developments having a combination of such uses could greatly improve the character and image of this area. Such amenities would also help smaller, local industrial uses to recruit the best workforce.



New loft style, open floorplan residential development in Nashville

DESIGN CONCEPT

- This area will be a high-quality, eclectic mix of land uses and architectural types.
- Emphasis should be placed less on land use and more on building and site design. Design should not reflect traditional forms of “colonial” architecture.
- Development should be linked together visually and functionally throughout the corridor.

SITE DESIGN ATTRIBUTES

- Uniform “build-to” lines guiding a uniform containment of open space within the right-of-way should be established.
- Primary parking areas should be within rear or interior side yards.
- Landscape design creativity will be encouraged by setting general parameters relating to environmental sustainability such as limiting storm water runoff.
- Larger sites with deep set buildings should redevelop with buildings near the Maple Road right-of-way line.
- Mass transit stops should be accommodated (see page 115)

BUILDING DESIGN ATTRIBUTES

- Maximum height should not exceed four stories and limited to two stories for properties abutting single-family residential neighborhoods.
- Design creativity with regard to materials will be encouraged, although low quality materials or building designs that inhibit activity on the corridor will not be permitted.

- Primary parking areas within rear or interior side yards.
- Landscape design creativity should be encouraged by setting broad general parameters relating to environmental sustainability such as limiting storm water runoff or reusing gray water for irrigation.



Maple Road may provide a unique venue to expand opportunities for public art placement and for area artists to work and live.



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: March 13, 2014

Conditional Rezoning and Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Jerome S. Amber, Amber Properties Company 380 N. Crooks Road Clawson, Michigan 48017
Project Name:	Amber Studios and Lofts
Plan Date:	July 7, 2015
Location:	East side of Livernois between Birchwood and Vermont
Zoning:	O, Office District, requesting rezoning to MR, Maple Road District
Action Requested:	Conditional Rezoning and Preliminary Site Plan Approval
Required Information:	Noted Below

SITE DESCRIPTION AND PROJECT STATUS

The applicant has submitted a conditional rezoning application and site plan for a property located on the east side of Livernois between Birchwood and Vermont, just north of Maple Road. The 0.5 acre site is currently improved with a small office building on the south end. The site is currently zoned O, Office.

The applicant proposes a 35-unit, three-story plus mezzanine, 36-foot tall apartment building. The applicant is proposing studios and studio/lofts that range from size from 355 to 485 sq/ft. The applicant notes that this apartment type is unique to Troy and is an underserved market aimed at young professionals.

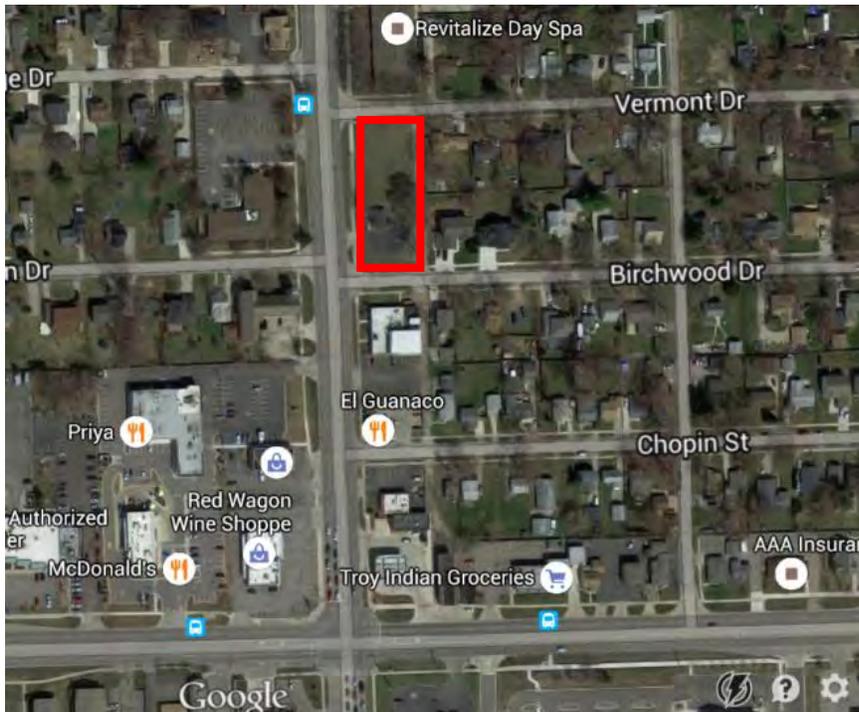
The applicant proposes to vacate and obtain ½ of the alley that abuts the property to the east. The other ½ of the alley will be offered to the adjacent single-family property owners. The applicant has

approached the adjacent property owners to purchase their half of the alley to be used as a permanent greenbelt.

The applicant seeks a conditional rezoning from O, Office to Maple Road Form-Base District. O, Office District does not permit multiple-family residential. Maple Road Form-Base District does permit multiple-family residential.

Location of Subject Property:

The property is located on the northwest corner of Livernois Road and Town Center Drive.



Surrounding Zoning and Uses:

A table summarizing zoning of the surrounding areas is as follows.

Direction	Zoning	Land Use
North	O, Office	Office
South	CB, Community Business	Office
East	R1-E, One Family Residential	Single Family Residential
West	O, Office	Office

MASTER PLAN

The site is located in the *Maple Road Corridor* classification in the 2008 Master Plan and the 2015 Master Plan update. The plans calls for segments without a strong existing market consider alternative uses including residential and useable open space as a market driven solution. Troy has started to experience a demand for alternative housing options. Segments along Maple Road supply vast areas of underused land that is available to meet the demand for alternative housing types. Because many sections of Maple Road are bordered by residential neighborhoods, it is much easier for these segments to attract reinvestment by integrating with the surrounding neighborhoods rather than compete with larger, developable parcels at major mile intersections. Furthermore, since many established residential neighborhoods are only one parcel off Maple Road, converting some segments to residential replaces the conflicting land use with a compatible land use that completes the neighborhood along the Maple Road boundary. Re-making sections of the corridor by putting some residential on the frontage is an opportunity to complete the residential neighborhood and provide an appropriate transition.

Neighboring zoning, land use, and master plan designations are summarized in the following chart:

	Property in Question	NORTH	South	East	West
Zoning	O	O	CB	R-1E	O
Land Use	Vacant Office	Office	Office	Residential	Office
Master Plan	Maple Road	Single Family Residential	Maple Road	Single Family Residential	Single Family Residential

While the use is desired, a key feature of the *Maple Road Corridor* is an emphasis on quality building and site design. Specifically, proper building siting and design creativity with regard to materials and architectural style is encouraged. The desire for design and architectural quality is reflected in the building placement and design requirements for Maple Road. Provided that the applicant is able to address site plan issues noted below, we find that a rezoning to Maple Road Form-Base District would be consistent with Master Plan.

Items to be addressed: None.

CONDITIONAL REZONING

The applicant notes that currently there is little market for office use, highlighted by the high office vacancy rate. Furthermore, the applicant notes that the O, Office District zoning is limited in terms of uses.

The conditions offered by the applicant include:

- Buildings will be developed under Building Form C
- Density shall not exceed 35 multi-family dwelling units
- Building height is limited to no more than three stories and mezzanine, with a maximum roof height of 36 feet.
- Use is limited to multiple family residential
- Submitted Site Plan

DEVELOPMENT POTENTIAL

The City has an abundance of land zoned and used for office purposes. With the current vacancy rate, it is unlikely that office use of the property is reasonable in the foreseeable future. The applicants proposed residential development is not permitted under the current O, Office zoning.

Items to be addressed: None.

CONDITIONAL REZONING STANDARDS

Conditional rezoning standards are set forth in Section 16.04.C.3. The Planning Commission should consider and the applicant should address the following rezoning standards:

- a. *The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.*
- b. *The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:*
 1. *A change in City policy since the Master Plan was adopted.*
 2. *A change in conditions since the Master Plan was adopted.*
 3. *An error in the Master Plan.*
- c. *The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.*
- d. *Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.*
- e. *The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.*

We would recommend approval of the subject rezoning for the following reasons:

- The request complies with the Master Plan
- The Form-Based District would permit greater flexibility in use and development of the property.
- The conditions offered by the applicant reasonably protect the adjacent properties.
- The abundance of Office District property in the City has been well documented.
- The rezoning would be compatible with surrounding zoning and land use.
- The site can be adequately served with municipal water and sewer.

Items to be addressed: None.

BUILDING ARRANGEMENT

The proposed building is oriented towards Livernois, with parking both under the building and at-grade in the rear of the site. The site is accessed via two (2) drives, one (1) off Vermont and one (1) off Birchwood. The applicant proposes to vacate and obtain ½ of the alley that abuts the property to the east. The other ½ of the alley will be offered to the adjacent single-family property owners.

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Table 5.03.B.3, Building Form C of Section 5.03, Standards Applicable to All Districts of the Zoning Ordinance establishes the dimensional requirements for the MR, Maple Road District. The requirements and proposed dimensions are as follows:

	Required	Provided	Compliance
Front (Livernois.)	10 foot build-to-line	10 feet	Complies
Front (Vermont)	10 foot build-to-line	10 feet	Complies
Front (Birchwood)	10 foot build-to-line	30 feet	Complies with Planning Commission approval
Rear (east)	30-foot minimum setback	70 feet	Complies
Building Height	Maximum 4 stories, 55 feet	36 feet to midpoint of roof.	Complies
Minimum Open Space	15%	18.75 %	Complies
Building Coverage	30%	30 %	Complies

The Planning Commission may adjust the required building line to a maximum of 30-feet beyond the property line for projects incorporating a permanent public/pedestrian space. The applicant is proposing a covered canopy to meet the Building Form C zoning requirement. The covered canopy will add massing towards the Birchwood Street elevation but more importantly provide a covered walkway and covered bike parking space.

Items to be addressed: None.

PARKING

Section 13.06.G of the Zoning Ordinance requires:

Residential	Required	Provided
Efficiency housing requires 1 space per unit	1 spaces X 35 units= 35 spaces	44 spaces
Barrier-Free Parking	Required	Provided
Barrier-free spaces:	44 spaces = 2 spaces	1 space

Applicant shall add one (1) additional barrier-free space.

Based on discussion with the Planning Commission the applicant was able to add four (4) additional parking spaces to the site. The total of 44 spaces exceeds the minimum parking requirements by 9 spaces. However, we note that the space directly adjacent to the north side of the building will be difficult to access and may cause traffic backups for cars entering the site off Vermont. We recommend that the space directly adjacent to the north side of the building be removed. In addition, the applicant has not provided a sufficient greenbelt along the parking spaces adjacent to Birchwood and Vermont. If the applicant were to remove one (1) parking space along the eastern property line, they could add five (5) additional feet to each greenbelt.

In total, if the applicant were to address our comments, they will provide a total of 42 spaces on site.

Items to be addressed: 1). Add one (1) barrier free space; 2). Remove the single space directly adjacent to the north side of the building; and 3). Remove one (1) parking space along the western property line and add five (5) additional feet to each greenbelt along Vermont and Birchwood.

LANDSCAPING

The applicant has provided a landscape plan in accordance with these sections of the Zoning Ordinance:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Greenbelts (13.02.D):</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	Livernois: Approximately 470 lineal feet of improved space along Livernois, Vermont, and Birchwood b= 16 trees	16 trees	Complies
<u>Site Landscaping (13.02.E):</u> A minimum of fifteen percent (15%) of the site area shall be comprised of landscape material.	15%	17%	Complies

We find the greenbelts along the north (Vermont), south (Birchwood), and east (adjacent to single-family residential) property lines are inadequate.

North (Vermont) and south (Birchwood) greenbelt: The proposed berm and landscaping along these greenbelts are three (3) feet in width; however, half of that 3 feet is located in the public ROW. 1.5 feet is not sufficient to berm and landscape. As previously noted, we advise the applicant to remove one (1) parking space and add five (5) feet along the each greenbelt adjacent to parking. This would provide approximately 6.5 feet to landscape. Within these greenbelts, the applicant shall consider the berming and plant selection to ensure driver visibility.

East property line: The applicant is providing a 6.5 feet landscape and berm buffer along the eastern property line to serve as a buffer between the parking lot and the adjacent single-family properties. Within the 6.5-foot buffer, the applicant proposes to use that area for landscaping, snow removal, in addition for a 2-foot parking overhang area. We note that the applicant has contacted the adjacent

property owners to purchase their half of the alley to add to the permanent greenbelt. If they were able to obtain this half, they would have approximately 15 feet, which is a sufficient area to landscape. However, with only a 6.5 feet buffer, the landscaping as shown interferes with overhang parking, and the proposed spruce trees are located along the edge of the property line and will greatly overhang into the adjacent properties. If the applicant is not able to obtain the additional nine (9) feet, the applicant should find alternative planting and screening options including the potential installation of a six-foot high screen wall along the eastern property line.

Trash enclosure screening: The applicant shows trash enclosure screening but does not indicate material. Material of screening shall match building. We note that the southern end of the trash enclosure is not completely screened. This must be fully screened for final site plan approval.

Equipment screening: The applicant does not show any equipment. Any equipment will be required to be screened in accordance with ordinance requirements.

Items to be addressed: 1). Remove parking space to add 5 feet to north (Vermont) and south (Birchwood) greenbelt; 2). Address berming and landscaping within north (Vermont) and south (Birchwood) greenbelt; 3). Purchase additional 9-foot of alley or if additional 9-foot of alley cannot be purchased, address screening and landscape deficiencies within eastern greenbelt; and 4). Address trash enclosure screening including material use and southern end of trash enclosure.

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation

The site is access via two (2) drives, one (1) off Vermont and one (1) off Birchwood. Vehicular access and circulation is sufficient.

Pedestrian access and Walkways:

Buildings are accessible from Livernois, Vermont, and Birchwood.

Items to be addressed: None

PHOTOMETRICS

The lighting plan indicates three (3) pole mounted lights located along the edge of the parking lot that is adjacent to the single family neighborhood and one (1) light adjacent to Birchwood Street. The pole heights are not indicated. The pole heights should be as low as possible to mitigate impact upon adjacent single-family properties.

Items to be Addressed: Propose pole height as low as possible to mitigate impact upon adjacent single-family properties.

FLOOR PLAN AND ELEVATIONS

The applicant has submitted floor plans and elevations. The architecture complies with the Maple Road Form Based District standards including the use of material changes, projections, façade articulation and

fenestration and windows. The architecture provides architectural detail as well as changes in horizontal and vertical scaling, variations in material, pattern, and color, to provide ground story activation.

The applicant has amended the architecture to address the comments from the Planning Commission. Planning Commission to determine if proposed architecture is of high quality and compatible with surrounding area.

Items to be Addressed: *Planning Commission to determine if proposed architecture is of high quality and compatible with surrounding area.*

DESIGN STANDARDS

The Maple Road design standards provide the Planning Commission with direction when reviewing the proposed design features of this development.

Façade Variation.

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet. ***Through the use of material changes, projections, façade articulation and fenestration, the all buildings comply with this standard.***

Pedestrian Access / Entrance.

- a. ***Primary Entrance:*** *The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **Building entrances are provided on Livernois Road.***
- b. ***Pedestrian Connection.*** *The pedestrian connection shall be fully paved and maintained surface not less than five (5) feet in width. **The applicant has provided an 8-foot wide sidewalk along Livernois Road. There are direct pedestrian connections from Livernois, Birchwood Street, and Vermont Avenue.***
- c. ***Additional Entrances.*** *In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance. **Complies***

Ground Story Activation.

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.

The applicant meets the transparency requirement.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

The applicant is providing a six (6) foot greenbelt along the east property line adjacent to the single-family uses. See landscaping screening section for more details.

- b. Intensity. A continuum of use intensity, where moderate intensity uses are sited between high-intensity uses and low-intensity uses, shall be developed for multi-building developments. An example would be an office use between commercial and residential uses.

A multiple-family apartment building can serve as an appropriate transition between a major mile road and a single-family neighborhood.

- c. Height and Mass. Building height and mass in the form of building step-backs, recess lines or other techniques shall be graduated so that structures with higher intensity uses are comparable in scale with adjacent structures of lower-intensity uses.

The applicant has applied vertical and horizontal elements including sloped roofs and building insets to reduce the scaling and mass.

- d. Architectural Features. Similarly sized and patterned architectural features such as windows, doors, arcades, pilasters, cornices, wall offsets, building materials, and other building articulations included on the lower-intensity use shall be incorporated in the transitional features.

The applicant has applied consistent architectural features through the building elevations.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards. **The applicant has provided the necessary parking.***

- b. *Location.*

- I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking. **All the parking is located to the rear of the building and complies with parking location requirements. Parking is screened from Birchwood Street and Vermont Avenue.***

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to*

the intersection. All the parking is located to the rear of the building and complies with parking location requirements. Parking is screened from Birchwood Street and Vermont Avenue.

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less. **Not Applicable***
- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C. **The applicant has screened their parking lot in compliance with section 13.0.2.C.***

Items to be Addressed: None

LETTERS

The Planning Department received two letters in opposition to the proposed application. The letters are included in the packet for Planning Commission review.

RECOMMENDATION

Because the site plan is a condition of the conditional rezoning, we are addressing both the site plan and conditional rezoning in our recommendation.

We recommend that the Planning Commission recommend approval of the subject conditional rezoning for the following reasons:

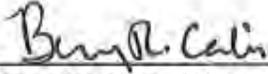
- The request complies with the Master Plan
- The Form-Based District would permit greater flexibility in use and development of the property.
- The abundance of Office District property in the City has been well documented.
- The rezoning would be compatible with surrounding zoning and land use.
- The site can be adequately served with municipal water and sewer.

Such recommendation is subject to the following conditions:

1. Planning Commission approval of proposed elevations
2. Obtain alley vacation
3. Add one (1) barrier free space.
4. Remove the single space directly adjacent to the north side of the building.
5. Remove one (1) parking space along the western property line and add five (5) additional feet to each greenbelt along Vermont and Birchwood.
6. Address berming and landscaping within north (Vermont) and south (Birchwood) greenbelt.
7. Purchase additional 9-foot of alley or if additional 9-foot of alley cannot be purchase, address screening and landscape deficiencies within eastern greenbelt.
8. Address trash enclosure screening including material use and southern end of trash enclosure.

9. Propose pole height as low as possible to mitigate impact upon adjacent single-family properties.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Kathy Czarnecki

From: ZCI Detroit <zb@zci.com>
Sent: Friday, July 17, 2015 8:25 AM
To: Planning
Subject: 1800-1870 livernois (Comments)

I'm the home owner at 68 Birchwood. My immediate family all live in three block neighborhood.

Over dinner, we discussed the Amber development and we're very familiar with his sites.

We "don't" believe Amber's proposal is the **correct fit** for our neighborhood. His buildings are very **"unappealing"** and bring no value to the neighbors.

Most of the neighbors would agree that a better use would be retail shops on the lower level with housing units on top. This would allow the neighborhood to benefit from shopping and continue the entertainment theme that MJR Theater has brought to the area.

In closing, my family (Bogdanovic) we own over 10 homes on Chopin, Birchwood, and Vermont. We would support a live/work/retail development but **"not"** the type Amber is proposing.

Zoran Bogdanovic
(Direct) 248-379-6458

RECEIVED

JUL 20 2015

PLANNING

Gmail

COMPOSE

Rezoning request

Inbox x

Inbox (4)

Starred

Important

Sent Mail

Drafts

Travel

More



John

No Hangouts Contacts

[Find someone](#)

John Hillert <jhillert@gmail.com>
to planning

Jul 18 (2 days ago)

An Amber apartment complex at 1870 Livernois would be a major departure in architecture in contrast to most of the existing buildings in close proximity. Planner Micheal Hutson according to the somerset gazette called the architectur bland and vanilla. I agree , Section 27 and 26 are NOT industrial areas like the architect wants to match. And how long will it be before they finish the project? Will we in section 26 and 27 have to look at this project drag on like the one just north of the Troy community center?

The city at this point in time does have the right to keep this property zoned office to preserve the aesthetics, integrity and property values of the neighborhood. These reasons and other concerns brought up by the planning department (and I'm sure by some adjacent and nea by home owners),make it important to deny this particular zoning request.

John R Hillert
1867 Westwood
Troy Michigan
48083

Mail Delivery Subsystem <mailer-daemon@go>
to me

Jul 18 (2 days ago)

Delivery to the following recipient failed permanently:

planning@trovmi.auv

July 27, 2015

To: Planning Commission Members

Subject: Proposed New Apartment Development on Livernois

I am an almost 30 year resident of Troy and longtime supporter of the Troy Community.

I like seeing some of the new developments that are coming to our city and I think we need to enthusiastically support them.

New apartments that will attract young professionals and millennials is just what we need in our city.

I therefore urge you to support Amber's conditional rezoning request and site plan approval for the land on the east side of Livernois north of Maple Rd. when this proposed project comes before you.

Thank you.



Vera Mitchell
1063 Kirts Blvd #134
Troy, Mi 48084

AMBER STUDIOS AND LOFTS

AMBER PROPERTIES COMPANY

1800 - 1870 LIVERNOIS ROAD, TROY, MI 48083

KEM-TEC & ASSOCIATES

22556 GRATIOT AVENUE
EASTPOINTE, MI 48021
T:596.772.2222
F:596.772.4048

GENERAL	
G001	PROJECT COVER SHEET
CIVIL	
C-1	SITE PLAN
C-2	GRADING PLAN
LANDSCAPING	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
ARCHITECTURAL	
AS01	ARCHITECTURAL SITE PLAN
A111	FIRST & SECOND FLOOR PLANS
A121	THIRD FLOOR & MEZZANINE PLANS
A131	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	GROUND STORY ACTIVATION
ELECTRICAL	
ESC01	EXTERIOR SITE LIGHTING PLAN

FOR REVIEW
NOT FOR
PERMITTING, OR
CONSTRUCTION

AMBER PROPERTIES
COMPANY
380 N. CROOKS RD
CLAWSON, MI 48017

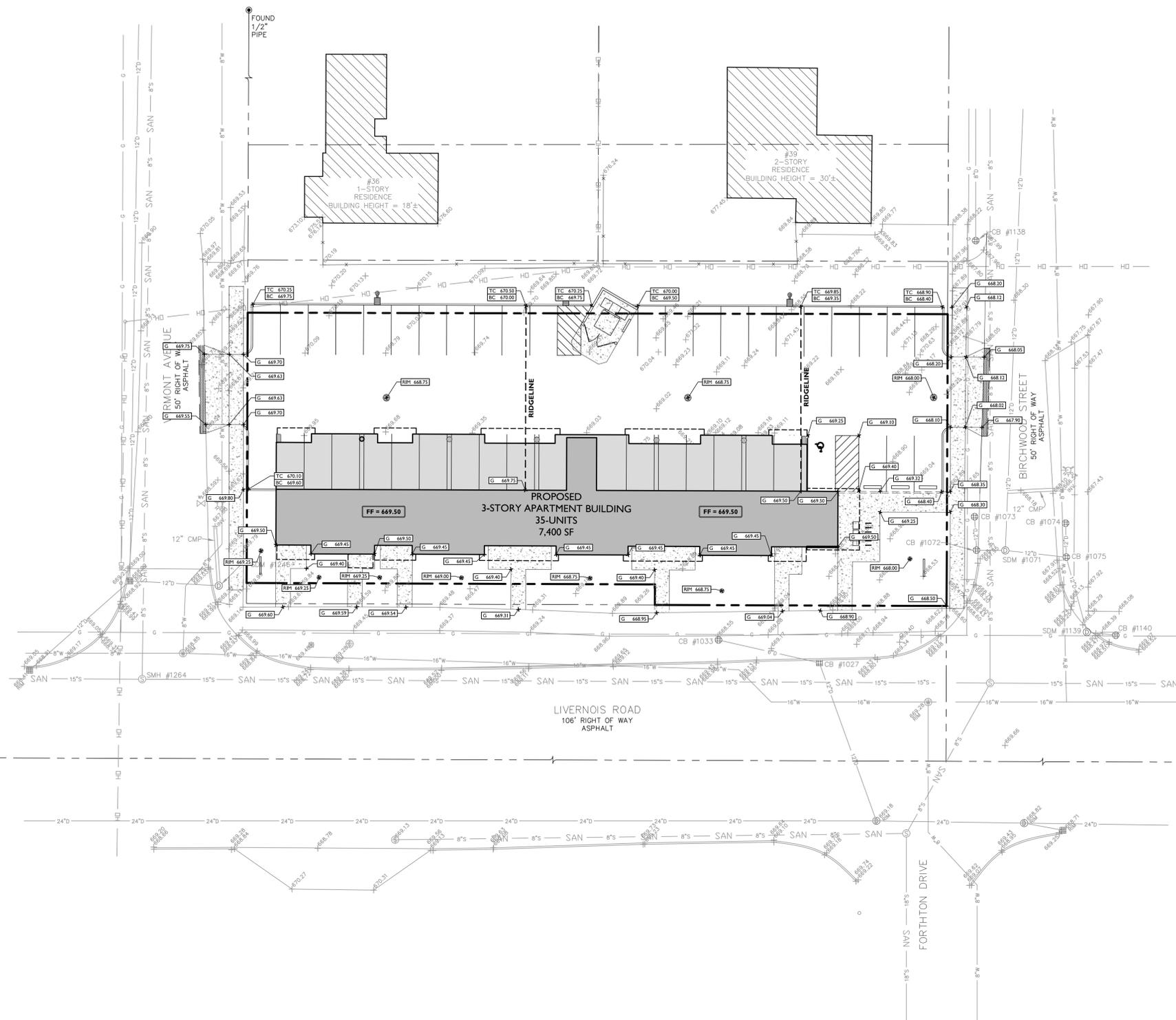
AMBER STUDIOS AND
LOFTS
TROY, MI 48083

CHECKED:
SCALE:
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ISSUE:
2015.07.09 SITE PLAN REVIEW

SHEET TITLE:
PROJECT COVER SHEET

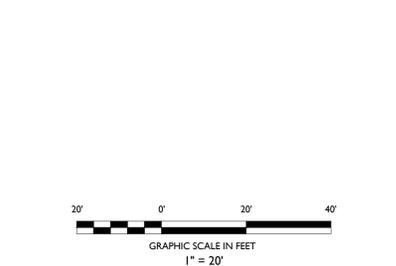




SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X DC 100.12 BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X TW 102.00 BV 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES. TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO KEM-TEC & ASSOCIATES FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 40 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



DATE	ISSUE	BY	DESCRIPTION
07/09/2015	MTP		SITE PLAN REVIEW
08/21/2015	JAM		SUBMISSION FOR PLANNING COMMISSION

NOT APPROVED FOR CONSTRUCTION

KEM-TEC & ASSOCIATES
 PROFESSIONAL ENGINEERS
 PROFESSIONAL SURVEYORS
 22556 GRATIOT AVENUE
 EASTPOINTE, MI 48021

STONEFIELD
 engineering & design, llc.

Rutherford, NJ · Farmingdale, NY · Bloomfield Hills, MI
 www.stonefielddesign.com
 2350 Franklin Road, Suite 210, Bloomfield Hills, MI 48302
 Phone 248.247.1115

SITE DEVELOPMENT PLANS

AMBER STUDIOS AND LOFTS

PROPOSED 3-STORY APARTMENT BUILDING

1800-1870 LIVERNOIS ROAD
 CITY OF TROY
 OAKLAND COUNTY, MICHIGAN



STONEFIELD
 engineering & design, llc.

SCALE: 1" = 20' PROJECT ID: M-15073

TITLE:
GRADING PLAN

DRAWING:
C-2

Landscape Notes:

Pre-installation

- 1) Qualifications of the Landscape Contractor
 - a) The landscape contractor shall be licensed by the State of Michigan, Department of Agriculture Plant Industries Division to handle plant materials.
 - b) The landscape contractor will be covered by a public liability and property damage insurance policy.
 - c) The landscape contractor shall conform to all Federal and State Labor Laws.
- 2) Landscape Contractor to verify all measurements in the field.
- 3) Landscape Contractor to report all discrepancies to the Landscape Architect.
- 4) Verify substitutions with the Landscape Architect prior to purchase of plant materials. Substitution of materials included in an approved plan shall be made with the consent of the City. The developer shall provide an as-built drawing indicating the changes prior to the release of the landscape deposit.
- 5) Landscape Contractor to contact MISS DIG (800-482-7171) at least 5 working days prior to digging on site.

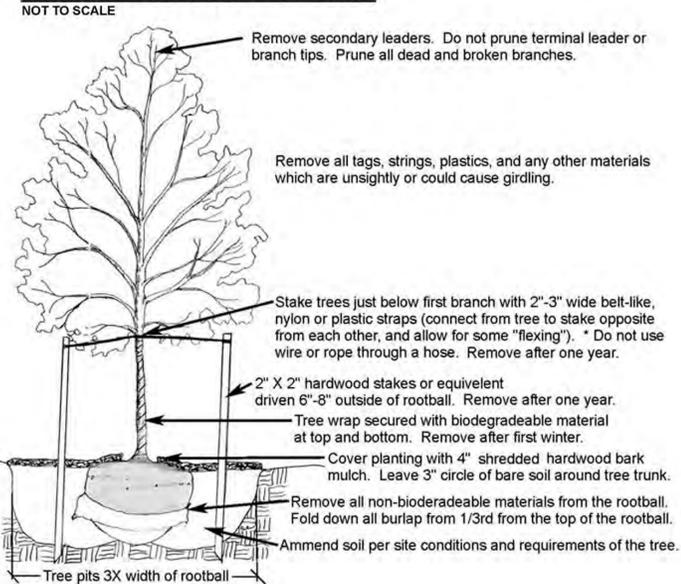
Landscape installation

- 6) Soils in planting beds to be loosened and amended where necessary for good drainage and appropriateness for the individual plant needs. Organic matter should be worked into the soils.
- 7) Plant materials shall be of generally acceptable varieties and species, free from insects and diseases, hardy to Oakland County, conform to the current minimum standards for nursery stock of the American Nursery and Landscape Association and shall have proof of any required governmental regulations and/or inspections.
- 8) The landscape contractor shall guarantee that all plants are true to botanical name, and that the quality and size meet the approved specifications.
- 9) All plant material shall conform in botanical name, dimensions, and quality of the "Horticultural Standards" adopted by the American Association of Nurserymen.
- 10) Balled and Burlapped plant material shall be balled with original clay soil, intact with the fibrous roots to insure maximum recovery after transplanting.
- 11) Potted plants shall have sufficient root structures to insure full recovery and development.
- 12) Nursery stock shall be vigorous, free from disease, insects, insect eggs, or larvae.
- 13) All landscaping and landscape elements shall be planted, and earth moving or grading performed, in a sound workmanlike manner, according to accepted planting and grading procedures.
- 14) Artificial plant materials are prohibited.
- 15) Native species of trees and shrubs shall constitute at least fifty percent (50%) of the total proposed plantings in accordance with the standards set forth in Section 13.02.A.7.
- 16) Water all plant materials thoroughly during planting.
- 17) Beds to be edged with a trench. Top of mulch to be level with the lawn.
- 18) Mulch shall be applied at a minimum depth of four inches, composed of shredded materials (not recycled construction materials or pallets), and installed in a manner as to present a finished appearance.
- 19) The landscape contractor shall fully guarantee that all plants are in a vigorous growing condition during and at the end of the guarantee period. This guarantee period shall be minimum of one (1) year from the completion date of the project.
- 20) Replacement plants and/or landscape materials other than plants shall be in accordance with the approved original specifications.
- 21) All trees between the sidewalk and curb should be a minimum of 15 feet away from a driveway that opens onto a public street.
- 22) Trees planted within 25 feet of the inside corner shall have no limbs lower than 8 feet above the lowest established street grade.
- 23) If required, berms shall be constructed with slopes not to exceed a one to three (1:3) gradient. Berm slopes shall be protected with sod, seed, or other form of natural ground cover.
- 24) Landscape Contractor to coordinate landscaping with existing and proposed underground and overhead utility lines so as to avoid interference with plant growth.
- 25) Areas adjacent to parking lots, a minimum distance of three (3) feet from the backside of the curb and the proposed landscape plantings shall be provided. Where vehicles overhang a landscape island or strip, a minimum distance of five (5) feet from the backside of the curb and the proposed landscape plantings shall be provided.
- 26) The contractor shall at all times keep the premises and public streets free from any excessive accumulation of soil and waste material or rubbish caused by his employees or work, and at the completion of the work, he shall remove all his waste, excessive material, rubbish and equipment so as to leave the premises neat and clean and ready for the purpose for which it was intended.
- 27) The contractor shall properly protect all existing structures and property. This is to include, but not to be limited to: sidewalks, curbs, fences, buildings, lawns, trees and shrubbery. Repair of all parts shall be done in strict accordance with the requirements of the proper City authorities.

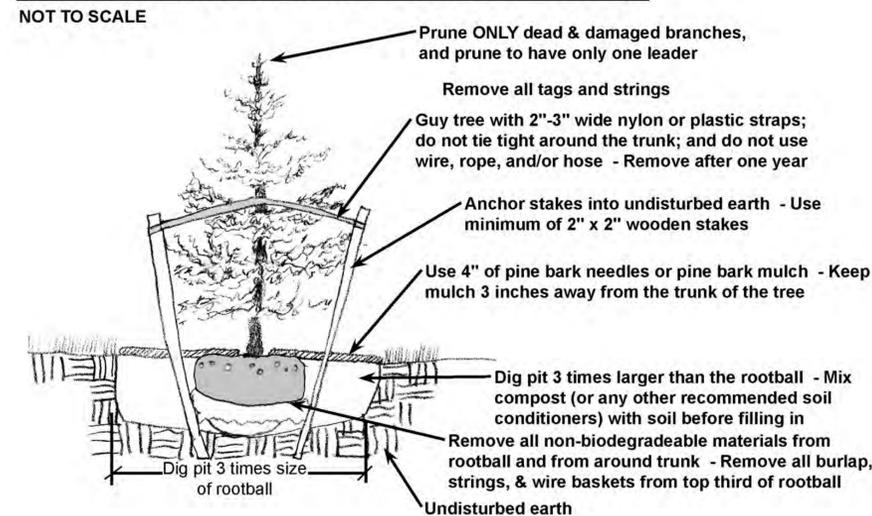
Post installation

- 28) All diseased, damaged, or dead materials shall be replaced in accordance with the standards of this Ordinance.
- 29) Landscaping required by this Ordinance shall be maintained in a reasonably healthy condition, free from refuse and debris. All unhealthy and dead material shall be replaced within one (1) year of damage or death or the next appropriate planting period, whichever comes first.
- 30) All landscaped areas shall be provided with irrigation or a readily available and acceptable water supply.

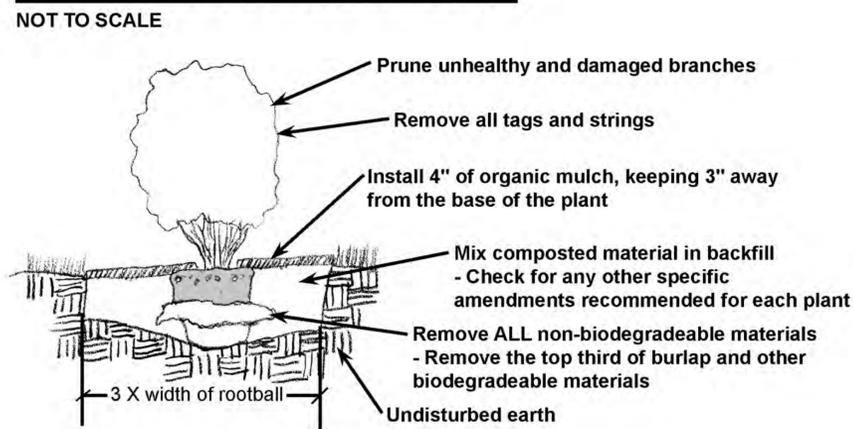
TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



Requirements:

- Screening Between Land Uses [§13.02.B.]**
- Requirement: Screen Alternative #1 or #2 along East property line
 - + Provided: Evergreen Screening along East property line
 - + Provided: 6' 4" wide greenbelt, and if the entire alley is considered, then a 15' 4" wide greenbelt
- Greenbelt Along Right-Of-Way [§13.02.D.]**
- Requirement: 16 Trees [110.22' + 239.98' + 117.56 = 467.76 + 30 = 16]
 - + Provided: 16 Trees
 - Requirement: 10' wide greenbelt
 - + Provided: 10'+ greenbelt
- Site Landscaping**
- Requirement: 15% of site as greenspace
 - + Provided: 17.4% of site as greenspace
- Off-street Parking Visibility [§5.05.E.5.b.iv & §13.02.C.3.b]**
- Requirement: Berm or wall 3' high
 - + Provided: Berm with evergreen shrubs
- Tree Preservation Plan [§8.05.A.9.]**
- Requirement: Tree Preservation Plan
 - + Provided: Not Required - No regulated trees on site.

Not to be used unless original signature of Eric Olson, PLLC is present. Signature of Eric Olson, PLLC is required for all revisions to this plan.

Date: May 22, 2015
 Revisions: July 9, 2015

For Site Plan Approval
 Revisions per City

Design by:
Eric A. Olson, PLLC
 115 1/2 South Saginaw Street
 Holly, Michigan 48442
 (248) 634-4320
 fax (248) 634-4409
 EO@olsonrla.com

Information from this plan to only be used for this property. Design is not to be copied without permission.

06.09.2015 Site Plan Review
 Landscape Details for:
AMBER STUDIOS and LOFTS
 1800 - 1870 Livernois Road, City of Troy, Michigan 48083

GROSS BUILDING SQUARE FOOTAGE:
NET SQUARE FOOTAGE SUMMARY:

FIRST FLOOR:	2,975 SQ FT NET UNITS 404 SQ FT MECH + WALLS + STAIRS (4,157 GROSS SQ FT)
SECOND FLOOR:	5,040 SQ FT NET UNITS + WALLS + STAIRS (7,160 GROSS SQ FT)
THIRD FLOOR & MEZZANINE:	6,879 SQ FT NET UNITS + WALLS + STAIRS (7,497 GROSS SQ FT)
BUILDING GROSS SQ FT:	18,814 SQ FT*

*MEZZANINES DO NOT CONTRIBUTE TO EITHER BUILDING AREA OR NUMBER OF STORIES AS REGULATED BY SECTION 503.1.

SITE INFORMATION:

EXISTING SITE: LAND SITUATED IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF MICHIGAN IS DESCRIBED AS FOLLOWS:

- 20-27-353-029
LOTS 63, 64 AND 65, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-008
LOTS 61 AND 62, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-007
THE EAST 93 FEET OF LOT 60, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-006
THE EAST 93 FEET OF LOT 59, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-005
THE EAST 93 FEET OF LOT 58, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-004
THE EAST 93 FEET OF LOT 57, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-003
THE EAST 93 FEET OF LOT 56, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-002
THE EAST 93 FEET OF LOT 55, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.
- 20-27-353-001
THE EAST 93 FEET OF LOT 54, ADDISON HEIGHTS SUBDIVISION No. 2, AS RECORDED IN LIBER 33, PAGE 28 OF PLATS, OAKLAND COUNTY RECORDS.

SETBACK INFORMATION:

PROPERTY SETBACKS SUBJECT TO SETBACK REQUIREMENTS AS FOLLOWS PER TABLE 5.03.B.3 BUILDING FORM C, UNLESS OTHERWISE ALLOWED BY THE PLANNING COMMISSION:

FRONT:	REAR:	SIDE:
MINIMUM: 10'-0"	MINIMUM: 30'-0"	MINIMUM: N/A
MAXIMUM: 30'-0"	MAXIMUM: NONE	MAXIMUM: NONE

THE PROPOSED BUILDING SETBACKS ARE:
FRONT (WEST, NORTH) BUILD TO LINE: 10'-0" TO FACE OF BUILDING
FRONT (SOUTH) BUILD TO LINE: 30'-0" TO FACE OF BUILDING
REAR (EAST): 50'-4" TO FACE OF BUILDING

BUILDING HEIGHT INFORMATION:

THE PROPOSED BUILDING HEIGHT IS 36' - 0" TO THE MID POINT OF THE ROOF.

BARRIER FREE REQUIREMENTS:

BARRIER FREE PARKING:
2% OF THE TOTAL NUMBER OF SPACES REQUIRED. (MIN OF 1)
(2 BARRIER FREE SPACES ARE REQUIRED FOR THE 94 SPACES PROVIDED.)

BARRIER FREE DWELLING UNITS:
2% OF TOTAL UNITS ARE REQUIRED TO BE "TYPE A" (MIN OF 1) PER NBC 1107.6.2.1.1.
THE 1 "TYPE A" UNIT IS LOCATED ON THE FIRST FLOOR.

BUILDING INFORMATION:

OCCUPANCY USE:	R-2
CONSTRUCTION TYPE:	5B
FIRST FLOOR AREA:	4,157 GROSS SQ FT
SECOND FLOOR AREA:	7,160 GROSS SQ FT
THIRD FLOOR AREA:	7,497 GROSS SQ FT
MEZZANINE FLOOR AREA:	1,305 NET SQ FT
TOTAL:	18,814 GROSS SQ FT*

*MEZZANINES DO NOT CONTRIBUTE TO EITHER THE BUILDING AREA OR THE NUMBER OF STORIES AS REGULATED BY NBC SECTION 503.1

SITE AREA:	25,032 SQ FT* (+/- 0.575 ACRES) *INCLUDES WEST 9' - 0" OF THE VACATED ALLEY
CURRENT ZONING:	OFFICE DISTRICT
PROPOSED ZONING:	MAPLE ROAD DISTRICT
PROPOSED USE:	EFFICIENCY APARTMENTS
PROPOSED MULTIPLE FAMILY RESIDENTIAL USE:	STUDIO APARTMENTS (RENTAL).
35 UNITS PROPOSED -	1 PARKING SPACES / EACH DWELLING UNIT (REQUIRED)
PARKING REQUIRED:	35 SPACES
PARKING PROVIDED:	43 SPACES + 1 SPACES BARRIER FREE = 44 TOTAL SPACES*
*ADDITIONAL 4 ON STREET PARKING SPACES ADJACENT TO PROPERTY.	
PROPOSED OPEN SPACE:	4,511 SQ FT (OPEN) / 25,032 SQ FT (SITE) = 18.75%*
* 15% REQUIRED OPEN SPACE BASED ON TABLE 5.03.B.3 BUILDING FORM C	
BUILDING SITE COVERAGE:	7,497 SQ FT (BUILDING FOOTPRINT) / 25,032 SQ FT (SITE) = 30.00%

APARTMENTS TYPES	UNIT TYPE	QUANTITY	NET SQ FT
TYPE "01" STUDIO	(0)	7	425
TYPE "02A" STUDIO	(0)	12	355
TYPE "02B" STUDIO	(0)	2	390
TYPE "03A" STUDIO LOFT	(0)	10	486
TYPE "03B" STUDIO LOFT	(0)	2	442 (399+83)
TYPE "03C" STUDIO LOFT	(0)	1	470
TYPE "03D" STUDIO LOFT	(0)	1	390+87
TYPE "03E" STUDIO LOFT	(0)	1	665
		35 UNITS	542+124

**FOR REVIEW
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PERMITTING, OR
CONSTRUCTION**

**AMBER PROPERTIES
COMPANY
380 N. CROOKS RD
CLAWSON, MI 48017**

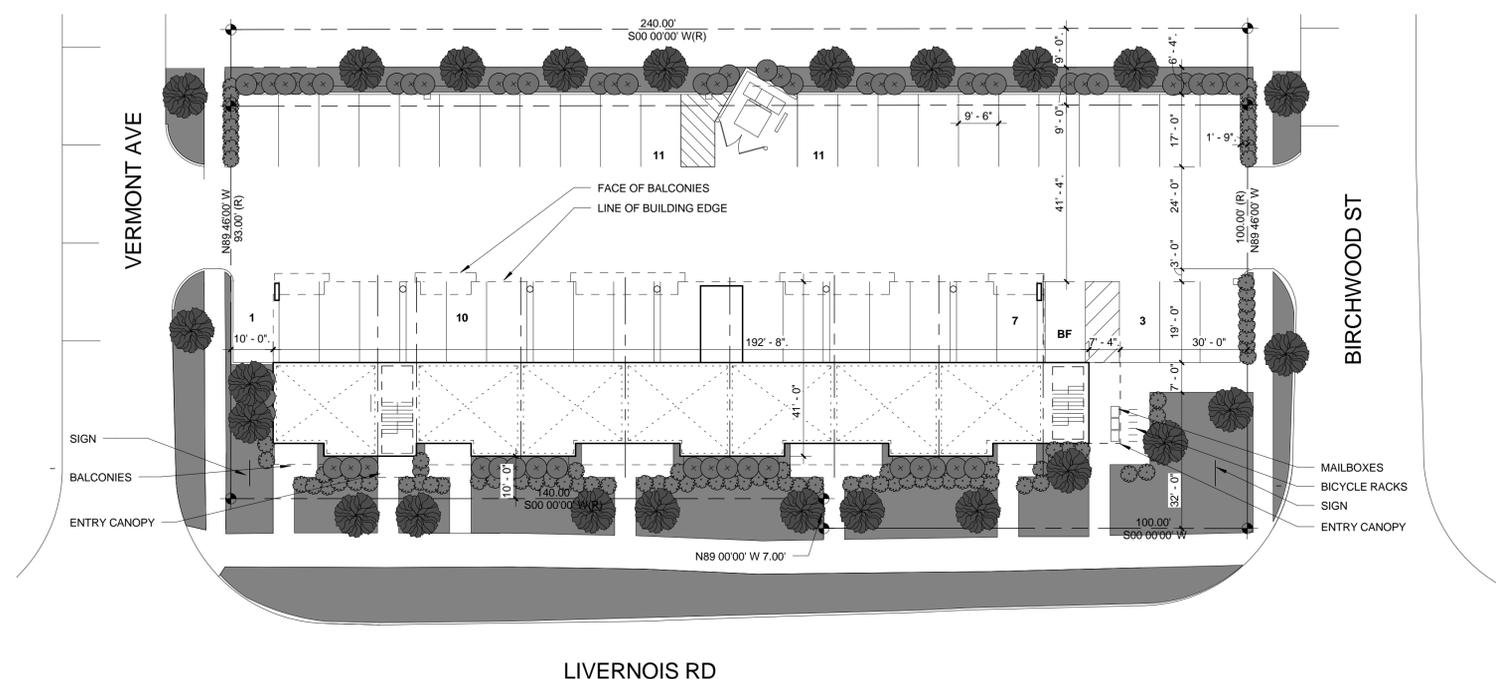
**AMBER STUDIOS AND
LOFTS
TROY, MI 48083**

CHECKED:
SCALE: As indicated
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ISSUE:

2015.07.09	SITE PLAN REVIEW

SHEET TITLE:
ARCHITECTURAL SITE PLAN



A1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

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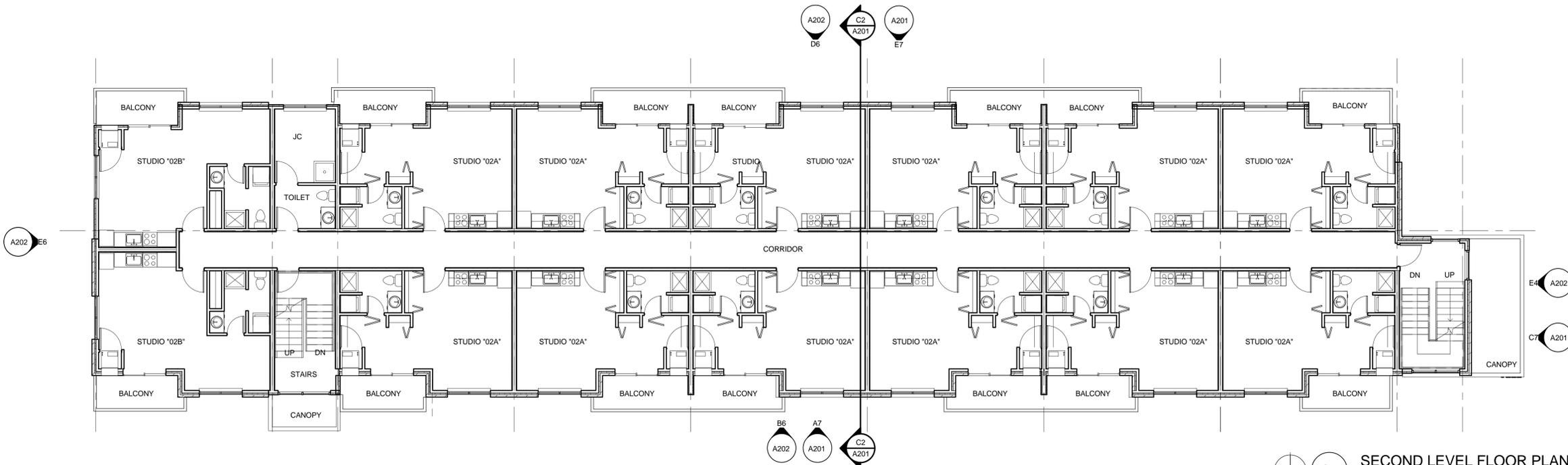
AMBER PROPERTIES
COMPANY
380 N. CROOKS RD
CLAWSON, MI 48017

AMBER STUDIOS AND
LOFTS
TROY, MI 48083

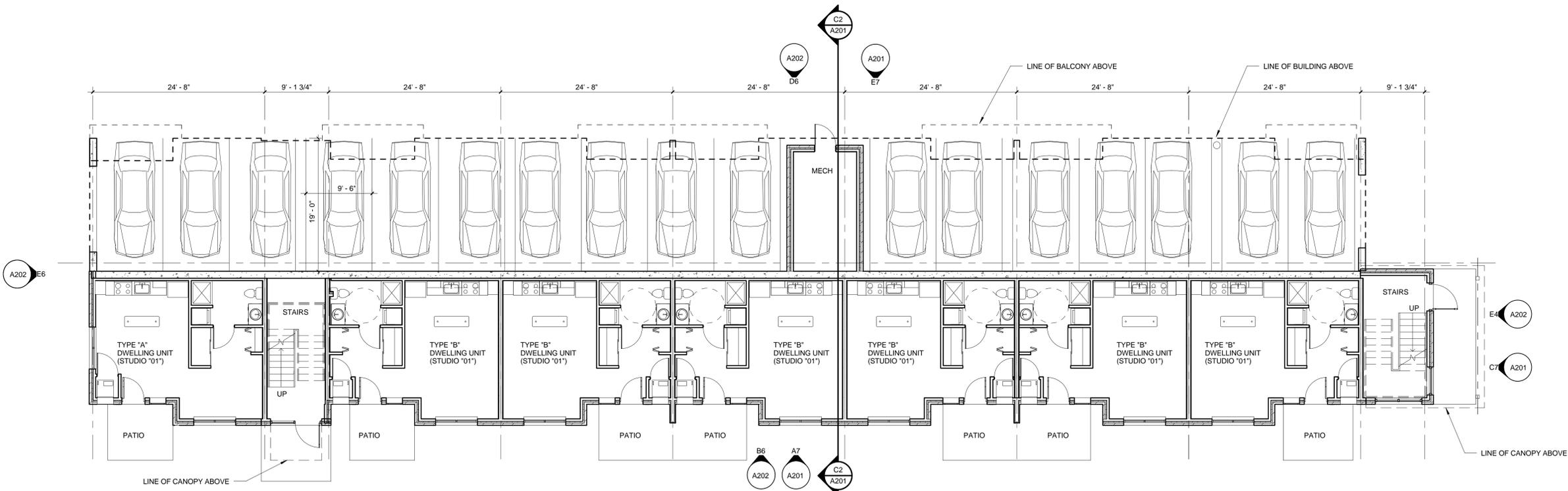
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2015.07.09 SITE PLAN REVIEW

SHEET TITLE:
FIRST & SECOND FLOOR PLANS



C1 SECOND LEVEL FLOOR PLAN
1/8" = 1'-0" REFERENCED ON A7 / A201
REFER TO FIRST FLOOR PLAN FOR OVERALL DIMENSIONS



A1 FIRST LEVEL FLOOR PLAN
1/8" = 1'-0" REFERENCED ON A7 / A201

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COMPANY
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CLAWSON, MI 48017

AMBER STUDIOS AND
LOFTS
TROY, MI 48083

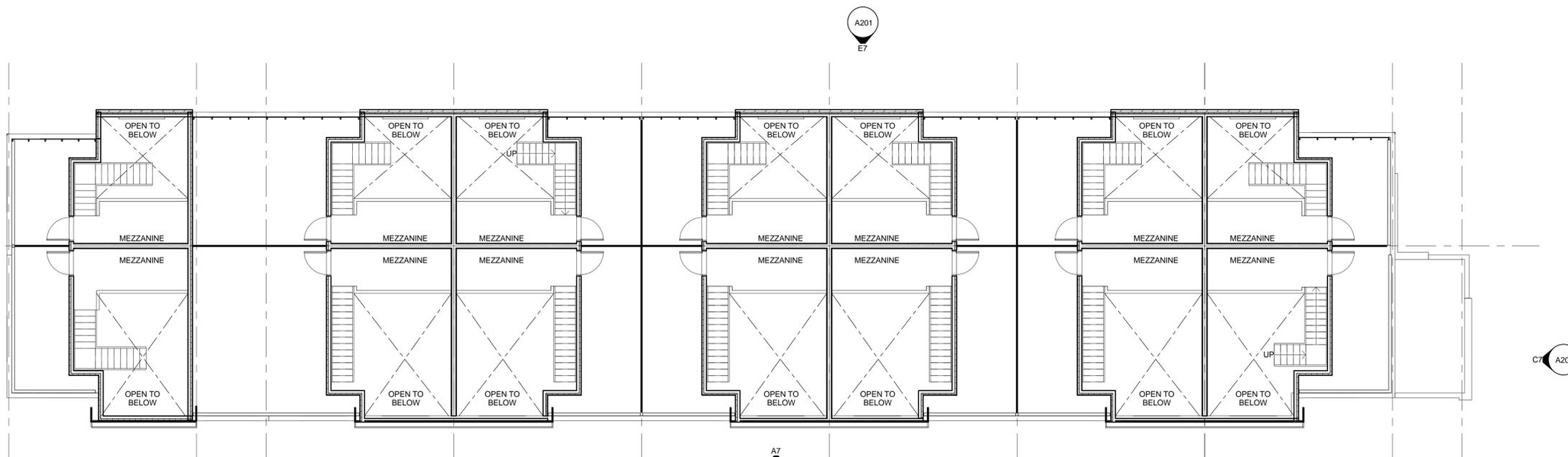
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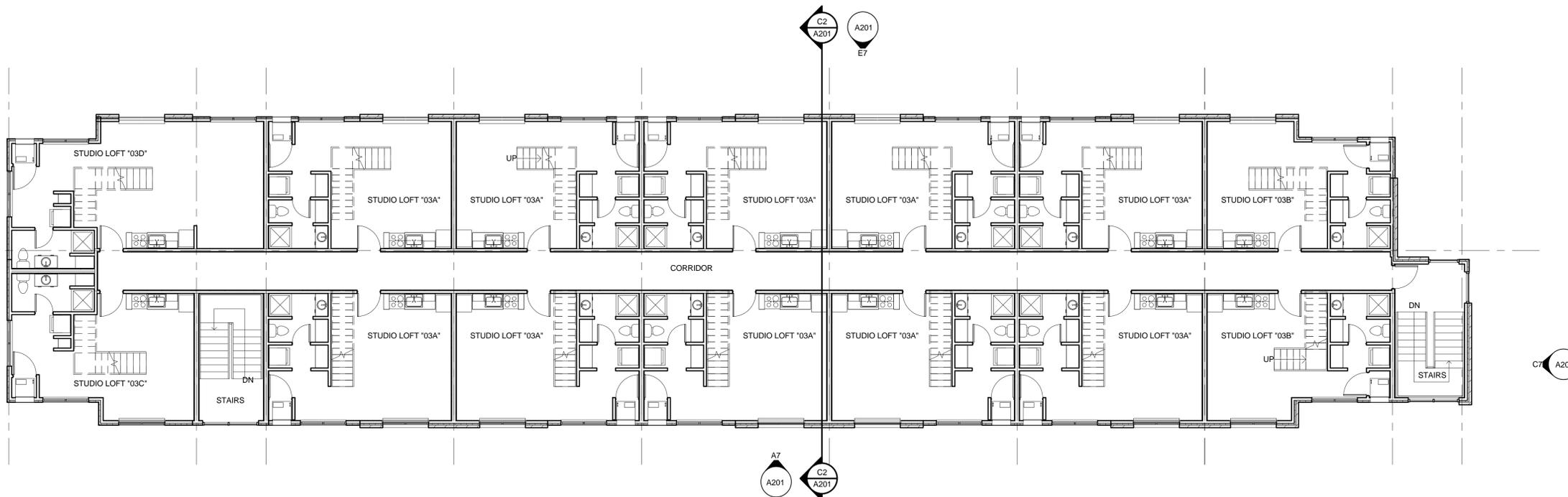
SHEET TITLE:
THIRD FLOOR &
MEZZANINE PLANS

Project:

A121
214100111



C1 MEZZANINE FLOOR PLAN
1/8" = 1'-0" REFERENCED ON A7 / A201



A1 THIRD FLOOR PLAN
1/8" = 1'-0" REFERENCED ON A7 / A201

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COMPANY
380 N. CROOKS RD
CLAWSON, MI 48017

AMBER STUDIOS AND
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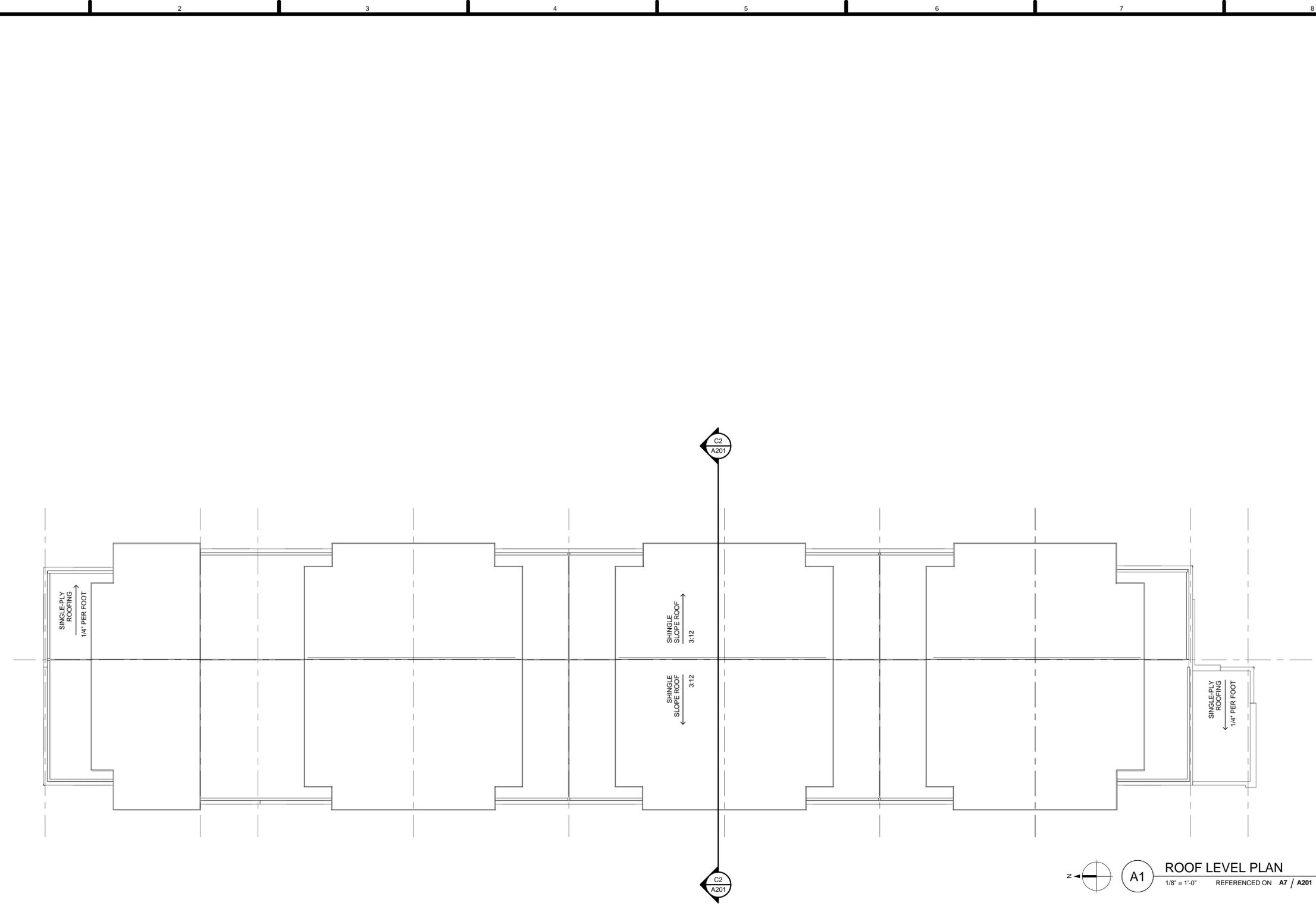
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SCALE: 1/8" = 1'-0"
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SHEET TITLE:
ROOF PLAN

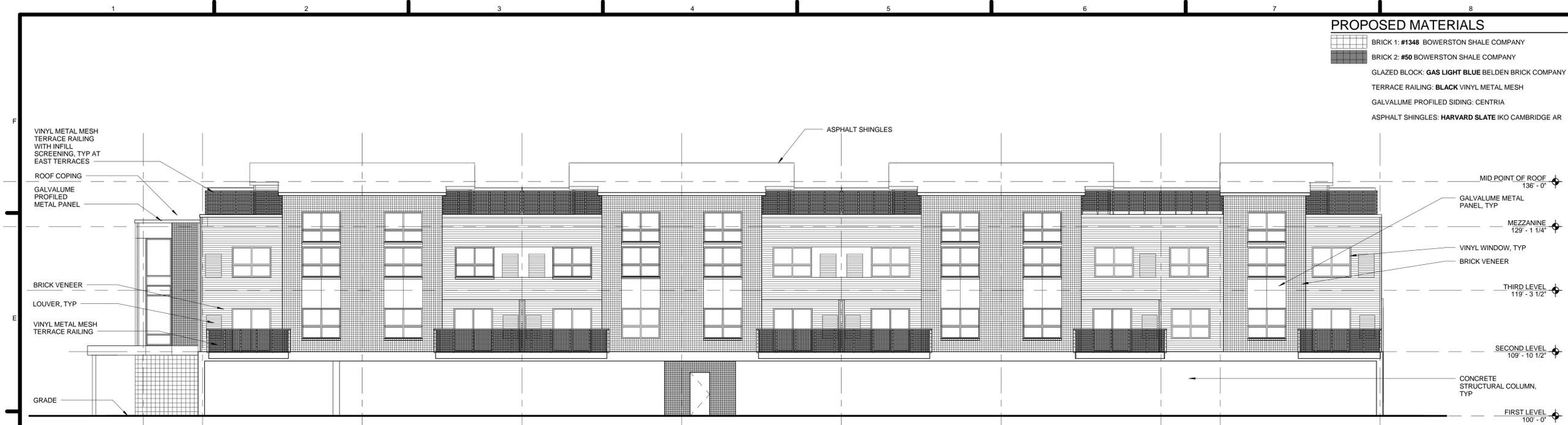
A131
214100111



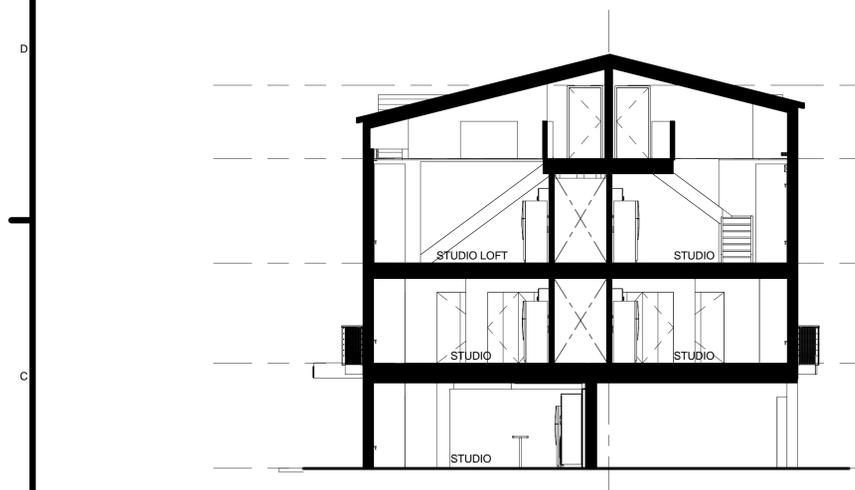
A1 ROOF LEVEL PLAN
1/8" = 1'-0" REFERENCED ON A7 / A201

PROPOSED MATERIALS

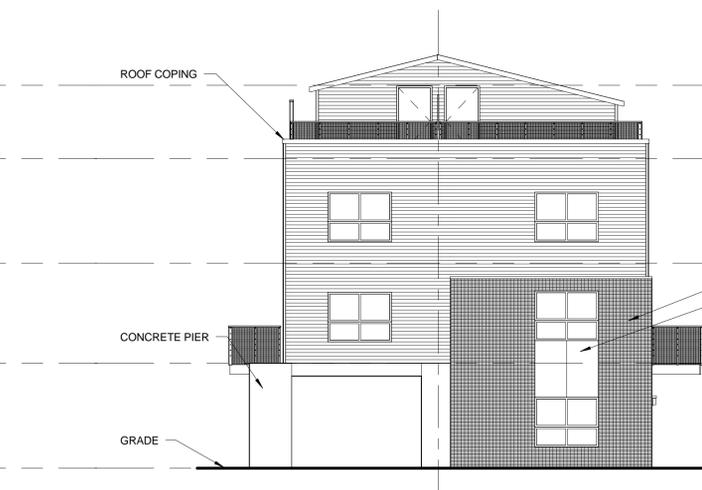
- BRICK 1: #1348 BOWERSTON SHALE COMPANY
- BRICK 2: #50 BOWERSTON SHALE COMPANY
- GLAZED BLOCK: GAS LIGHT BLUE BELDEN BRICK COMPANY
- TERRACE RAILING: BLACK VINYL METAL MESH
- GALVALUME PROFILED SIDING: CENTRIA
- ASPHALT SHINGLES: HARVARD SLATE IKO CAMBRIDGE AR



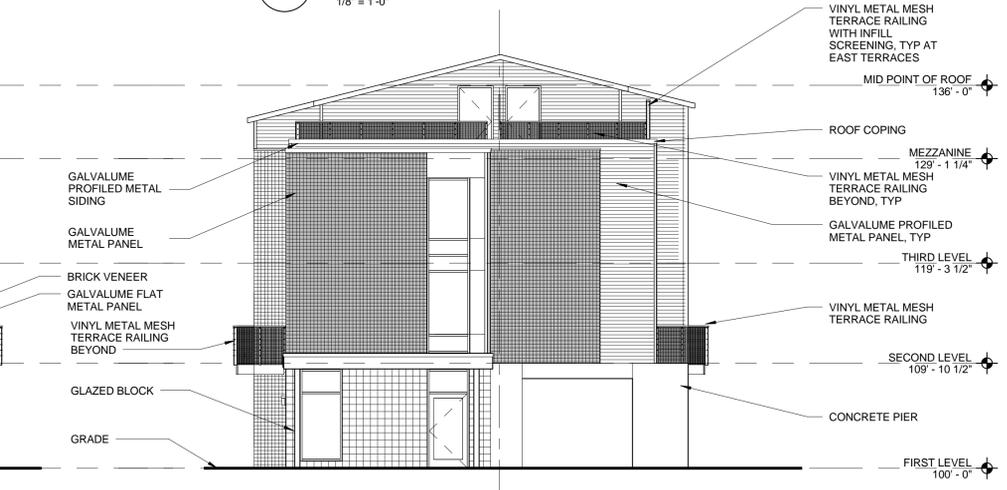
E7 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



C2 BUILDING SECTION
1/8" = 1'-0"



C5 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



C7 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



A7 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"

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COMPANY
380 N. CROOKS RD
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AMBER STUDIOS AND
LOFTS
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CHECKED:
SCALE: 1/8" = 1'-0"
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ISSUE:

2015.07.09	SITE PLAN REVIEW

SHEET TITLE:
EXTERIOR ELEVATIONS

7/9/2015 9:11:12 AM C:\Users\Public\Documents\Local_Revit_Files\214100111 ASL_study_jwieber.rvt

GROUND STORY ACTIVATION

FACADE VARIATION - 5.05 E.1

UNINTERRUPTED PUBLIC STREET FACADE LENGTH

MAX ALLOWED :	25'-0"
PROPOSED :	SOUTH ELEVATION 18'-10"
	NORTH ELEVATION 19'-0"
	WEST ELEVATION 24'-8"

TRANSPARENCY ALTERNATIVES - 5.05E3b

- (A) EXPRESSION OF STRUCTURAL SYSTEM
 - EXPRESSION OF CONCRETE WALLS, BEAMS, AND BALCONIES
 - INDENTED/OUTDENTED UNIT PLACEMENT
- (D) MATERIAL VARIATION
 - ALTERNATING BRICK COLOR
 - FLAT METAL PANELS
- (E) INTEGRATED ARCHITECTURAL ORNAMENTATION
 - GLAZED BLOCK TO SIGNIFY ENTRANCES
 - LIMESTONE ADDRESS BLOCKS
- (F) OUTDOOR SEATING (5.05E3bii)

GROUND STORY ACTIVATION CALCULATIONS

SOUTH ELEVATION

REQUIREMENT	% PROPOSED	% REQUIRED
TRANSPARENCY TOTAL	55.6%	50% MIN*
GLAZING/DOORS	12.9%	

THE BASE MATERIAL FOR THIS ELEVATION IS : **GLAZED BLOCK**
THE FOLLOWING CHART LISTS THE ALTERNATIVE MATERIALS USED

TRANSPARENCY ALTERNATIVES	%	MAX
TRANSPARENCY ALTERNATIVES	42.7%	80% MAX
MATERIAL VARIATION	42.7%	50% MAX
CONCRETE	28.6%	
METAL PANEL	14.1%	

NORTH ELEVATION

REQUIREMENT	% PROPOSED	% REQ
TRANSPARENCY TOTAL	51.0%	50% MIN*
GLAZING/DOORS	9.7%	

THE BASE MATERIAL FOR THIS ELEVATION IS : **BRICK TYPE B**
THE FOLLOWING CHART LISTS THE ALTERNATIVE MATERIALS USED

TRANSPARENCY ALTERNATIVES	%	MAX
TRANSPARENCY ALTERNATIVES	41.3%	80% MAX
MATERIAL VARIATION	41.3%	50% MAX
FLAT METAL PNL	9.1%	
CONCRETE	32.2%	

EAST ELEVATION

REQUIREMENT	% PROPOSED	% REQ
TRANSPARENCY TOTAL	47.5%	30% MIN*
DOORS	4.5%	

THE BASE MATERIAL FOR THIS ELEVATION IS : **CONCRETE**
THE FOLLOWING CHART LISTS THE ALTERNATIVE MATERIALS USED

TRANSPARENCY ALTERNATIVES	%	MAX
TRANSPARENCY ALTERNATIVES	43.4%	100% MAX
MATERIAL VARIATION	43.4%	50% MAX
BRICK TYPE B	21.1%	
FLAT METAL PANEL	22.3%	

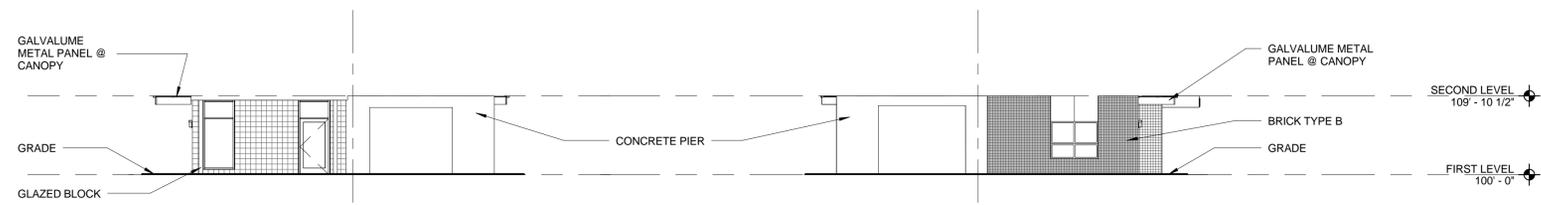
WEST ELEVATION

REQUIREMENT	% PROPOSED	% REQ
TRANSPARENCY TOTAL	99.6%	50% MIN*
GLAZING/DOORS	29.7%	

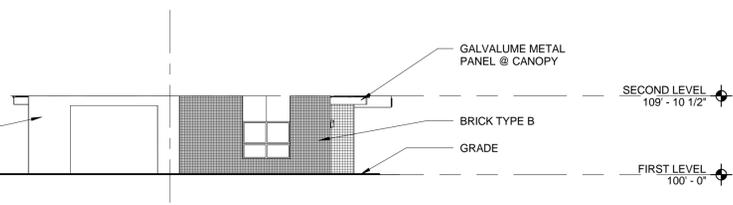
THE BASE MATERIAL FOR THIS ELEVATION IS : **BRICK TYPE B**
THE FOLLOWING CHART LISTS THE ALTERNATIVE MATERIALS USED

TRANSPARENCY ALTERNATIVES	%	MAX
TRANSPARENCY ALTERNATIVES	69.9%	80% MAX
MATERIAL VARIATION	40.4%	50% MAX
GLAZED BLOCK	4.2%	
BRICK TYPE A	22.2%	
FLAT METAL PNL	11.4%	
ARCHITECTURAL METAL LOUVERS	2.6%	
OUTDOOR DINING/SEATING	29.5%	60% MAX

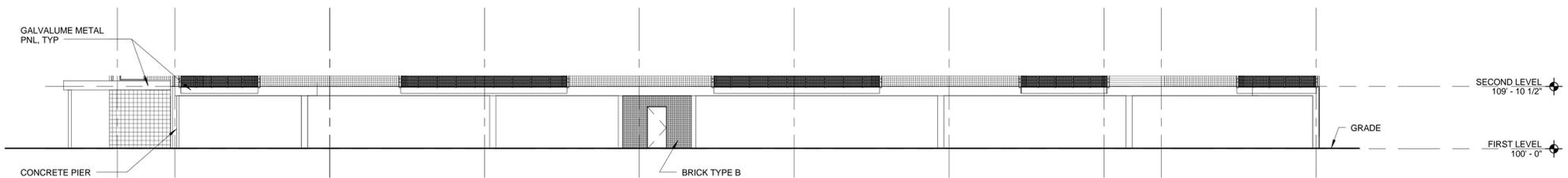
*TRANSPARENCY REQUIREMENT EQUALS TRANSPARENCY ALTERNATIVES IN ADDITION TO GLAZING AND DOORS.



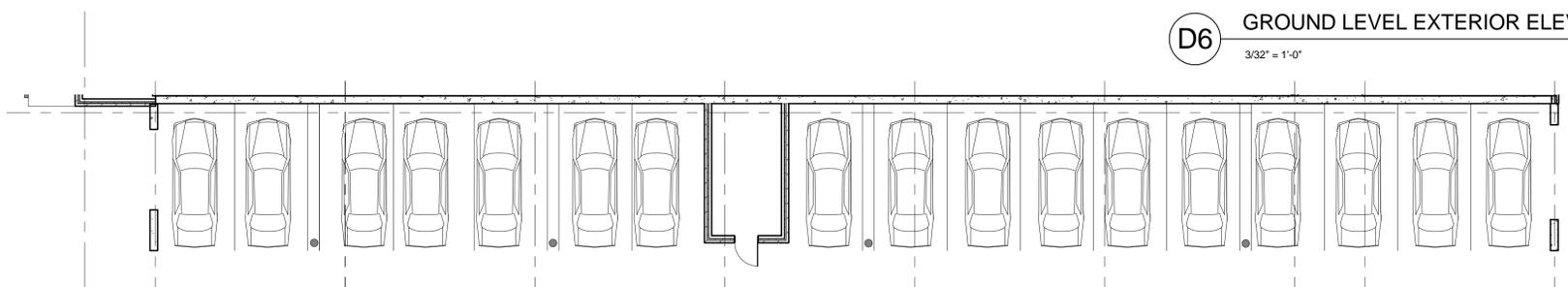
E4 GROUND LEVEL EXTERIOR ELEVATION - SOUTH
3/32" = 1'-0"



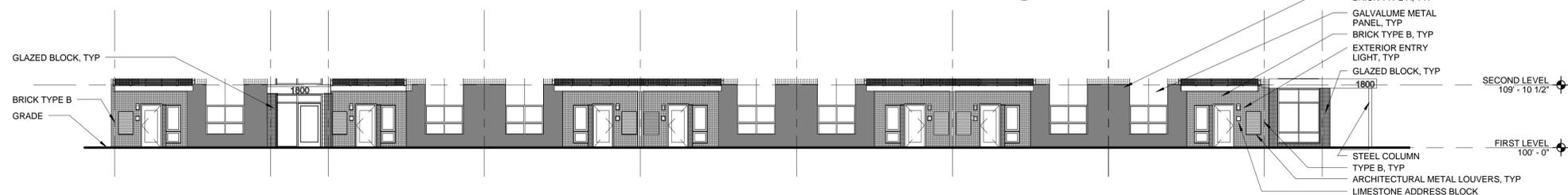
E6 GROUND LEVEL EXTERIOR ELEVATION - NORTH
3/32" = 1'-0"



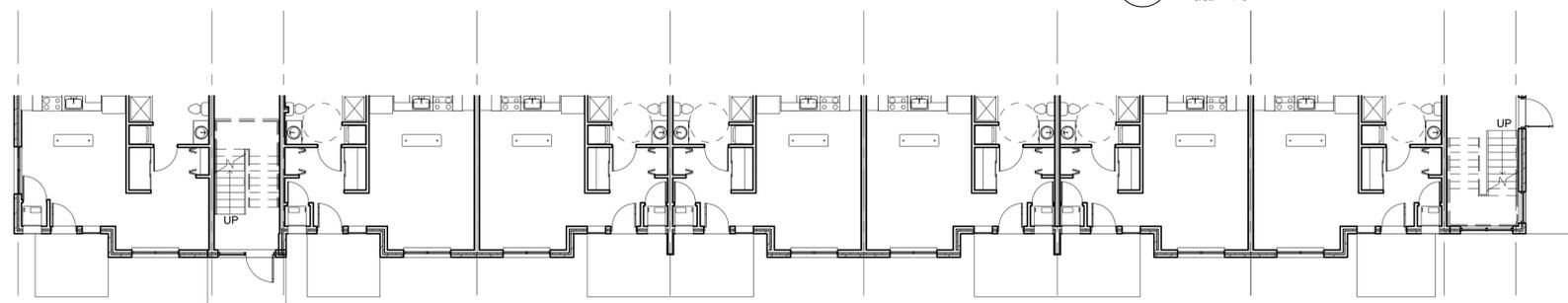
D6 GROUND LEVEL EXTERIOR ELEVATION - EAST
3/32" = 1'-0"



C6 GROUND LEVEL PARTIAL FLOOR PLAN - EAST
3/32" = 1'-0"



B6 GROUND LEVEL EXTERIOR ELEVATION - WEST
3/32" = 1'-0"



A6 GROUND LEVEL PARTIAL FLOOR PLAN - WEST
3/32" = 1'-0"

**FOR REVIEW
NOT FOR
PERMITTING, OR
CONSTRUCTION**

**AMBER PROPERTIES
COMPANY
380 N. CROOKS RD
CLAWSON, MI 48017**

**AMBER STUDIOS AND
LOFTS
TROY, MI 48083**

CHECKED:
SCALE: **As indicated**
© 2015 Stantec

ISSUE:

2015.07.09 SITE PLAN REVIEW

**SHEET TITLE:
GROUND STORY
ACTIVATION**

RESIDENTIAL THIS SIDE

ALLEY

VERMONT AVE

BIRCHWOOD STREET

NON-RESIDENTIAL

NON-RESIDENTIAL

AMBER PROPERTIES COMPANY
380 N. CROOKS RD
CLAWSON, MI 48017

AMBER STUDIOS & LOFTS
TROY, MI

CHECKED:
SCALE: 1" = 10'-0"
© 2015 Stantec

ISSUE:
1 2015.07.09 SITE PLAN REVIEW

SHEET TITLE:
ELECTRICAL SITE LIGHTING PHOTOMETRICS

ESC01

Project: 214100111

LIVERNOIS ROAD

CALCULATION SUMMARY							
LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
10' BEYOND BOUNDARY	ILLUMINANCE FC	0.05	0.7	0.0	N.A.	N.A.	
5' AFF PROPERTY LINE	ILLUMINANCE FC	0.12	1.3	0.0	N.A.	N.A.	
PARKING LOT	ILLUMINANCE FC	1.56	6.3	0.0	N.A.	N.A.	

LUMINAIRE SCHEDULE						
DESCRIPTION	TOTAL LAMP LUMENS	LLF	LLD	LDD	TOTAL WATTS	
LITHONIA KSF1 150S R4SC-KSF1 IV 150W HP	16000	0.720	0.80	0.9	189	
LITHONIA KSF1 250M R4SC 250W HP	22500	0.720	0.80	0.9	864	

1 ELECTRICAL SITE LIGHTING PHOTOMETRICS
1" = 10'-0"

CITY OF TROY
AMBER STUDIOS AND LOFTS
1800 - 1870 LIVERNOIS ROAD
TROY, MICHIGAN 48083
SOUTHWEST VIEW



CITY OF TROY
AMBER STUDIOS AND LOFTS
1800 - 1870 LIVERNOIS ROAD
TROY, MICHIGAN 48083
SOUTHEAST VIEW





July 14, 2015

Planning Commission
City of Troy
500 W. Big Beaver Road
Troy, MI 48084

Re: Amber Properties Company
Multi-Family Rezoning Request
1800-1870 Livernois ("Project")

Dear Planning Commissioners:

Our Amber Development Team was very pleased to be able to meet with you on June 23rd to review the proposed Project. We listened very carefully to your comments and, since that time, have taken the following steps while submitting revised plans for the Project:

- 1) Parking. After discussions with the Planning Department staff, we were able to reconfigure the layout of the building and create 4 additional on-site parking spaces. The Project now has 9 extra spaces, or 26% parking over ordinance requirements. If you informally count the 4 additional on-street spaces on Vermont (3) and Birchwood (1) that are immediately adjacent to the Project, 13 additional spaces, or 37% over ordinance requirements, would be available for visitors and guests.
- 2) Design. We have made substantial revisions to the design of the building. These changes include:
 - Architectural improvements to redistribute the overall building mass and better incorporate activation design elements to the elevations.
 - Enhancements to the south building entry and addition of a building canopy to signify the main entry point for pedestrians. This area closest to Maple Road now includes the bicycle parking area and mailboxes.
 - Provisions for terrace screening along the east elevation for improved residential neighborhood privacy.
 - Additional brick and glazed block to various building elevations.

ATTORNEYS & COUNSELORS AT LAW

Planning Commission
City of Troy
July 14, 2015
Page 2

- 3) Alley Vacation. Following our recent meeting, we immediately sent letters to the two adjacent property owners bordering the alley. We have reached one of them and are arranging a meeting to discuss disposition of the 9 easterly feet of the alley which we are proposing be dedicated as additional greenbelt between properties. We hope to be able to report to you at the time of the July 28th Planning Commission meeting on a potential resolution of the alley vacation.
- 4) Neighborhood Meeting. We have sent an invitation to all residents and businesses on the City's notice list to attend a meeting to discuss the project at the Troy Community Center on Wednesday, July 22nd.

We believe our meeting with you on June 23rd was very productive, and we look forward to your review of the new design and site plan. In the meantime, should you have any questions, please feel free to contact us at your earliest convenience.

Sincerely,



Dennis G. Cowan
PLUNKETT COONEY
Direct Dial: (248) 901-4029
Email: dcowan@plunkettcooney.com

DGC/kj
cc: Jerry Amber
Brent Savidant
Justin Wieber

DATE: July 27, 2015

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PLANNED UNIT DEVELOPMENT APPLICATION (PUD 014) – Proposed Stonecrest Planned Unit Development, East side of Livernois between Big Beaver and Wattles, Section 22, Currently Zoned R-1E (One Family Residential) District

The applicant NP Senior Living Development LLC submitted an application for a Planned Unit Development (PUD) at the site located on the east side of Livernois. The site abuts the City park site which is presently undeveloped but is proposed to include a trailhead and dog park. The subject parcel is approximately 9.59 acres in area. The proposed facility is 70,000 square feet and includes 100 units. The site is encumbered by floodplain and wetlands, which limits its overall development potential.

The applicant is willing to enter into a partnership with the City to increase the development potential of the subject site while also assisting the City with developing the park site. The applicant intends to construct parking on the park site, to be shared by visitors to the assisted living facility when needed. Additionally the applicant will construct detention on the park site that will serve as an amenity for park users. The applicant will make other improvements to the park site including but not limited to grading and pathways.

The applicant seeks Concept Development Plan (CDP) and Preliminary Development Plan (PDP) approvals concurrently.

The applicant seeks feedback from the Planning Commission on the project. A public hearing is scheduled for this item for the August 11, 2015 Regular meeting.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\PUD's\PUD 014 Stonecrest\PC Memo 07 28 2015.doc



Legend:

- Aerial
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

467 0 233 467 Feet

Scale 1: 2,800



Legend:

Form Based Zoning 2

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Aerial

- Red: Band_1
- Green: Band_2
- Blue: Band_3

667 0 333 667 Feet

Scale 1: 4,000

CONCEPTUAL SITE PLANS FOR STONECREST

PART OF THE SW 1/4 OF SECTION 22, T.2N., R.11E.,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DEVELOPER:

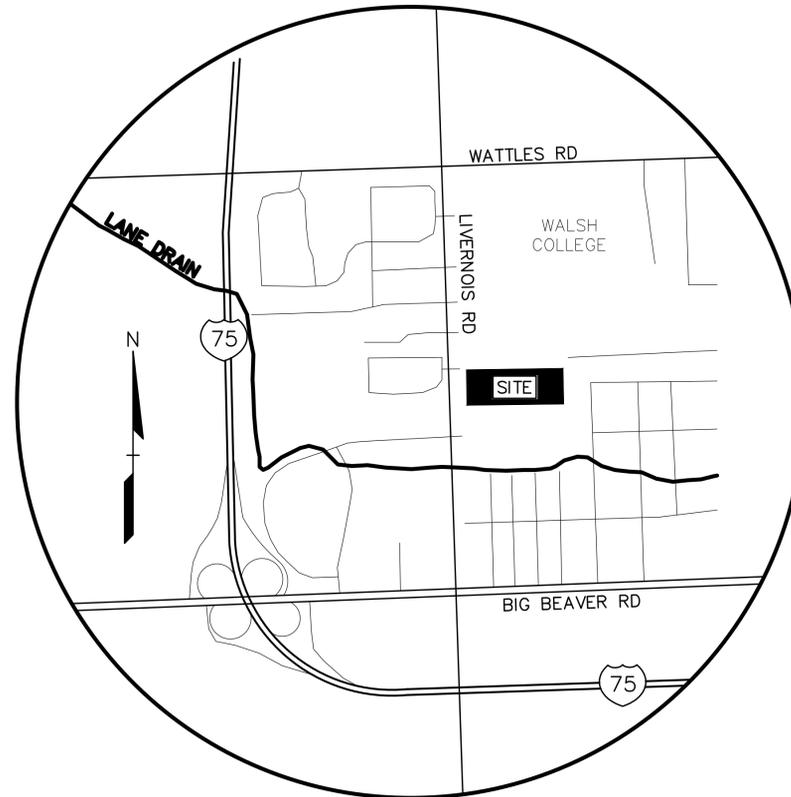
NORTHPOINT DEVELOPMENT
5015 NW CANAL STREET, SUITE 200
RIVERSIDE, MO 64105
CONTACT: MARK POMERENKE
PHONE: (816) 888-7391

ARCHITECT:

PI ARCHITECTS
3500 JEFFERSON ST. SUITE 303
AUSTIN, TX 78731
CONTACT: ERIC LANCON
PHONE: (512) 231-1910

CIVIL ENGINEER/LANDSCAPE ARCHITECT:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
2430 ROCHESTER CT., SUITE 100
TROY, MI 48083
PHONE: (248) 689-9090
FAX: (248) 689-1044
CONTACT: EMIL S. BUNEK III, PE
JANET EVANS, R.L.A.



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS:

- C-0.0 COVER SHEET
- C-1.0 TOPOGRAPHIC SURVEY
- C-2.0 PRELIMINARY SITE PLAN

- L-1.0 PRELIMINARY LANDSCAPE PLAN

- ARCHITECTURAL PLANS**
- SK1 FIRST FLOOR PLAN
- SK2 FIRST FLOOR PLAN - WEST HALF
- SK3 FIRST FLOOR PLAN - WEST HALF
- SK4 FIRST FLOOR PLAN - MIDDLE SECTION
- SK5 FIRST FLOOR PLAN - EAST HALF
- SK6.1 FRONT COLORED ELEVATION
- SK6.2 NORTH ELEVATION
- SK7 SECTION @ LEFT WING

No.	BY	CHK	DESCRIPTION	DATE
2	ESB	DNH	UPDATED FOR CITY MEETING 7/4/15	07/13/15

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Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

NORTHPOINT DEVELOPMENT
5015 NW CANAL STREET, SUITE 200
RIVERSIDE, MO 64150

COVER SHEET
STONECREST
PART OF THE SW 1/4 OF SECTION 22, T.2N, R.11E.,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES: ESB / DRW: SUR / SUR: PEA / P.M. DNH

ORIGINAL ISSUE DATE:
JUNE 23, 2015

PEA JOB NO. 2015-141

SCALE: AS NOTED

DRAWING NUMBER:
C-0.0

WEST 1/4 SECTION 22, T2N, R11E

S00°24'00"W
393.83'

S89°36'00"E 53.00'

LOT 26

LOT 25

S89°33'49"E 1279.05'

SUPERVISORS
PLAT NO. 26

LOT 24

LOT 23

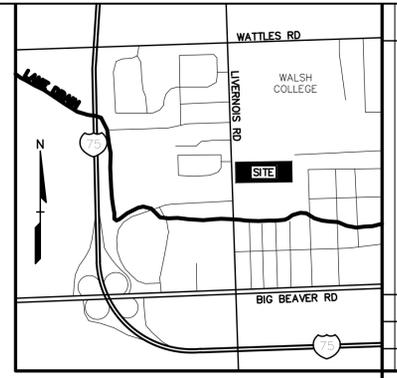
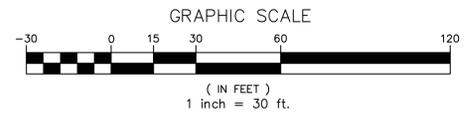
LOT 22

N89°33'27"W 1284.28'

SOUTHWEST
CORNER
SECTION 22
T2N, R11E

S00°24'00"W
325.75'

S00°31'09"E
325.93'



Legal Description
(per Arrowhead Surveying, Topographic and Boundary Survey Job# 08-020, February 20, 2008)
Part of the Southwest 1/4 Section 22, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan being the North 1/2 of Lot 22 and all of Lots 23-24 of Supervisor's Plat No. 26, As recorded being more particularly described as:
Commencing at the West 1/4 of said Section; Thence S°00'24"00"W 393.83 feet, along the West line of said Section 22; Thence S89°36'00"E 53.00 feet to the Northwest corner of Lot 24 of Supervisor's Plat No. 26, as recorded in Liber 57 POINT OF BEGINNING;
Thence S89°33'49"E 1279.05 feet along the North line of said Lot 24; thence S00°31'09"E 325.93 feet along the East line of said Supervisor's Plat No. 26; thence N89°33'27"W 1284.28 feet along the South line of the North 1/2 of Lot 22 of said Supervisor's Plat No. 26; thence N°00'24"00"E 325.75 feet along the West line of said Supervisor's Plat No. 26 and the East line of Livernois Road Right-of-way (53ft. half width) to the POINT OF BEGINNING, containing ±9.59 acres of land, subject to easements, conditions, and restrictions, if any.

- LEGEND
- EXISTING: IRON FOUND, NAIL FOUND, NAIL & CAP SET, BRASS PLUG SET, MONUMENT FOUND, MONUMENT SET, ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE, UNDERGROUND CABLE TV, CATV PEDESTAL, TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE, ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE, GAS MAIN, VALVE & GAS LINE MARKER, WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE, SANITARY SEWER, CLEANOUT & MANHOLE, STORM SEWER, CLEANOUT & MANHOLE, COMBINED SEWER & MANHOLE, CATCH BASIN, MEET. TIED DRAIN, POST INDICATOR VALVE, WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF, MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE, UNIDENTIFIED STRUCTURE, SPOT ELEVATION, FENCE, GUARD RAIL, STREET LIGHT, SIGN, CONC., ASPHL., GRAVEL, WETLAND.
- PROPOSED: SEC. CORNER FOUND, RECORDED, MEASURED, CALCULATED.

REVISIONS table with columns: NO., BY, DATE, DESCRIPTION.

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NORTHPOINT DEVELOPMENT
5015 NW CANAL STREET, SUITE 200
RIVERSIDE, MD 21150

NORTHPOINT DEVELOPMENT
PART OF THE NW 1/4 OF SECTION 22, T. 2N., R. 11E., CITY OF TROY, OKLAHOMA COUNTY, MICHIGAN

DES. ESB DN. ESB/DRY SUR. PEA P.M. DNH

ORIGINAL ISSUE DATE:
JUNE 18, 2015

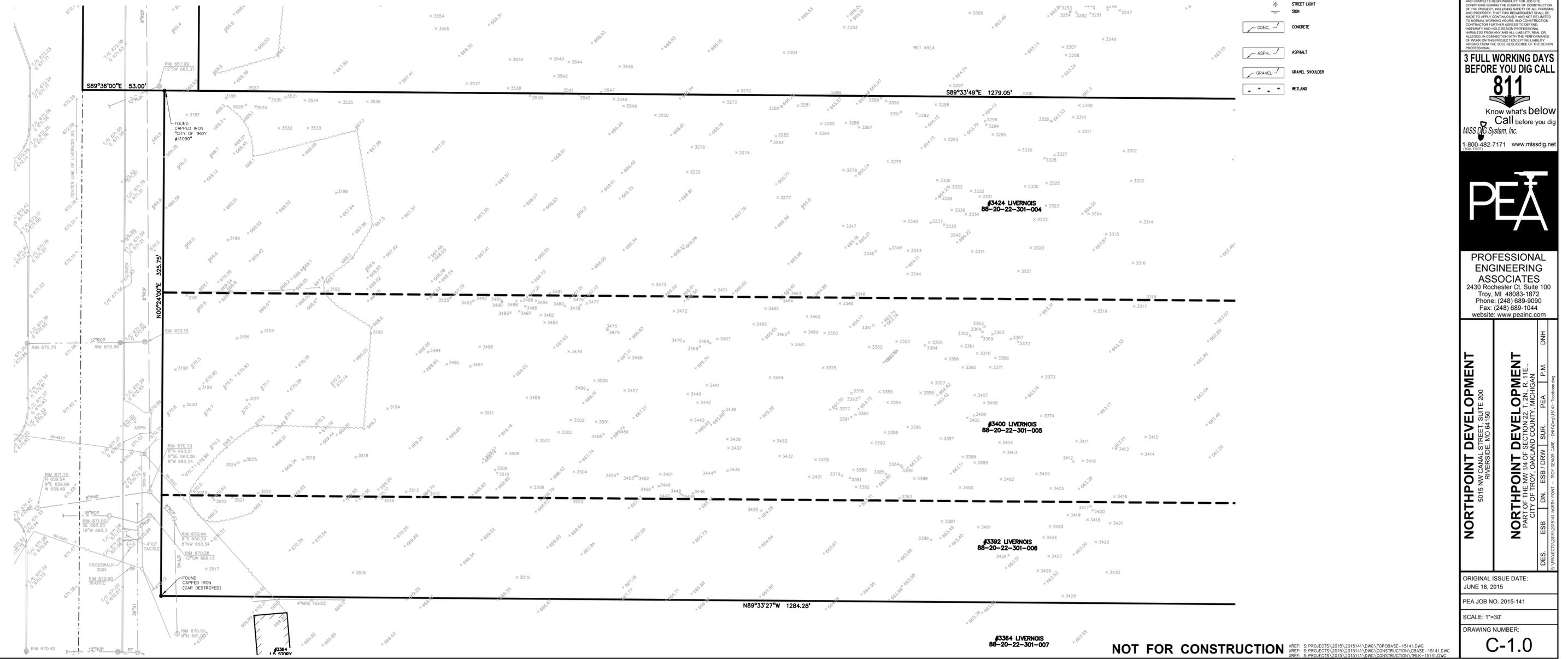
PEA JOB NO. 2015-141

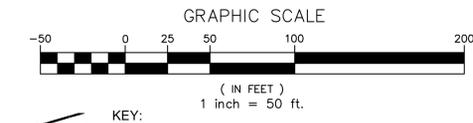
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DRAWING NUMBER:
C-1.0

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2015\2015141\DWG\TOPORBASE-15141.DWG
XREF: S:\PROJECTS\2015\2015141\DWG\CONSTRUCTION\BASE-15141.DWG
XREF: S:\PROJECTS\2015\2015141\DWG\CONSTRUCTION\TBK-15141.DWG





- KEY:
- = GREENBELT TREES
 - = PARKING LOT TREES
 - = EXISTING TREES
 - = SHRUB SCREENING HEDGE
 - = ENTRY/FOUNDATION PLANTINGS SHRUBS/PERENNIALS
 - = IRRIGATED SOD LAWN
 - = NON-IRRIGATED SEED LAWN
 - = STORMWATER SEED MIX BY: CARDNO NATIVE PLANT NURSERY 574-586-2412
- NOTE: SOD LAWN AND PLANT BEDS TO BE IRRIGATED WITH IN-GROUND SPRINKLER SYSTEM.

LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE

GENERAL SITE LANDSCAPE
REQUIRED: 20% OF SITE AREA SHALL BE COMPRISED OF LANDSCAPE MATERIAL
9.59 AC.(417,740) SQ FT * 20% = 83,548 SQ FT

PROVIDED: 323,245 SQ FT OF SOFT-SCAPE (LAWN, PLANT BEDS AND EAST UNDISTURBED WOODLANDS)

PARKING LOT LANDSCAPE
REQUIRED: 1 TREE / 8 PARKING SPACES
3' HT BERM OR SHRUB HEDGE FOR PARKING ADJ. TO A PUBLIC ROAD

CITY PARK-79 SHARED SPACES; 79/8 = 10 TREES AND HEDGE REQ'D
SENIOR HOUSING-35 SPACES; 35/8 = 5 TREES AND HEDGE REQ'D

PROVIDED: 10 TREES & SHRUB HEDGE ALONG LIVERNOIS RD. AT CITY PARK AREA
5 TREES & SHRUB HEDGE ALONG LIVERNOIS RD. AT SENIOR HOUSING

GREENBELT
REQUIRED: 1 TREE / 30 LF OF FRONTAGE

LIVERNOIS RD. = 719.6 LF FRONTAGE / 30 = 24 TREES

PROVIDED: LIVERNOIS RD. = 30 TREES

- GENERAL PLANTING NOTES:**
- Landscape contractor shall visit site, inspect existing site conditions and review proposed planting and related work. In case of discrepancy between plan and plant list, plan shall govern quantities. Contact Landscape Architect with any concerns.
 - Contractor shall verify locations of all on site utilities prior to beginning construction on his/her phase of work. Electric, gas, telephone, cable television may be located by calling MISS DIG 1-800-482-7171. Any damage or interruption of services shall be the responsibility of Contractor. Contractor shall coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to Owner's Representative prior to commencing.
 - All plant material to be premium grade nursery stock and shall satisfy American Association of Nurserymen standard for Nursery Stock. All landscape material shall be Northern Grown, No. 1. Grade.
 - Contractor is responsible for verifying all quantities shown on landscape plan prior to pricing the work.
 - The owner's representative reserves the right to reject any plant material not meeting specifications.
 - All single stem shade trees to have straight trunks and symmetrical crowns.
 - All single trunk shade trees to have a central leader; trees with forked or irregular trunks will not be accepted.
 - All multi stem trees shall be heavily branched and have symmetrical crowns. One sided trees or those with thin or open crowns shall not be accepted.
 - All evergreen trees shall be heavily branched and full to the ground, symmetrical in shape and not sheared for the last five growing seasons.
 - All trees to have clay or clay loam balls, trees with sand balls Will Be Rejected.
 - No machinery is to be used within the drip line of existing trees; Hand grade all lawn areas within the drip line of existing trees.
 - All tree locations shall be staked by Landscape Contractor and are subject to the approval of the landscape Architect prior to installation of the plant material.
 - It is mandatory that positive drainage is provided away from all buildings.
 - All planting beds shall receive 3" shredded hardwood bark mulch, see specifications. Shredded palette and died mulch will not be accepted.
 - All landscaped areas shall receive 3" compacted topsoil.
 - Maintenance: All plant material shall be maintained in good condition by mowing, watering, mulch, etc., so as to present a healthy neat and orderly appearance free from refuse and debris.

REVISIONS

NO.	DATE	DESCRIPTION
1	07/21/15	ISSUED FOR PER CITY COMMENTS
2	07/14/15	ISSUED FOR PER CITY COMMENTS
3	07/13/15	ISSUED FOR PER CITY COMMENTS
4	07/09/15	ISSUED FOR PER CITY COMMENTS
5	07/09/15	ISSUED FOR PER CITY COMMENTS
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CAUTION!!
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website: www.peainc.com

NORTHPOINT DEVELOPMENT
5015 NW CANAL STREET, SUITE 200
RIVERSIDE, MD 21150

PRELIMINARY LANDSCAPE PLAN
STONECREST
PART OF THE SW 1/4 OF SECTION 22, T. 2N., R. 11E.,
CITY OF TROY, OKLAHOMA COUNTY, MICHIGAN

DES. JLE DN. JLE SUR. PEA P.M. DNH

ORIGINAL ISSUE DATE:
JUNE 23, 2015

PEA JOB NO. 2015-141

SCALE: 1" = 50'

DRAWING NUMBER:
L-1.0

Planned Unit Development – Concept Development (CDP) Submittal

Project: Stonecrest / Trailhead

Date: June 24, 2015

City of Troy, Planning Department
City of Troy, 500 W. Big Beaver Rd Troy, Michigan 48084

June 24, 2015

City Council & Planning Commission
City of Troy
500 W. Big Beaver Rd
Troy, MI 48084

RE: Application for Approval of a Planned Unit Development Concept Development Plan (CDP)

Dear Members of the City Council and the Planned Commission:

This letter is being submitted on behalf of NP Senior Living Development, LLC; owner of the Property on Livernois Road in Troy, Michigan as its PUD Concept Development Plan (CDP) in compliance with Section 11.06(C) of the City's Zoning Ordinance.

This PUD Application is made to request that the Property be approved as a Planned Unit Development pursuant to Article of the Ordinance for the purpose of developing and operating a senior housing development as further described in this Application in compliance with Section 11.06 of the Ordinance this letter shall serve as the narrative to the Application.

We would like to compliment the City's Planning Department for allowing our project the opportunity to be reviewed as a PUD project. The process has been streamlined, organized, and efficient and the staff members are truly a pleasure to work with. Lastly, we would like to thank the City Council and Planning Commission for taking the time to review the PUD submittal, we invite the opportunity for further dialogue and ultimately we look forward to working together to develop this project into a successful and award winning project for the City of Troy.

Sincerely,



Mark Pomerence
NP Senior Living Development, LLC

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- **PRELIMINARY ENVIRONMENTAL IMPACT STATEMENT**

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I	Floodplain Maps

1. Development Concept:

NP Senior Living Development, LLC proposes to build an Assisted Living Facility with a Memory Care component in Troy, MI near the intersection of Livernois Rd and Town Center Drive. Our market studies indicate that there is demand and capacity in Oakland County and more specifically the City of Troy for an assisted living and memory care facility. It is our goal to meet that demand with a high-quality living environment designed to maximize the independence and comfort of our residents, and to provide “best in class” services in that environment.

The Memory Care component will provide care for individuals with Alzheimer’s disease and related dementias in a care setting that is less restrictive than a Skilled Nursing Facility. The Memory Care unit is designed and will be operated in a manner that will help to keep individuals as active as possible in a secure and specially-designed setting, and to provide care that recognizes their individual needs and preferences. The Memory Care Component will comprise 42 beds, which are contained in 22 single-occupied units and 10 double-occupied units. The Memory Care portion of the building is one-story and is split into 2 “neighborhoods” connected with common dining and living spaces and each having a separate interior courtyard to provide secure greenspace to the residents. The average length of stay for Memory Care residents is 12-24 months.

The project will include 55 units providing Assisted Living care, which contain 5 types of units including studios, studio deluxe, one bedroom, one bedroom deluxe, and two bedroom units. Generally units are single occupied, and we would generally expect 3 of the 6 total 2 bedroom units to be double occupied, often times this could be a healthy spouse of a resident requiring the assisted living care and services. The Assisted Living portion will be two-story and will include resident amenity spaces and administrative offices. The facility will also have ample outdoor green space available for resident use, and many planned activities to keep the community active. The average length of stay for the Assisted Living residents is 18-24 months.

Residency at Stonecrest will be offered on a monthly rental basis with no buy-in fees and will provide the following amenities:

- Private and shared apartments in a variety of configurations with individual thermostat control of heating & air conditioning, large windows for natural light, small kitchenettes and accessible bathrooms.
- Gracious dining room with outdoor seating for breakfast, lunch & dinner served restaurant-style every day.
- Private dining room for family and guest use
- 24 hour security, care team availability and emergency response system.
- Café / Bistro with coffee, juices, snacks and entertainment/activities for residents, families and guests.
- Wellness center an exercise room with senior friendly exercise equipment and space for chair exercises such as chair yoga, etc.
- Beauty salon with massage room.
- Theater.
- Art studio & indoor gardening room.
- Library / card room with computers and internet for resident use to include engaging programs for brain fitness, etc.
- Activity room with residential kitchen for activities, resident and family use.
- Outdoor green space for resident, family and guest use.
- Planned group outings.

- Regularly scheduled social, spiritual, recreational and educational events within the community.
- Art programs and music therapy for memory care residents.
- Regularly scheduled housekeeping.
- Complimentary wifi.
- Scheduled transportation for facility residents to local amenities such as the Somerset mall, library, and museums

The building will be constructed in a residential character with similar building materials to the surrounding neighborhood including brick, stone, and cementitious “hardi board” siding, and a pitched roof with architectural asphalt shingle, with some standing seam elements to add interest to the roof profile and break up the building. The 2 story component of the building will face Livernois Road. The floor to floor height is 12’ and the pitched roof will make the total height of the building 44’ above grade at its highest point, which is a requested deviation from the current zoning district regulations.

PUD Justification:

The Existing Zoning on the Property is R1-E, which is a residential zoning district. The proposed use of Senior Assisted Living is permitted under this district, but requires special approval. The proposed project will have architecture complimentary to the surrounding residential uses, and will improve upon the quality of the residential neighborhood by offering an additional high quality housing option for the aging members of Troy’s population, that will allow them to stay in the area and live an environment that provides the assistance they need. Furthermore, the project fits in with the surrounding uses by offering substantial buffers between the building and the residential neighborhoods to the South and East, will provide a public benefit to all surrounding uses by providing infrastructure for a City Park to the site to the North, and will have little to no impact on the civic uses, office and residential neighborhoods to the west.

2. Density:

The proposed development consists of the memory care component of 42 beds, 22 single occupied units and 10 double occupied units. The assisted living care consists of 55 units. The parcel is 9.59 acres in size.

3. Road System

The project will have two entry points from Livernois Road. Each entrance is shared with the proposed Trailhead Park Facility owned by the City of Troy. The roadways on-site will remain private, are designed for the most efficient flow of traffic and access to the building. For the safety of occupants, visitors and staff there will be extensive network of walkways and footpaths. Sidewalk walkways will be designed to be wide enough to accommodate residents who may need the assistance of a walker, wheelchair, or similar type of device. The walkways will include seating areas, site/water features and other amenities. The proposed development will be designed to integrate its pathways into the City Trailhead Facility.

4. Utilities

The Project will connect to the City's existing water, sewer and storm water systems. The design of the site will include storm water detention meeting all the city's requirements. The proposed plan contemplates the construction of parking, utility, storm water, and trail infrastructure for a city park on the site north and directly adjacent to the proposed property. This infrastructure will be constructed by the private development for the benefit of the city to lessen the impact of the project by providing a public benefit, and coordinating the engineering and construction on both sites.

5. Open Space/Common Areas.

The Natural Resources on the site will consist of over 5 Acres of woodlands and wetlands; the development of this site will not disturb and shall preserve the onsite delineated wetlands. Furthermore, the site green space will exceed 75% of the total project area, and will serve to expand the total community greenspace for the adjacent city park

6. Uses.

The parcel is being specifically developed for senior living uses.

7. Development Guidelines.

The attached site plan sets forth the setbacks, building heights, and size of the building to be constructed for the project and includes the paving, parking, drive lanes, lighting, landscaping, green space and common areas.

8. Parking and Traffic.

The Assisted Living facility is ultimately a low traffic generating use. The parking demand for the project is roughly 45-50 spaces. These spaces are used for visitor and employee parking, and it is unusual for residents to have vehicles on site and in instances where residences do have a car, it is not normally used. Regular use of parking consists of about 5-10 spaces for normal visiting traffic and 20 spaces for employee parking, the remaining 20 stalls are typically provided for additional parking for community events and outreach activities or holidays such as mother's day. The proposed plan provides 28 stalls on site to provide normal dedicated parking, and will construct an additional 80 shared stalls on the city park that the facility could access for the overflow visitor traffic. In this regard, the proposed development is providing 58 additional parking spaces for the benefit of the city park that are not needed for the senior living facility, and 22 shared parking spacing that may be enjoyed by both projects. Sharing these resources, helps keep total paving down and maintain the site's green space and natural resources.

9. Landscaping.

The landscaping for the Project will be installed and maintained in a first class manner. The Applicant intends for the landscaping to play an important role in in the Project and the lives of the residents. The landscaping is designed to encourage the residents to spend time outdoors by being viable, interesting and inviting and to encourage the use of a network of sidewalks for exercise and recreation. Please see the attached landscape plan.

10. Natural Resources and Features.

As noted the project will keep the five acres on the east side of the project undeveloped. This will keep the majority of the sites woodlands and all of wetland area unimpacted with any development. The existing flood plain will be filled on the development site and compensating cut will be performed on the City Trailhead facility property

11. Phasing Information.

The project will be completed in one phase.

12. Public Service and Facilities.

The project will utilize the City's water and sewer facilities. The current infrastructure is designed to accommodate a use with this density.

The project impact on municipal services, specifically ambulance, fire and police are managed by best practices and care and the project developer and operator are very open to developing an appropriate and low impact response protocol for the facility that is acceptable to the City and surrounding neighbors. Ambulance runs for facilities are historically 1 per week in ISL operated facilities. Police and fire runs are not anticipated beyond normal demands from the project census. Our building will be fully sprinkled and designed for higher levels of safety and egress than a typical residential building as the buildings are built to institutional type occupancy.

Use of 911 in Assisted Living:

- While there are no studies or statistics to quantify the use of emergency response in Assisted Living, there is some anecdotal evidence that suggests being proactive has a measureable impact on the use of emergency services. Specifically one study indicates seniors living alone are the majority of 911 calls. When Paramedics initiated weekly visits to these same seniors, the number of calls was reduced by 32%. Given that assisted living has on site care staff available with access to a licensed nurse 24/7, it would be safe to extrapolate the same, or likely better results.
- Assisted living staff members are not only trained to handle the day to day situations that arise, they are also extensively trained in emergency response. While in many cases they are not licensed medical professionals, they are trained to recognize, evaluate and intervene when a change of condition is determined.
- Generally speaking, an assisted living community with 150 residents will utilize emergency response an average of 5 times a month. In addition a recent CBS News Hour explored the use of emergency response in assisted living. It was determined that falls were the number one reason 911 is called. While clearly we as an industry are not able to "prevent" all falls, what we can do is to properly train our staff on fall risks and fall reduction. If we are able to do this, we are able to further reduce those numbers.
- Long gone is the term "aging in place". The purpose of Assisted Living is to allow and assist our seniors to "live in place". It is about quality of life while meeting the needs and demands of the seniors of today and tomorrow. Through active, ongoing and thorough training we as an industry have shown our commitment and resolve to provide the highest possible level of care

while understanding we are working with an aging population. That said, now more than ever our seniors are healthier, more active and far more engaged in their own healthcare outcomes. It is because of this we as an industry are able to be more proactive in reducing the use of emergency services.

13. Historical Resources and Structures.

There are no known historic resources located on the property.

14. Site Topography.

Please see the attached topographic survey that sets forth the property's topography grades and elevations.

15. Signage.

Applicant intends on installing a single ground monument sign at the NW corner of the site, setback 10 feet from the public right of way and will maintain a 25 foot clear vision area. The location of the monument sign is located on site plan. Internally, the project will include signage to accurately and efficiently identify the building access points, handicap parking and facilities, and other related services offered.

16. Amenities

See section 1

PRELIMINARY ENVIRONMENTAL IMPACT STATEMENT

STONECREST / TRAILHEAD

P.E.A. JOB NO. 2015-141

JUNE 2015

PREPARED FOR

**NP SENIOR LIVING DEVELOPMENTS LLC
5015 NW CANAL STREET
SUITE 200
RIVERSIDE, MO 64150**

PREPARED BY

PROFESSIONAL ENGINEERING ASSOCIATES, INC.

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PRELIMINARY ENVIRONMENTAL IMPACT STATEMENT

PHYSICAL CONDITIONS

Certified Boundary Survey

A Certified Boundary Survey is attached and identified as Appendix A.

Location Map

The Location Map is attached and identified as Appendix B.

Land Use Map

The City of Troy Master Land Use Plan and Zoning District Map is attached and identified as Appendix C and D, respectfully.

Site Conditions

1. Natural Features

The 9.59-acre site consists of two and one-half parcels within the existing Supervisor's Plat No. 26 Subdivision. The site lies along the east side of Livernois Road (a five lane arterial roadway between Big Beaver and Wattles Roads.

The site topography of all the lots is fairly flat. The lots drain towards the east in a wetland and drain area. The property is currently vacant. Trees exist on site and are identified in the tree survey document. Wetlands were determined to exist on the property and are about 5 acres of the eastern portion of the property.

Per the current Federal Emergency Management Agency Maps the property is located in a flood plain. The current map is included in Appendix I.

The site currently has direct access to Livernois Road. The site is adjacent to Residential (R-1E) zoned property to the north, south and east.

2. Facilities

The site has access to underground phone and electric service located in the Livernois Road right-of-way. Access to water and sanitary sewer is available in road right-of-way. An adequate storm sewer is readily available to the site from Livernois Road.

Limitation Due to Proximity to Airports

Troy Airport is located approximately 3 miles southeast of the site. There are no known limitations to the development.

PROJECT DESCRIPTION:

Description of Intended Uses

This is described elsewhere in the Conceptual PUD document.

Quantities of Proposed Elements

DENSITY CHARACTERISTICS:

Intensity Proposed: 87 senior living units on 9.59 acres.

LANDSCAPING REQUIREMENTS:

Required: 20% of Site Area
9.59 acres(417,740 Sq.Ft) * 20% = 83,548 sq. ft.

Provided: 327,621 sq. ft. of soft-scape (lawn, plant beds and woodlands)

Please see landscape plan for parking and buffer area provisions

PARKING:

Required: Lessor of 1 space per 3 beds or 2 rooms, plus 1 space per employee, 50 spaces needed per applicant

Provided: A minimum of 108 spaces will be provided.

Anticipated Number of Employees, Residents, School Children and Senior Citizens

The development, as proposed, will generate approximately 20 new employment opportunities for local residents.

Anticipated Vehicular Generation

To be provided as part of the traffic impact analysis.

PROJECT IMPACT ANALYSIS: SYSTEMS

Thoroughfares

The site has access to Livernois Road, which is a major arterial running north- south. Livernois Road is currently a five lane road with two lanes in each direction and a center bi-directional turn lane. The impacts to Big Beaver Road and surrounding roads are summarized in the traffic study.

Water Service Facilities

The existing ten inch diameter water mains located in the Livernois Road rights-of-way, can

serve the proposed development. The proposed development will require a “looped” water main onsite.

Wastewater Systems

The existing fifteen-inch diameter sanitary sewer located in the Livernois Road right-of-way can serve the proposed development.

Storm Sewers and Detention

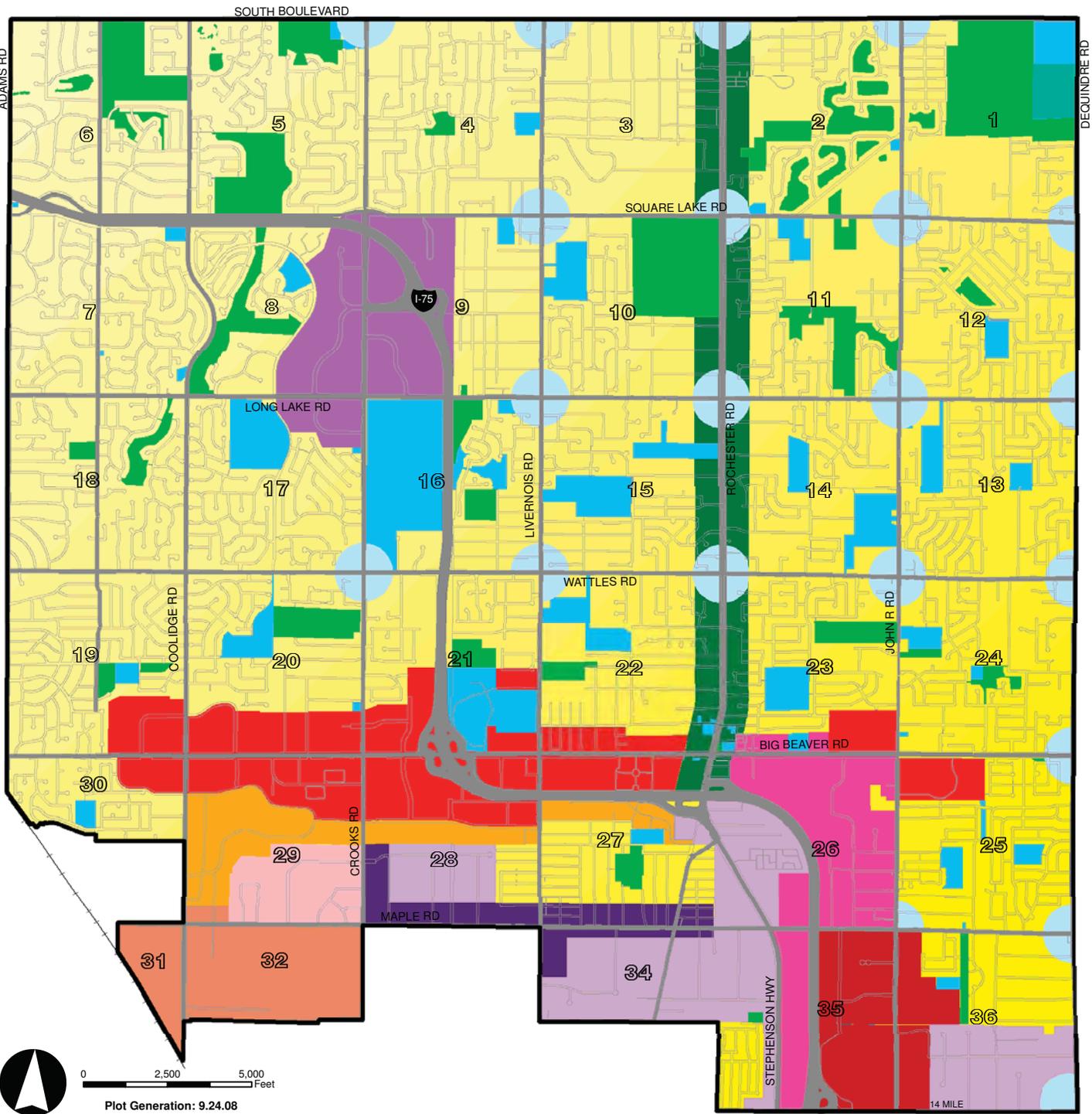
On-site storm water detention will be provided in a detention systems located within the development. It is anticipated that the detention system will outlet to storm sewer located in the Livernois Road right-of-way. The detention system will be designed in accordance with the City of Troy requirements.

Detention Required	=	32,000 cubic feet
Detention Provided	=	more than 32,000 cubic feet

APPENDIX



STONECREST AERIAL



Plot Generation: 9.24.08

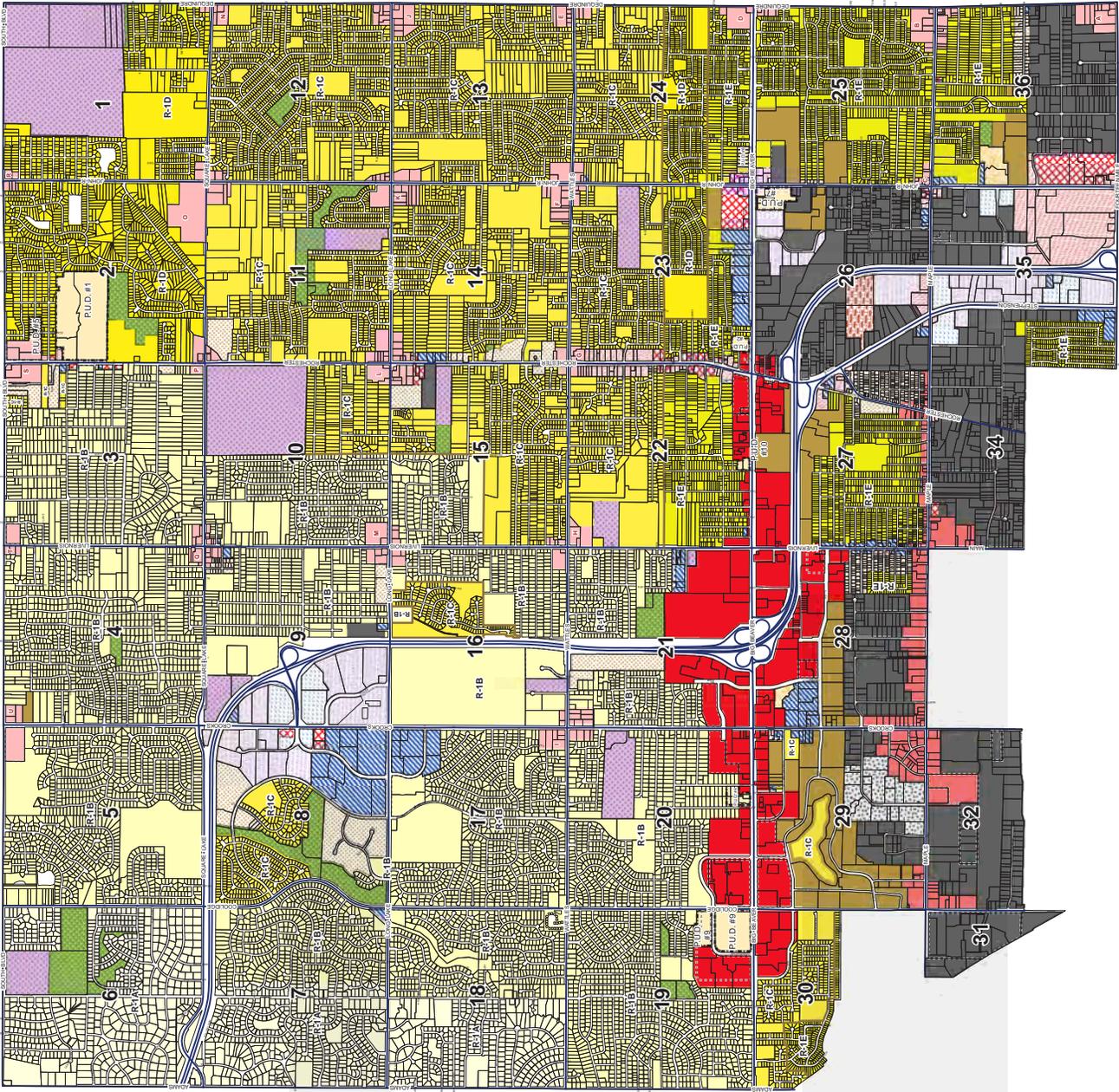
Basemap Source: Oakland County Planning

Future Land Use

- | | |
|---|---|
|  Single Family Residential |  The Smart Zone |
|  High Density Residential |  Automall |
|  Neighborhood Nodes |  The Transit Center |
|  South John R. Road |  21st Century Industrial |
|  Big Beaver Road |  Public and Quasi-Public |
|  Rochester Road |  Recreation and Open Space |
|  Maple Road |  15 Section Number |
|  Northfield | |



ZONING OVERVIEW MAP



- LOW DENSITY RESIDENTIAL**
 - R-1A R-1A ONE FAMILY RESIDENTIAL
 - R-1B R-1B ONE FAMILY RESIDENTIAL
 - R-1C R-1C ONE FAMILY RESIDENTIAL
 - R-1D R-1D ONE FAMILY RESIDENTIAL
 - R-1E R-1E ONE FAMILY RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL**
 - RT RT ONE FAMILY ATTACHED
- HIGH DENSITY RESIDENTIAL**
 - MR MR MULTI-FAMILY RESIDENTIAL
 - UR UR URBAN RESIDENTIAL
 - MHP MHP MANUFACTURED HOME PARK
- COMMERCIAL**
 - CB CB COMMUNITY BUSINESS
 - GB GB GENERAL BUSINESS
 - IB IB INTEGRATED INDUSTRIAL BUSINESS DISTRICT
- OFFICE**
 - O OFFICE
 - OM OFFICE MIXED USE
- RESEARCH**
 - RC RC RESEARCH CENTER
- SPECIAL**
 - P VEHICULAR PARKING
 - PV PLANNED VEHICLE SALES
 - CF COMMUNITY FACILITIES
 - EP ENVIRONMENTAL PROTECTION
 - PUD PLANNED UNIT DEVELOPMENT
 - CONTROLLED BY CONSENT JUDGMENT
 - CONDITIONAL REZONING
- FORM BASED ZONES**
 - BB BB BIG BEAVER ROAD
 - MRF MRF MAPLE ROAD
 - NN NN NEIGHBORHOOD NODES (A - U)

ADOPTED: April 18, 2011

0 500 1000 2000 3000 4000 Feet

PREPARED BY THE CITY OF TROY PLANNING DEPARTMENT REVISED: 10-18-2012

FIGURES

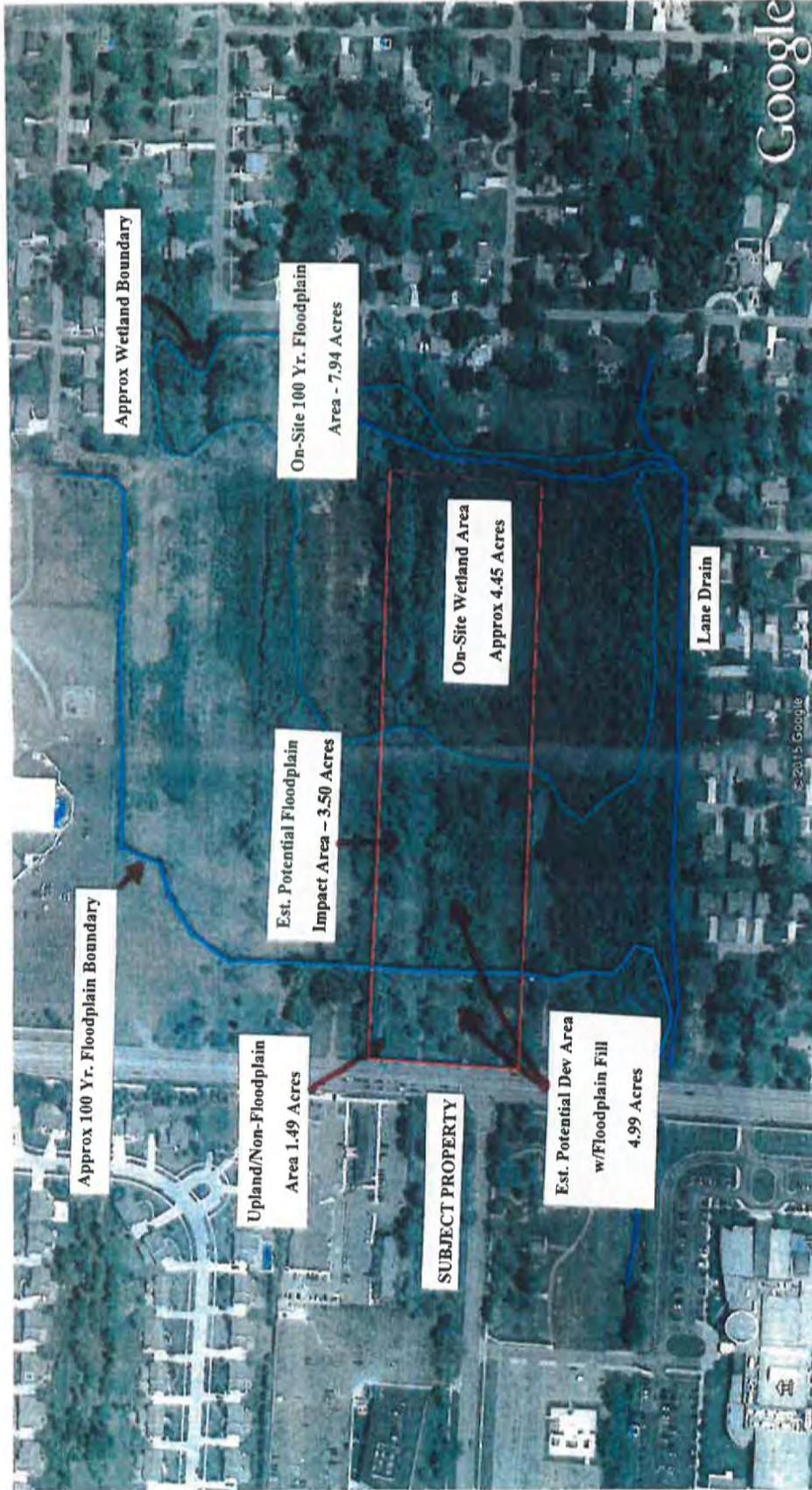
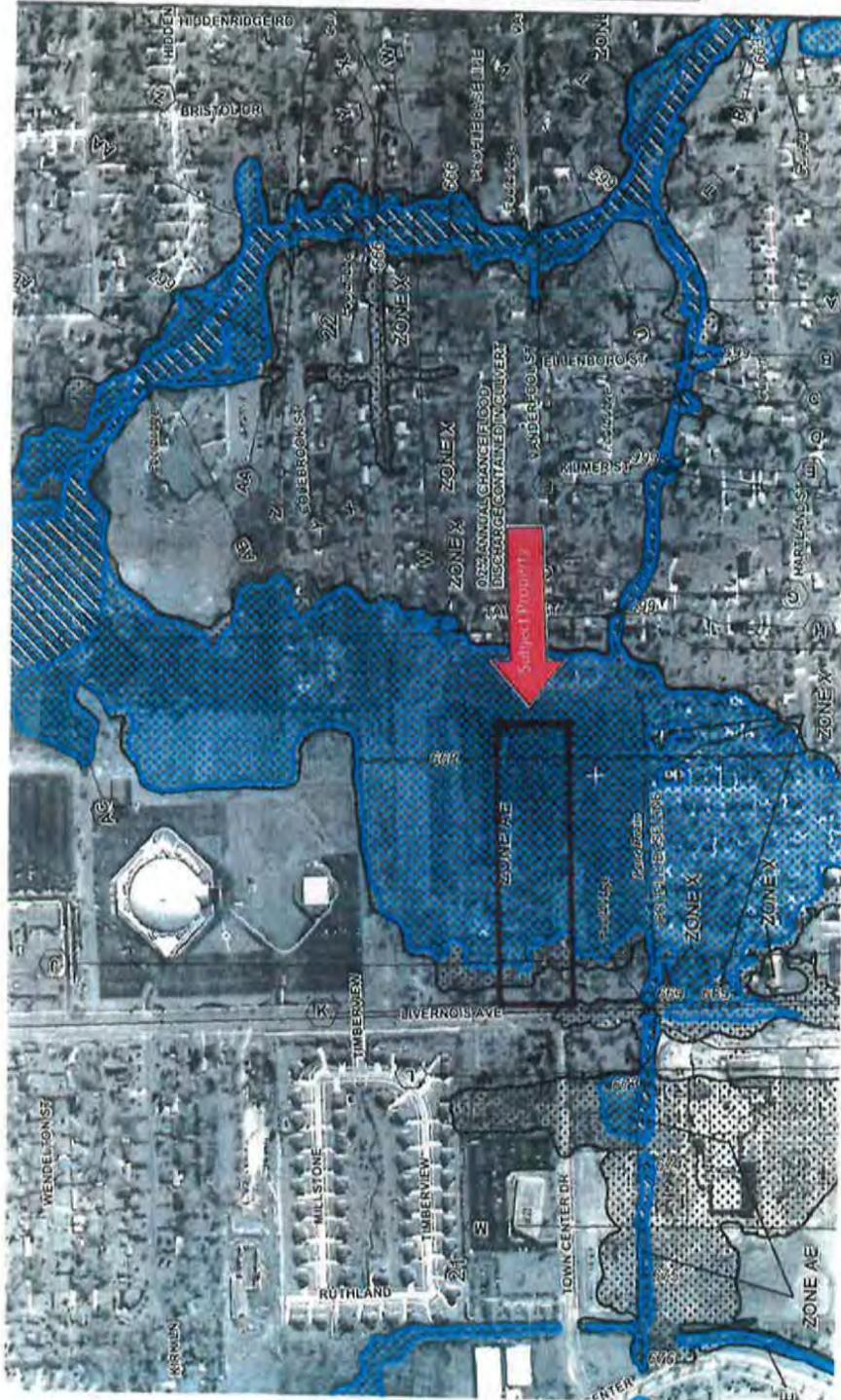


FIGURE H
 SITE CHARACTERISTICS MAP
 LIVERNOIS AVENUE
 TROY, MICHIGAN



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 Corporate Office • 2430 Rochester Court • Suite 100 • Troy, MI 48063
 (P) 248.689.9090 • (F) 248.689.1044 • www.peainc.com



NFIP NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0534F

FIRM
FLOOD INSURANCE RATE MAP
OAKLAND COUNTY,
MICHIGAN
(ALL JURISDICTIONS)

PANEL 534 OF 704
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS: COMMUNITY NAME, CITY OF
NUMBERS PANEL, SHEETS
ZONE, FIRM

MAP NUMBER 26125C0534F
EFFECTIVE DATE SEPTEMBER 29, 2006

Federal Emergency Management Agency

Notice: This map is a reproduction of the original map for the National Flood Insurance Program. The Community Number and other information shown on this map are for informational purposes only. The actual flood insurance policy should be used for the actual flood insurance coverage.

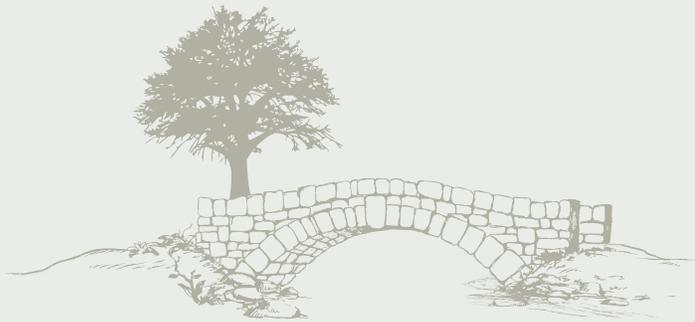


FIGURE I
FIRM MAP
LIVERNOIS AVENUE
TROY, MICHIGAN



PROFESSIONAL ENGINEERING ASSOCIATES, INC.
Civil Engineers | Land Surveyors | Landscape Architects

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STONECREST

SENIOR LIVING

ASSISTED LIVING & MEMORY CARE





5015 NW Canal Street Suite 200
Riverside, MO 64150
816.888.7380
www.beyondthecontract.com

NorthPoint Development is a Kansas City based real estate development, management and leasing firm that is principally focused on industrial, multi-family, and senior living markets in the central part of the United States.

Our firm is guided by the principal that taking care of our customers is our number one priority. Our motto: "Beyond The Contract" embodies the concept that no contract can ever be written to reflect everything that will occur in a complex real estate transaction. Our approach in all of our business relationships is to be fair and to operate by the "Golden Rule."

NorthPoint prides itself in delivering the very best value for our customers. We have a strong technically based team of engineers that have expertise ranging from civil, geotechnical, electrical and industrial process engineering. Our team's broad experience puts us in the unique position to assist our clients with the most technical manufacturing or distribution requirements. We have a strong focus on helping our clients reduce their shipping and logistics costs through smart real estate decisions.

We have in-house expertise to assist our clients in maximizing local and state incentives to help offset the investments they make. All of our employees are highly motivated, we share 25% of all profits we make on any project with our employees and over 30% of our firm is owned by the employees.

In order to be successful for our customers, our firm will remain financially disciplined with all of our endeavors. We will continue to align our interests with the interests of our investors, we don't make any money until our investors make money. We will never use any debt to acquire land, we will not leverage our projects with excessive debt and we will always be careful not to 'chase cap rates' instead focusing on creating long term value by investing between 9 - 10% on an unleveraged basis. Our approach is simple and we intend to keep it that way.



INTEGRAL SENIOR LIVING

550 Laguna Drive, Suite A
Carlsbad, CA 92008
760.547.2863
www.isllc.com

Integral Senior Living, a senior living community management company, is founded on a philosophy that expects the best for residents, employees and owner / investors. ISL specializes in management of CCRC's, senior independent living, assisted living and memory care properties. ISL consistently demonstrates a successful balance for delivering quality senior living environments, fulfilling workplaces and targeted financial returns. For Integral Senior Living, an inherent propensity for sound business practice is nurtured by passion for taking action fueled by a strong history. When nature and nurture meet, great things can happen

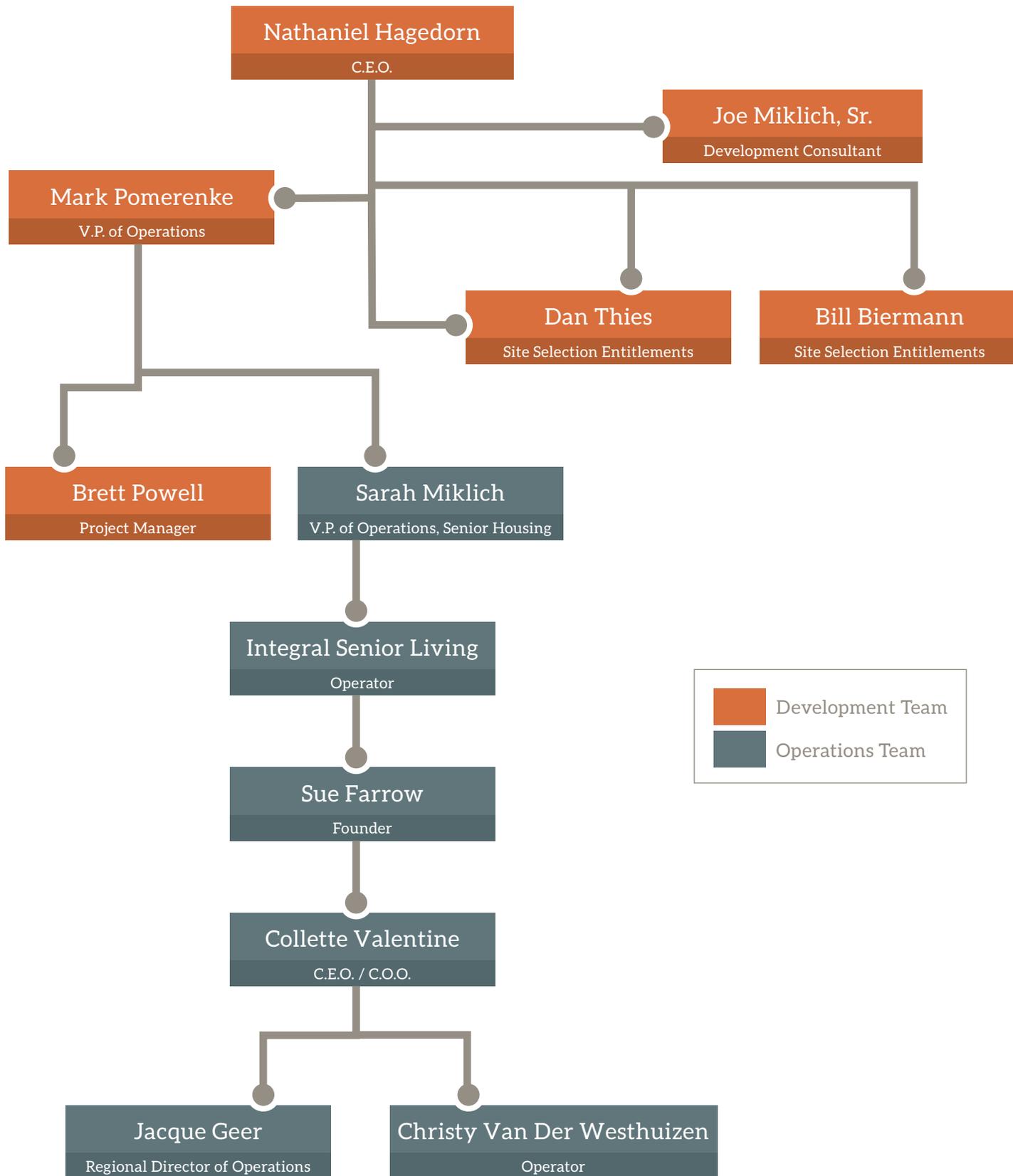
Integral Senior Living manages senior living properties - it's our business. Everything about our company is designed to promote the profitability of your senior living community and we do that by prioritizing quality care and service for residents and enriching work environments for our employees. We treat our third-party managed properties like they are our own with experience and expertise:

- »» Dedicated Regional Teams
- »» State-of-the-Art Systems
- »» Company Culture that Promotes Targeted Goals
- »» In-House Departments for:
 - » Sales and Marketing
 - » Accounting and Financial Services
 - » Human Resources
 - » Resident Care and Licensing
 - » Owner Relations and Reporting
- » The value to you as a property owner is in our results.

STONECREST

SENIOR LIVING

Development & Operations



Nathaniel Hagedorn | CEO

With 14 years of commercial real estate experience, Nathaniel is responsible for the overall strategy of the company and is principally focused on guiding development, leasing and management activities for the firm.

Nathaniel has raised over \$850,000,000 in capital in the last three years for our various real estate projects and has emerged as one of Kansas City's most active commercial real estate developers. Our firm now owns / manages in excess of 8,000,000 sq. ft. of commercial space and over 2,000 apartments.

Mark Pomerence | VP of Operations

Mark is responsible for project execution from the planning stages to project completion. As Multifamily team leader, Mark oversees the acquisition, entitlement, design, and construction processes to ensure timely and cost efficient project delivery.

Since joining NorthPoint in 2012, Mark has managed numerous development projects across all asset classes including around 900,000 sf of industrial space, multifamily complexes totaling over 1,275 units, over 2 miles of road and utility infrastructure, and a variety of tenant finishes.

Dan Thies | Development

Dan Thies has over fifteen years of experience in the real estate industry. He is responsible for all development activities, which includes the acquisition of real estate sites for development, the entitlement of such sites and obtaining financing for developments.

Bill Biermann | Development

Mr. Biermann has over 15 years of real estate investment and development experience. Prior to forming the Wm. Biermann Company in 2008, Mr. Biermann worked as a member of an established real estate investment firm located in the St. Louis. Since founding the Wm. Biermann Company, Mr. Biermann has utilized his knowledge of real estate development and legal background to develop a variety of different property types. His developments include: senior living facilities, retail, office, residential lots and apartment buildings. Additionally, the firm provides consulting services to some of the largest real estate development firms and developers in the St. Louis area. Bill is known throughout the industry as a creative thinker and problem solver.

Brett Powell | Project Manager

As a Project Manager Brett is involved throughout the development process and is responsible for representing and acting in the Company's and Investor's best interest in all aspects of the project. Brett's primary role is to assist with the oversight of the entitlement and design development process and direct the construction activities to ensure adherence to the project scope, schedule, and budget.

Before Joining NorthPoint Brett was a Project Manager for JE Dunn Construction. Brett has 13 years of project management experience, 11 of which were in healthcare and health service projects ranging in size from \$30 Million to \$140 million in construction costs.

Joe Miklich, Sr. | Consultant

Mr. Miklich has over 35 years experience in key leadership positions in the acquisition, planning, financing, management, sale and development of real estate, including specializing in the senior living industry for the past 19 years. Mr. Miklich joined Sunrise Senior Living in 1994, at the time when Sunrise was going public to raise equity needed for expansion. He was instrumental in implementing a national roll-out strategy, by the site selection and acquisition of clusters of quality sites in major metropolitan areas, including St. Louis, Detroit, Kansas City, Denver, Phoenix, Salt Lake City, Las Vegas, San Francisco, Los Angeles and San Diego. During his tenure with Sunrise, he was responsible for ground up development, including site selection, preliminary conceptual planning, financial feasibility and corporate approval of over 60 Sunrise communities throughout the US (including 23 in the California market). Since 2009, Mr. Miklich has been the principal of J Miklich Associates, LLC, a consulting firm specializing in site and market selection and evaluation as well as economic feasibility analysis in the senior living industry on a national basis.

Sarah Miklich | VP of Senior Living Operations

Sarah Miklich's broad experience comprises nearly 10 years in various roles in the senior housing industry that have resulted in expertise in the sales & marketing of new & stabilized communities, daily operations within the community, new community development & openings.

Prior to joining NorthPoint Development / Stonecrest Senior Living, she served various roles over 7 years with Sunrise Senior Living which included Development Coordination for various new communities being developed in the Southeast Region. These projects included communities in Florida, North Carolina, Texas, Louisiana & Georgia. She also successfully served as Director of Sales & Marketing in communities located in Colorado and Missouri.

While in Development, Sarah assisted in the entitlement process as well as the coordination of the Operations and Sales & Marketing teams from ground breaking through new community opening. In her roles in the Sales & Marketing of communities, Sarah was successful in the strategic sales & marketing of Entrance Fee Independent Living Cottage homes, Independent Living, Assisted Living & Memory Care residential apartments. It is in this capacity that she gained experience in the impact Operations & Sales have within the community. She managed a Sales Team and worked very closely with the Operations team in reaching & maintaining high occupancy levels.

Sue Farrow | VP of Operations, Senior Housing

Sue Farrow, Founder/Owner of Integral Senior Living, has established the highly qualified and experienced ISL management team that she entrusts. With decades of experience in the senior housing industry much of her experience has been in key leadership positions at senior living companies including Aegis Living, Sunrise Assisted Living and Transamerica Senior Living.

Throughout her career, she has taken an active role as a key participant in the development, start up, marketing and operations within senior living. Sue is nationally known for her expertise in all phases of operations and her ability to create senior communities that are a success in the minds of residents, staff and owners alike.

Sue sits as a Board Member for the Assisted Living Federation of America (ALFA). Her education includes a Bachelors Degree in Business Administration from National University.

Collette Valentine | CEO / COO

LivingCollette Valentine, Chief Executive Officer and Chief Operating Officer, joined ISL in October 2010. She possesses experience in both operations and sales and marketing. In her ISL role, she provides day-to-day operations and marketing oversight for all of the communities ISL currently manages as well as overseeing our new development projects. She encourages an environment in which team members are promoted for their ability to bring resources and ideas to the team.

Prior to joining ISL, Collette was with Merrill Gardens for four and a half years, serving as Vice President of Operations. Prior to this, she was with Atria Senior Living Group. Throughout her eight year career at Atria/ARV, she held a variety of positions including: Vice President and Regional Director of Operations, Regional Sales and Marketing Director, and Executive Director and Community Sales Director at an Atria community. She began her career with Harrah's Entertainment as a Hotel Sales Manager.

She is a graduate of the University of Nevada, Las Vegas with a degree in Business Management.

Jacque Geer | Regional Director of Operations

Jacque has 17 years of experience in the senior living industry with a proven track record of growing revenue and census. Though her current position focuses on Operations, she has held many roles within the industry that have provided her additional experience within both the Sales and Marketing fields.

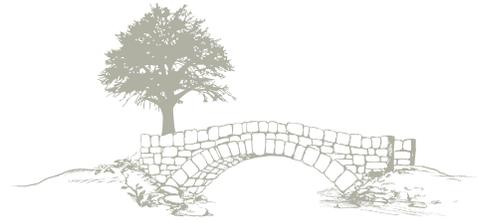
Jacqueline has managed operations of 21 independent/assisted living/dementia communities and has collaborated on both new development and redevelopment projects. She has also assisted with the design of CCRC's, Independent Living, Assisted Living, and Dementia care communities.

Christy Van Der Weshuizen | Operator

Christy has been in the senior living industry for the past five years and has spent the entire duration of that time with ISL. In her role as Regional Marketing Director, Christy interacts with communities within her region to ensure that marketing efforts are positively affecting census results. Her greatest accomplishments with ISL include helping census-challenged buildings achieve tremendous occupancy growth. Prior to joining ISL, Christy spent five years as an account executive in the title insurance industry, specializing in outside sales with over 50 real estate companies. She thrives on developing meaningful interactions with customers and enhancing sales opportunities through relationship building.

PRODUCT EXAMPLES:





STONECREST

AT BURLINGTON CREEK

SENIOR LIVING

85 Total Units
Unit Mix

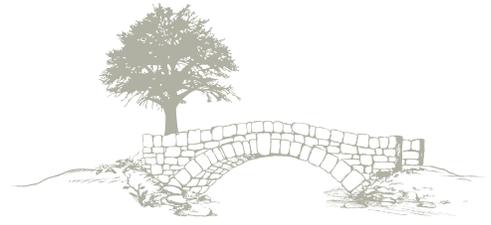
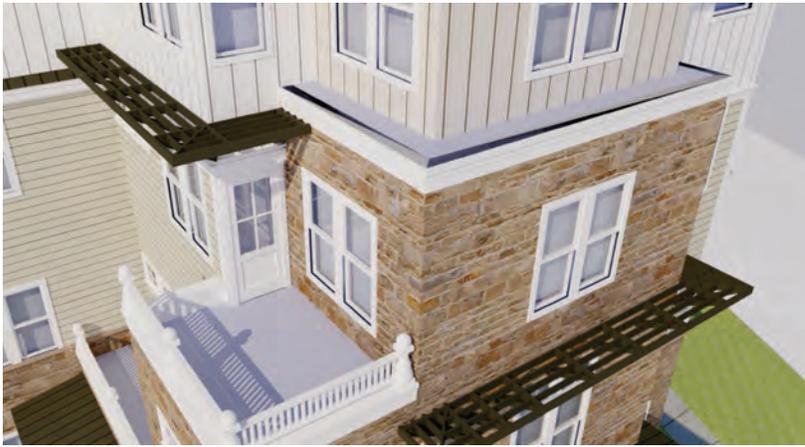
ASSISTED LIVING

STUDIO	16 UNITS
1 BEDROOM	33 UNITS
2 BEDROOM	6 UNITS

MEMORY CARE

PRIVATE	18 UNITS
SEMI-PRIVATE	12 UNITS





STONECREST

AT CLAYTON VIEW
SENIOR LIVING

81 Total Units
Unit Mix

ASSISTED LIVING

STUDIO	17 UNITS
1 BEDROOM	33 UNITS
2 BEDROOM	5 UNITS

MEMORY CARE

PRIVATE	17 UNITS
SEMI-PRIVATE	9 UNITS



b e y o n d t h e c o n t r a c t



WHO WE ARE

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In order to be successful for our customers, our firm will remain financially disciplined with all of our endeavours. We will continue to align our interests with the interests of our investors, we don't make any money until our investors make money. We will never use any debt to acquire land, we will not leverage our projects with excessive debt and we will always be careful not to 'chase cap rates' instead focusing on creating long term value. Our approach is simple and we intend to keep it that way.

DEDICATED TO OPERATING BY THE GOLDEN RULE

DOING RIGHT FOR OUR CUSTOMERS

We will operate with a primary focus of taking care of our customers by creating value and a wonderful experience for them through our real estate projects; whether that be in their home or their place of business. We will always operate by the Golden Rule – simply treat others as we would want to be treated ourselves.

DOING RIGHT FOR OUR EMPLOYEES

We will build a culture that supports each other and celebrates the success that each of us accomplish individually and the success we accomplish as a team. We will stretch our employees to grow in their knowledge and abilities. We are committed to sharing generously in the wealth that we create as an organization with our employees; our employees will be the owners of the company.

DOING RIGHT FOR OUR INVESTORS

We will always maintain financial discipline in each of our projects. We are committed to having little to no debt as an organization and having very responsible levels of debt in each of our projects. We will invest for the long term and take care of all of our financial partners. We are committed to operating honestly, ethically and openly with those who have entrusted their money with us. We will always meet all of our obligations despite when it is difficult or when a project may not turn out as hoped.

DOING RIGHT FOR OUR COMMUNITY

We will help support our employees' charitable endeavors by matching 100% of the charitable donations that all of our employees make. This allows the charity of our organization to reflect the values of each of our employees. We will make the goal of helping people who are less fortunate to be a part of the fabric of our company; it will be an active goal of our company to seek out and help others. We want to look back over our careers and be proud of the good that we have done.

HELPING OUR COMMUNITY

JUST A FEW OF THE MANY CHARITIES WE SUPPORT





OURTEAM

Nathaniel Hagedorn

CEO

Rob Alumbaugh

Partner

Chad Meyer

President / COO

Larry Lapinski

Vice President

Brent Miles

VP of Economic Development

Patrick Robinson

VP of Development

Robert Gude, CCIM

VP of Development

Mark Pomeranke

VP of Operations

John Thomas

VP of Development

Johan Henriksen

VP of Development

Sarah Miklich

VP of Senior Living Development

Brad Haymond

Project Manager

R.J. Agee

Project Manager

Eric Watts

Project Manager

Brett Powell

Project Manager

Brett Grady, CFA, CPA

Chief Financial Officer

Tammy Tappana

Accounting Manager

Mike Armon

Project Accountant

Davey Krause

Project Accountant

Jennifer Edwards

Project Accountant

Renee Halterman

Executive Assistant

Heather Pfender

Executive Assistant

Ann Erdmann

Administrative Assistant

Cara Kelley

Administrative Assistant

Marissa Denton

Creative Director

Jake Adams

Graphic Design & Marketing Specialist

Christie Reeves

Administrative Assistant / Marketing

Thom Korn

Property Manager

Rex Husted

Property Manager

Darin Glaze

Senior Maintenance Director

Brian Votava, CCIM

Supervising Broker

Macy Ritter

Leasing Associate

Jayne Miller

Leasing Associate

Kelly Clark

Director of Property Management

Greg Norris

Commercial Property Management

Jenna Patterson

Multi-family Asset Manager

KEY PRINCIPALS



Nathaniel Hagedorn
Founder / CEO

With 14 years of commercial real estate experience, Nathaniel is responsible for the overall strategy of the company and is principally focused on guiding development, leasing and management activities for the firm.

Nathaniel has raised over \$850,000,000 in capital in the last three years for our various real estate projects and has emerged as one of Kansas City's most active commercial real estate developers. Our firm now owns / manages in excess of 8,000,000 sq. ft. of commercial space and over 2,000 apartments.



Chad Meyer
President / COO

With 18 years of industrial engineering and construction experience, Chad is responsible for the general oversight & growth of development, brownfield re-development and Design Build industrial construction for NorthPoint Development projects nationwide. Currently, NorthPoint has over 8,000,000 SF of industrial projects completed, and is on track to double industrial deliveries nationally in the next twenty four months. Prior to joining NorthPoint Development, Chad served as the Regional Director of ARCO National Construction and an Industrial Systems Engineer at GE.



Patrick Robinson
VP of Development

During his 15-year career, Patrick has been involved in the development and planning of over 2,700 acres of commercial and residential projects throughout the United States, with a primary focus on the Kansas City Metropolitan area. Over the past eight years, Patrick has had direct responsibility for some of the largest residential and industrial developments in Kansas City. In his current role, Patrick is focused on identifying, evaluating, and executing new real estate development opportunities.



Brent Miles
VP of Economic Development

With 14 years of economic development experience, Brent is responsible for development prospects, incentive offers and approvals, and governmental relations. Brent's day to day tasks include contracts for incentives, real estate and land development negotiations, and governmental financing structures. In addition to his role at NorthPoint Development, Brent is President of NorthPoint Incentive Consultants (NPIC) which assists businesses with Federal, State, Local, and Utility Incentive packages. During his career, Brent has procured more than 600 incentive programs for clients.

KEY PRINCIPALS



Robert Gude, CCIM
VP of Development

With 30 years in real estate construction, brokerage and development, Bob is responsible for the site development and project management of new warehouse construction. Current projects are located at Logistics Park Kansas City, Columbus, Ohio and Indianapolis.



Johan Henriksen
VP of Development

With over 20 years of experience in real estate development, Johan provides expertise that incorporates development, site selection, business and economic incentives procurement, capital market solutions, and construction project management for client-specific BTS solutions.



Mark Pomeranke
VP of Development

Mark is responsible for project execution from the planning stages to project completion. As Multifamily team leader, Mark oversees the acquisition, entitlement, design, and construction processes to ensure timely and cost efficient project delivery.

Since joining NorthPoint in 2012, Mark has managed numerous development projects across all asset classes including around 900,000 sf of industrial space, multifamily complexes totaling over 1,275 units, over 2 miles of road and utility infrastructure, and a variety of tenant finishes.



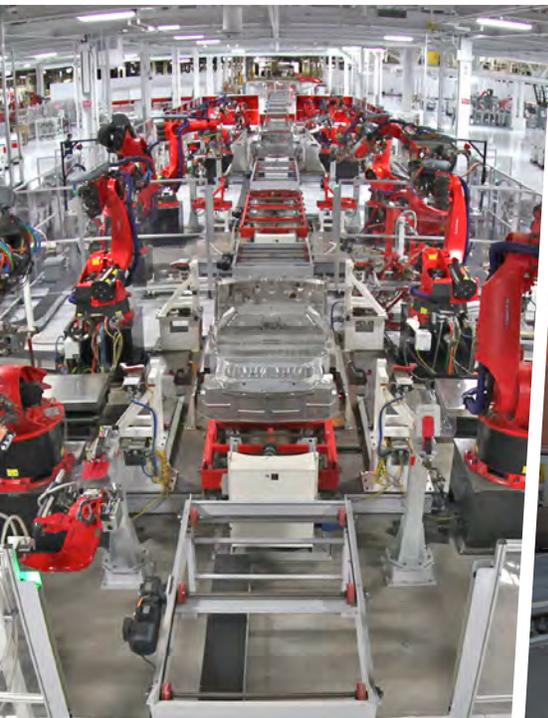
Kelly Clark
Director of Property Management

As Director of Property Management, Kelly is responsible for overseeing the property management operations for a portfolio of over 2,000 apartment units and 8 million square feet of commercial space. Kelly has over 15 years of successful property management and business development experience including an extensive background in portfolio management and property operations. Kelly's expertise includes new construction, lease-ups, acquisitions, renovations and dispositions. She is a CAPS designate through the National Apartment Association and is a recent graduate of the Lyceum Program. Kelly actively serves on the Board of Directors as the Vice Chairman and co-chair for the Legislative Committee for the Apartment Association of Kansas City.

OUR EXPERTISE

INDUSTRIAL SERVICES

- // Logistics
- // Intermodal
- // Rail Solutions
- // Refrigerator / Freezer Warehouses
- // Transportation Logistics
- // Automotive Manufacturing
- // Core Distribution
- // Local & State Incentives
- // Property Management



“... On a handshake

NorthPoint started construction at-risk before contract was issued, in order to preserve the critical path timeline of the project demonstrating that they are a true partner.”



- Tim Conder
General Motors LLC Global Real Estate Investments

“... we were impressed

with NorthPoint’s in-house technical capabilities and industrial construction experience which resulted in lowering the total project costs...”



- Dan Walker
Yanfeng USA Automotive Trim Systems

“... NorthPoint delivered on every commitment they made to Magna. Our relationship with NorthPoint Development has been categorically positive, and we look forward to partnering with them on many future projects nationally.”



- Jeff Fuller
General Manager - Magna Spring Hill

OUR CLIENTS

References available from our clients; a few are represented below



KEY PROJECTS

LOGISTICS PARK KANSAS CITY
EDGERTON, KANSAS

SPRING HILL LOGISTICS CENTER
SPRING HILL, TENNESSEE

CENTRAL INDUSTRIAL PARK
FAIRFAX, KANSAS CITY, KS

LEBANON 65
INDIANAPOLIS, INDIANA

WENTZVILLE LOGISTICS CENTER
WENTZVILLE, MISSOURI

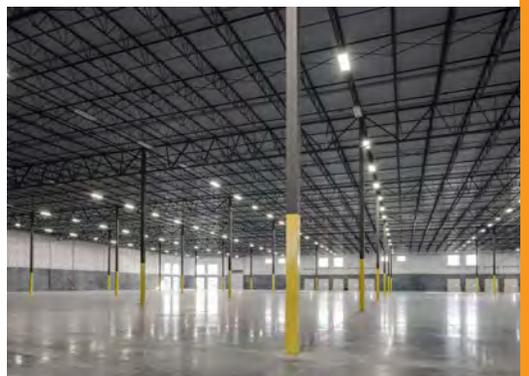
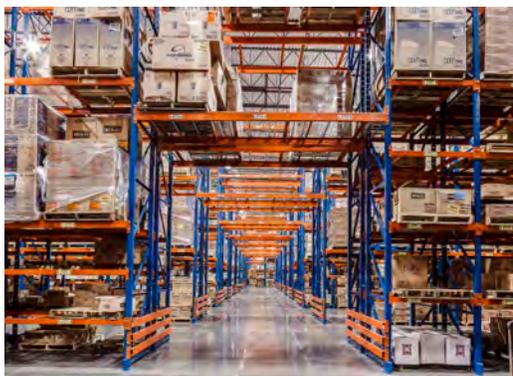
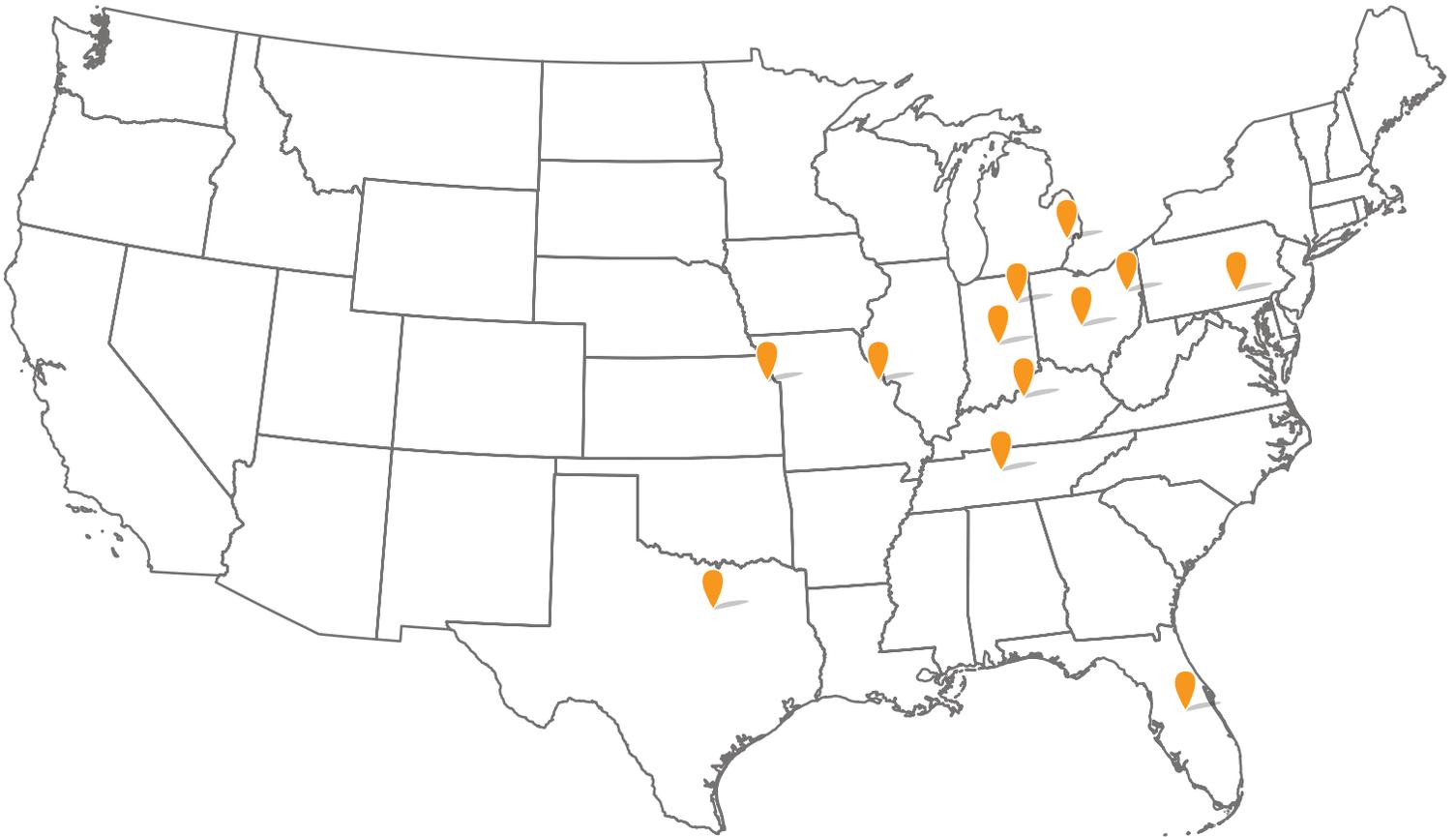
RIVERSIDE HORIZONS
RIVERSIDE, MISSOURI

LORDSTOWN LOGISTICS CENTER
LORDSTOWN, OHIO

FORT WAYNE LOGISTICS CENTER
FORT WAYNE, INDIANA

COLUMBUS GROVEPORT I & II
COLUMBUS, OHIO

ARLINGTON MANUFACTURING CENTER
ARLINGTON, TEXAS



INDUSTRIAL PROJECTS //

LOGISTICS PARK KANSAS CITY



Logistics
PARK

KANSAS CITY

// 15,000,000 SF Masterplanned Industrial Park
// \$750,000,000 Total Project Cost



INDUSTRIAL PROJECTS //

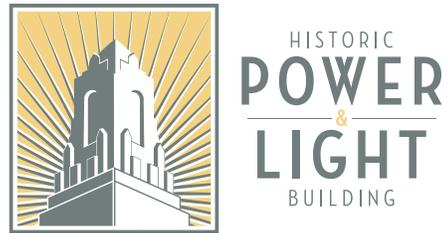
RIVERSIDE HORIZONS INDUSTRIAL PARK



RIVERSIDE HORIZONS

- // 250 Acre Masterplanned Industrial Park
- // 4,000,000 SF
- // Joint venture with Northwestern Mutual Life Insurance
- // \$300,000,000 Total Project Cost





263 UNITS

CONSTRUCTION BEGAN: **FEBRUARY 2010**

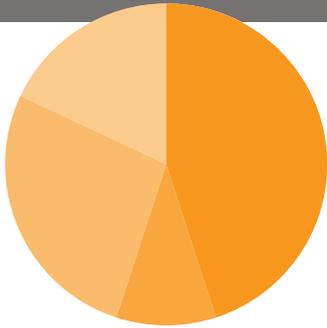
CONSTRUCTION COMPLETE: **APRIL 2011**

STABILIZED: **MAY 2011**

LEASE UP DURATION: **8 MONTHS** (OCT2010 - MAY2011)

THE BRIARCLIFF

City Apartments



UNIT MIX

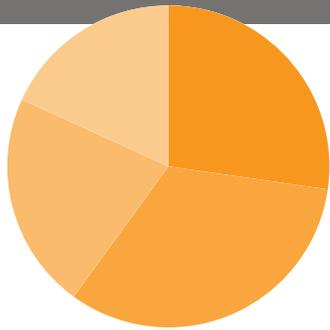
1 BEDROOM / 1 BATH	118 UNITS	45%
1 BED / 1 BATH / STUDY	27 UNITS	10%
2 BEDROOM / 2 BATH	70 UNITS	27%
2 BED / 2 BATH / STUDY	48 UNITS	18%



55 UNITS

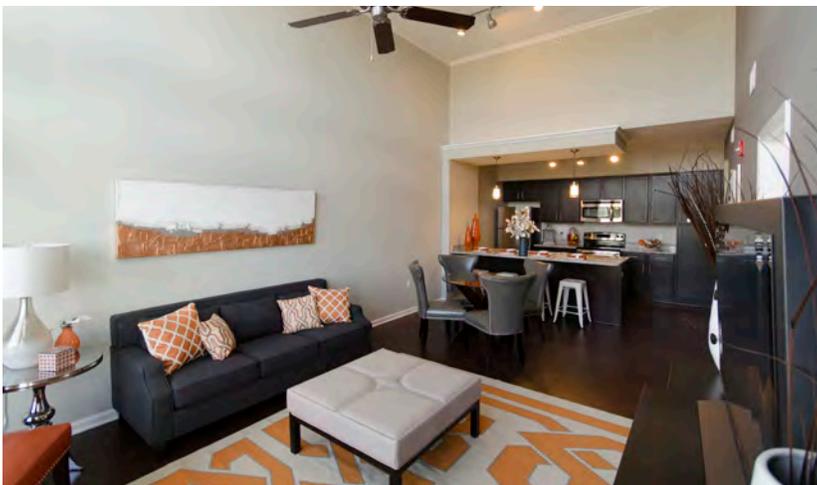
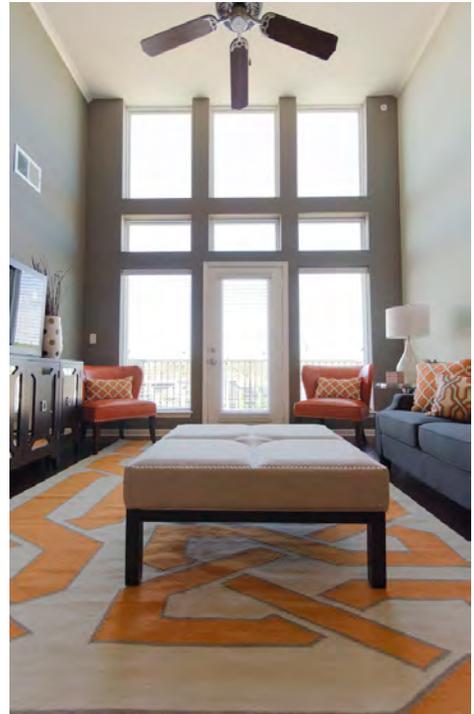
CONSTRUCTION BEGAN: **JULY 2013**
CONSTRUCTION COMPLETE: **OCTOBER 2014**
STABILIZED: **MARCH 2015**
LEASE UP DURATION: **6 MONTHS** (OCT2014 - MAR2015)

THE DENTON BUILDING



UNIT MIX

1 BEDROOM / 1 BATH	15 UNITS	27%
1 BED / 1 BATH / STUDY	18 UNITS	33%
2 BEDROOM / 2 BATH	12 UNITS	22%
2 BED / 2 BATH / STUDY	10 UNITS	18%





HISTORIC
**POWER
&
LIGHT**
BUILDING

293 UNITS

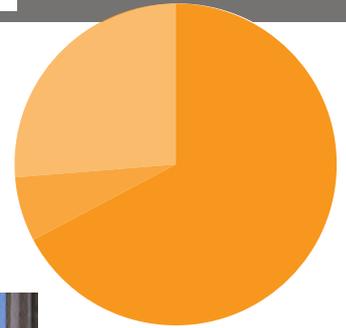
DEMOLITION BEGAN: **OCTOBER 2014**
CONSTRUCTION BEGAN: **FEBRUARY 2015**
CONSTRUCTION COMPLETE: **JULY 2016**



**CURRENTLY UNDER
CONSTRUCTION**

UNIT MIX

1 BEDROOM / 1 BATH	197 UNITS	67%
1 BED / 1 BATH / STUDY	19 UNITS	6%
2 BEDROOM / 2 BATH	77 UNITS	26%



AWARDS & RECOGNITIONS



Kansas City Business Journal // Best Places to Work
2013 - 2nd Place - Small Company Category
2014 - 1st Place - Medium Company Category



Kansas City Business Journal // Capstone Awards
2012 - Multi-family - Briarcliff City Apartments
2013 - Industrial - Horizons Industrial I
2013 - Industrial - Premium Waters

Apartment Association of Kansas City // Awards

2010

Best Community Brochure - Briarcliff City Apartments
Best Property Website - Briarcliff City Apartments
Best Leasing Office - Briarcliff City Apartments

2011

Assistant Manager Of The Year - April Binfet, Briarcliff City Apartments
White Glove Award - Anita Wirth, Briarcliff City Apartments
Rookie Of The Year - Briarcliff City Apartments
Best Landscaping - Briarcliff City Apartments

2012

Best Magazine Advertisement - Briarcliff City Apartments
Property Of The Year - Briarcliff City Apartments

2013

Best Property Marketing Plan - The Residences At Burlington Creek
Best Landscaping - Briarcliff City Apartments
Best Model Under 5 years - The Residences AT Burlington Creek

2014

Company Management Team Of The Year - NorthPoint Development
Owner of The Year - Nathaniel Hagedorn, NorthPoint Development
Best Resident Services/Concierge - Nicholle Pyle, 45 Madison
Model of The Year - Village West Luxury Apartments
Manager Of The Year - Suzanne Congrove, 45 Madison
Leasing Professional Of The Year - Amy Middleton, 45 Madison
Clubhouse/Leasing Of The Year - Village West Luxury Apartments
Amenities of The Year - Village West Luxury Apartments
White Glove Award - Kimberly Osbourne, 45 Madison
Local Management Company Of The Year - NorthPoint Development



**EY Entrepreneur
Of The Year™**

2014 Central Midwest Region



2015
TOP 10
SMALL BUSINESS

Earnst Young Entrepreneur of the Year //

2014 - Nominee - Nathaniel Hagedorn

Greater Kansas City Chamber //

2015 - Top 10 Small Business -

NORTHPOINTBYNUMBERS

FINANCIAL APPROACH //

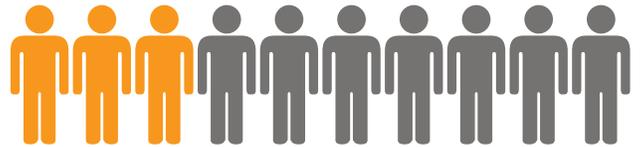
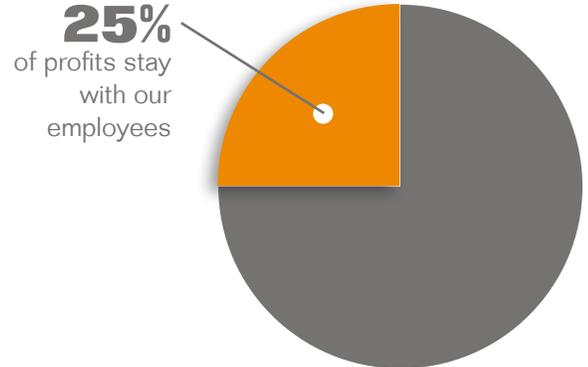
To limit our leverage to no more than 65% loan to cost. Often times our Loan to Value is less than 50%



We will never purchase land using debt; **ONLY CASH**

EMPLOYEE PROFITS //

25% of profits stay with the employees through the employee bonus pool



30% EMPLOYEE OWNED

MAXIMIZE INCENTIVES //

Proven track record of leveraging incentive programs to our client's benefit

Over **\$100 MILLION** in incentives negotiated for our clients



\$850 MILLION

TOTAL CAPITAL RAISED //
SINCE 2011

2000 UNITS

MULTI-FAMILY //
DEVELOPED & MANAGED

8,000,000 SF

INDUSTRIAL & WAREHOUSE //
DEVELOPED & MANAGED

1,700 ACRES

UNDEVELOPED INDUSTRIAL LAND //
OWNED

FUTURE DEVELOPMENT // **24,000,000 SF**
REPRESENTED IN UNDEVELOPED LAND



INTEGRAL SENIOR LIVING

EXPECT THE BEST.

Integral Senior Living, a senior living community management company, is founded on a philosophy that expects the best for residents, employees and owner/investors. ISL specializes in management of CCRC's, senior independent living, assisted living and memory care properties. ISL consistently demonstrates a successful balance for delivering quality senior living environments, fulfilling workplaces and targeted financial returns. For Integral Senior Living, an inherent propensity for sound business practice is nurtured by passion for taking action fueled by a strong history. When nature and nurture meet, great things can happen.

Great companies can happen.

IT'S OUR BUSINESS TO MANAGE YOUR SENIOR LIVING PROJECT

Integral Senior Living manages senior living properties - it's our business.

Everything about our company is designed to promote the profitability of your senior living community and we do that by prioritizing quality care and service for residents and enriching work environments for our employees. We treat our third-party managed properties like they are our own with experience and expertise:

- » Dedicated Regional Teams
- » State-of-the-Art Systems
- » Company Culture that Promotes Targeted Goals
- » In-House Departments for:
 - › Sales and Marketing
 - › Accounting and Financial Services
 - › Human Resources
 - › Resident Care and Licensing
 - › Owner Relations and Reporting
 - › The value to you as a property owner is in our results.

NEW DEVELOPMENTS

The Integral Senior Living team has opened more than 70 new senior living development properties in all market types. Proven expertise is translated into effective consultation for all facets of the new development process, including:

- » Review Feasability or Market Study
- » Proforma
- » Funding
- » Architectural Input for Operationally Functional Design
- » Licensing
- » Pre-opening Marketing



MISSION STATEMENT

ISL is dedicated to the development and operation of senior living communities that create value for residents, employees and owners by providing quality senior care, a fulfilling work environment and targeted financial returns. We are passionate about senior care while providing an empowering environment that offers autonomy and personal growth.

CORE VALUES

Integrity

Teamwork

Expertise

Flexibility

Results

VISION STATEMENT

ISL will grow as large as our values, integrity, teamwork, expertise, flexibility and results will allow. We will listen and respond to the changing needs of our customers, employees, owners and ourselves.



The Integral Senior Living story

In 2012 ISL celebrated it's 10 year anniversary. Over the last 10 years we aspired to create a unique kind of senior living community. Passion for quality senior care was and remains the cornerstone of the ISL philosophy.

ISL's passion for operating quality senior care communities quickly emerged as a better and different story in the industry. Senior living property owners responded.

With the client base established and rapidly growing, the ISL senior management team grew concurrently. At ISL, the company culture is lived every day. Dedicated to honoring commitments to seniors, employees and owners, ISL attracted senior managers with proven track records. An experienced and talented team, groomed and mentored in the largest senior living companies throughout the United States, has been assembled in the disciplines necessary to support client communities, including operations, resident care, marketing, human resources and accounting/finance.

With the ISL team in place, best practices and systems were established to generate targeted results at each managed property.

The ISL story of success is most poignantly demonstrated in case studies of turnarounds and new development projects over recent years.



balanced

ISL recognizes the importance of serving the key stakeholders of each property: residents and family members, employees and owners. A balanced approach promotes service to each audience without sacrificing the interests of another.



CASE STUDY

RIGHT SIDE OF THE TRACKS

A purpose-built new property located in the Inland Empire of Southern California had consistently experienced lackluster results for more than three years under management by one of the largest senior living companies in the country. The property averaged 65% occupancy and disappointing results. The owners needed relief from low financial returns. They decided to bring ISL in as the operations management company.

ISL quickly identified a demotivated team. They did not believe in their product and lacked marketing focus.

Turnaround was initiated by infusing the team with confidence and passion for their product and service to residents.

A marketing focus now consistently results in above 95% occupancy. That focus also identified opportunity to convert one wing of the property to memory care, which closed the back door to residents seeking higher levels of care.

Today the property delivers over \$112,000 net operating income each month.

CASE STUDY

OPERATIONS OPTIMIZED

An owner group brought four underperforming properties in its portfolio to ISL for review. With the decision to transition the properties to ISL management, a rally for targeted results was immediately launched. Swift transition began with site visits by each discipline within the ISL team.

Opportunities for change at the properties were quickly identified and action plans were launched. Each property presented a unique mix of opportunities, including community leadership, expense management, census development, rate adjustments, employee morale and training, resident care assessments and state licensing. Within 18 months of ISL operation, net operating income increased 39.55%.

Applying a 9-cap, the portfolio value increased more than \$16.2 million.



people-oriented

The ISL team is devoted to delivering quality service and care to seniors. From the moment a senior enters an ISL-managed property, they become part of the family. Their well-being and happiness are our priority.



CASE STUDY

CATCH-22

A converted hotel property in a prime market in Southern California was performing with lackluster results. It was suffering from a poor physical plant. Due to all-inclusive rates, revenue was not maximized. Rental rates were low and not competitive in the market. There was also an expense control opportunity. Net operating income was only \$35,000 per month.

The property was suffering from a Catch-22. Needed capital improvements were postponed for profitable results which hindered potential new residents from moving into the property. With ISL

management, a plan was executed to maximize rate opportunities and control expenses. In return, the owners agreed to a partial refurbishment. The strategy was successful turning a low return into \$138,000 net operating income per month.

With the operational success, ISL brought a qualified buyer to the owners.

The owners executed their exit strategy, which resulted in the sale of the property for an increased sales price of \$6 million.

CASE STUDY

EXPENSE MANAGEMENT

When an 89-unit memory care community in the Pacific Northwest was transitioned to ISL management, the property consistently peaked at 95% occupancy, but still did not meet its debt service. The owners were feeding cash into the operation every month.

From the day the ISL team stepped in, not one more dollar of owner capital was infused. Successful turnaround was accomplished by implementing expense controls. The property now averages \$125,000 net operating income per month and maximizing revenue.

Since ISL's operation of the property, the owners have refinanced the project twice and realized more than \$4.8 million in distribution.



INTEGRAL SENIOR LIVING

SENIOR MANAGEMENT TEAM





Sue Farrow

Founder/Owner of Integral Senior Living

Sue Farrow, Founder/Owner of Integral Senior Living, has established the highly qualified and experienced ISL management team that she entrusts.

With decades of experience in the senior housing industry much of her experience has been in key leadership positions at senior living companies including Aegis Living, Sunrise Assisted Living and

Transamerica Senior Living.

Throughout her career, she has taken an active role as a key participant in the development, start up, marketing and operations within senior living. Sue is nationally known for her expertise in all phases of operations and her ability to create senior communities that are a success in the minds of residents, staff and owners alike.

Sue sits as a Board Member for the Assisted Living Federation of America (ALFA). Her education includes a Bachelors Degree in Business Administration from National University.



Tracee DeGrande

President and Chief Financial Officer of Integral Senior Living

Tracee DeGrande, President/Chief Financial Officer of Integral Senior Living, takes it upon herself to share her enthusiasm and love of accounting with everyone on the management team as well as the community leadership teams. She is in charge of ISL's transaction business, and equity funding, as well as corporate finance, operational accounting, contract negotiations, insurance and strategic planning.

Over the course of her career, she has attained more than 26 years of finance experience, with the majority of those years specifically as a CFO in the senior living industry. Her strong industry and professional experience includes tenure at Aegis Living, Regency Pacific, Hillhaven Corporation (now Kindred) and Group Health Cooperative. Tracee has a Bachelor of Arts degree in accounting from Seattle University.



Collette Valentine

Chief Executive Officer and Chief Operating Officer of Integral Senior Living

Collette Valentine, Chief Executive Officer and Chief Operating Officer, joined ISL in October 2010. She possesses experience in both operations and sales and marketing. In her ISL role, she provides day-to-day operations and marketing oversight for all of the communities ISL currently manages as well as overseeing our new development projects. She encourages an environment in which team members are promoted for their ability to bring resources and ideas to the team.

Prior to joining ISL, Collette was with Merrill Gardens for four and a half years, serving as Vice President of Operations. Prior to this, she was with Atria Senior Living Group. Throughout her eight year career at Atria/ARV, she held a variety of positions including: Vice President and Regional Director of Operations, Regional Sales and Marketing Director, and Executive Director and Community Sales Director at an Atria community. She began her career with Harrah's Entertainment as a Hotel Sales Manager.

She is a graduate of the University of Nevada, Las Vegas with a degree in Business Management.

Additional Senior Management Team Bio's can be found on our website – www.isllc.com.





Suzanne Foley

Senior Vice President of Human Resources of Integral Senior Living

Suzanne Foley, Senior Vice President of Human Resources, is the pulse behind all areas of human resources and the risk management team for ISL. She brings almost two decades of human resources experience in senior housing to the job everyday and to date has developed policies for more than 100 communities nationwide. She thrives in creating the best working environment for all employees.

Throughout her career, she has developed policies and procedures for 75 assisted living and independent living properties throughout the United States; and provided human resources functions for over 5,000 employees at Sun Healthcare Group. Her talent lies in her proven success in developing, implementing and conducting human resource best practices and employee training programs. For ISL, she manages worker's compensation claims, employee training, labor relations, insures legal compliance in employee relations and oversees employee benefit programs.

Suzanne is Senior Professional Human Resources (SPHR) certified and holds a Masters Degree in Organizational Management and a Bachelors Degree in Broadcast Journalism from the University of New Mexico.



Vince Limburg

Vice President of Finance and Accounting of Integral Senior Living

Vince Limburg, Vice President of Finance and Accounting, has more than 17 years of senior living management operations experience and over 10 years in restaurant hospitality and management experience.

In his current role he is responsible for the oversight for all aspects of accounting and financial reporting, including the development of budgets and business analytics to provide the communities with decision

making tools. He is also responsible for the preparation of new development's proformas. Vince holds a Bachelors Degree in Accounting from Linfield College in Oregon.



Linda Mather

Vice President of Resident Care of Integral Senior Living

Linda Mather, RN, CALN, Vice President of Resident Care, has been a Registered Nurse for 29 years, spending the last 13 years working in the Assisted Living Industry. Linda has served in multiple roles including Assisted Living Director, Executive Director and Sr. Regional Nurse.

Linda began her assisted living career with Assisted Living Concepts and has also worked for Atria, Prestige Senior Living and Merrill Gardens prior to coming to ISL. She is a licensed RCFE administrator in CA and is also a licensed assisted living administrator in AZ

She holds nursing licenses in several states and is also a Certified Assisted Living Nurse. She holds a degree in Nursing from Marshall University in Huntington, WV.

Mandy Hampton

Divisional Vice President of Operations of Integral Senior Living



Mandy Hampton, Divisional Vice President of Operations, has been with ISL since 2005 and presently oversees 13 different communities. Mandy epitomizes the ISL success-story, climbing from Business Office Director to Executive Director at Murrieta Gardens. She was later promoted again to Executive Director at Whittier Place where she increased census from 68% to 90% in only 7 months, leading to her latest promotion to Regional responsibilities.

Prior to joining ISL, Mandy was Controller for a medical software company overseeing their business office, accounting and human resource functions for 6 ½ years.

Mandy currently holds the California RCFE certification.

Jason Engelhorn

Divisional Vice President of Operations



Jason Engelhorn, Divisional Vice President of Operations, has more than 14 years experience working in the senior housing industry.

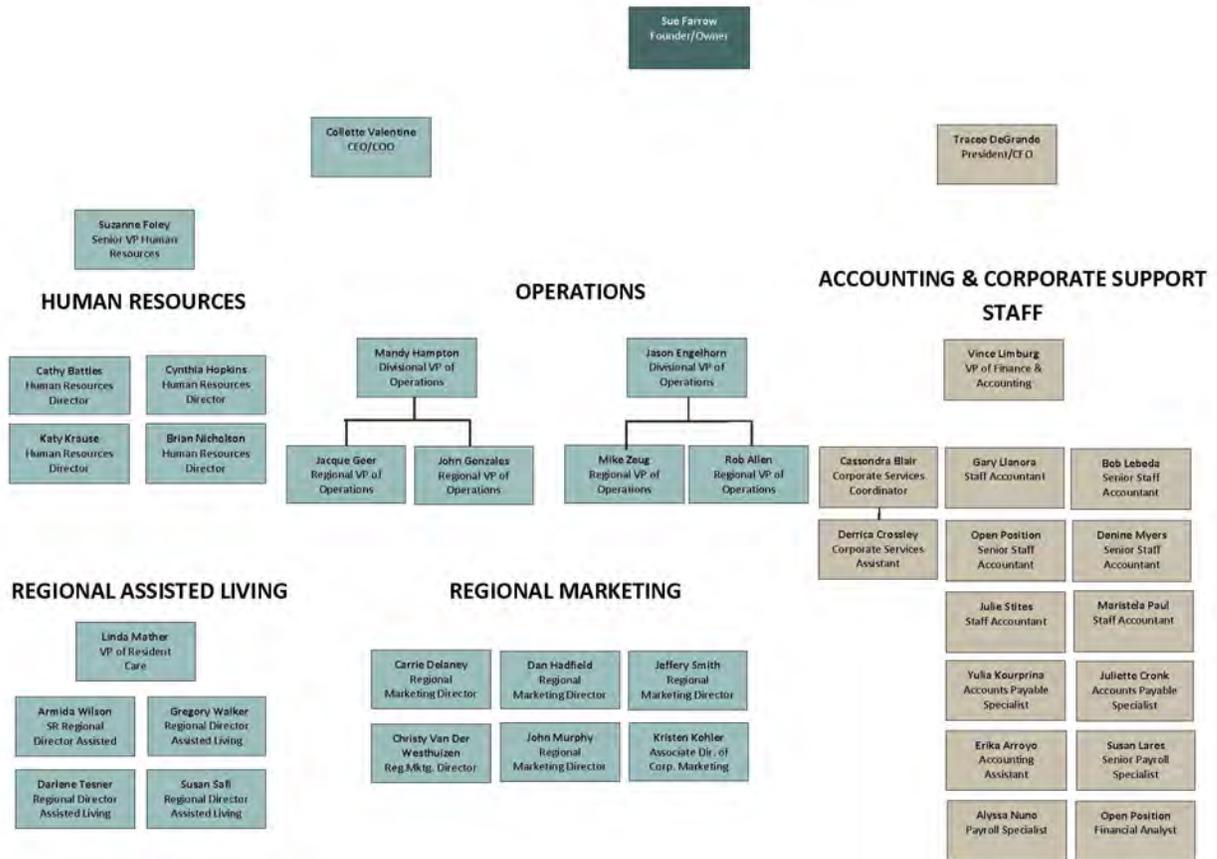
Prior to becoming a licensed RCFE Administrator over 10 years ago, Jason began his career in the senior housing industry as an Activity Director in a skilled nursing facility and then two hospital-based

skilled nursing facilities where he also performed social service and discharge planning duties. Venturing into assisted living administration, Jason found immediate success; increasing the occupancy of his first community from 83 to 100% within his first year. Jason has also been a General Manager for Merrill Gardens and an Executive Director for ARV/Atria where his community was honored as the "Best All Around" community out of its 138 community portfolio.

Jason has a Bachelor of Science Degree in Recreation Administration from California State University, Chico.

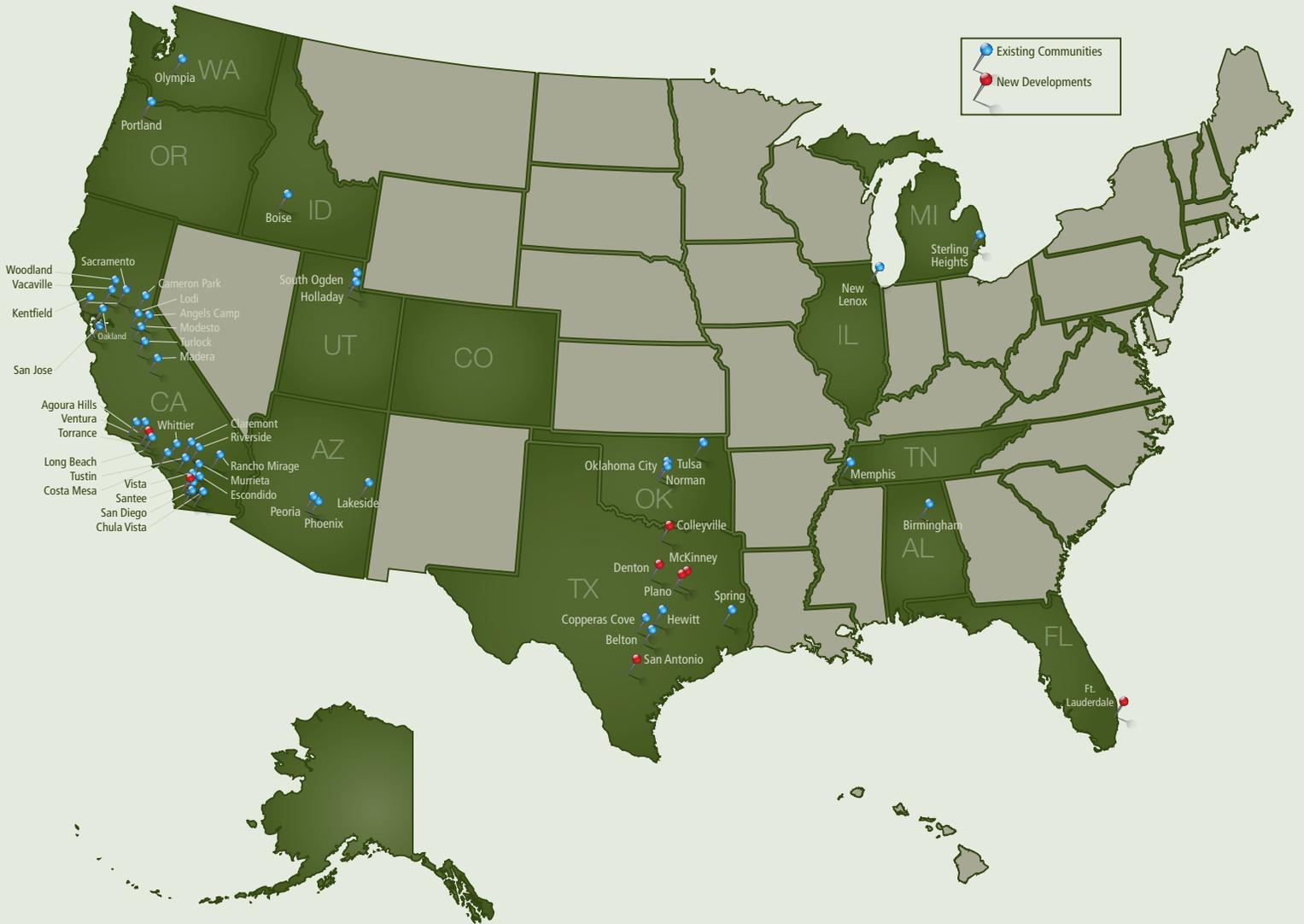
INTEGRAL SENIOR LIVING

Management Structure



INTEGRAL SENIOR LIVING

Current Communities



INTEGRAL SENIOR LIVING

MEMBERSHIPS, AWARDS, & ACHIEVEMENTS

Over the years, Integral Senior Living and its leadership have received numerous awards and recognition for excellence. Examples of recent awards and other notable occurrences summarized below.

2013

- ❖ ISL employee received the California Assisted Living Association (CALA) 2013 “Excellence in Service” award for Outstanding Department Director for Northern California.

2012

- ❖ Assisted Living Federation of America (ALFA) ranked Integral Senior Living as the 17th largest senior housing operator in the nation.
- ❖ Sue Farrow, Chief Executive Officer, was named a semi-finalist for the Ernst & Young Entrepreneur of the Year.

2011

- ❖ American Senior Housing Association recognized Integral Senior Living as having the greatest percentage increase in units managed between 2010 and 2011 (77%), adding 2,130 units to its portfolio.
- ❖ Integral Senior Living, was named to the Executive Board of the American Senior Housing Association (ASHA).
- ❖ ISL employees received the California Assisted Living Association (CALA) 2011 “Excellence in Service” awards for Outstanding Team Member and Outstanding Executive Director for Southern California.

2010

- ❖ ISL ranked 1,552 in Inc. magazine’s fourth annual “Inc. 5000” list of the Nation’s fastest growing private companies. The list represents a comprehensive look at the most important segment of the economy-America’s independent-minded entrepreneurs. The “2010 Inc. 5000” list ranks according to percentage revenue growth when comparing 2006 to 2009.



- ❖ ISL received two awards from the National Mature Media Awards. The awards recognize ISL's exceptional work on behalf of its marketing/advertising campaign and publications. The National Mature Media Awards is the Nation's largest awards program that annually recognizes the best marketing, communications, educational materials and programs for adult's age 50 and older.
- ❖ Integral Senior Living, was named to the California Assisted Living association Board of Directors.
- ❖ Stephanie Templeton, Executive Director of Stratford of Phoenix, an ISL operated assisted living community in Phoenix, Arizona, was elected Chairman of the Board of Directors and Executive Committee for the Arizona Assisted Living Federation of America.
- ❖ Sue Farrow, Chief Executive Officer, was recognized by the Assisted Living Federation of America for being among the most visionary, inspiring and effective leaders.
- ❖ ALFA's Assisted Living Executive Magazine, March/April issue ranked ISL as the 24th largest assisted living operator. ISL's units under management increased by 24% from 2009 to 2010.
- ❖ Three ISL employees received the California Assisted Living Association (CALA) 2010 "Excellence in Service" award. CALA only issues six awards each year with ISL employees receiving half of the six possible awards.
- ❖ ISL ranks as the fourth largest assisted living provider in California by CALA (based on 2010 CALA Membership Directory-number of buildings operated by parent companies).
- ❖ ISL was honored with national recognition by winning the Assisted Living Federation of America's (ALFA) 2010 "Best of the Best" award for its Dining by Design program. ALFA identified the Company's extraordinary work on behalf of its innovative program.

2009

- ❖ The Assisted Living Federation of America (ALFA) Board of Directors appointed Sue Farrow, Chief Executive Officer, for a two-year term effective May 1, 2009. ALFA is the largest national association exclusively dedicated to professionally operated assisted living communities for seniors.
- ❖ Rodney Washburn, Executive Director of Mountain Ridge, an ISL operated assisted living community in Ogden, Utah, was elected Secretary of the Executive Committee and member of the Board of Directors for the Utah Assisted Living Federation of America (UALA).

2008

- ❖ The 50-plus Housing Council Board, a special interest council of the Building Industry Association of Southern California, named Sue Farrow, Chief Executive Officer, 2008 SAGE Person of the Year. The SAGE Awards pay homage to the best projects, people and programs in the 50-plus housing sector and related services. The awards recognize innovative and noteworthy people and accomplishments that demonstrate the passionate commitment that improves the lives of those who are 50 years of age.





INTEGRAL SENIOR LIVING



DATE: May 21, 2015
TO: Planning Commission
FROM: R. Brent Savidant, Planning Director
SUBJECT: PROPOSED ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 248) – Woodland Protection

On April 28, 2015 the Planning Commission discussed woodland protection as a first step in developing Zoning Ordinance provisions. On May 26, 2015 the Planning Commission discussed a general outline of woodland protection provisions.

The attached draft Zoning Ordinance text amendment is consistent with the outline discussed on May 26, 2015.

Please be ready to discuss the attached draft at the July 28, 2015 Planning Commission Regular meeting.

Attachments:

1. Draft Zoning Ordinance Text Amendment (File #: ZOTA 248).

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CITY OF TROY

AN ORDINANCE TO AMEND
CHAPTER 39 OF THE CODE
OF THE CITY OF TROY
CITY COUNCIL PUBLIC HEARING DRAFT

The City of Troy ordains:

Section 1. Short Title

This Ordinance shall be known and may be cited as an amendment to Chapter 39, Zoning Ordinance, of the Code of the City of Troy.

Section 2. Amendment

Chapter 39 of the Code of the City of Troy is amended as follows:

Add Section 13.07 to read as follows:

Section 13.07: Woodland Protection:

- A. Purpose and Intent. It is the intent of these regulations to help prevent unregulated and, in many cases, unnecessary removal of trees and related natural resources. The protection of trees, woodlands and woodland resources will promote the preservation of important physical, aesthetic, recreational and economic assets for both present and future generations. Specifically, it is found that:
1. Trees and woodlands provide for public welfare and safety through the reduction of erosion, siltation, and flooding;
 2. Trees and woodlands help protect water quality by protecting groundwater recharge areas, reducing risk of groundwater contamination and maintaining base flows in streams and rivers, thus reducing the risk of degrading vegetation, wildlife, wetlands and surface water systems throughout the city;
 3. Trees and woodlands increase the economic value of land for most uses;
 4. Tree and woodland growth protects public health through the absorption of air pollutants and contamination and reduces carbon dioxide content of the ambient air.
 5. Tree and woodland growth serve as an essential component of the general welfare of the city by maintaining natural beauty, recreation, and natural heritage.

The purpose of this section is as follows:

1. To encourage the preservation of trees and related natural resources of the woodland ecosystem on undeveloped and underdeveloped land and in connection with the development of land;
2. To provide for the protection, preservation, proper maintenance and use of trees and woodlands in order to minimize damage from erosion and siltation, loss of wildlife and vegetation, and/or from the destruction of the natural habitat;
3. To protect trees and woodlands (including woodland resources) for their economic support of local property values when allowed to remain uncleared and/or unharvested in whole or in significant part, and for their natural beauty, character, and ecological or historical significance;
4. To provide for the paramount public concern for these natural resources in the interest of the health, safety and general welfare of the residents of the city, consistent with Article II, Section 201 of the Michigan Zoning Enabling Act of 2006, and in keeping with Article IV, Section 52 of the Michigan Constitution of 1963 and the intent of the Michigan Natural Resources and Environmental Protection Act, PA 451 of 1994.

B. Applicability:

1. The provisions of tree protection shall apply to all parcels in the City that require site plan review as set forth in Section 8.02, and any Subdivision as set forth Chapter 41 of the City Code.
2. If it is determined that based on associated historical aerial photographs or other evidence, a property owner who has submitted a site plan that requires a site plan review as set forth in Section 8.02, has removed or cleared protected trees within five (5) years of the time of submittal, the Planning Commission may require additional landscaping to offset the impact of the new development upon adjacent properties.

C. Protected Trees as Defined:

1. Landmark Tree: A woody plant, in a healthy, live condition (has a health and condition standard factor of over 50% based on standards established by the International Society of Arboriculture). The following species that meet the minimum size (DBH) requirement are considered landmark trees.

Common Name	Botanical Name	Size (inches)
Basswood	<i>Tilia</i>	18"
Beech, American	<i>Fagus grandifolia</i>	18"

Black Cherry	<i>Prunus serotina</i>	18"
Black Walnut	<i>Juglans nigra</i>	18"
Buckeye, Ohio	<i>Aesculus glabra</i>	18"
Douglas Fir	<i>Pseudotsuga menziesii</i>	18"
Elm	<i>Ulmus</i>	18"
Fir	<i>Abies</i>	18"
Kentucky Coffeetree	<i>Gymnocladus dioicus</i>	18"
London Planetree/American	<i>Platanus</i>	18"
Maple (Silver)	<i>Acer saccharinum</i>	18"
Pine (All species)	<i>Pinus</i>	18"
Spruce	<i>Picea</i>	18"
Tulip Poplar	<i>Liriodendron tulipifera</i>	18"
Hickory	<i>Carya</i>	16"
Honey Locust	<i>Gleditsia tricanthos</i>	16"
Maple (Red)	<i>Acer rubrum</i>	16"
Maple (Sugar)	<i>Acer saccharum</i>	16"
Oak (All species)	<i>Quercus</i>	16"
Arborvitae	<i>Thuja</i>	12"
Bald Cypress	<i>Taxodium distichum</i>	12"
Birch	<i>Betula</i>	12"
Black Tupelo	<i>Nyssa sylvatica</i>	12"
Cherry, Flowering	<i>Prunus spp.</i>	12"
Crabapple/Hawthorne	<i>Malus/crataegus</i>	12"

Dawn Redwood	<i>Metasequoia glyptostroboides</i>	12"
Ginkgo	<i>Ginkgo</i>	12"
Hackberry	<i>Celtis occidentalis</i>	12"
Hawthorn	<i>Crataegus</i>	12"
Hemlock	<i>Tsuga</i>	12"
Larch/Tamarack	<i>Larix</i>	12"
Magnolia	<i>Magnolia</i>	12"
Pear	<i>Pyrus spp.</i>	12"
Persimmon	<i>Diospyros virginiana</i>	12"
Poplar	<i>Populus except for p. deltoides, alba</i>	12"
Sassafras	<i>Sassafras albidum</i>	12"
Sweetgum	<i>Liquidamber styraciflua</i>	12"
Yellow Wood	<i>Cladrastis lutea</i>	12"
Blue-Beech/Hornbeam	<i>Carpinus caroliniana</i>	8"
Butternut	<i>Juglans cinera</i>	8"
Cedar of Lebanon	<i>Cedrus spp.</i>	8"
Chestnut	<i>Castanea</i>	8"
Dogwood, Flowering	<i>Cornus florida</i>	8"
Eastern Red Cedar	<i>Juniperus virginiana</i>	8"
Hop-Hornbeam/Ironwood	<i>Ostrya virginiana</i>	8"
Maple, Mountain/Striped	<i>Acer spicatum/pensylvanicum</i>	8"
Paw Paw	<i>Asimina triloba</i>	8"
Redbud	<i>Cercis canadensis</i>	8"

Serviceberry	<i>Amelanchier</i>	8"
Any healthy tree with a DBH 24" or greater, (except invasive species), or a healthy tree of the species described below with the minimum DBH listed.		

2. Woodlands: One-quarter (¼) acre or more of contiguously wooded land where the largest trees measure at least six (6) inches in diameter at breast height (DBH). The acreage is to be measured from the dripline to dripline of trees on the perimeter. Contiguous shall be defined as the majority of the one-quarter (¼) acre being under the vegetation dripline.

D. Tree Inventory. A Tree Inventory is required as a component of the preliminary site plan submission as set forth in Section 8, and any Subdivision as set forth Chapter 41 of the City Code.

1. Tree Inventory shall contain the following:
 - a. Location of all trees over six (6) inches in DBH.
 - b. Common and botanical names of all identified trees, their size in inches at their DBH, and a description of each tree's health.
 - c. Indication of all trees to be removed.
 - d. Indication of all trees to be preserved.
2. A Tree Inventory must be prepared by either a certified forester or Registered Landscape Architect.

E. Tree Replacement:

1. Any protected tree, as defined, removed as part of a site development requires replacement.
2. When Landmark Trees and trees within a Woodland are to be removed, as approved by the Planning Commission, the removal shall be mitigated as follows:
 - a. Woodland Trees six (6) inches or larger DBH shall be mitigated by installation of replacement trees equal to a minimum of fifty percent (50%) of the original DBH removed.
 - b. Landmark Trees (including those located within Woodlands to be removed) shall be mitigated by installation of replacement trees equal to a minimum of one hundred percent (100%) of the original DBH removed.
 - c. Replacement trees shall be non-sterile varieties of species native to southeast Michigan. The minimum size of a deciduous replacement tree shall be two and one-half (2.5) inch caliper. The minimum size of a coniferous replacement tree shall be six (6) feet in height. Deciduous replacement of one-half (.5) caliper inch is equal to one foot in height for coniferous replacement.

3. The Planning Commission shall approve a Tree Replacement Plan. A Tree Replacement Plan must be prepared by either a certified forester or Registered Landscape Architect.
4. The tree replacement requirements herein are separate from and in addition to the landscape requirements set forth in article 13.02

F. Tree Replacement Alternatives:

1. Any identified Woodland and Landmark Tree protected as part of the development may count towards two (2) times the inch for inch replacement requirement.
2. When reviewing site plans, the Planning Commission prioritizes Landmark and Woodland Tree protection and mitigation in order as follows:
 - a. Protecting and preserving existing onsite Landmark and Woodland Trees.
 - b. Providing all required mitigation on the site of development.
 - c. Paying into tree fund, only if protecting and preserving on site, or mitigation on site has been explored by applicant and due to unique circumstance as outlined above, is not possible.
3. The Planning Commission may allow for tree replacement off-site at the request of the applicant when site factors including the size of the parcel (no available area for planting), tree condition or development requirements may make conformity to this section difficult or undesirable. If the Planning Commission permits the applicant to plant off-site the applicant shall be required to pay the equivalent fee of the cost of the tree replacement, including the cost of installation to the City Tree Fund. The City Tree Fund shall be used to plant trees on public property.

G. Exemptions from Replacement:

1. The following shall be exempt from the requirements of these Tree Replacement as set forth in Section 12.07.F:
 - a. Parcels of land that are not subject to site plan review.
 - b. Tree trimming and removal necessary to the operation of essential service facilities of a municipal or other governmental department or agency or public utility franchised to operate in the City.
 - c. Tree clearing within an existing public road right-of-way or an existing private road easement.
 - d. The removal of any tree which is demonstrated by the property owner to the Zoning Administrator or designee's satisfaction to have a health and condition standard factor of less than 50 percent based upon the standards established by the International Society of Arboriculture.
 - e. Trees that are considered invasive by the International Society of Arboriculture
 - f. Removal of trees that have become a potential danger to human life or property.

H. Tree Protection. Protected trees, shall be preserved to the greatest extent practicable through the use of site development techniques including but not limited to the following:

1. In general, Landmark Trees should not be removed for development. Site design should consider any Landmark Tree on a site as an important design element.
2. Locate development in areas of the site that are already disturbed or cleared of trees and woody vegetation.
3. Minimize clearing and grading of the site by working with the site's existing topography. Grading, roads, walkways, utility lines, and all other aspects of soil disturbance shall be minimized to the extent possible considering standards of sound design and public safety. Clearing for buildings should be limited to the smallest area needed for safe and effective building work.
4. Use retaining walls and other techniques to minimize grade changes near trees.
5. Maintain trees along the perimeter of sites to provide buffer.
6. Maintain grades and moisture conditions within the Critical Root Zone (CRZ) of trees. Many of the native hardwood trees: oaks, hickories, maples and beeches, for example, and most old trees do not adapt to environmental changes brought about by construction. Grading changes should not occur within the CRZ of a tree. In addition, grading on a site should neither increase or decrease moisture conditions within a tree's CRZ. The area of concern around an important tree may be significantly larger than the CRZ. The drip line of the tree shall be used for comparison, and if larger than the CRZ, the dripline should be used to determine how best to protect an important tree.
7. Locate utility lines away from trees to be retained. If this is not possible, install utility lines through bored tunnels instead of trenches.
8. Conduct any necessary excavation around trees by hand.
9. Applicant must provide a Tree Protection Plan that is compliant with requirements as set forth Chapter 28, Tree Regulations.
10. The City reserves the right to periodically inspect the site during site plan review, land clearing, and/or construction to ensure compliance.

I. Tree Removal as a Result of Construction Activity:

1. Any protected tree identified for preservation on an approved site plan that has died within three years (3) of the start of construction shall be replaced under the appropriate Landmark Tree and Woodland replacement requirement.

J. Site Plan Approval and Enforcement:

1. Tree protection and mitigation as approved by the Planning Commission is a condition of Site Plan approval and enforced as such.

K. Appeals and Variances. All appeals or requests for variances from the provisions of this section shall be made to the City of Troy Zoning Board of Appeals in accordance with Article 15 of the City of Troy Zoning Ordinance.

L. Violations and Penalties. Violations of the provisions of this section are violations of the City of Troy Zoning Ordinance and subject to Article 3 of the City of Troy Zoning Ordinance.

Section 3. Savings

All proceedings pending, and all rights and liabilities existing, acquired or incurred, at the time this Ordinance takes effect, are hereby saved. Such proceedings may be consummated under and according to the ordinance in force at the time such proceedings were commenced. This ordinance shall not be construed to alter, affect, or abate any pending prosecution, or prevent prosecution hereafter instituted under any ordinance specifically or impliedly repealed or amended by this ordinance adopting this penal regulation, for offenses committed prior to the effective date of this ordinance; and new prosecutions may be instituted and all prosecutions pending at the effective date of this ordinance may be continued, for offenses committed prior to the effective date of this ordinance, under and in accordance with the provisions of any ordinance in force at the time of the commission of such offense.

Section 4. Severability Clause

Should any word, phrase, sentence, paragraph or section of this Ordinance be held invalid or unconstitutional, the remaining provision of this ordinance shall remain in full force and effect.

Section 5. Effective Date

This amendment to the Zoning Ordinance shall take effect seven (7) days after publication, which shall be published within 15 days of adoption, as required the Michigan Zoning Enabling Act (Act 110 of 2006).

This Ordinance is enacted by the Council of the City of Troy, Oakland County, Michigan, at a regular meeting of the City Council held at City Hall, 500 W. Big Beaver, Troy, MI, on the _____ day of _____, 2015.

Dane Slater, Mayor

Aileen Dickson, City Clerk

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