



**PLANNING COMMISSION
MEETING AGENDA
REGULAR MEETING**

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Donald Edmunds, Chair, Tom Krent, Vice Chair
Ollie Apahidean, Karen Crusse, Carlton M. Faison, Michael W. Hutson
Padma Kuppa, Philip Sanzica and John J. Tagle

March 8, 2016

7:00 P.M.

Lower Level Conference Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – February 23, 2016
4. PUBLIC COMMENT – For Items Not on the Agenda

PRELIMINARY SITE PLAN REVIEWS

5. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0004) – Proposed Eddie V's Prime Seafood Restaurant, North side of Big Beaver, West of Crooks between Lakeview and Alpine, Section 20, Currently Zoned BB (Big Beaver) District

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

6. PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2016-0005) – Proposed K-9 Club, North side of Maple, West of Rochester between Eastport and Westwood, Section 27, Currently Zoned MR (Maple Road) District

OTHER BUSINESS

7. APPLICATION TO DE-LIST 3645 CROOKS
8. PUBLIC COMMENT – Items on Current Agenda
9. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Edmunds called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on February 23, 2016 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Ollie Apahidean
Karen Crusse
Donald Edmunds
Carlton M. Faison
Tom Krent
Padma Kuppa
Philip Sanzica

Absent:

Michael W. Hutson
John J. Tagle

Also Present:

R. Brent Savidant, Planning Director
Ben Carlisle, Carlisle Wortman Associates
Allan Motzny, Assistant City Attorney
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2016-02-014

Moved by: Crusse
Support by: Krent

RESOLVED, To approve the Agenda as prepared.

Yes: All present (7)
Absent: Hutson, Tagle

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2016-02-015

Moved by: Kuppa
Support by: Apahidean

RESOLVED, To approve the minutes of the February 9, 2016 Regular meeting as submitted.

Yes: All present (7)
Absent: Hutson, Tagle

MOTION CARRIED

4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

5. ZONING BOARD OF APPEALS (ZBA) REPORT

Mr. Sanzica reported there was no Zoning Board of Appeals (ZBA) meeting in February.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

Mr. Savidant reported there was no Downtown Development Authority (DDA) meeting in February.

7. PLANNING AND ZONING REPORT

Mr. Savidant addressed the March 8, 2016 Planning Commission meeting agenda.

SITE CONDOMINIUM DEVELOPMENT REVIEW

8. PRELIMINARY SITE PLAN REVIEW (File Number JPLN2015-0016) – Proposed Estates at Willowbrook, 28 units/lots, East side of John R, South of Wattles, Section 24, Currently Zoned R-1C (One Family Residential) District

Mr. Carlisle addressed the changes provided by the applicant and recommended approval of the Preliminary Site Plan application. He also addressed a written comment from resident Paul Leitheiser of 3897 Wayfarer relating to the 25 foot buffer.

The applicant Joseph Maniaci was present.

Chair Edmunds opened the floor for public comment.

Michael Renner of 3875 Wayfarer posed questions with respect to the Dexter Street connection to Wattles Square subdivision.

Chair Edmunds closed the floor.

Mr. Savidant told Mr. Renner the City’s Traffic Engineer would be able to answer his questions about Dexter Street and offered to arrange contact with the Traffic Engineer.

Resolution # PC-2016-02-016

Moved by: Sanzica

Support by: Krent

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Estates at Willowbrook Site Condominium, 28 units/lots, East side of John R, South of Wattles, Section 24, Currently Zoned R-1C (One Family Residential) District, be granted.

Yes: All present (7)
 Absent: Hutson, Tagle

MOTION CARRIED

PRELIMINARY SITE PLAN REVIEW

9. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0003) – Proposed Trevco Industrial Building Addition, East side of Stephenson, North of Maple, Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle reported on the Preliminary Site Plan application for an addition to the Trevco Industrial Building. Mr. Carlisle specifically addressed parking. He identified minor site plan issues that could be addressed at Final Site Plan review, but noted the Planning Commission could ask the applicant to address the items prior to granting Preliminary Site Plan approval.

Iliia Marko of Serra-Marko & Associates was present to represent the applicant. Mr. Marko said there would be no problem complying with the issues identified in the Planning Consultant report. He addressed the operation of the business and the construction of the addition with quality building materials.

Chair Edmunds opened the floor for public comment. There was no one present; the floor was closed.

There was discussion on:

- Parking calculations.
- Parking reduction.
- Future use of property.
- Outstanding site plan issues.

Resolution # PC-2016-02-

Moved by: Krent
 Support by: Faison

RESOLVED, The Planning Commission hereby approves the parking lot screening deviation as indicated on Landscape Plan.

BE IT FURTHER RESOLVED, The Planning Commission hereby approves a parking space deviation of 10 spaces, bringing the total spaces provided to 74 spaces when 84 spaces are required by Zoning Ordinance.

BE IT FINALLY RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Trevco Industrial Building Addition, located on the east side of Stephenson Highway, North of Maple (1900 Stephenson), Section 26, within the IB District, be granted, subject to the following:

1. Provide missing information identified in the Planning Consultant report dated February 12, 2016 prior to Final Site Plan approval.

Discussion on the motion on the floor.

The applicant was asked if he would consider additional landscaping.

Mr. Marko said the detention pond in the rear was cleaned and a minimum of five trees remain. He indicated adding more trees would be no problem.

Resolution #PC-2016-02-017

Moved by: Krent
Support by: Kuppa

RESOLVED, To amend the motion on the floor to condition approval on the applicant working with staff to increase the landscaping on site.

Yes: All present (7)
Absent: Hutson, Tagle

MOTION CARRIED

Resolution # PC-2016-02-018 (as amended)

Moved by: Krent
Support by: Faison

RESOLVED, The Planning Commission hereby approves the parking lot screening deviation as indicated on Landscape Plan.

BE IT FURTHER RESOLVED, The Planning Commission hereby approves a parking space deviation of 10 spaces, bringing the total spaces provided to 74 spaces when 84 spaces are required by Zoning Ordinance.

BE IT FINALLY RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Trevco Industrial Building Addition, located on the east side of Stephenson Highway, North of Maple (1900 Stephenson), Section 26, within the IB District, be granted, subject to the following:

1. Provide missing information identified in the Planning Consultant report dated February 12, 2016 prior to Final Site Plan approval.
2. Applicant to work with staff to increase the landscaping on site.

Yes: All present (7)
Absent: Hutson, Tagle

MOTION CARRIED

OTHER BUSINESS

10. CONDITIONAL REZONING APPLICATION (File Number CR JPCR2016-001) – Proposed Andale Commons, North side of Big Beaver, East of Livernois, between Troy and Frankton, Section 22, From R1-E (One Family Residential) District to BB (Big Beaver) District

Mr. Carlisle gave a cursory review of the conceptual site plan and conditional rezoning application.

Present were the applicant Keith Rogers of RDA and Project Engineer James Butler of Professional Engineers Associates.

There was discussion on:

- Required setbacks; site utilities along Frankton.
- Pedestrian spine/connection.
- Rendering, building materials and outdoor patio.
- Stormwater management.
- Mechanical room location.
- Parking, drive aisle in rear.
- Adjacent and neighboring residents.

11. CONDITIONAL REZONING APPLICATION (File Number CR JPCR2016-002) – Proposed IHOP Restaurant and Retail, East side of Rochester, North of Big Beaver (1033 Urbancrest, 3132 Rochester), 3130-3142 Rochester), Section 23, From R-1E (One Family Residential) District to GB (General Business) District

Mr. Carlisle gave a cursory review of the conceptual site plan and conditional rezoning application.

The applicant John Baker of Brand Growth Inc. was present.

There was discussion on:

- Reuse of two existing buildings on site.
- IHOP restaurant.
 - Build-out specific to Troy location
 - Parking
 - Seating capacity
 - Restaurant locations in Southeast Detroit area
 - Quality construction materials; limestone, walnut planking
- Drive-through restaurant.
 - Speculative, no set user to date
- Gateway to Rochester Road.
 - Set tone for future developments
- Stormwater management.

12. PUBLIC COMMENT – Items on Current Agenda

There was no one present who wished to speak.

13. PLANNING COMMISSION COMMENT

There were general Planning Commission comments.

The Regular meeting of the Planning Commission adjourned at 8:55 p.m.

Respectfully submitted,

Donald Edmunds, Chair

Kathy L. Czarnecki, Recording Secretary

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DATE: March 4, 2016

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0004) – Proposed Eddie V's Prime Seafood Restaurant, North side of Big Beaver, West of Crooks between Lakeview and Alpine, Section 20, Currently Zoned BB (Big Beaver) District

The petitioner Florida SE Inc submitted the above referenced Preliminary Site Plan application for a proposed Eddie V's restaurant.

The property is currently zoned BB (Big Beaver) Zoning District. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP JPLN 2016-0004 Eddie V's Prime Seafood Restaurant Sec 20\SP-JPLN 2016-0004 PC Memo 2016 03 08.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0004) – Proposed Eddie V’s Prime Seafood Restaurant, North side of Big Beaver, West of Crooks between Lakeview and Alpine, Section 20, Currently Zoned BB (Big Beaver) District

Resolution # PC-2016-03-

Moved by:

Seconded by:

RESOLVED, The Planning Commission hereby approves a parking space deviation of 5 spaces, bringing the total spaces provided to 131 spaces when 136 spaces are required by Zoning Ordinance.

BE IT FINALLY RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Eddie V’s Prime Seafood Restaurant, located on the north side of Big Beaver and west of Crooks, Section 20, within the BB (Big Beaver) District, be granted, subject to the following:

1. Pull the patio and overhang over the patio to within 30-feet of Big Beaver.
2. Integrate more of the vertical column elements into the porte cochere to better screen the vehicular drop-off area.
3. Provide an additional street tree along Alpine ROW.
4. Provide detail of masonry wall.
5. Provide required landscape transition.
6. Screen transformer.
7. Provide transparency calculation.
8. Consider alternative material than EIFS for primary exterior material along Alpine and Big Beaver.
9. Provide detail of bollard fixtures.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED

Eddie V's, 2100 W Big Beaver

City of Troy Planning Department



Legend:

- Aerial
- Red: Band_1
- Green: Band_2
- Blue: Band_3

250 0 125 250 Feet

Scale 1: 1,500

Eddie V's, 2100 W Big Beaver

City of Troy Planning Department



Legend:

Form Based Zoning 2

- (PUD) Planned Unit Development; (PUD-14) Development #14
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Aerial

- Red: Band_1
- Green: Band_2
- Blue: Band_3

467 0 233 467 Feet

Scale 1: 2,800

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 2/10/2016



CARLISLE

WORTMAN
associates, inc.

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(734) 662-1935 Fax

March 1, 2016

Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Frank Carrera – Florida SE Inc.
Project Name:	Eddie V’s Prime Seafood
Plan Date:	February 5, 2016
Location:	North side of Big Beaver Road, west of Alpine Road
Zoning:	BB, Big Beaver Form-based district
Action Requested:	Preliminary Site Plan Approval

PROJECT AND SITE DESCRIPTION

We received a site plan and accompanying documents for a proposed commercial development on the north side of Big Beaver Road, west of Alpine Road. The 2.26 acre parcel is currently developed as a multi-tenant office building.

The applicant is proposing to demolish the existing three-story multi-tenant office building and construct a 9,941 square feet free-standing Eddie V’s Prime Seafood restaurant. This will be the franchise’s first location in Michigan. Access to the site will be via the existing curb cut off Big Beaver Road, and a relocated curb cut from Alpine Road.

The property is zoned Big Beaver Form-Based District. The proposed development and use are by-right and require Site Plan Review approval from the Planning Commission.

Location of Subject Property:

North side of Big Beaver Road, west of Alpine Road

Proposed Uses of Subject Parcel:

Eddie V's Prime Seafood

Current Use of Subject Property:

Office Building

Current Zoning:

The property is currently zoned Big Beaver Form Based Code, site type C



Direction	Zoning	Use
North	R-1B, One Family Residential	Vacant
South	BB, Big Beaver Form Based	Office / Commercial
East	PUD #4	Office
West	BB, Big Beaver Form Based	DTE Substation / Office

MASTER PLAN

The site is located within the Big Beaver Corridor district in the Troy 2008 Master Plan. The intent of the Big Beaver District is to have ground level spaces front on Big Beaver occupied by shops, entertainment, restaurant, and similar uses that stimulate interest and activity. The upper-level floors should be occupied by office and residential uses. The intent for future development along Big Beaver is building from lot line to lot line that incorporates vertically integrated mixed-use commercial, office and residential towers.

We discussed a mix-use development or multiple buildings on this site but the applicant noted that due to the size requirements of the Eddie V's restaurant and required parking, the site was not sufficient size to accommodate additional development. Though the applicant is not providing a second story, they are incorporating a unique two-story entry feature along the south (front) building elevation. The development is consistent with the Master Plan.

Items to be Addressed: None.

BUILDING ORIENTATION AND OVERALL SITE LAYOUT

The proposed development is replacing an existing three-story multi-tenant office building. The removal of the existing building and placement along Big Beaver Road brings the site into conformance with the Big Beaver Form Based District. All parking is located in the rear or to the side of the building and screened from Big Beaver Road. The existing access point of Big Beaver Road will remain, and the existing curb cut along Alpine Road will be relocated further to the north.

Items to be Addressed: None

SITE ACCESS and CIRCULATION

Access to the site is provided via the existing curb cut of Big Beaver, and a relocated curb cut from Alpine Road. We note the relocation of the Alpine Road curb cut will provide for its placement in-between the two existing drives to the neighboring property across Alpine Road. The Engineering Department will review the proposed curb-cut locations.

Internal circulation accommodates two-way vehicular movements. Pedestrian access is provided via the existing walk along Big Beaver, a proposed 5-foot wide walk along the Alpine Road ROW, and internal pedestrian connections linking the public sidewalks, parking lot, and proposed restaurant building.

Items to be Addressed: Engineering Department to review curb location on Alpine.

AREA, WIDTH, HEIGHT, SETBACKS

The site is being developed with a Building Form A building. Building Form A is a permitted building form for Site Type C. Table 5.03.B1 establishes the dimensional requirements for the building form A:

	Required / Allowed	Provided	Compliance
Front (Big Beaver)	10 foot build-to-line	10 feet (porte cochere) 31.58 feet (to patio) 47 feet (to building)	Not in Compliance
Front (Alpine)	10 foot build-to-line	26 feet	Requires Planning Commission Approval
Rear	30 foot minimum	144 feet	Complies
Side	0 foot	184 feet (west)	Complies
Required Open Space (building coverage)	30 percent	Over 30%	Compliant
Building Height	Minimum 14 feet Maximum 45 feet	32 feet	Complies
Parking	Big Beaver: Not located in front yard and screening	Not located in front yard and screened	Complies

The porte cochere is located at the 10-foot build-to-line; however, the patio/overhang is located outside the 30-foot build-to-line. To meet the Big Beaver form-base requirement, the applicant needs to pull the patio and overhang over the patio to within 30-feet of Big Beaver.

In addition, the applicant should integrate more of the vertical column elements into the porte cochere to better screen the vehicular drop-off area.

Items to be Addressed: 1) Pull the patio and overhang over the patio to within 30-feet of Big Beaver; and 2) Integrate more of the vertical column elements into the porte cochere to better screen the vehicular drop-off area.

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
1 space per 2 seats	272 seats = 136 spaces	131 spaces
Barrier Free	5	5
Bicycle Parking	2	8

Loading	0	0
Total	136 automobile + 2 bicycle	131 spaces + 8 bicycle

The applicant is five (5) spaces short of the required 136 spaces. The applicant will need to request a deviation in the parking requirements as provided in Section 13.06 G.

Items to be Addressed: Request deviation in minimum required parking spaces.

LANDSCAPING/HARDSCAPE BIG BEAVER

The applicant has provided a landscape plan. Fifty-five (55) Red Sentinel Astlibe (AJ) are listed on the plant list; however, 45 AJ plantings are depicted on the landscape plan.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>(Big Beaver) Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	300 feet = 10 trees	10 (existing)	Complies
<u>(Alpine) Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	328 feet = 11 trees	10 (proposed)	Not in Compliance
<u>Site landscaping:</u> A minimum of fifteen (15%) of the site area shall be comprised of landscape material. Up to twenty-five percent (25%) of the required landscape area may be brink, stone, pavers, or other public plaza elements, but shall not include any parking area or required sidewalks.	15%	29%	Compliance
<u>Interior Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	131 spaces = 17 trees	18 (3 trees are planted along parking lot edge)	Compliant with Planning Commission approval.
<u>Perimeter Parking Lot Landscaping:</u> Parking lots that front on a public roadway shall be screened by a landscaped berm at least three (3) feet in height along the perimeter of the road right-of-way. Alternative landscape plantings or a solid wall that does not exceed three (3) feet in height may be approved, where it is found that space limitations or visibility for	Berm or solid wall with alternative landscape plantings	30" tall masonry wall with hedge row. (Detail of masonry wall not included in plan set)	Complies

vehicular circulation prevent construction of a landscape berm.			
<u>Landscape buffering.</u> Required buffering between two differentiating land uses. Alternative 2, 3, or Wall required	1 large evergreen every 10 feet; 1 narrow evergreen every 5 feet, or wall	Mix of shrubs and juniper	Not compliant

Applicant is to provide the required landscape transition between site and residential zoned property to the north.

Transformer / Trash Enclosure:

The trash enclosure area is located along the northern building elevation as part of the principal structure. A transformer is located east of the refuse room area. No screening is demonstrated around the proposed transformer.

Items to be Addressed: 1). Provide an additional street tree along Alpine ROW. 2). Provide detail of masonry wall; 3). Provide required landscape transition; and 4) Screen transformer.

FLOOR PLAN AND ELEVATIONS

The applicant has submitted floor plans and elevations. The architecture appears to comply with the Big Beaver Form Based District standards including the use of projections, façade articulation and fenestration and windows. However, the applicant should provide a transparency calculation. In addition, EIFS is demonstrated as a primary material and should only be used as an accent material. The applicant should consider an alternative material other than EIFS for the Big Beaver and Alpine Elevations.

We have requested that the applicant 3-D modeling of the site in context with Big Beaver and Alpine. Additionally, we have requested that the applicant submit samples, swatches, or manufacturer’s specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including the proposed masonry wall.

Items to be Addressed: 1). Provide transparency calculation; 2). Consider alternative material than EIFS for primary exterior material along Alpine and Big Beaver. 3). Provide 3D model; and 4). Submit samples, swatches, or manufacturer’s specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including masonry wall.

LIGHTING

A lighting and photometric plan is provided on Sheet C7. Nine (9) double-fixture pole-mounted lights are proposed within the parking lot, and three (3) bollard fixtures are provided along the pedestrian connection from Big Beaver Road.

Illumination levels and proposed pole fixtures meet the requirements outlined in Section 13.05. Detail of the bollard fixtures has not been provided.

Items to be Addressed: *Provide detail of bollard fixtures.*

DESIGN STANDARDS

The Big Beaver design standards provide the Planning Commission with direction when reviewing the proposed design features of this development.

Façade Variation.

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet.

Through the use of projections, façade articulation and fenestration, the building complies with this standard.

Pedestrian Access / Entrance.

- a. *Primary Entrance: The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street.*

There is a door directly fronting and assessable from Big Beaver.

- b. **Pedestrian Connection.** The pedestrian connection shall be fully paved and maintained surface not less than five (5) feet in width.

The applicant has provided significant improvements to the pedestrian realm along Big Beaver.

- c. **Additional Entrances.** In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance.

Complies

Ground Story Activation.

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.

Through windows, doors, varying wall design, and the outdoor dining area, it appears that transparency requirement has been met along both Big Beaver and Alpine Road. A transparency calculation should be provided.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Applicant has not provided the required landscape buffer.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.*

The applicant is deficient five (5) parking spaces. See parking section of this report.

- b. *Location.*

- I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

All the parking is located to the rear or side of the building and complies with parking location requirements.

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Complies

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.*

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

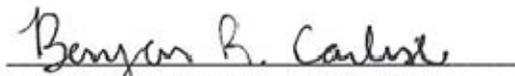
Complies. However, detail of the proposed 30" tall masonry wall has not been provided.

Items to be Addressed: Address site plan comments

SUMMARY OF FINDINGS

We support the development of this site, and find that the building will add architectural interest to the corridor. However, there are a number of minor issues that should be addressed prior to preliminary site plan approval:

- 1) Pull the patio and overhang over the patio to within 30-feet of Big Beaver.
- 2) Integrate more of the vertical column elements into the porte cochere to better screen the vehicular drop-off area.
- 3) Receive deviation in minimum required parking spaces.
- 4) Provide an additional street tree along Alpine ROW.
- 5) Provide detail of masonry wall.
- 6) Provide required landscape transition.
- 7) Screen transformer.
- 8) Provide transparency calculation.
- 9) Consider alternative material than EIFS for primary exterior material along Alpine and Big Beaver.
- 10) Provide 3D model.
- 11) Submit samples, swatches, or manufacturer's specification sheets of the predominant proposed exterior materials and colors of all buildings and permanent structures, including masonry wall.
- 12) Provide detail of bollard fixtures.



CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, AICP, LEED AP

Principal

#225-1606

Cc: Frank Carrera via fcarrera@arden.com
Charles Whittall via chuck@unicorpusa.com

GENERAL SURVEY NOTES:

- BEARINGS WERE ESTABLISHED FROM THE PLAT OF "MUR'S GARDEN FARMS", AS RECORDED IN LIBER 15 OF PLATS, PAGE 45, OAKLAND COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
- ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS. (NAV88 DATUM)

SITE BENCHMARKS (NAV88 DATUM OR NAV029 DATUM):
 -BM #200 = ARROW ON HYDRANT, W/S ALPINE STREET, 72'± SOUTH OF EXISTING ENTRANCE TO BUILDING #2100. ELEV.=736.73
 -BM #202 = SET NAIL/BOSS TAG E/S P. POLE AT NE CORNER OF DETROIT EDISON BUILDING #220. ELEV.=736.88
 -BM #203 = "X" ON THE NE SIDE OF CONC. BASE OF L. POLE, W/S ALPINE ST., 122'± NORTH OF EXISTING ENTRANCE TO BUILDING #2100. ELEV.=736.76

- CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
- ALL ELEVATIONS ARE SHOWN AT THE NEAREST 0.01 FOOT; HOWEVER SOFT-SURFACE ELEVATIONS CAN ONLY BE PRESUMED ACCURATE TO THE NEAREST 0.1 FOOT.
- THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAWINGS SUPPLIED BY THE TOWNSHIP OF CANTON.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
- ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-482-7171.

DESCRIPTION OF TAX PARCEL NO. 20-20-401-024 PER FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NCS-700249-NICH, REVISION NO. 1, WITH AN EFFECTIVE DATE OF OCTOBER 27, 2014 AT 8:00 A.M.:

Real property in the City of Troy, County of Oakland, State of Michigan, described as follows:
 Lot 1, EXCEPT the South 42 feet; Lot 2, EXCEPT the South 42 feet; and all of Lot 3, Muer's Garden Farms, according to the recorded plat as recorded in Liber 15, Page 45 of Plats, Oakland County Records.

DESCRIPTION OF TAX PARCEL NO. 20-20-401-020 PER COMMONWEALTH LAND TITLE INSURANCE COMPANY AND FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 15-107324, WITH AN EFFECTIVE DATE OF FEBRUARY 23, 2015 AT 8:00 A.M.:

Land situated in the City of Troy, County of Oakland, State of Michigan

Lot 4, Muer's Garden Farms, according to Plat thereof as recorded in Liber 15 of Plats, Page 45, Oakland County Records.

TAG #	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SAVE/REMOVE
281	Malus	Crabapple	3 4 4 5	Good	SAVE
282	Acer rubrum	Red Maple	10	Good	REMOVE
283	Acer rubrum	Red Maple	8	Good	SAVE
284	Acer rubrum	Red Maple	8	Good	SAVE
285	Acer rubrum	Red Maple	5	Good	SAVE
286	Acer rubrum	Red Maple	8	Good	SAVE
287	Malus	Crabapple	4	Good	REMOVE
288	Malus	Crabapple	4	Good	SAVE
289	Malus	Crabapple	4	Good	SAVE
290	Taxodium distichum	Bald Cypress	7	Good	REMOVE
291	Taxodium distichum	Bald Cypress	8	Good	REMOVE
292	Taxodium distichum	Bald Cypress	5	Good	REMOVE
293	Pyrus calleryana	Callery Pear	6	Good	REMOVE
295	Picea abies	Norway Spruce	10	Good	REMOVE
296	Picea glauca	White Spruce	8	Good	REMOVE
297	Picea abies	Norway Spruce	11	Good	REMOVE
298	Pinus strobus	White Pine	9 11	Good	REMOVE
299	Viburnum lentago	Nannyberry	4	Good	REMOVE
400	Malus	Crabapple	4	Good	SAVE
401	Picea abies	Norway Spruce	11	Good	REMOVE
402	Picea abies	Norway Spruce	11	Good	REMOVE
403	Acer rubrum	Red Maple	10	Good	REMOVE
404	Malus	Crabapple	2 3 3 4	Good	REMOVE
405	Asimina triloba	Pawpaw	2 3 4	Good	REMOVE
406	Acer saccharinum	Silver Maple	32	Good	SAVE
407	Acer ginnala	Amur Maple	4 5 5 6	Good	SAVE
408	Malus	Crabapple	4	Good	SAVE
409	Ulmus americana	American Elm	11	Good	SAVE
410	Ulmus pumila	Siberian Elm	8	Poor	SAVE
411	DEAD	DEAD	X	DEAD	DEAD
412	Ulmus americana	American Elm	5	Good	SAVE
413	Ulmus americana	American Elm	8	Good	SAVE
414	Ulmus pumila	Siberian Elm	19	Good	SAVE
415	Ulmus americana	American Elm	21	Good	SAVE
416	Acer saccharinum	Silver Maple	6	Good	SAVE
417	Populus deltoides	Cottonwood	11	Good	SAVE
418	Ulmus americana	American Elm	24	Good	SAVE
419	Ulmus pumila	Siberian Elm	15	Good	SAVE
420	Populus deltoides	Cottonwood	20	Good	SAVE
421	Populus deltoides	Cottonwood	12	Good	SAVE
422	Ulmus americana	American Elm	14	Good	SAVE
423	Acer negundo	Box elder	8	Good	SAVE
424	Populus deltoides	Cottonwood	11	Good	SAVE
425	Ulmus americana	American Elm	9	Good	SAVE
426	Populus deltoides	Cottonwood	9	Good	SAVE
427	Populus deltoides	Cottonwood	13 13	Good	SAVE
428	Populus deltoides	Cottonwood	12	Good	SAVE
429	Acer saccharinum	Silver Maple	5	Good	SAVE
430	Populus deltoides	Cottonwood	20	Good	SAVE
431	Acer negundo	Box elder	8	Good	SAVE
432	Acer saccharinum	Silver Maple	5 6 8 8	Good	SAVE
433	Populus deltoides	Cottonwood	22	Good	SAVE
434	Populus deltoides	Cottonwood	19	Good	SAVE
435	Juglans nigra	Black Walnut	8	Good	SAVE
436	Acer negundo	Box elder	4 8	Good	SAVE
437	Acer negundo	Box elder	8	Good	SAVE
438	Populus deltoides	Cottonwood	13	Good	SAVE
439	Juglans nigra	Black Walnut	4 7 8	Good	SAVE
440	Acer negundo	Box elder	5	Good	SAVE
441	Acer negundo	Box elder	7	Good	SAVE
442	Populus deltoides	Cottonwood	12	Good	SAVE
443	Ulmus pumila	Siberian Elm	10	Good	SAVE
444	Ulmus pumila	Siberian Elm	9	Good	SAVE
445	Ulmus pumila	Siberian Elm	5 7	Good	SAVE
446	Acer negundo	Box elder	8	Good	SAVE
447	Acer negundo	Box elder	6	Good	SAVE
448	Ulmus pumila	Siberian Elm	17	Good	SAVE
449	Ulmus pumila	Siberian Elm	13	Good	SAVE
450	Populus deltoides	Cottonwood	12	Good	SAVE
451	Acer negundo	Box elder	9	Poor	SAVE
452	Acer negundo	Box elder	10	Good	SAVE
453	Ulmus pumila	Siberian Elm	14	Good	SAVE
454	Acer negundo	Box elder	10	Good	SAVE
455	Acer negundo	Box elder	13	Good	SAVE
456	Ulmus pumila	Siberian Elm	18	Good	SAVE
457	Acer negundo	Box elder	6	Good	SAVE
458	Betula	Birch sp.	9	Good	SAVE
459	Prunus serotina	Black Cherry	4 5	Good	SAVE
460	Populus deltoides	Cottonwood	20	Good	SAVE
461	Ulmus pumila	Siberian Elm	12 13	Good	SAVE
462	Juglans nigra	Black Walnut	4	Good	SAVE
463	Acer negundo	Box elder	11 12	Good	SAVE
464	Acer negundo	Box elder	6	Good	SAVE
465	Acer negundo	Box elder	7	Good	SAVE
466	Acer negundo	Box elder	13	Good	SAVE
467	Ulmus americana	American Elm	10	Good	SAVE
468	Ulmus americana	American Elm	6	Good	SAVE
469	Acer negundo	Box elder	5	Good	SAVE
470	Ulmus pumila	Siberian Elm	12	Good	SAVE
471	Acer negundo	Box elder	5	Good	SAVE
472	Acer negundo	Box elder	8	Good	SAVE
473	Populus deltoides	Cottonwood	26	Good	SAVE
474	Ulmus americana	American Elm	4 9	Good	SAVE
475	Populus deltoides	Cottonwood	10	Good	SAVE
476	Populus deltoides	Cottonwood	12	Good	SAVE
477	Ulmus pumila	Siberian Elm	10	Good	SAVE
478	Ulmus pumila	Siberian Elm	14	Good	SAVE
479	Populus deltoides	Cottonwood	14	Good	SAVE
480	Populus deltoides	Cottonwood	13	Good	SAVE
481	Populus deltoides	Cottonwood	14	Good	SAVE
482	Populus deltoides	Cottonwood	8	Good	SAVE
483	Ulmus pumila	Siberian Elm	9	Good	SAVE
484	Acer negundo	Box elder	8	Good	SAVE
485	Populus deltoides	Cottonwood	12	Good	SAVE
486	Populus deltoides	Cottonwood	18	Good	SAVE
487	Robinia pseudacacia	Black Locust	14	Good	SAVE
488	Juglans nigra	Black Walnut	14	Good	SAVE
489	Juglans nigra	Black Walnut	13	Good	SAVE
490	Acer negundo	Box elder	8	Good	SAVE
491	Acer negundo	Box elder	9	Good	SAVE
492	Ulmus americana	American Elm	4	Good	SAVE
493	Acer negundo	Box elder	8	Good	SAVE
494	Acer negundo	Box elder	6	Good	SAVE

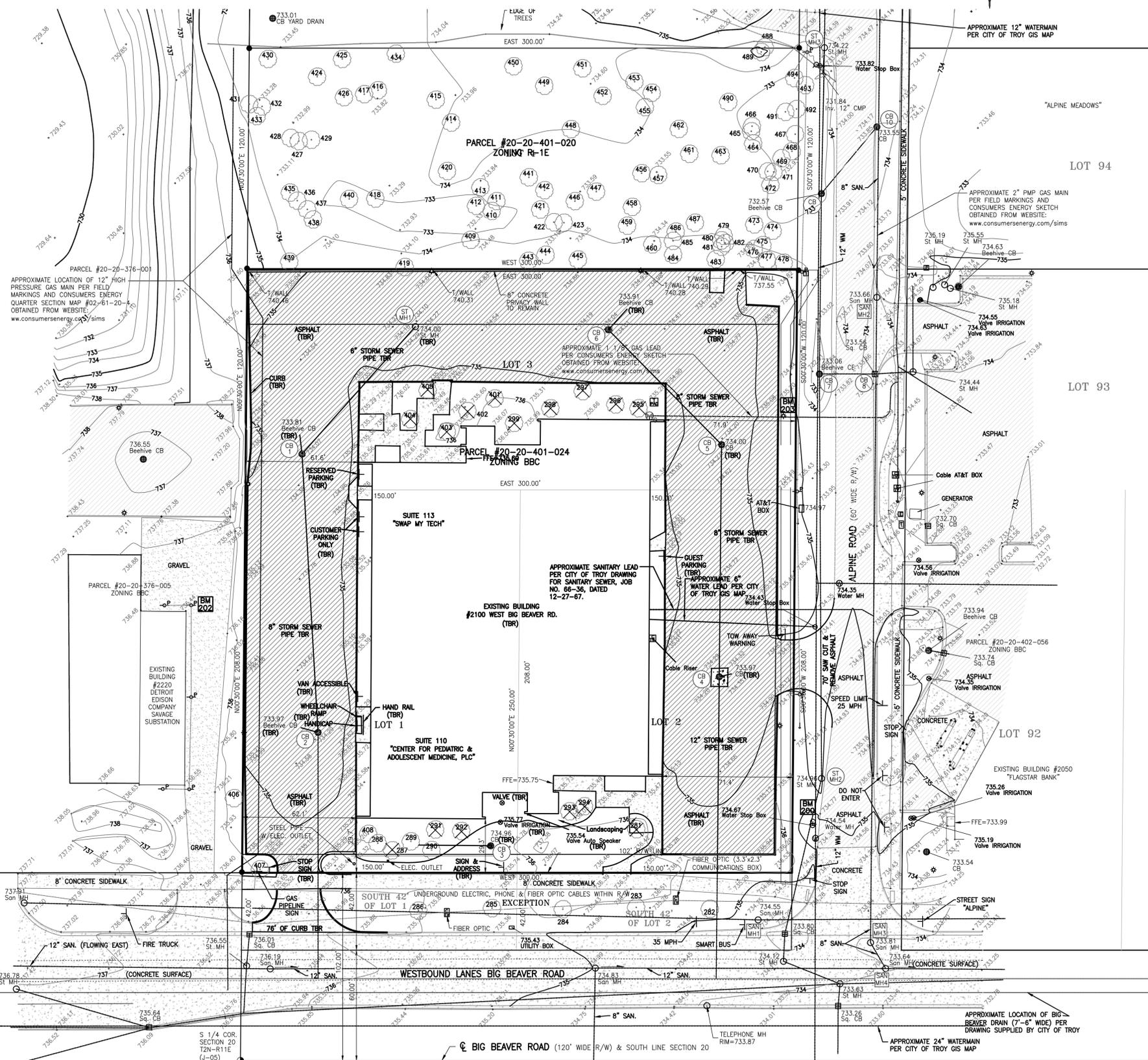
SANITARY STRUCTURE INVENTORY:

Sanitary Manhole #1
 Rim=734.55
 Inv. W=715.41 (12" Conc)
 Inv. E=715.41 (12")

Sanitary Manhole #2
 Rim=733.68
 Inv. N=720.31 (8")
 Inv. S=720.21 (8")

Sanitary Manhole #3
 Rim=733.81
 Inv. N&S=718.20 (8")

Sanitary Manhole #4
 Rim=733.64
 Inv. N=718.11 (8")
 Inv. E&W=718.39 (12") (FLOWING EAST)



LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- POWER POLE
- GUY WIRE
- TRANSFORMER PAD
- ELECTRICAL RISER
- U.G. ELECTRIC MARKER
- ELECTRICAL METER
- AIR CONDITIONING UNIT
- LIGHT POLE
- HYDRANT
- GATE VALVE
- WATER MANHOLE
- MANHOLE
- STORM CATCH BASIN (BEEHIVE)
- STORM CATCH BASIN (SQUARE)
- STORM INVERT
- TELEPHONE RISER
- U.G. TELEPHONE MARKER
- GAS METER
- GAS RISER
- U.G. GAS MARKER
- CABLE TV RISER
- U.G. CABLE TV MARKER
- SIGN
- TREE W/TAG #
- IRON SET
- IRON FOUND
- SECTION CORNER
- SANITARY SEWER
- WATER MAIN
- STORM SEWER
- GAS MAIN
- ELECTRIC
- TELEPHONE
- OVERHEAD WIRES
- FENCE
- CONC.
- CONCRETE
- SAN MH
- SANITARY MANHOLE
- ST MH
- SANITARY MANHOLE
- C
- CENTERLINE
- L
- LIBER
- P
- PAGE
- O.C.R.
- OAKLAND COUNTY RECORDS
- (R&M)
- RECORD AND MEASURED

STORM STRUCTURE INVENTORY:

Storm Manhole #1 (TBR)
 Rim=734.00
 Inv. SW=730.70 (6")

Storm Catch Basin #1 (TBR)
 Rim=733.81
 Inv. NE=729.31 (6")
 Inv. S=729.26 (8")

Storm Catch Basin #2 (TBR)
 Rim=733.97
 Inv. N=727.32 (8")
 12" Pipe with 90° elbow downward. T/Pipe=728.32

Storm Catch Basin #3 (TBR)
 Rim=734.96
 Inv. N=732.06 (60)
 8" Pipe with 90° elbow downward. T/Pipe=732.56

Storm Catch Basin #4 (TBR)
 Rim=733.97
 Inv. N=730.87 (6")
 12" Pipe with 90° elbow downward. T/Pipe=728.57

Storm Catch Basin #5 (TBR)
 Rim=734.00
 Inv. NW=729.37 (8")
 Inv. S=729.37 (12")

Storm Catch Basin #6 (TBR)
 Rim=733.91
 Inv. SE=730.33 (8")

Storm Manhole #1
 Rim=734.96
 Inv. N=728.96 (12" Conc)
 Inv. S=727.83 (12" Conc)

Storm Catch Basin #7
 Rim=733.06
 Inv. N=729.96 (12" Conc)
 Inv. S=730.16 (12" Conc)
 Inv. E=731.06 (8" PVC)

Storm Catch Basin #8
 Rim=733.56
 Inv. W=730.86 (8" PVC)
 Inv. E=730.66 (12" Conc)

Storm Catch Basin #9
 Rim=732.57
 Bottom of structure=728.72 (Full of water & debris)
 Inv. N (12" Conc)
 Inv. S (12" Conc)
 Inv. NE (?)

Storm Catch Basin #10
 Rim=733.55
 Bottom of structure=728.70 (Full of water & debris)
 Inv. SW (?)

Storm Manhole #3
 Rim=734.22
 Inv. N=730.17 (12" Conc)
 Inv. S=730.02 (12" Conc)
 Inv. S=731.74 (12" CMP)

BEFORE YOU DIG
 1-800-482-7171

BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1670

FLORIDA SE INC.
 1000 GARDEN CENTER DRIVE
 ORLANDO, FL 32837
 407.245.4961

EDDIE V'S PRIME SEAFOOD

PROJECT: PREPARED FOR: TITLE:

DESIGNED BY: TE
 DRAWN BY: TE
 CHECKED BY:

SCALE 1" = 30'
 JOB NO. 16-017
 DATE 2-5-16
 SHEET NO. C2

NO. BY REVISION PER DATE

SITE DATA		
ZONING AREA	EXISTING/REQUIRED	PROPOSED
LOT WIDTH	98,396 S.F.	BBC (BIG BEAVER DISTRICT)
USE	N/A	2.26 ACRES
SETBACKS	COMMERCIAL/OFFICE	300'
FRONT	10'	RESTAURANT
SIDE	0'	
REAR	30'	
MAX. LOT COVERAGE	N/A	10.1% (9,941 S.F.)
BUILDING IMPERVIOUS	N/A	73.5% (72,331 S.F.)
PARKING		
RESTAURANT: 1 SPACE FOR EACH 2 SEATS (272 SEATS / 2 = 136 SPACES REQUIRED (INCLUDES 5 BARRIER FREE REQUIRED))		
PARKING PROVIDED: 131 SPACES (INCLUDES 5 BARRIER-FREE SPACES)		
PARKING SPACES DEFICIENT: 5		
BUILDING HEIGHT		
3 STORY (45 FEET)		1 STORY (32 FEET)
BUILDING AREA		
BUILDING		9,416 S.F.
PATIO		407 S.F.
TOTAL		9,823 S.F.



BEFORE YOU DIG
CALL 811
1-800-487-7171

3 Working Days
1-800-487-7171

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO ANY CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLAN.

BEBOSS
Engineering
Engineers, Surveyors, Planners, Landscape Architects

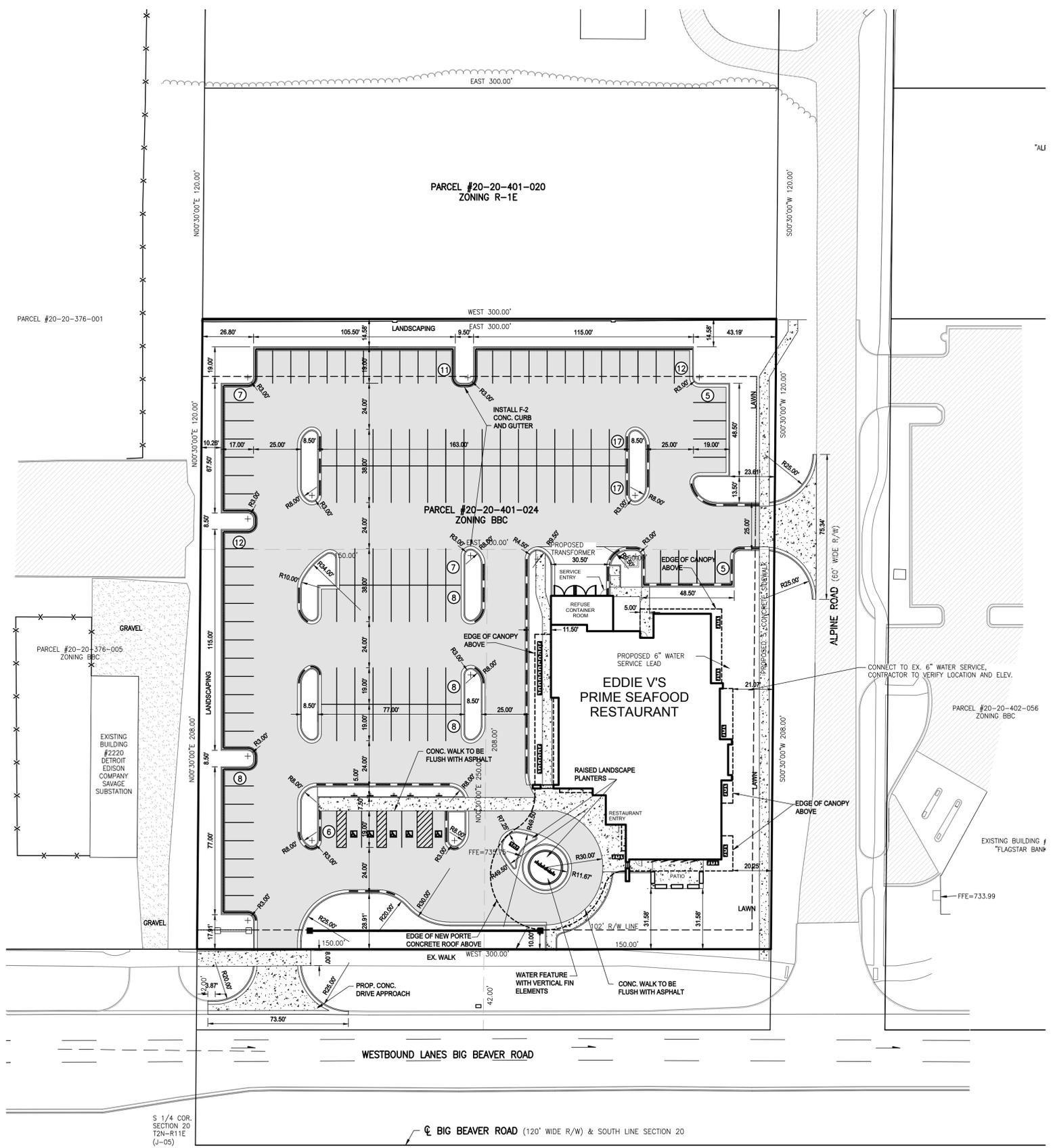
3121 E. GRAND RIVER AVE.
HOWELL, MI, 48843
800.246.6735 FAX 517.548.1670

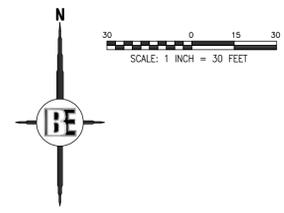
EDDIE V'S PRIME SEAFOOD
FLORIDA SE INC.
1000 GARDEN CENTER DRIVE
ORLANDO, FL 32837
407.245-4961

NO.	BY	REVISION	PER	DATE

DESIGNED BY: TE
DRAWN BY: TE
CHECKED BY:
SCALE: 1" = 30"
JOB NO. 16-017
DATE 2-5-16
SHEET NO. C3

LEGEND	
PROPOSED (PR)	EXISTING (EX)
000	900
T/C	XXXXXX
FF	FG
T/A	T/A
T/C	T/C
T/W	T/W
F/L	F/L
T/P	T/P
B/P	B/P
RIM	RIM
INV	INV
MH	MH
IN	IN
CB	CB
RY	RY
ES	ES
GV	GV
HY	HY
UP	UP
SN	SN
SL	SL
FM	FM
PS	PS
ST	ST
WM	WM
WL	WL
FO	FO
OH	OH
C	C
E	E
G	G
T	T
MANHOLE	MANHOLE
INLET / CATCHBASIN	INLET / CATCHBASIN
FLARED END-SECTION	FLARED END-SECTION
GATE VALVE	GATE VALVE
HYDRANT	HYDRANT
UTILITY POLE	UTILITY POLE
FENCE	FENCE
SIGN	SIGN
WETLAND BOUNDARY	WETLAND BOUNDARY
NO PARKING SIGN	NO PARKING SIGN
MODIFIED CURB & GUTTER	MODIFIED CURB & GUTTER
CONCRETE	CONCRETE
ASPHALT	ASPHALT





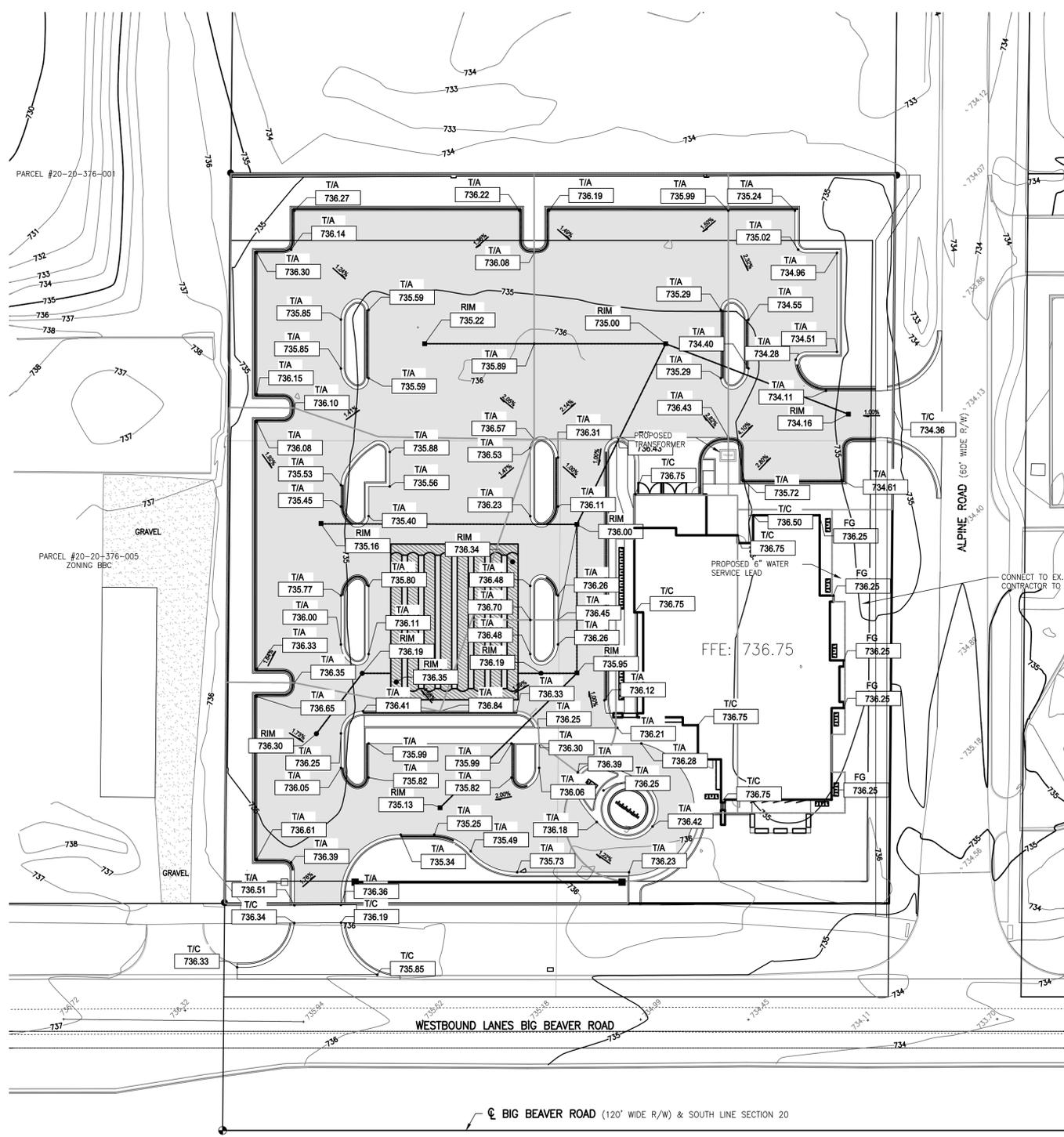
BEFORE YOU DIG
CALL 811
1-800-482-7171
www.811.com

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

PROJECT: **EDDIE V'S PRIME SEAFOOD**
PREPARED FOR: **FLORIDA SE INC.**
1000 DARDEN CENTER DRIVE
ORLANDO, FL 32837
407.245-4961
TITLE: **PRELIMINARY GRADING PLAN**

NO.	BY	REVISION	PER	DATE

DESIGNED BY: TE
DRAWN BY: TE
CHECKED BY:
SCALE 1" = 30'
JOB NO. 16-017
DATE 2-5-17
SHEET NO. **C4**



PROPOSED (PR)	EXISTING (EX)	LEGEND
900	900	CONTOUR
T/C	T/C	STORM DRAINAGE FLOW
XXX.XX	+ 922.08	SPOT ELEVATION
FF	FF	FINISHED FLOOR ELEVATION
FG	FG	FINISHED GRADE ELEVATION
T/A	T/A	TOP OF ASPHALT
T/C	T/C	TOP OF CURB / CONCRETE
T/W	T/W	TOP OF WALK
F/L	F/L	FLOW LINE
T/P	T/P	TOP OF PIPE
B/P	B/P	BOTTOM OF PIPE
RIM	RIM	RIM ELEVATION
INV	INV	INVERT ELEVATION
MH	MH	MANHOLE STRUCTURE
IN	IN	INLET STRUCTURE
CS	CS	CATCHBASIN STRUCTURE
RY	RY	REARYARD STRUCTURE
ES	ES	END-SECTION
GV	GV	GATEVALVE STRUCTURE
HY	HY	HYDRANT
UP	UP	UTILITY POLE
SN	SN	SANITARY SEWER
SL	SL	SANITARY LEAD
FM	FM	FORCE MAIN
PS	PS	PRESSURE SEWER
ST	ST	STORM SEWER
WM	WM	WATER MAIN
WL	WL	WATER LEAD
FO	FO	FIBER OPTIC
OH	OH	OVERHEAD WIRE
C	C	CABLE
E	E	ELECTRIC
G	G	GAS
T	T	TELEPHONE
○	○	MANHOLE
□	□	INLET / CATCHBASIN
⊕	⊕	FLARED END-SECTION
⊙	⊙	GATE VALVE
⊖	⊖	HYDRANT
⊕	⊕	UTILITY POLE
⊖	⊖	FENCE
⊕	⊕	SIGN
⊖	⊖	WETLAND BOUNDARY
⊕	⊕	NO PARKING SIGN
⊖	⊖	MODIFIED CURB & GUTTER
■	■	CONCRETE
■	■	ASPHALT

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY AND SHALL BE NURSERY GROWN. ALL SIZES AND MEASUREMENTS SHALL CONFORM TO ANSI Z60 STANDARDS. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEOUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF 12 INCHES AND BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
- PLANTING MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL FROM ON SITE, 1 PART PEAT, AND 5 POUNDS OF SUPERPHOSPHATE PER CUBIC YARD OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED TO A UNIFORM CONSISTENCY.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A 4 INCH LAYER OF SHREDDED BARK MULCH.
- ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
- EDGING, WHERE NOTED ON THE PLANS, SHALL BE BLACK ALUMINUM EDGING, 3/16" X 4". INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUEGRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4 INCH, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10 INCHES BY 18 INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36 HOURS AFTER CUTTING.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEEDING AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDING AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SODDED SHALL BE SEEDING AND MULCHED.
SEED MIXTURE SHALL BE AS FOLLOWS:
KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES: ADELPHI, RUGBY, GLADE OR PARADE) 30%
RUBY RED OR DAWSON RED FINE FESCUE 30%
ATLANTA RED FESCUE 20%
PENNFINE PERENNIAL RYE 20%
THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 POUNDS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL LAYER SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:
10% NITROGEN: A MINIMUM OF 25% FROM A UREA-FORMALDEHYDE SOURCE
0% PHOSPHATE
10% POTASH: SOURCE TO BE POTASSIUM SULFATE OR POTASSIUM NITRATE.
THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 POUNDS OF BULK FERTILIZER PER 1000 SQUARE FEET.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEEDING AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDING AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 4 INCH LAYER OF CLEAN, FRIABLE TOPSOIL. THIS SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.
- MAINTENANCE STRIP EDGING SHALL BE BLACK 1/8" X 4" STEEL. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
- ALL PLANT MATERIALS SHALL BE FREE OF WEEDS, INSECTS AND DISEASE.
- ALL LANDSCAPE AREAS ARE TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

MUNICIPAL LANDSCAPE REQUIREMENTS

GREENBELT
REQUIRED - GREENBELT SHALL BE LANDSCAPED WITH A MINIMUM OF ONE (1) DECIDUOUS TREE FOR EVERY THIRTY (30) FEET OF FRONTAGE ABUTTING A PUBLIC ROAD RIGHT OF WAY. DECIDUOUS TREES SHALL BE A MINIMUM OF 2 1/2" CALIPER. 366 L.F. OF FRONTAGE = 13 DECIDUOUS TREES
EXISTING LANDSCAPING INCLUDES 5 DECIDUOUS TREES MEETING MIN. SIZES.
NET ADDITIONAL REQUIRED - 8 DECIDUOUS TREES
ADDITIONAL PROVIDED - 10 TREES

PARKING LOT AND LOADING AREA
REQUIRED - 1 CANOPY TREE FOR EVERY 8 PARKING SPACES 131 PARKING SPACES = 17 TREES
PROVIDED - 18 TREES

REQUIRED - LANDSCAPING SHALL BE ARRANGED IN CURBED ISLANDS WITHIN THE PARKING LOT WHICH SHALL NOT BE LESS THAN TWO HUNDRED (200) SQUARE FEET IN AREA.

REQUIRED - WHEN PARKING IS LOCATED ON SIDE YARD AND ABUTTING THE REQUIRED BUILDING LINE ADJACENT THE PRIMARY BUILDING, PARKING SHALL BE SCREENED WITH A MINIMUM 30-INCH MASONRY WALL.

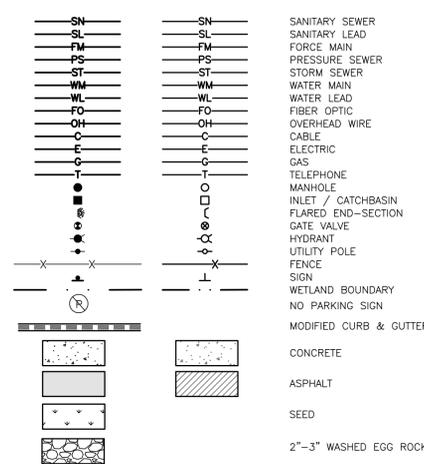
SUPPLEMENTAL MUNICIPAL LANDSCAPE REQUIREMENTS

LANDSCAPE
REQUIRED - A MINIMUM OF 15% OF THE SITE AREA SHALL BE COMPRISED OF LANDSCAPE MATERIAL
PROVIDED - 26.9% OF SITE AREA

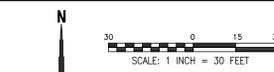
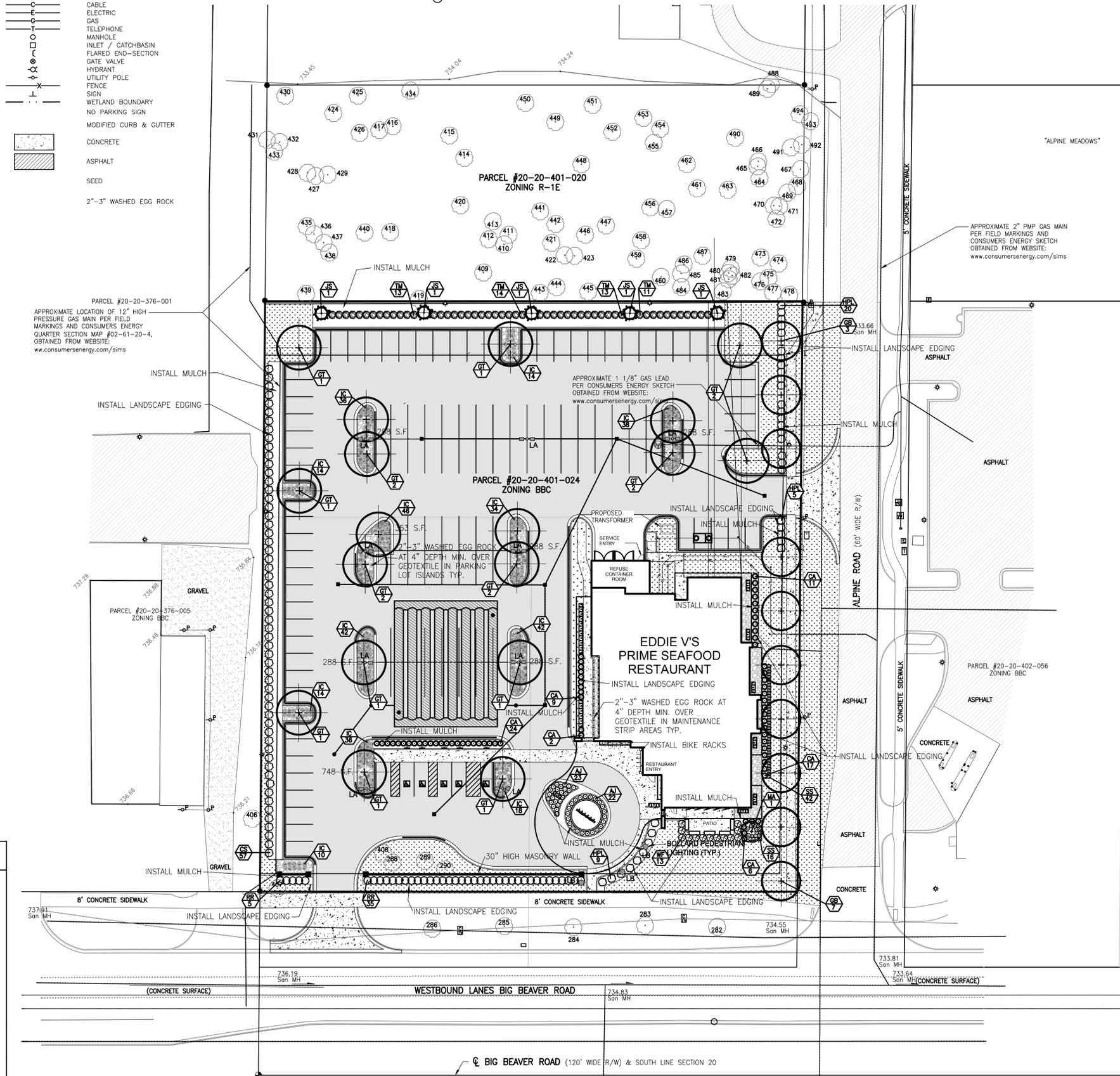
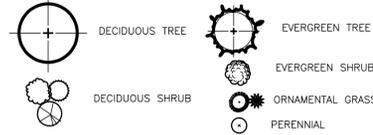
PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
TREES					
GT	18	Gleditsia tricanthos 'Skyline'	Skyline Honeylocust	3" cal.	B&B
GB	10	Ginkgo biloba 'Fastigiata'	Columnar Ginkgo	2 1/2" cal.	B&B
JS	5	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	6' ht.	B&B
MA	1	Magnolia x 'Ann'	Ann Magnolia	1 1/2" cal.	B&B
SHRUBS					
CS	57	Cornus sericea	Red Twig Dogwood	30" ht.	B&B
HPL	34	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	30" ht.	B&B
RR	40	Rosa 'Radtka'	Double Knockout Rose (Red)	3 gal.	Cont.
TM	51	Taxus x media 'Hicksii'	Hick's Yew	30" ht.	B&B
WF	13	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	30" ht.	B&B
PERENNIALS					
AJ	55	Astilbe japonica 'Red Sentinel'	Red Sentinel Astilbe	2 gal.	Cont.
CA	69	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 gal.	Cont.
IC	344	Imperata cylindrica 'Red Baron'	Japanese Blood Grass	1 gal.	Cont.
SS	58	Sedum spectabile 'Autumn Fire'	Autumn Fire Sedum	1 gal.	Cont.

LEGEND



LANDSCAPE LEGEND

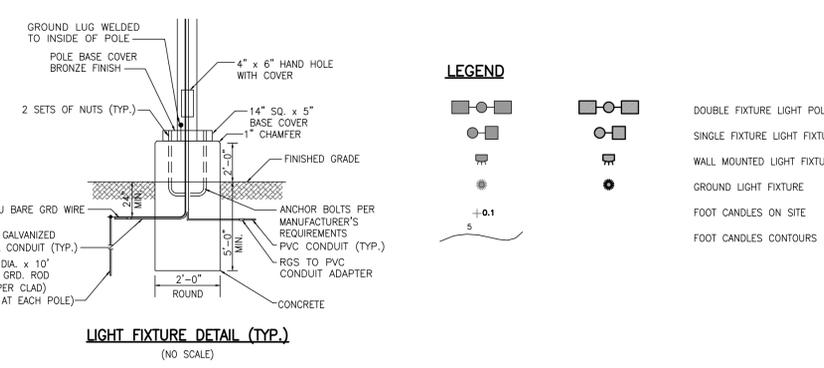
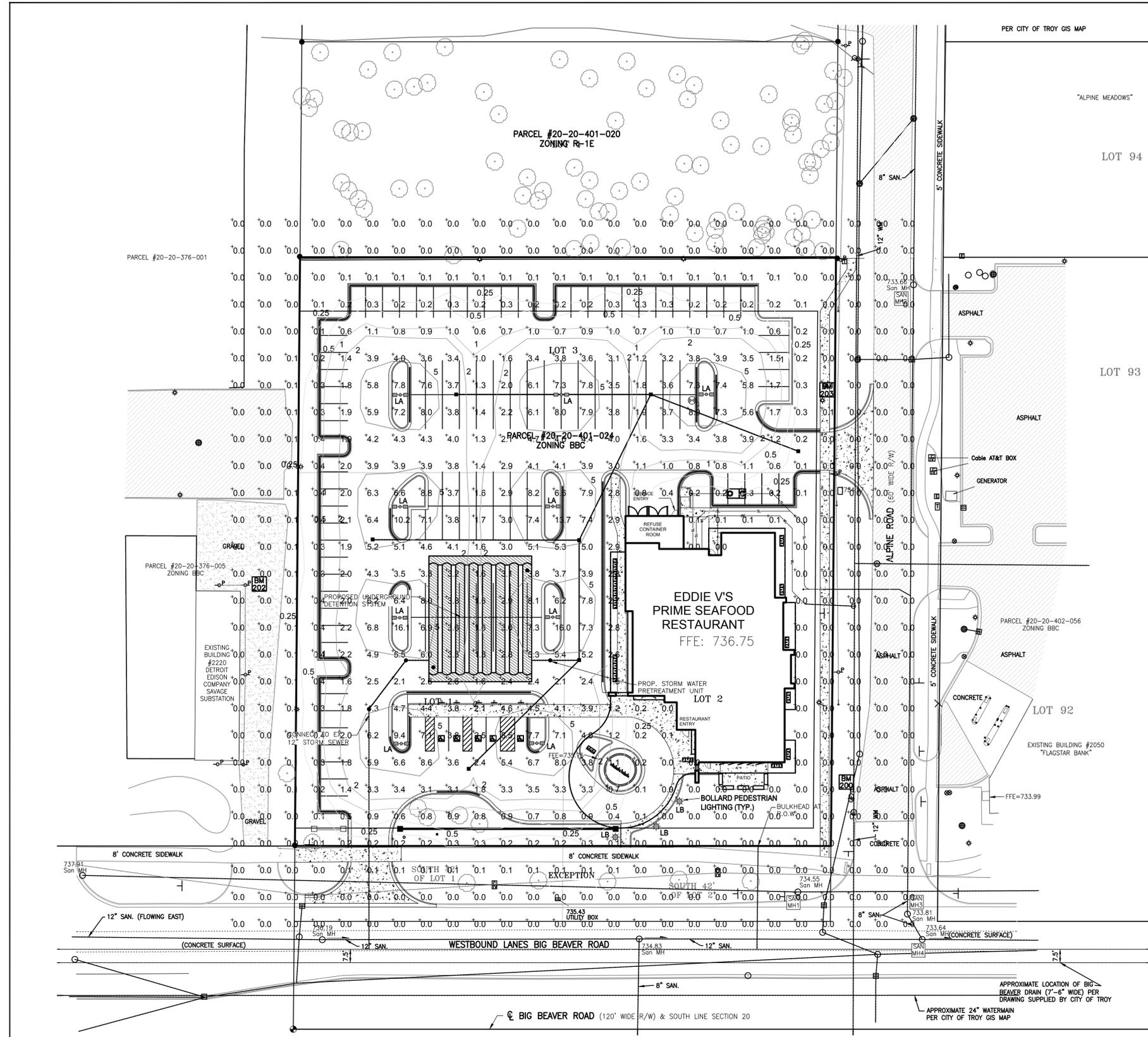


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FLORIDA SE INC.
1000 GARDEN CENTER DRIVE
ORLANDO, FL 32837
407.245-4961

PROJECT:	EDDIE V'S PRIME SEAFOOD			
PREPARED FOR:	FLORIDA SE INC.			
TITLE:	PRELIMINARY LANDSCAPE PLAN			
NO.	BY	REVISION	PER	DATE
DESIGNED BY:	CH			
DRAWN BY:	CH			
CHECKED BY:				
SCALE:	1" = 30'			
JOB NO.:	16-017			
DATE:	2-5-16			
SHEET NO.:	C6			



K5

Kick™ Medium Scale

• Reliable, uniform, low glare illumination
 • Type II, III and IV distributions
 • 3000K, 4000K, 5000K CCT
 • Integral surge and thermal protection
 • 0-10V dimming ready
 • IP66 optical system

ORDERING INFORMATION

MODEL	OPTICAL FINISH	FINISH	FINISH	FINISH
K5-1	Standard white, optional may choose one	Integral Pole	Two Mount at staggered heights	AWT Arctic White
K5-2	No Matte Black Finish for 0% uplight	PS10-188 10' luminaire height	Mounting brackets for a fixture at 180°, 90°, 0° only may choose one	BLK Black
K5-3	FO Filtered Finish for appearance	PS12-188 12' luminaire height	158 8' from bottom	MTB Matte Black
K5-4	40° spot	PS14-188 14' luminaire height	75.2 12' from bottom	DCM Dark Green
		PS16-188 16' luminaire height	75.4 14' from bottom	DBZ Dark Bronze
		PS18-188 18' luminaire height	75.6 16' from bottom	WRZ Weathered Bronze
		PS20-188 20' luminaire height	75.8 18' from bottom	BRN Metallic Bronze
			76.0 20' from bottom	VBL Vinyl Blue
				GRZ Green
				MAI Matte Aluminum
				MDC Medium Gray
				AIG Antique Green
				LEG Light Gray
				RAZ Powder Coat
				PREMIUM 4 digit color number
				COLOR Please provide color chip for matching

LEGEND

- DOUBLE FIXTURE LIGHT POLE
- SINGLE FIXTURE LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- GROUND LIGHT FIXTURE
- FOOT CANDLES ON SITE
- FOOT CANDLES CONTOURS

SITE LIGHTING SUMMARY

LIGHTING LEVELS ARE SHOWN IN FOOTCANDLES AT 5' ABOVE GRADE
 MAXIMUM PAVED LIGHT LEVEL: 16.1 FC.
 MINIMUM PAVED LIGHT LEVEL: 0.2 FC.

MAX. LIGHT LEVEL AT THE PROPERTY LINE: 0.1 FC.
 MIN. LIGHT LEVEL AT THE PROPERTY LINE: 0.0 FC.

GENERAL LIGHTING NOTES

- THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2' ABOVE GRADE IN PARKING LOTS AS SHOWN IN DETAIL.
- ALL POLES LOCATED OUTSIDE OF THE PARKING AREA SHALL BE LOCATED 3' FROM BACK OF CURB OR EDGE OF SIDEWALKS.
- SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE POLES NEED TO BE SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.

SYMBOL	LABEL	QTY.	DESCRIPTION	CATALOG NUMBER	LAMP	FILE	LUMENS	LLF	POLE DESCRIPTION	POLE HEIGHT	BASE HEIGHT	TOTAL HEIGHT
LA	LA	9	38.5" x 5" x 15.7" LED LUMINAIRE ALUMINUM HOUSING, LEDS WITH SHIELDED	K5X-T4-12050	60 LED ARRAY, 5100K, WHITE OPTICAL SURFACES	K5X-T4-12050.IES	ABSOLUTE	.95		20'	2'	22'
LB	LB	3	BOLLARD FIXTURE									

ALL IES FILES PROVIDED BY MANUFACTURER FOR CALCULATION OF LIGHTING LEVEL.

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 1-800-482-7171

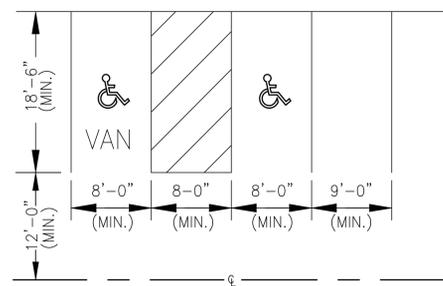
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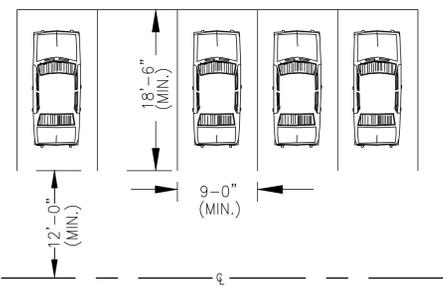
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 ORLANDO, FL 32837
 407.245.4961

PRELIMINARY LIGHTING PLAN

PROJECT:	DATE:
PREPARED FOR:	REVISION PER:
TITLE:	NO. BY:
DESIGNED BY: TD	
DRAWN BY: TD	
CHECKED BY:	
SCALE 1" = 30'	
JOB NO. 16-017	
DATE 2-5-16	
SHEET NO. C7	



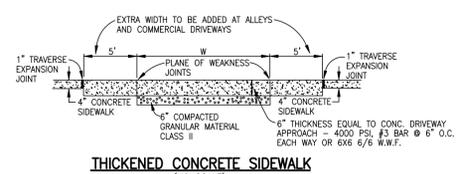
TYPICAL BARRIER FREE PARKING SPACE
(NO SCALE)



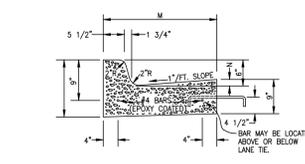
TYPICAL PARKING SPACE
(NO SCALE)



4" CONCRETE SIDEWALK
(NO SCALE)

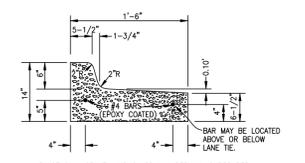


THICKENED CONCRETE SIDEWALK
(NO SCALE)

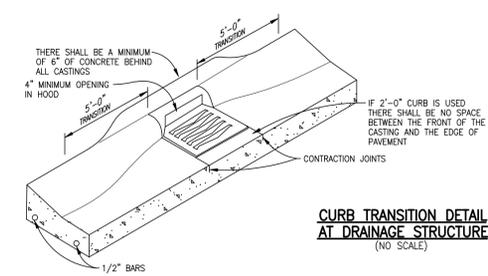


DETAIL	CONCRETE	LANE	CONCRETE
F1	1'-6"	7/8"	AS SHOWN
F2	1'-6"	7/8"	OMITTED
F3	2'-0"	1 1/8"	AS SHOWN
F4	2'-0"	1 1/8"	OMITTED
F5	2'-8"	1 1/8"	AS SHOWN
F6	2'-8"	1 1/8"	OMITTED

CONCRETE CURB & GUTTER TYPE F
(NO SCALE)

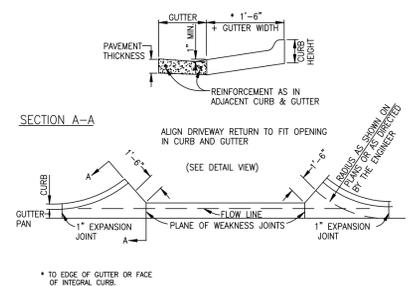


MODIFIED BARRIER (M.D.O.T. TYPE F4)
(NO SCALE)

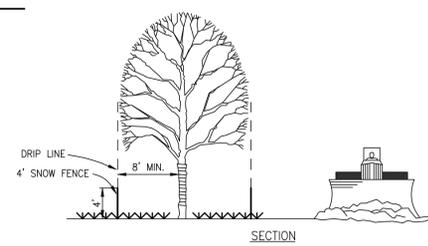


CURB TRANSITION DETAIL AT DRAINAGE STRUCTURE
(NO SCALE)

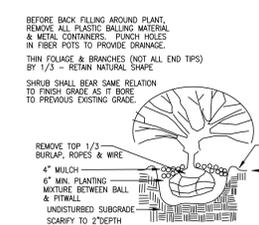
PLAN VIEW
(NO SCALE)



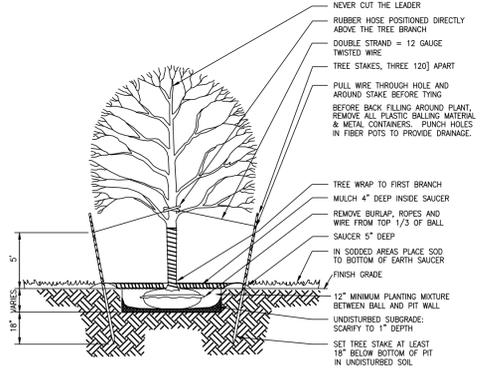
CONCRETE DRIVEWAY OPENING - MDOT STANDARD II-42, DETAIL 'M'
(NO SCALE)



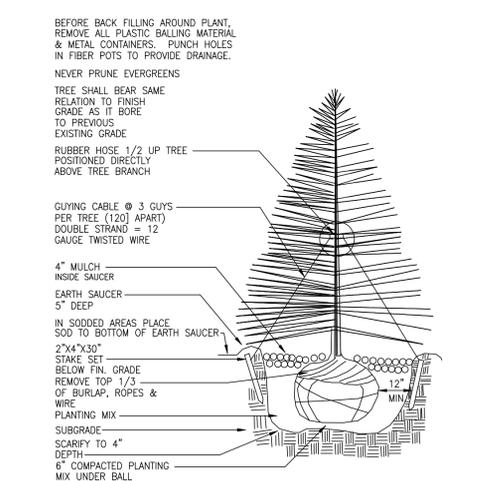
SNOW FENCE PROTECTION DETAIL
(NO SCALE)



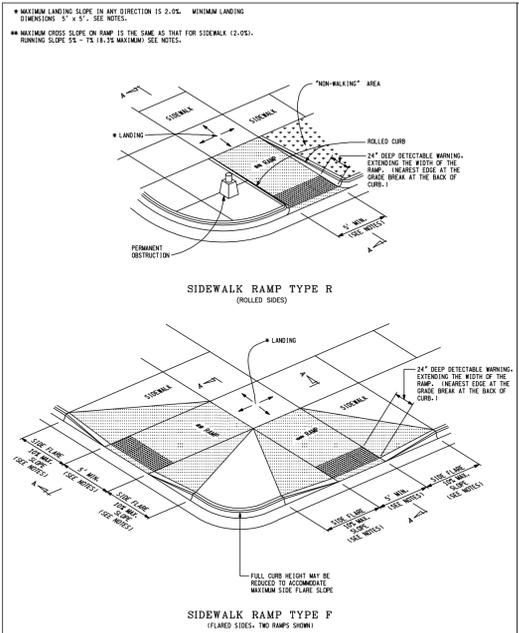
SHRUB PLANTING DETAIL
(NO SCALE)



DECIDUOUS TREE PLANTING DETAIL
(NO SCALE)



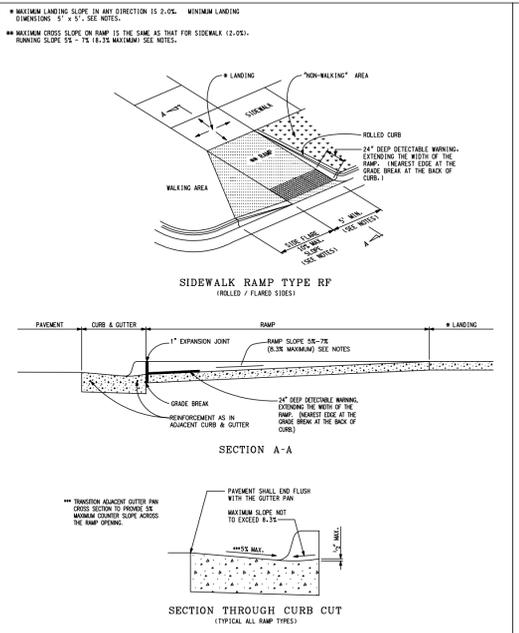
EVERGREEN TREE PLANTING DETAIL
(NO SCALE)



SIDEWALK RAMP TYPE R
(ROLLED SIDES)

SIDEWALK RAMP TYPE RF
(ROLLED / FLARED SIDES)

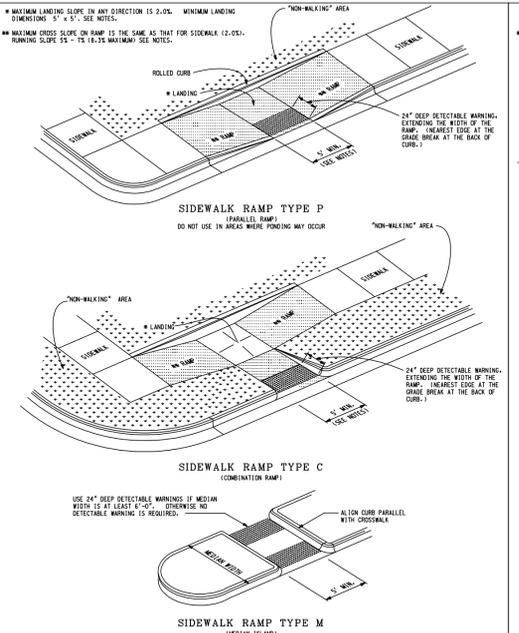
SIDEWALK RAMP TYPE F
(FLARED SIDES, TWO RAMP TYPES)



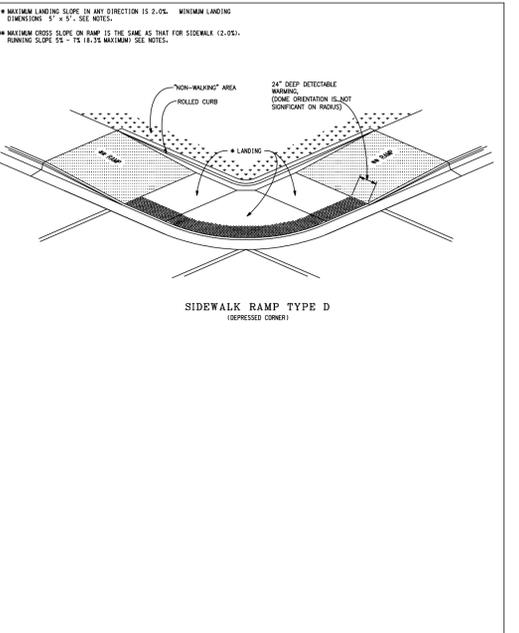
SIDEWALK RAMP TYPE P
(PARALLEL RAMP)

SIDEWALK RAMP TYPE C
(COMBINATION RAMP)

SIDEWALK RAMP TYPE M
(MEDIUM ISLAND)



SIDEWALK RAMP TYPE D
(DEPRESSED CORNER)



SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

<p>MDOT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>	<p>DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>
<p>PREPARED BY: DESIGN DIVISION DRAWN BY: B.S.C. CHECKED BY: B.S.C.</p>	<p>APPROVED BY: ENGINEER OF DEVELOPMENT</p>
<p>9-10-2010 F.I.C.E.L. APPROVAL</p>	<p>7-26-2010 PLAN DATE</p>
<p>R-28-G</p>	<p>SHEET 1 OF 7</p>

<p>MDOT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>	<p>DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>
<p>PREPARED BY: DESIGN DIVISION DRAWN BY: B.S.C. CHECKED BY: B.S.C.</p>	<p>APPROVED BY: ENGINEER OF DEVELOPMENT</p>
<p>9-10-2010 F.I.C.E.L. APPROVAL</p>	<p>7-26-2010 PLAN DATE</p>
<p>R-28-G</p>	<p>SHEET 2 OF 7</p>

<p>MDOT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>	<p>DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>
<p>PREPARED BY: DESIGN DIVISION DRAWN BY: B.S.C. CHECKED BY: B.S.C.</p>	<p>APPROVED BY: ENGINEER OF DEVELOPMENT</p>
<p>9-10-2010 F.I.C.E.L. APPROVAL</p>	<p>7-26-2010 PLAN DATE</p>
<p>R-28-G</p>	<p>SHEET 3 OF 7</p>

<p>MDOT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>	<p>DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT ENGINEERING PLAN FOR</p>
<p>PREPARED BY: DESIGN DIVISION DRAWN BY: B.S.C. CHECKED BY: B.S.C.</p>	<p>APPROVED BY: ENGINEER OF DEVELOPMENT</p>
<p>9-10-2010 F.I.C.E.L. APPROVAL</p>	<p>7-26-2010 PLAN DATE</p>
<p>R-28-G</p>	<p>SHEET 4 OF 7</p>

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND PROPOSED CROSSEINGS IN THE FIELD PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SIGNIFICANTLY FROM THE PLAN.

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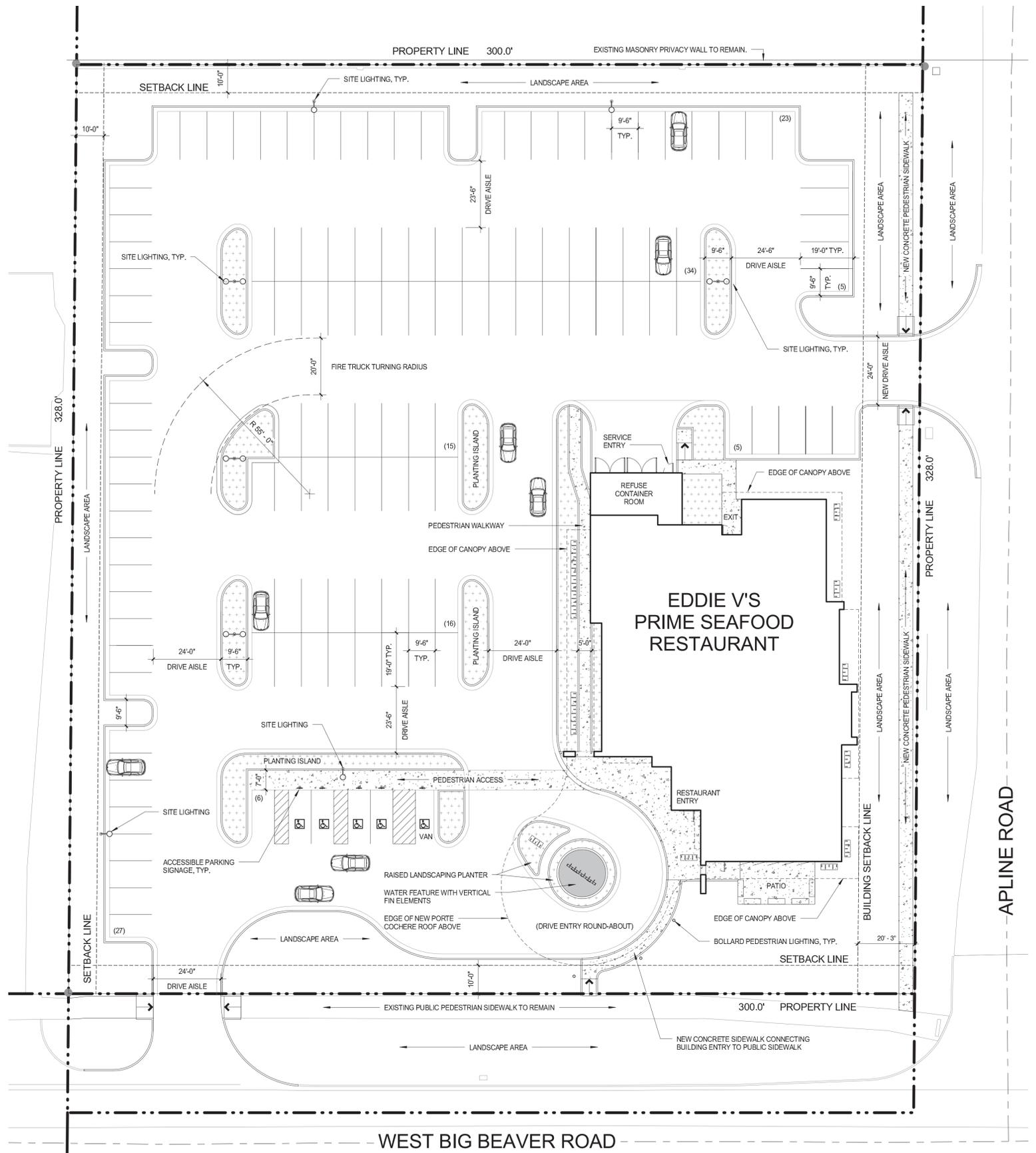
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CONSTRUCTION DETAILS

PROJECT:	PREPARED FOR:	TITLE:
DESIGNED BY: TE	CHECKED BY:	SCALE: 1" = 30'
DRAWN BY: TE	JOB NO. 16-017	DATE 2-5-16
SHEET NO. C8	NO. BY:	REVISION PER:

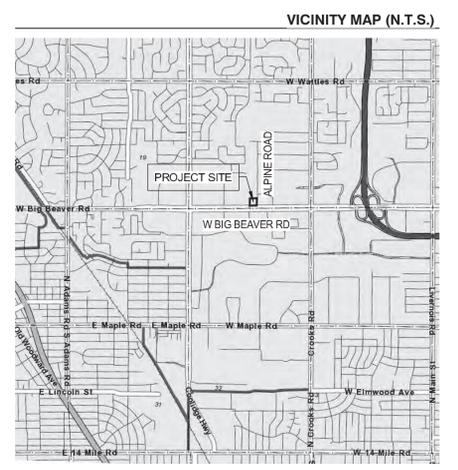
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SITE DATA	
PARCEL (LOTS 1, 2 AND 3)	20-20-401-024
ZONING	BB-C
SITE AREA	98,395 SF (2.26 ACRES)

BUILDING DATA	
GROSS BUILDING AREA	9,416 SF
BUILDING DINING PATIO TOTAL	407 SF 9,823 SF
NUMBER OF STORIES	1
BUILDING HEIGHT (T.O. TOWER)	32'-0"

PARKING CALCULATIONS	
REQUIRED PARKING CALCULATION 1 PARKING SPACE PER 2 DINING SEATS	272 / 2 = 136
TOTAL DINING SEATS	272
TOTAL PARKING SPACES REQUIRED	136
TOTAL PARKING SPACES PROVIDED	131 (-5)
REQUIRED ACCESSIBLE PARKING IBC 2012 TABLE 1106.1 1 PER 25: UP TO 100 1 PER 50: 100 TO 150	FIRST 100 = 4 SPACES REMAINING 36 = 1 SPACE
TOTAL REQUIRED ACCESSIBLE PARKING SPACES	5 SPACES
REQUIRED VAN ACCESSIBLE SPACES (1 PER EVERY 6 STANDARD ACCESSIBLE SPACES, BUT NOT LESS THAN 1)	
TOTAL REQUIRED VAN ACCESSIBLE PARKING SPACES	1 SPACE



ARCHITECT'S PROJECT #: 15100

PRELIMINARY
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CONSTRUCTION
OR RECORDING

Issue Date: 02/05/16

REVISION INFORMATION		
#	DESCRIPTION	DATE

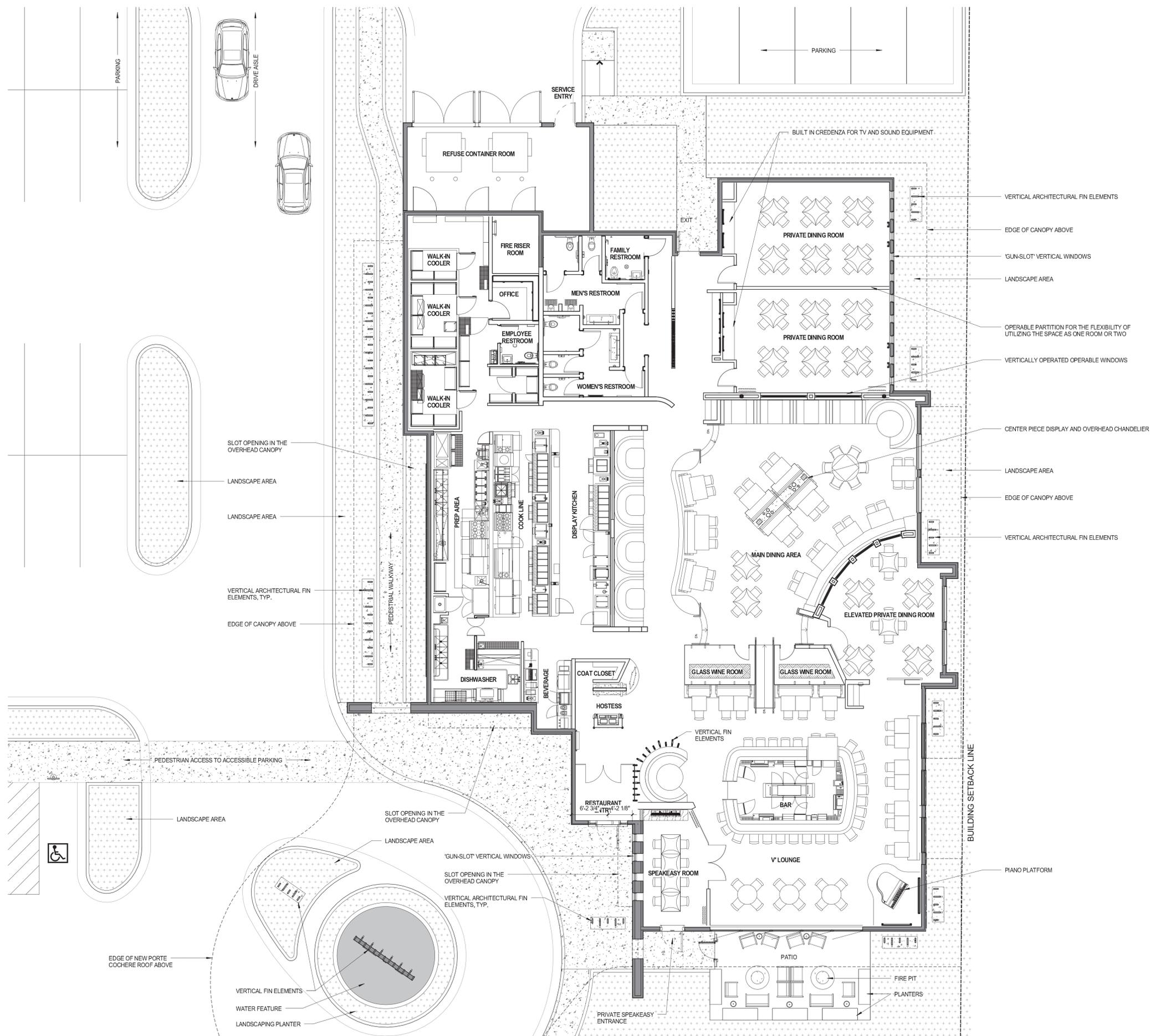
Restaurant #: 8517

EDDIE V'S PRIME SEAFOOD
WEST BIG BEAVER ROAD
Drawn By: MC Checked By: TT
TROY, MICHIGAN

Drawing Title:
ARCHITECTURAL SITE PLAN

SP 1.1

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1 FLOOR PLAN
1/8" = 1'-0"

PLOT DATE: 2/3/2016 10:41:04 AM



ARCHITECT'S PROJECT #: 15100

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Eddie V's

PRIME SEAFOOD

FLORIDA SE INC.
1000 DARDEN CENTER DRIVE
ORLANDO, FLORIDA 32837

Issue Date: 02/05/16

REVISION INFORMATION

#	DESCRIPTION	DATE

Restaurant #: 8517

EDDIE V'S PRIME SEAFOOD

WEST BIG BEAVER ROAD

Drawn By: wmw Checked By: tt

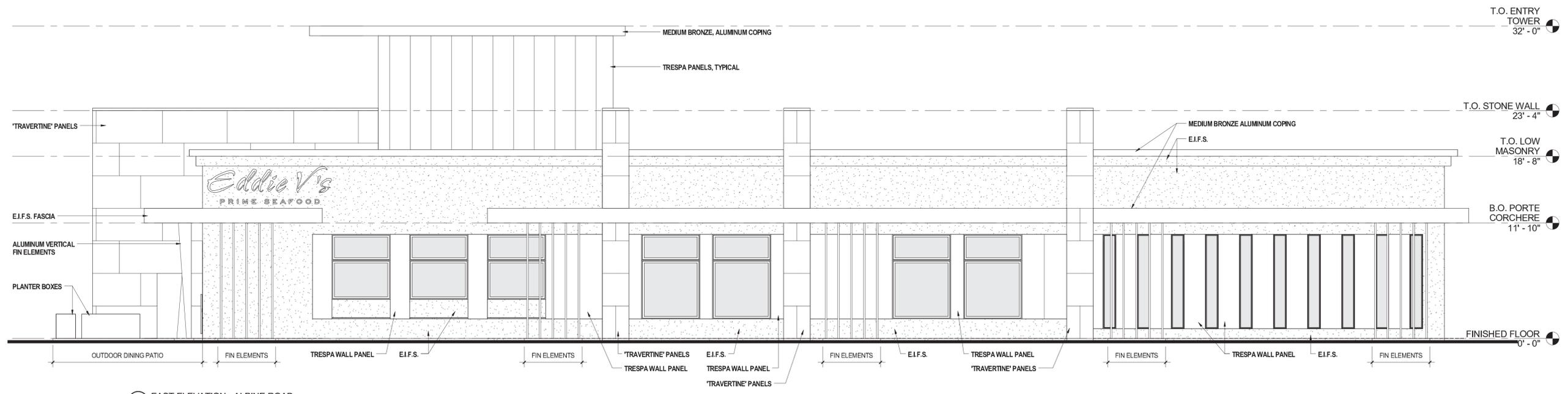
TROY, MICHIGAN

Drawing Title:

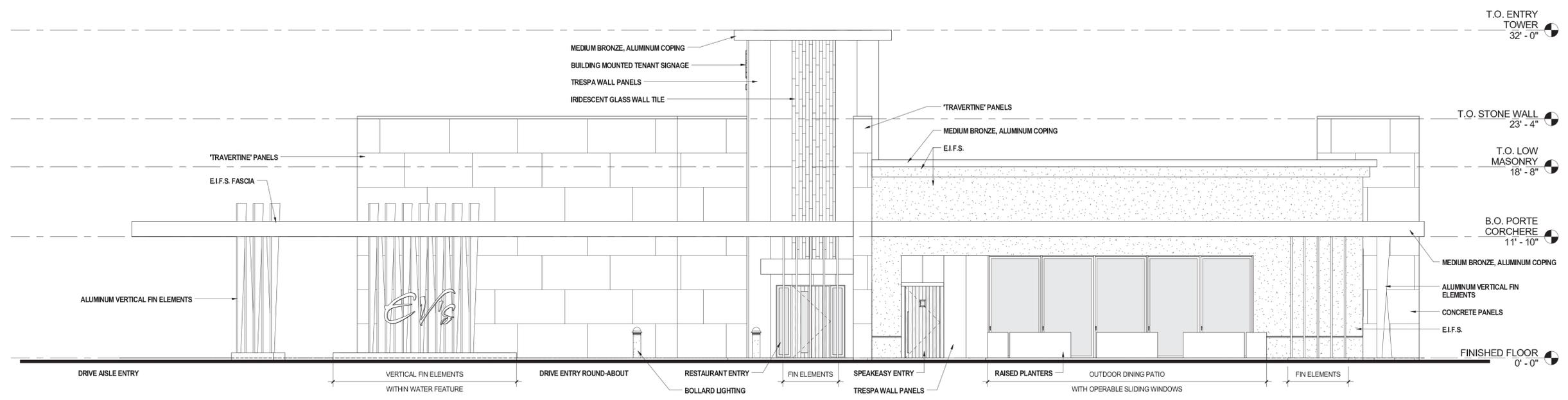
PERLIMINARY FLOOR PLAN

A 1.0

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1 EAST ELEVATION - ALPINE ROAD
3/16" = 1'-0"



2 SOUTH ELEVATION - BIG BEAVER ROAD
3/16" = 1'-0"



ARCHITECT'S PROJECT #: 15100

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Eddie V's
PRIME SEAFOOD
FLORIDA SE INC.
1000 DARDEN CENTER DRIVE
ORLANDO, FLORIDA 32837

Issue Date: 02/05/2016

REVISION INFORMATION		
#	DESCRIPTION	DATE

Restaurant #: 8517

EDDIE V'S PRIME SEAFOOD
WEST BIG BEAVER ROAD

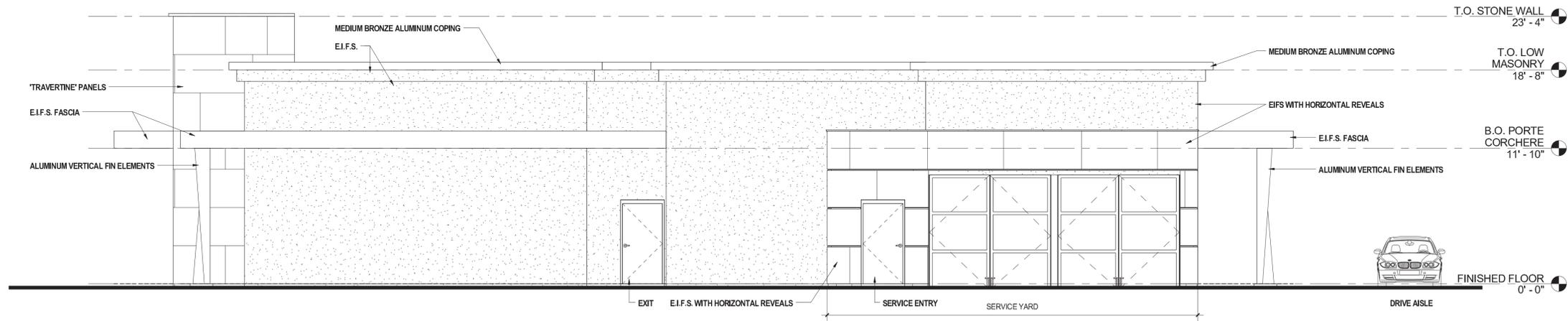
Drawn By: wmw Checked By: tt

TROY, MICHIGAN

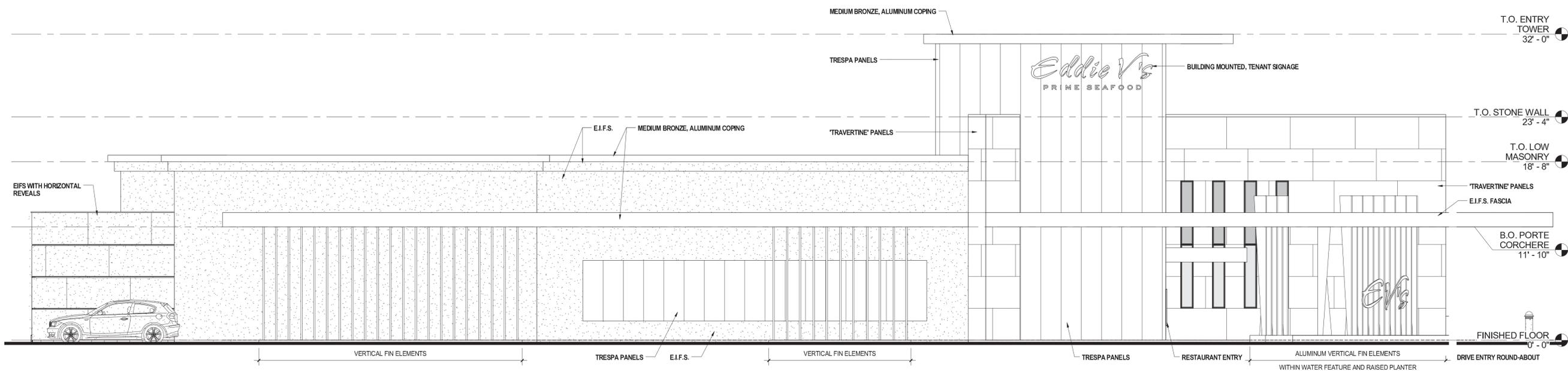
Drawing Title:
EXTERIOR BUILDING ELEVATIONS

A 5.1

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1 NORTH ELEVATION - SERVICE SIDE
3/16" = 1'-0"



2 WEST ELEVATION - PARKING SIDE
3/16" = 1'-0"



ARCHITECT'S PROJECT #:
15100

PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING

Eddie V's
PRIME SEAFOOD
FLORIDA, SE, INC.
1000 DARDEN CENTER DRIVE
ORLANDO, FLORIDA 32837

Issue Date: 02/05/2016

REVISION INFORMATION

#	DESCRIPTION	DATE

Restaurant #: 8517

EDDIE V'S PRIME SEAFOOD

WEST BIG BEAVER ROAD

Drawn By: wmw Checked By: tt

TROY, MICHIGAN

Drawing Title:
EXTERIOR BUILDING ELEVATIONS

A 5.2

DESCRIPTION OF PROPERTY PER FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT, NCS NO. 16-52753, LOCAL NO. 16-110033, VERSION 2, WITH AN EFFECTIVE DATE OF DECEMBER 28, 2015 AT 8:00 A.M.:

Land situated in the City of Troy, County of Oakland, and State of Michigan, described as:
 Lots 1, 2 and 3, except the South 42 feet of Lots 1 and 2, MUER'S GARDEN FARMS, as recorded in Liber 15, Page 45 of Plats, Oakland County Records.

SCHEDULE B - SECTION II EXCEPTIONS PER FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT, NCS NO. 16-52753, LOCAL NO. 16-110033, VERSION 2, WITH AN EFFECTIVE DATE OF DECEMBER 28, 2015 AT 8:00 A.M.:

- 12) Covenants, conditions and restrictions, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state and federal laws, except to the extent that said covenant or restriction is permitted by applicable law as contained in instrument recorded in Liber 1266, Page 401 (LOT 2), Liber 1971, Page 454 (LOT 1) and in Liber 1931, Page 444 (LOT 3). (AFFECTS SUBJECT PROPERTY. BLANKET RESTRICTIONS.)
- 13) Right-of-Way Grant in favor of Southeastern Michigan Gas Company, a Michigan corporation, as recorded in Liber 2682, Page 87 (AFFECTS SUBJECT PROPERTY. BLANKET EASEMENT OVER PARCEL 1 FOR NATURAL GAS PIPELINE AND INGRESS AND EGRESS TO AND FROM PIPELINE FOR SOUTHEASTERN MICHIGAN GAS COMPANY. LINE CONSTRUCTED ALONG WEST PROPERTY LINE). Partial Release of Easement recorded in Liber 5096, Page 635 (AFFECTS SUBJECT PROPERTY. RELEASE OF RIGHT OF WAY EASEMENT OVER LOT 1 EXCEPT THE WEST 40 FEET FOR SOUTHEASTERN MICHIGAN GAS COMPANY). Also Right-of-Way Grant in favor of Southeastern Michigan Gas Company, a Michigan corporation as recorded in Liber 2884, Page 390 (AFFECTS SUBJECT PROPERTY. BLANKET EASEMENT OVER PARCEL 3 FOR NATURAL GAS PIPELINE AND INGRESS AND EGRESS TO AND FROM PIPELINE. LINE CONSTRUCTED ALONG WEST PROPERTY LINE). Partial Release of Rights of Way and Easements recorded in Liber 5820, Page 354 (AFFECTS LOT 3. RELEASES RIGHT OF WAY OVER PARCEL 3 AND OTHER PROPERTIES EXCEPT FOR A 40 FOOT WIDE STRIP OF LAND FOR SOUTHEASTERN MICHIGAN GAS COMPANY, AS SHOWN ON THIS DRAWING). Partial Assignment of Rights of Way and Easements to Consumers Power Company, a Michigan corporation, as recorded in Liber 7836, Page 389 (AFFECTS SUBJECT PROPERTY OVER LOTS 1 AND 3, AS SHOWN ON THIS DRAWING).
- 14) Easement Agreement by Southeastern Michigan Gas Company, a Michigan Corporation, approving Proctor Homer Warren, Inc., a Michigan Corporation and Hot Investments, a Michigan limited partnership to construct light poles and paving for a parking lot within the Southeastern Michigan Gas Company easements, as recorded in Liber 8298, Page 263 and re-recorded in Liber 6308, Page 408. (AFFECTS SUBJECT PROPERTY OVER PARCEL 2 AND 3, ALLOWING PLACEMENT AND REMOVAL OF LIGHT POLES WITHIN THE UNDERGROUND GAS PIPELINE EASEMENT.)

- GENERAL SURVEY NOTES:**
1. BEARINGS WERE ESTABLISHED FROM THE PLAT OF "MUER'S GARDEN FARMS", AS RECORDED IN LIBER 15 OF PLATS, PAGE 45, OAKLAND COUNTY RECORDS.
 2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
 3. THE LOCATIONS OF STORM SEWER, SANITARY SEWER & WATERMAIN, AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAWINGS SUPPLIED BY THE TOWNSHIP OF CANTON.
 4. PROPERTY OWNER AT THE TIME OF THIS SURVEY: TROY DINING, LLC, A FLORIDA LIMITED LIABILITY COMPANY BY VIRTUE OF THAT CERTAIN WARRANTY DEED FROM COUGAR INVESTMENTS, L.C. A MICHIGAN LIMITED LIABILITY COMPANY, DATED DECEMBER 1, 2015 AND RECORDED DECEMBER 3, 2015 IN LIBER 4885, PAGE 585, IN THE REGISTER OF DEEDS OF OAKLAND COUNTY, MICHIGAN.
 5. SUBJECT PROPERTY IS ZONED B8C (small sites/outlet sites)

CERTIFICATION:
 To: Darden Restaurants, Inc. and Fidelity National Title Insurance Company;
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes NO ITEMS of Table A thereof. The field work was completed on July 30, 2015.
 Date of Plat or Map: January 22, 2016.

Christopher S. Ferguson P.S. #47055

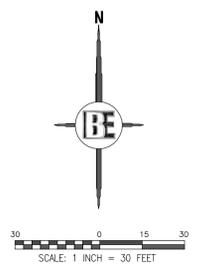
BEFORE YOU DIG
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BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1670

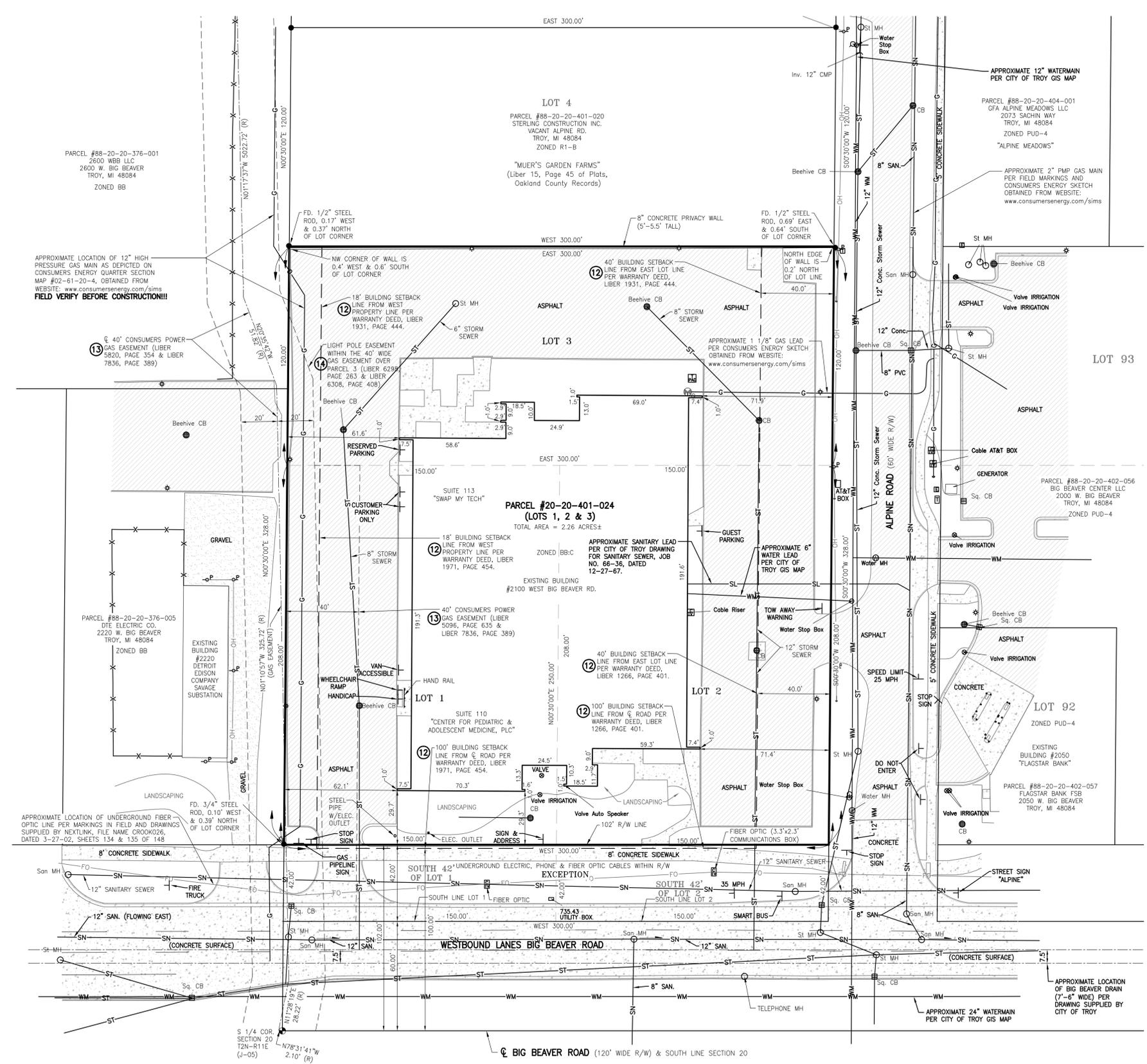
PROJECT: 2100 WEST BIG BEAVER ROAD
 PREPARED FOR: FLORIDA SE INC.
 1000 DARDEN CENTER DRIVE
 ORLANDO, FL 32837
 407.245.4061
 TITLE: ALTA/ACSM LAND TITLE SURVEY

T. FILED	TITLE EXCEPTION #/2	1-26-16	DATE
NO. BY	REVISION PER	DATE	

DESIGNED BY:
 DRAWN BY: AEB
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO. 16-008
 DATE 1-22-16
 SHEET NO. 1 of 1



- LEGEND**
- P POWER POLE
 - I GUY WIRE
 - T TRANSFORMER PAD
 - E ELECTRICAL RISER
 - U.G. ELECTRIC MARKER
 - E ELECTRICAL METER
 - A AIR CONDITIONING UNIT
 - L LIGHT POLE
 - H HYDRANT
 - V GATE VALVE
 - M WATER MANHOLE
 - O MANHOLE
 - S STORM CATCH BASIN (BEEHIVE)
 - S STORM CATCH BASIN (SQUARE)
 - I STORM INVERT
 - T TELEPHONE RISER
 - U.G. TELEPHONE MARKER
 - G GAS METER
 - G GAS RISER
 - U.G. GAS MARKER
 - C CABLE TV RISER
 - U.G. CABLE TV MARKER
 - S SIGN
 - XXX TREE W/TAG #
 - O IRON SET
 - O IRON FOUND
 - S SECTION CORNER
 - SN SANITARY SEWER
 - WM WATER MAIN
 - ST STORM SEWER
 - G GAS MAIN
 - E ELECTRIC
 - T TELEPHONE
 - OH OVERHEAD WIRES
 - X FENCE
 - CONC. CONCRETE
 - SAN MH SANITARY MANHOLE
 - ST STORM MANHOLE
 - C CENTERLINE
 - L LIBER
 - P PAGE
 - O.C.R. OAKLAND COUNTY RECORDS
 - (R&M) RECORD AND MEASURED











Eddie V's
PRIME SEAFOOD



DATE: March 4, 2016

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2016-0005) – Proposed K-9 Club, North side of Maple, West of Rochester between Eastport and Westwood, Section 27, Currently Zoned MR (Maple Road) District

The petitioner Asselin, McLane Architectural Group, LLC submitted the above referenced Special Use Request and Preliminary Site Plan Approval application for the K-9 Club pet daycare facility.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Public Comment

cc: Applicant
File

G:\SPECIAL USE\SU JPLN 2016-0005 K-9 Club Sec 27\K-9 Club PC Memo 03 08 2016.docx

PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2016-0005) – Proposed K-9 Club, North side of Maple, West of Rochester between Eastport and Westwood, Section 27, Currently Zoned MR (Maple Road) District

Resolution # PC-2016-03-

Moved by:

Seconded by:

RESOLVED, That Special Use Request and Preliminary Site Plan Approval for the proposed K-9 Club, North side of Maple, West of Rochester between Eastport and Westwood, Section 27, Currently Zoned MR (Maple Road) District be (granted, subject to the following conditions):

1. Confirm screening of the dumpster.
2. Confirm that the parking lot lights do not exceed the ordinance requirements and that the dog play area lighting will not impact adjacent residential properties.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED

K-9 Club, 551 E Maple

City of Troy Planning Department



Legend:

- Aerial
- Red: Band_1
- Green: Band_2
- Blue: Band_3

383 0 192 383Feet

Scale 1: 2,300



Legend:

Form Based Zoning 2

- (PUD) Planned Unit Development; (PUD-14) Development #14
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Aerial

- Red: Band_1
- Green: Band_2
- Blue: Band_3

467 0 233 467 Feet

Scale 1: 2,800



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: February 18, 2016

Preliminary Site Plan and Conditional Use Review For City of Troy, Michigan

Project Name:	K-9 Club
Plan Date:	February 8, 2016
Location:	551 E. Maple Road
Zoning:	Maple Road, Site Type B
Action Requested:	Site Plan and Conditional Use Approval

PROJECT AND SITE DESCRIPTION

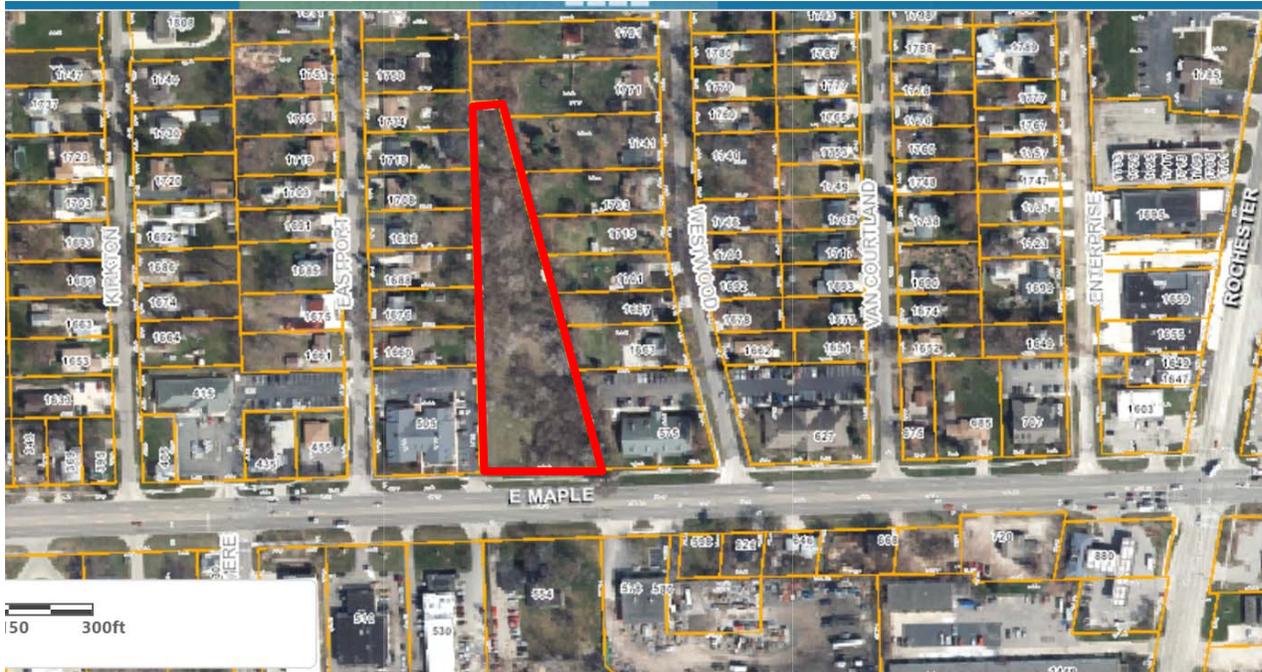
The applicant is proposing to construct a 9,200 sq/ft kennel and doggy day care facility at 551 E. Maple Road. The existing 2.05 acre parcel is vacant and adjacent to the Spencer Drain.

Much of the triangle shaped parcel is located within the 100-year floodplain. The building is located outside of the floodplain but part of the parking lot is located within the Spencer Drain easement. The proposed parking lot is permitted but no permanent structures are allowed within public easements. The Engineering Department notes that MDEQ and/or FEMA permit may be required.

The building, parking lot, and outdoor play area is adjacent to office uses to the west and east. The remaining portions of the parcel that are adjacent to single-family residential is proposed to remain undeveloped. Discussed in more detail in the body of this memo, the applicant has attempted to mitigate impacts of the noise and odor of the operation.

Daycare customers will generally drop off their dogs between 6am – 8am and pick up their dogs between 4pm – 7pm. The average number of dogs participating in daycare is expected to be 30 per day, with a maximum capacity of 40 per day.

K9 Club will include approximately 70 overnight dog kennels. The average number of overnight dogs is estimated to be 25 or fewer. Many of these dogs will also be the same daycare guests. K9 Club anticipates that the overnight kennels will be full to capacity only during major holidays. At maximum capacity, the total estimated number of dogs on the property is estimated to be 90.



Location of Subject Property:

551 E. Maple Road. North side of Maple Road.

Size of Subject Property:

2.05 acres in area

Proposed Uses of Subject Parcel:

New kennel and doggy day care facility

Current Zoning:

The property is currently zoned Maple Road

Surrounding Property Details

Direction	Zoning	Use
North	R1-E, Single Family Residential	Single-family
South	IB, Integrated and Business	Light Industrial/Warehouse
East	Maple Road; R1-E, Single Family Residential	Office, Single-family residential
West	Maple Road; R1-E, Single Family Residential	Office, Single-family residential

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

The site is being developed as Building Form A, which is a permitted building form for Site Type B. Table 5.03.B1 establishes the dimensional requirements for the building form A:

	Required	Provided	Compliance
Front (Maple Road)	10 foot build-to-line	10'-3"	Complies with Planning Commission approval.
Side	0	10'	Complies
Open Space	30 percent	7%	Complies
Building Height	Minimum 14 feet Maximum 45 feet	28 feet	Complies
Parking	Not located in front yard + screening	Not located in front yard and screened	Complies

With the Planning Commission approval of the 3-inch deviation from the 10-foot build-to-line requirement, the building placement meets all Maple Road Form-based code requirements.

Items to be Addressed: None

SECTION 6.13 and OPERATIONS

Animal kennels and day care facilities are controlled by Section 6.13 of the Ordinance, which requires:

- A. Animal wastes, biohazard materials or byproducts shall be disposed of as required by the Oakland County Health Department, the Michigan Department of Public Health, or other duly appointed authority. All other wastes shall be contained in leak-proof and odor proof containers. No animal wastes, biohazard materials or byproducts shall be buried or incinerated on-site, or allowed to enter to groundwater.**

The applicant notes that solid waste will be collected and disposed in outdoor dumpsters. The dumpsters will be emptied as needed to manage offensive odors. It is anticipated that outdoor dumpsters will be emptied twice per week but may be more often as necessary during hotter summer months.

The applicant also notes that liquid dog waste will not be allowed to enter the groundwater. K9 Club's indoor play areas will each have a raised K9 grass dog waste relief area, sprayed with a natural and safe attractant to encourage use. Indoor dog waste relief areas will be connected to the sanitary sewer.

B. Buildings where animals are kept, dog runs, and exercise areas shall not be located nearer than one hundred (100) feet to any adjacent occupied dwelling.

The dog kennel building is over 100 feet from any adjacent occupied dwelling. This requirement is met.

C. Dog runs and exercise areas shall not be located in any front yard and shall be screened with an opaque fence or wall at least six (6) feet in height.

The outdoor play area is located behind the building and enclosed with a fence that six (6) feet in height. This requirement is met.

D. All principal use activities, other than outdoor dog runs or exercise areas, shall be conducted within a totally enclosed building.

Other than the outdoor play area, all activities are conducted within the enclosed building. This requirement is met.

E. All operations and the housing of animals are contained in one (1) or more completely enclosed buildings.

Other than the outdoor play area, all activities are conducted within the enclosed building. This requirement is met.

The applicant has provided a narrative that describes in more details the site operations. To control and mitigate noise the applicant notes:

- *The outdoor exercise area will not be used outside of the hours of 7am – 8pm per the City of Troy's noise ordinance. And in fact, K9 Club's outdoor exercise schedule will be limited to between the hours of 8am – 6pm. Dogs that are only participating in daycare will be ready for pickup by 4pm so no daycare dogs should be in the outdoor play area after that time.*
- *Outdoor exercise areas will include many features that will occupy the dog's attention, thereby reducing noise. The list includes: (a) separate exercise areas to reduce the number of dogs in one area, (b) lots of trees, boulders, landscaping, (c) exercise and climbing structures, (d) toys.*
- *Additionally, the outdoor exercise area will be supervised by one or more employees when dogs are occupying this area. Excessively noisy dogs will be brought back inside to exercise. K9 Club's design includes nearly 2,000 square feet of indoor exercise area, which is the primary area for exercise/play.*

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation:

Access to the site will be via Maple Road.

Pedestrian access:

The applicant is installing a sidewalk on the front of the building that connects the parking lot to the buildings front door. The applicant will replace the existing Maple Road sidewalk with an 8-foot wide sidewalk.

Items to be Addressed: None

PARKING

Animal kennels/day care facilities are not a listed use in the parking section of the ordinance. Using child care as a comparable, the applicant is providing the required parking:

	Required	Provided
Child Care (2 spaces plus 1 additional space for each 8 children of licensed authorized capacity)	76 dogs = 10 space	15 spaces on site
Barrier Free	1	1
Bicycle Parking	2	2
Total	10 automobile + 2 bicycle	15 automobile + 2 bicycle

Items to be Addressed: None

LANDSCAPING

The applicant has provided a landscape plan, which meets all Ordinance requirements:

	Required:	Provided:	Compliance:
<u>Greenbelt:</u> 10 feet in width along Maple Road	10 feet	10 feet	Compliant
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction	235 feet = 8 trees	8	Compliant

thereof, of frontage abutting a public road right-of-way.			
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	15%	Exceeds 20% requirement	Compliant
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	15 spaces = 2 trees	2 trees in peninsula	Compliant
<u>Screening Between Land Uses:</u> 80% opacity	80% opacity with one of three options	Existing tree cover	Compliant with Planning Commission approval

Woodlands

The applicant has provided a statement that the no protected trees are being removed.

Trash Enclosure:

The applicant shows one (1) new trash enclosure in the back of the site. Other than landscaping, the applicant should confirm the screening of the dumpster.

Items to be Addressed: Confirm screening of dumpster.

PHOTOMETRICS

The applicant has provided a photometric plan. The applicant proposes to light the parking lot with standard LED parking lot lights. The applicant proposes to light the outdoor play area with a decorative LED pole light. The height of the lights are not indicated. The applicant should confirm that the pole lights do not exceed ordinance requirements and that the lights of the outdoor play area do not impact adjacent residential property owners.

The fixtures are fully shielded. The photometrics meet ordinance requirements.

Items to be Addressed: Confirm height of parking lot and outdoor play area lights.

ELEVATIONS AND FLOOR PLANS

The applicant has submitted elevations and floor plans. The applicant meets transparency requirements. The applicant has been asked to provide material samples at the meeting.

Items to be Addressed: None

ENGINEERING and FIRE DEPARTMENT

The Engineering Department and Fire Department have reviewed the proposed development. Engineering has noted that the applicant should confirm the stormwater requirements of OCWRC and has noted some additional utilities issues. The Fire Department has noted a need for a hydrant. These are issues that should not impact the site plan and can be addressed in the final site plan and engineering review.

Items to be Addressed: None

DESIGN STANDARDS

Developments within the Maple Road form-based district must comply with Design Standards outlined in section 5.05.

Building Orientation and Entrance

- a. *Primary Entrance:* The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **The primary entrance is located in the front façade facing Maple Road.**
- b. *Recessed Doorways.* Where the building entrance is located on or within five (5) feet of a lot line, doorways shall be recessed into the face of the building. **Not applicable**
- c. *Residential Dwellings.* Entrances for all residential dwellings shall be clearly defined by at least one (1) of the following:
 - I. *Projecting or recessed entrance.* A recessed entrance is required if the building entrance is located on or within five (5) feet of the lot line.
 - II. *Stoop or enclosed or covered porch.*
 - III. *Transom and/or side light window panels framing the door opening.*
 - IV. *Architectural trim or unique color treatments framing the door opening*

Not Applicable

Ground Story Activation

- a. *The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.*

Through the use of both windows and architectural features, the applicant meets the transparency requirement.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

The building, parking lot, and outdoor play area are adjacent to office uses. The portion of the site that is adjacent to residential is to remain undeveloped and with existing vegetation.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.*

The applicant meets the parking requirements.

- b. *Location.*

- I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

Not Applicable

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Not Applicable

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.*

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

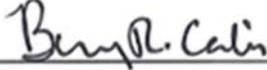
The applicant has screened their parking lot in compliance with section 13.0.2.C.

Items to be Addressed: None

RECOMMENDATION

We support the development and find it will be an attractive use and major investment on Maple Road. The applicant is providing a unique building and attractive streetscape. We recommend preliminary site plan approval, provided the applicant:

1. *Confirm screening of the dumpster.*
2. *Confirm that the parking lot lights do not exceed the ordinance requirements and that the dog play area lighting will not impact adjacent residential properties.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

From: Lisa Ponichter <awakeningmovements@gmail.com>
Sent: Saturday, February 20, 2016 7:37 PM
To: Planning
Subject: Hearing re pet daycare

I am concerned about the noise levels. Will the pets be indoors or outdoors? as I live close to there and I already have people nearby with multiple animals left outside for long periods of time...dogs barking endlessly. We do NOT need more of that around here. Thanks!

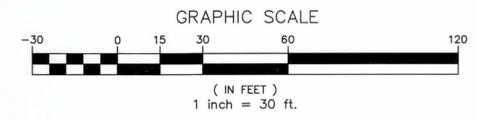
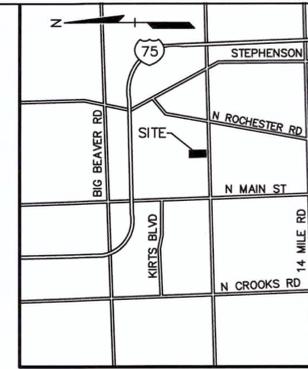
Sent from my iPhone

- BENCHMARKS:**
- REF. B.M.#1 ARROW ON HYDRANT LOCATED AT THE SOUTHEAST CORNER OF ROCHESTER RD AND LARCHWOOD AVE. ELEV. = 658.88'
 - REF. B.M.#2 ARROW ON HYDRANT LOCATED ON THE WEST SIDE OF ROCHESTER RD, OPPOSITE WOODLEE AVE. ELEV. = 659.53'
 - B.M.#3 ARROW ON HYDRANT LOCATED ON THE NORTH SIDE OF MAPLE RD AND ±150' EAST OF EAST LIMIT OF SUBJECT PROPERTY (ALSO KNOWN AS CITY OF TROY BM#158) ELEV. = 662.16' (MEASURED) (661.871 CITY OF TROY DATUM)
 - B.M.#4 ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF MAPLE RD, DIRECTLY OPPOSITE OF THE SOUTHEAST CORNER OF SUBJECT PROPERTY ELEV. = 662.36'
 - B.M.#5 ARROW ON HYDRANT LOCATED AT THE NORTHEAST CORNER OF EASTPORT AND MAPLE RD ELEV. = 662.59' (MEASURED) (662.306 CITY OF TROY DATUM)
 - B.M.#6 SET GEAR SPIKE IN THE SOUTH FACE OF A POWER POLE LOCATED AT THE SOUTHEAST CORNER OF LOT 190 ELEV. = 662.56'
 - B.M.#7 SET GEAR SPIKE IN THE SOUTH FACE OF A POWER POLE LOCATED ±75' EAST OF BM#6 ELEV. = 662.46'
- (REFERENCE BENCHMARKS FROM PEA JOB NO. 2005-042)
(USGS DATUM)

FLOODPLAIN NOTE:
PARCEL IS IN ZONE "A4". AREAS OF 100-YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED. THE PARCEL IS ALSO IN ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 260180 0006 E, DATED SEPT. 16 1988.

FLOOD ZONES ARE A GRAPHIC REPRESENTATION BASED ON FEMA F.I.R.M.
FLOOD ZONES SHOWN ARE NOT BASED ON THE CURRENT FEMA F.I.R.M. MAPS

TREE LEGEND	
ABBREVIATION	FULL NAME
ASH	ASH
BC	WILD BLACK CHERRY
BX	BOX ELDER
CT	COTTONWOOD
ELM	AMERICAN ELM
MAPLE	MAPLE



- LEGEND**
- IRON FOUND
 - BRASS PLUG SET
 - SEC. CORNER FOUND
 - RECORDED
 - MEASURED
 - CALCULATED
- EXISTING**
- ELEC. PHONE OR CABLE TV OR LINE, POLE & GUY WIRE
 - UNDERGROUND CABLE TV, CABLE, PEDESTAL
 - TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
 - ELECTRIC U.S. CABLE, MANHOLE, METER & HANDHOLE
 - GAS MAIN, VALVE & GAS LINE MARKER
 - WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
 - SEWER, CLEANOUT & MANHOLE
 - STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED SEWER & MANHOLE
 - SECTION LINE
 - CATCH BASIN
 - INLET (AND REMAINING LINES)
 - YARD DRAIN (2" DIA. & SMALLER)
 - POST INDICATOR VALVE
 - WATER VALVE BOX/HYDRANT VALVE BOX
 - SERVICE SHUTOFF
 - MAILBOX
 - TRANSFORMER
 - IRRIGATION CONTROL VALVE
 - UNIDENTIFIED STRUCTURE
 - SPOT ELEVATION
 - AS BUILT ELEVATION
 - CONTOUR LINE
 - FENCE
 - GUARD RAIL
 - OVERHANG
 - CENTER LINE OF DITCH
 - TREE LINE
 - STREET LIGHT
 - SIGN
 - MAILBOX
 - TELEPHONE BOX
- CONC.** CONCRETE
ASPH. ASPHALT
WETLAND WETLAND
FLOOD ZONE "A4" FLOOD ZONE "A4"
FLOOD ZONE "B" FLOOD ZONE "B"

- REFERENCE DRAWINGS**
- WATER MAIN NOT RECEIVED AT TIME OF SURVEY
 - SANITARY SEWER NOT RECEIVED AT TIME OF SURVEY
 - STORM SEWER NOT RECEIVED AT TIME OF SURVEY
 - COMBINED SEWER NOT RECEIVED AT TIME OF SURVEY
 - ELECTRIC NOT RECEIVED AT TIME OF SURVEY
 - TELEPHONE NOT RECEIVED AT TIME OF SURVEY
 - GAS NOT RECEIVED AT TIME OF SURVEY
 - PETROLEUM NOT RECEIVED AT TIME OF SURVEY
 - CITY NOT RECEIVED AT TIME OF SURVEY
 - OTHER UTILITY INFORMATION FROM THE CITY OF TROY ENGINEERING DEPARTMENT

LEGAL DESCRIPTION
LOT 73 OF "SUPERVISOR'S PLAT OF BEECH GROVE HEIGHTS SUB. NO. 1" PART OF THE SE 1/4, SECTION 27, T.2N., R.11E., TROY TOWNSHIP, (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 44 OF PLATS, PAGE 47, OAKLAND COUNTY RECORDS.

HAVE NOT BEEN PROVIDED WITH CURRENT TITLE COMMITMENT. A TITLE COMMITMENT COULD SHOW EASEMENTS AND OTHER ENCUMBRANCES THAT EFFECT THE PROPERTY.

BASIS OF BEARING
WEST LINE OF "SUPERVISOR'S PLAT OF BEECH GROVE HEIGHTS SUB. NO. 1"

SURVEYOR'S COMMENTS

- FIELDWORK PERFORMED IN FEBRUARY, 2006.
- FLOOD ZONES SHOWN BASED ON THE FEMA FIRM MAP COMMUNITY PANEL NUMBER 260180 0006 E, DATED SEPT. 16 1988 (HAS BEEN REVISED).
- FLOOD ZONES SHOWN ARE NOT BASED ON CURRENT FEMA FIRM MAP.
- ELEVATION DATUM IS USGS.
- SIZES OF TREES MEASURED FEBRUARY, 2006.

CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OF COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION.

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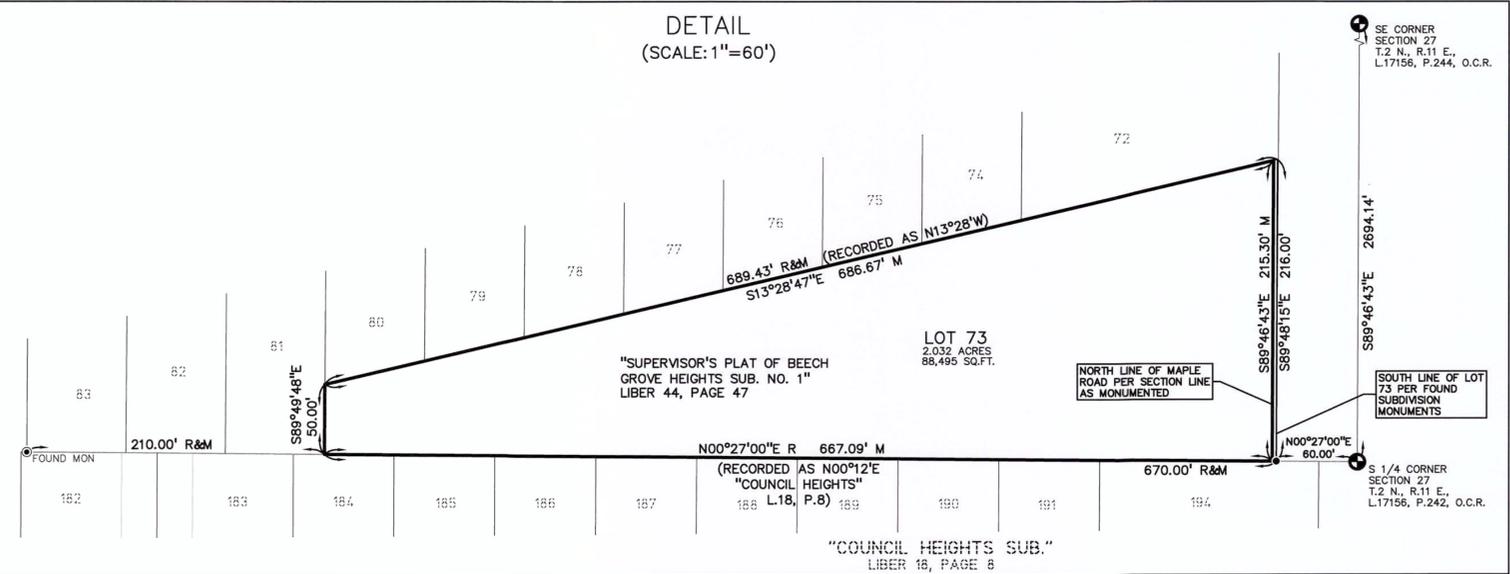
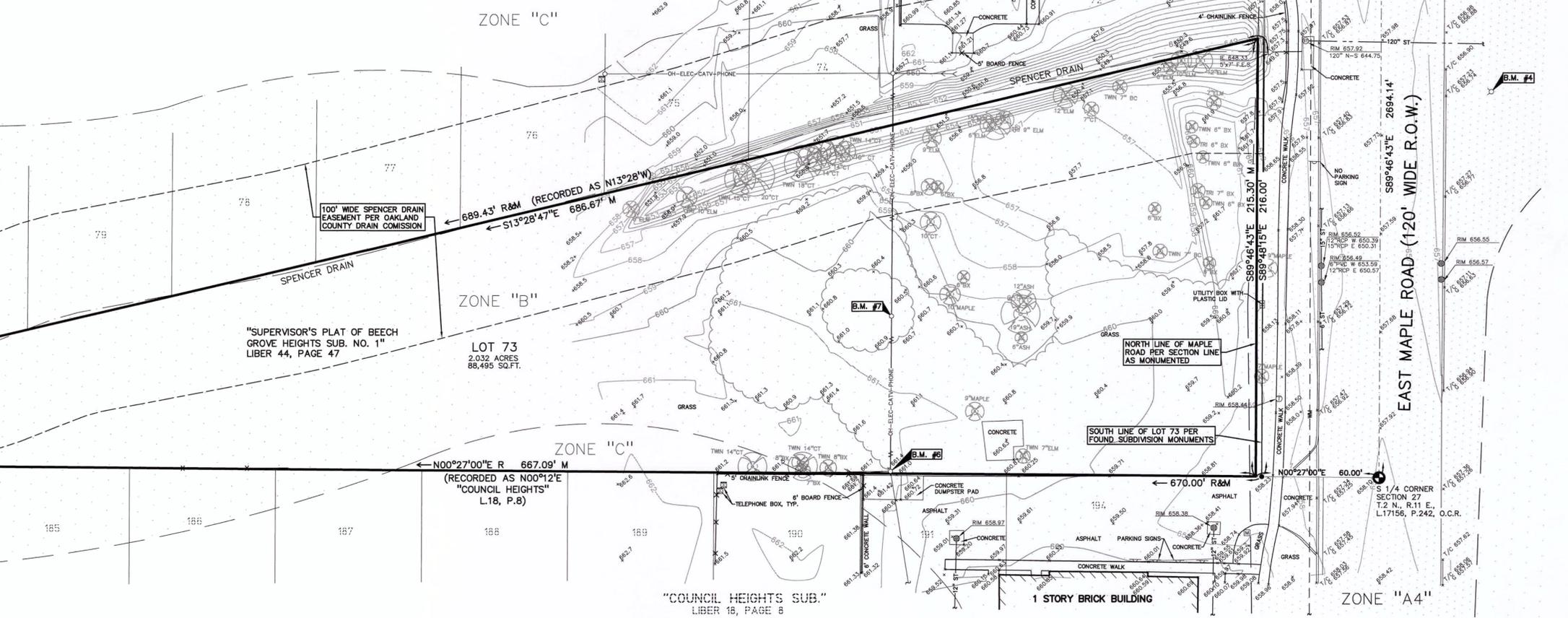
BOUNDARY AND TOPOGRAPHIC SURVEY

PART OF THE SE 1/4 OF SECTION 27, T. 2N., R. 11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. XXX DN. DRW. SUR. MAD. P.M. MAD.

PROJECT: 2005-042 (2005-042-1) DATE: 2-2-06

ORIGINAL ISSUE DATE: FEBRUARY 15, 2006
PEA JOB NO. 2005-026
SCALE: 1" = 30'
DRAWING NUMBER: 1



REVISIONS

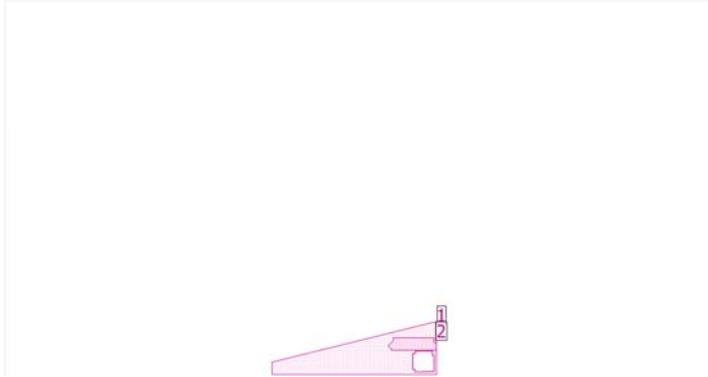
NO.	BY	CHK.	DESCRIPTION	DATE
1				

Site 1

Quantity	Luminaire (Luminous emittance)		
2	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING) GLEON-AE-02-LED-E1-T3 GALLEON LED AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1A LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS Luminous emittance 1 Fitting: 32x Absolute photometry Luminaire Luminous Flux: 10502 lm Power: 107.0 W Light yield: 98.1 lm/W	<p>See our luminaire catalog for an image of the luminaire.</p>	

Total lamp luminous flux: 21004 lm, Total luminaire luminous flux: 21004 lm, Total Load: 214.0 W, Light yield: 98.1 lm/W

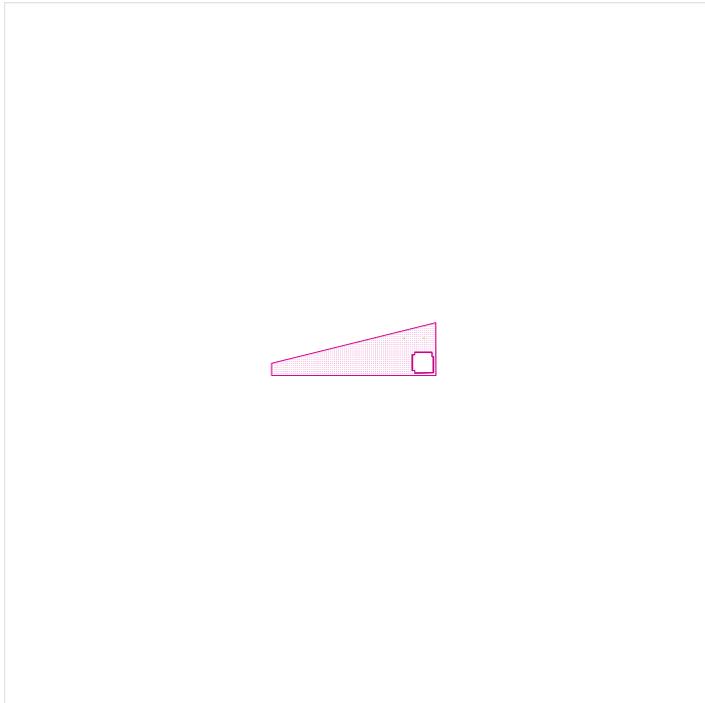
Site 1



General

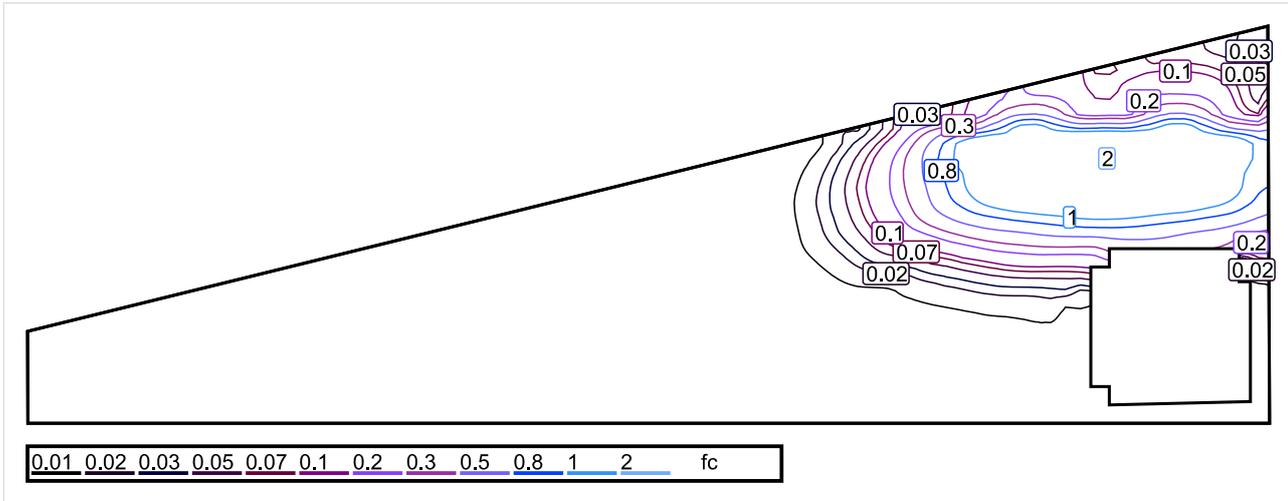
Surface	Result	Mean (target)	Min	Max	Mean/Min	Max/Min
1 Calculation surface 1	Perpendicular illuminance [fc]	0.18	0.00	2.00	/	/
2 Calculation surface 2	Perpendicular illuminance [fc]	1.11	0.18	2.15	6.167	11.944

Calculation surface 1



Result	Mean (target)	Min	Max	Mean/Min	Max/Min
Perpendicular illuminance [fc]	0.18	0.00	2.00	/	/

Calculation surface 1

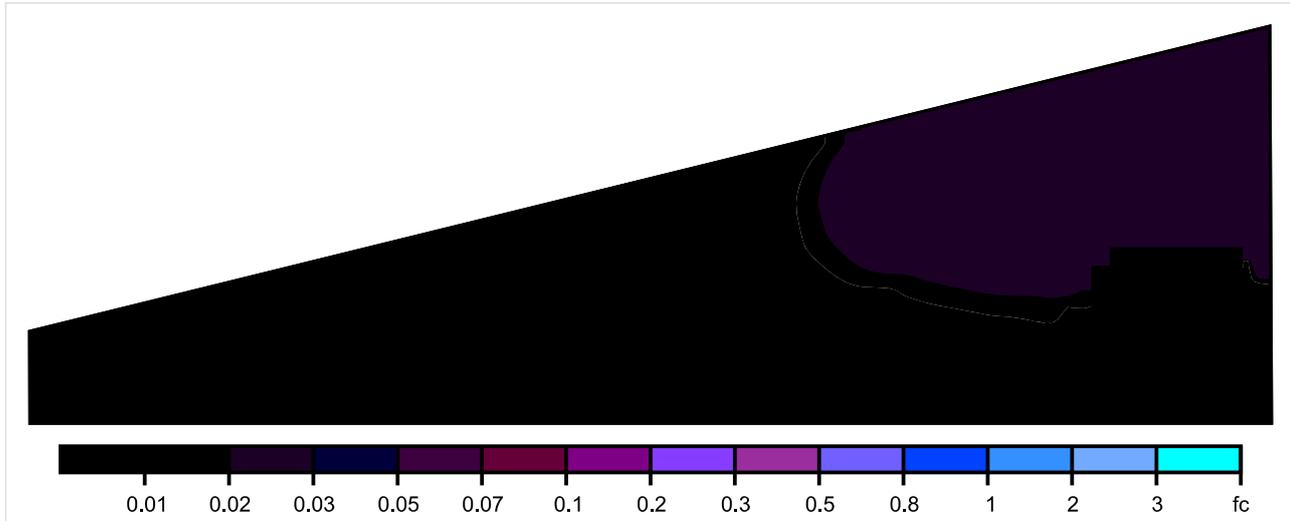


Scale: 1 : 1250

Perpendicular illuminance (Grid)

Mean (actual): 0.18 fc, Min: 0.00 fc, Max: 2.00 fc, Mean/Min: /, Max/Min: /,

Calculation surface 1

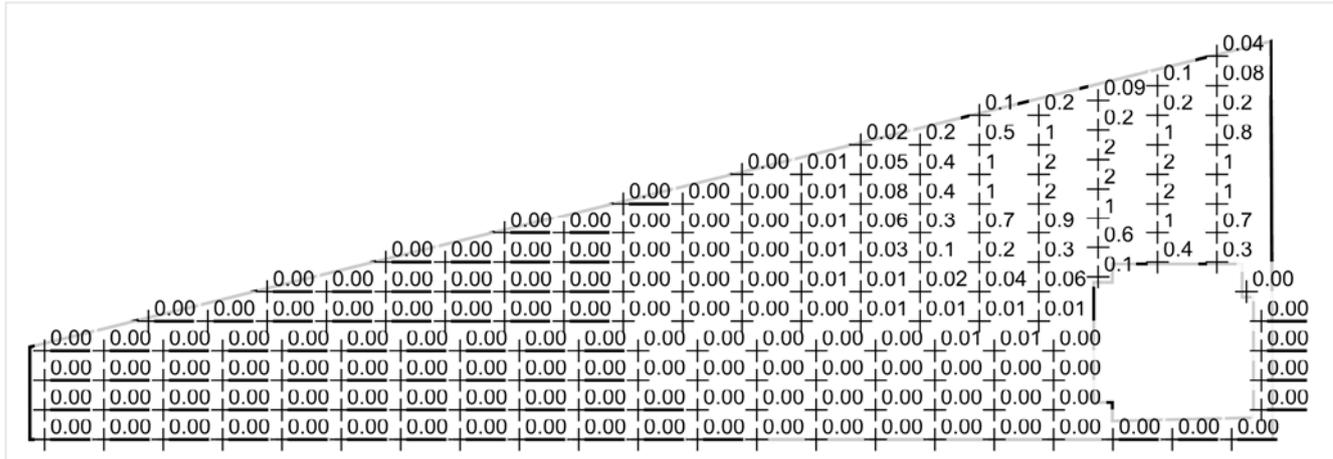


Scale: 1 : 1250

Perpendicular illuminance (Grid)

Mean (actual): 0.18 fc, Min: 0.00 fc, Max: 2.00 fc, Mean/Min: /, Max/Min: /,

Calculation surface 1



Scale: 1 : 1250

Perpendicular illuminance (Grid)

Mean (actual): 0.18 fc, Min: 0.00 fc, Max: 2.00 fc, Mean/Min: /, Max/Min: /,

Calculation surface 1

Value chart [fc]

ft	-334.818	-326.818	-318.818	-310.818	-302.818	-294.818	-286.818	-278.818	-270.818	-262.818	-254.818	-246.818	-238.818	-230.818	-222.818
149.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
141.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
133.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
125.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
117.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
109.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
101.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
93.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
85.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
77.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
69.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
61.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
53.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
45.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
37.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
29.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
21.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
13.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
5.498	/	/	/	/	/	/	/	/	/	/	/	/	0.00	0.00	0.00
-2.502	/	/	/	/	/	/	/	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-10.502	/	/	/	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-18.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-26.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-34.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-42.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-50.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-58.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-66.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Value chart [fc]

ft	-190.818	-182.818	-174.818	-166.818	-158.818	-150.818	-142.818	-134.818	-126.818	-118.818	-110.818	-102.818	-94.818	-86.818	-78.818
149.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
141.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
133.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
125.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
117.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
109.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
101.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
93.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
85.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
77.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
69.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
61.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
53.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
45.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	0.00
37.498	/	/	/	/	/	/	/	/	/	/	0.00	0.00	0.00	0.00	0.00
29.498	/	/	/	/	/	/	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
21.498	/	/	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
13.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
5.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-2.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-10.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-18.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-26.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-34.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-42.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-50.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-58.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-66.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Value chart [fc]

ft	-46.818	-38.818	-30.818	-22.818	-14.818	-6.818	1.182	9.182	17.182	25.182	33.182	41.182	49.182	57.182	65.182	73.182	81.182	89.182	
149.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
141.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
133.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
125.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
117.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
109.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
101.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
93.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
85.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	0.01	0.01
77.498	/	/	/	/	/	/	/	/	/	/	/	/	0.00	0.00	0.00	0.00	0.01	0.01	0.01
69.498	/	/	/	/	/	/	/	/	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01
61.498	/	/	/	/	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.02	0.02
53.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.02	0.02
45.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.02	0.02
37.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.02	0.02
29.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01
21.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01
13.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01
5.498	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-2.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-10.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-18.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-26.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-34.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-42.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-50.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-58.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-66.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Value chart [fc]

ft	97.182	105.182	113.182	121.182	129.182	137.182	145.182	153.182	161.182	169.182	177.182	185.182	193.182	201.182	209.182	217.182
149.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
141.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
133.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
125.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/	/
117.498	/	/	/	/	/	/	/	/	/	/	/	/	/	/	0.14	0.15
109.498	/	/	/	/	/	/	/	/	/	/	0.11	0.17	0.21	0.23	0.24	0.22
101.498	/	/	/	/	/	/	0.03	0.04	0.07	0.09	0.13	0.24	0.38	0.49	0.51	0.42
93.498	/	/	0.02	0.03	0.06	0.11	0.18	0.28	0.36	0.41	0.47	0.67	0.88	1.19	1.25	1.01
85.498	0.01	0.02	0.03	0.06	0.11	0.19	0.34	0.55	0.83	1.11	1.34	1.39	1.27	1.59	1.67	1.44
77.498	0.02	0.03	0.05	0.10	0.16	0.27	0.43	0.65	0.89	1.11	1.27	1.29	1.27	1.43	1.52	1.48
69.498	0.02	0.04	0.07	0.11	0.19	0.29	0.44	0.61	0.81	0.99	1.17	1.33	1.49	1.74	1.82	1.73
61.498	0.03	0.05	0.08	0.12	0.19	0.28	0.41	0.57	0.75	0.95	1.15	1.39	1.54	1.76	1.85	1.76
53.498	0.03	0.05	0.07	0.11	0.17	0.25	0.37	0.51	0.68	0.81	0.97	1.11	1.21	1.33	1.39	1.40
45.498	0.03	0.04	0.06	0.09	0.14	0.20	0.30	0.40	0.49	0.59	0.67	0.74	0.79	0.85	0.89	0.93
37.498	0.02	0.03	0.05	0.07	0.10	0.15	0.19	0.24	0.29	0.35	0.40	0.45	0.48	0.51	0.54	0.58
29.498	0.02	0.02	0.03	0.05	0.07	0.08	0.10	0.12	0.15	0.17	0.20	0.23	0.26	0.27	0.29	0.30
21.498	0.01	0.02	0.02	0.03	0.04	0.04	0.04	0.06	0.06	0.08	0.09	0.11	0.12	0.13	0.14	0.13
13.498	0.01	0.01	0.01	0.02	0.02	0.02	0.02	0.03	0.03	0.03	0.04	0.05	0.05	0.05	0.06	0.06
5.498	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.02	0.02	0.02	0.02	0.02	0.02	0.02	0.03
-2.502	0.00	0.00	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.02
-10.502	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01
-18.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.01	0.00
-26.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.01	0.01	0.00	0.00
-34.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-42.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-50.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-58.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-66.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

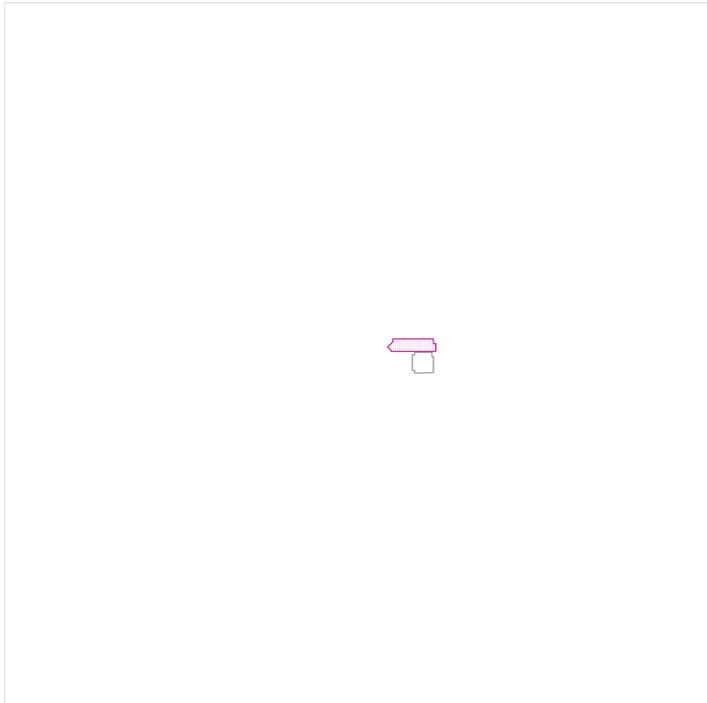
Value chart [fc]

ft	241.182	249.182	257.182	265.182	273.182	281.182	289.182	297.182	305.182	313.182	321.182	329.182
149.498	/	/	/	/	/	/	/	/	/	/	/	/
141.498	/	/	/	/	/	/	/	/	0.04	0.03	0.03	0.02
133.498	/	/	/	/	0.06	0.07	0.07	0.06	0.05	0.05	0.04	0.03
125.498	0.07	0.07	0.08	0.09	0.09	0.10	0.10	0.09	0.08	0.07	0.05	0.03
117.498	0.09	0.09	0.11	0.13	0.15	0.15	0.15	0.15	0.13	0.09	0.06	0.04
109.498	0.10	0.10	0.13	0.18	0.22	0.24	0.24	0.22	0.18	0.12	0.07	0.04
101.498	0.16	0.17	0.17	0.26	0.40	0.52	0.53	0.41	0.28	0.15	0.10	0.08
93.498	0.80	0.82	0.79	0.91	1.02	1.26	1.29	0.99	0.77	0.56	0.47	0.41
85.498	1.96	1.98	1.91	1.73	1.44	1.62	1.64	1.30	1.35	1.37	1.18	0.90
77.498	2.00	2.00	1.91	1.71	1.51	1.51	1.48	1.29	1.28	1.27	1.14	0.93
69.498	1.79	1.79	1.78	1.75	1.73	1.83	1.78	1.53	1.37	1.20	1.02	0.84
61.498	1.68	1.68	1.69	1.75	1.75	1.83	1.79	1.57	1.41	1.19	0.98	0.78
53.498	1.46	1.46	1.44	1.43	1.38	1.37	1.32	1.21	1.11	0.98	0.83	0.69
45.498	1.06	1.06	1.04	1.00	0.93	0.89	0.84	0.79	0.73	0.68	0.60	0.50
37.498	0.62	0.63	0.62	0.62	0.59	0.56	0.52	0.49	0.46	0.41	0.35	0.30
29.498	0.30	0.36	0.40	0.40	0.41	0.39	0.37	0.35	0.32	0.27	0.18	0.14
21.498	0.15	/	/	/	/	/	/	/	/	/	0.00	0.06
13.498	/	/	/	/	/	/	/	/	/	/	0.00	0.03
5.498	/	/	/	/	/	/	/	/	/	/	/	0.00
-2.502	/	/	/	/	/	/	/	/	/	/	/	0.00
-10.502	/	/	/	/	/	/	/	/	/	/	/	0.00
-18.502	/	/	/	/	/	/	/	/	/	/	/	0.00
-26.502	/	/	/	/	/	/	/	/	/	/	/	0.00
-34.502	/	/	/	/	/	/	/	/	/	/	/	0.00
-42.502	/	/	/	/	/	/	/	/	/	/	/	0.00
-50.502	0.00	/	/	/	/	/	/	/	/	/	/	0.00
-58.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
-66.502	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Perpendicular illuminance (Grid)

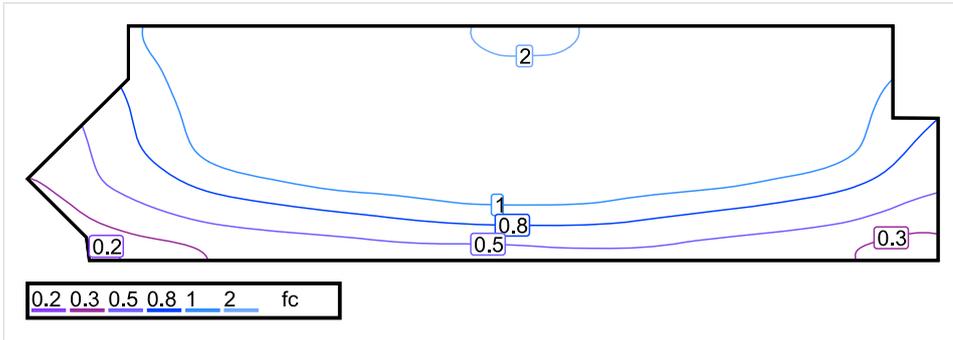
Mean (actual): 0.18 fc, Min: 0.00 fc, Max: 2.00 fc, Mean/Min: /, Max/Min: /,

Calculation surface 2



Result	Mean (target)	Min	Max	Mean/Min	Max/Min
Perpendicular illuminance [fc]	1.11	0.18	2.15	6.167	11.944

Calculation surface 2

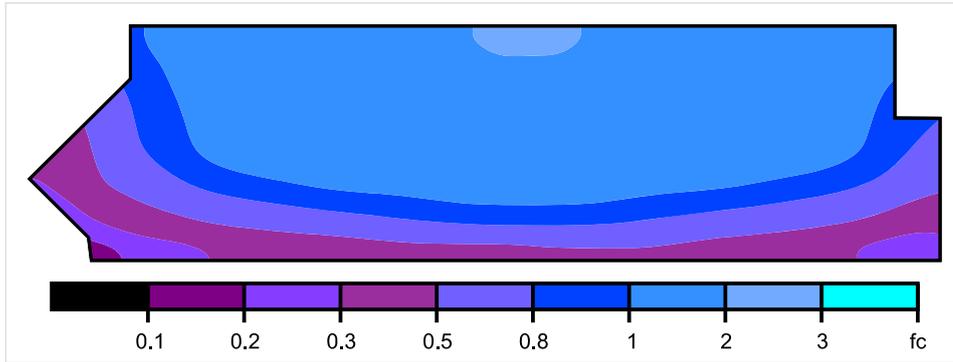


Scale: 1 : 500

Perpendicular illuminance (Grid)

Mean (actual): 1.11 fc, Min: 0.18 fc, Max: 2.15 fc, Mean/Min: 6.167, Max/Min: 11.944,

Calculation surface 2

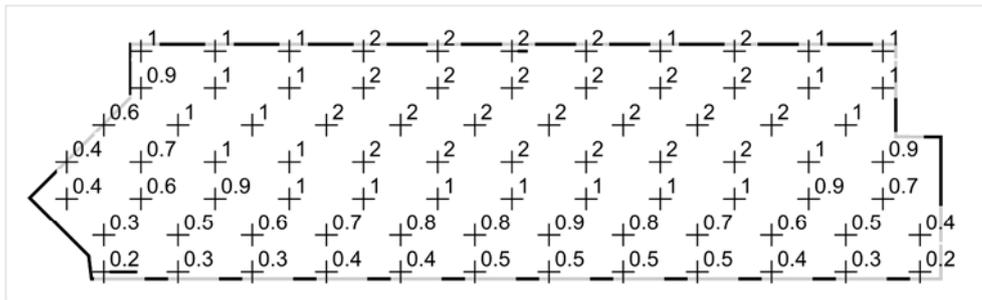


Scale: 1 : 500

Perpendicular illuminance (Grid)

Mean (actual): 1.11 fc, Min: 0.18 fc, Max: 2.15 fc, Mean/Min: 6.167, Max/Min: 11.944,

Calculation surface 2



Scale: 1 : 500

Perpendicular illuminance (Grid)

Mean (actual): 1.11 fc, Min: 0.18 fc, Max: 2.15 fc, Mean/Min: 6.167, Max/Min: 11.944,

Calculation surface 2

Value chart [fc]

ft	-92.902	-84.902	-76.902	-68.902	-60.902	-52.902	-44.902	-36.902	-28.902	-20.902	-12.902	-4.902	3.098	11.098	19.098	27.098	35.098	43.098	
24.376	/	/	/	0.97	1.23	1.37	1.33	1.27	1.55	1.58	1.46	1.73	2.01	2.15	2.13	1.98	1.70	1.70	1.70
16.376	/	/	/	0.87	1.08	1.21	1.30	1.38	1.60	1.66	1.60	1.70	1.83	1.89	1.89	1.82	1.70	1.70	1.70
8.376	/	/	0.62	0.80	0.99	1.18	1.41	1.56	1.82	1.88	1.77	1.78	1.73	1.73	1.74	1.74	1.79	1.79	1.79
0.376	/	0.41	0.57	0.75	0.92	1.13	1.33	1.46	1.63	1.68	1.64	1.66	1.62	1.61	1.61	1.62	1.65	1.65	1.65
-7.624	/	0.35	0.50	0.61	0.74	0.86	0.95	1.03	1.11	1.16	1.18	1.24	1.29	1.30	1.30	1.28	1.22	1.22	1.22
-15.624	/	/	0.33	0.42	0.49	0.56	0.60	0.65	0.69	0.73	0.77	0.81	0.85	0.86	0.86	0.85	0.81	0.81	0.81
-23.624	/	/	0.18	0.23	0.26	0.31	0.35	0.38	0.40	0.42	0.45	0.45	0.45	0.46	0.48	0.48	0.49	0.49	0.49

Value chart [fc]

ft	51.098	59.098	67.098	75.098	83.098	91.098	99.098
24.376	1.57	1.50	1.26	1.33	1.35	1.21	/
16.376	1.69	1.62	1.39	1.30	1.20	1.06	/
8.376	1.88	1.81	1.56	1.41	1.17	0.98	/
0.376	1.66	1.60	1.43	1.30	1.11	0.90	0.73
-7.624	1.14	1.08	1.00	0.93	0.83	0.72	0.60
-15.624	0.72	0.68	0.64	0.59	0.54	0.47	0.40
-23.624	0.45	0.42	0.40	0.36	0.32	0.26	0.22

Perpendicular illuminance (Grid)

Mean (actual): 1.11 fc, Min: 0.18 fc, Max: 2.15 fc, Mean/Min: 6.167, Max/Min: 11.944,

K9 Club – Statement of Compatibility

SECTION 9.03 SPECIAL USE STANDARDS

A. The Planning Commission shall consider the following general standards and any standards established for a specific use when reviewing a special use request.

1. Compatibility with Adjacent Uses

As part of the transitional border from commercial to residential development our building scale and shape is consistent with that theme. Our pitched roof evokes the residential component while the flat roofed wings with their commercial fenestration along with façade articulation bring a commercial element to the design.

With most households owing pets our use will not only be compatible with, but desired by, the households in the nearby neighborhoods. Since our site borders a pedestrian crossing and priority bike route (designated in the Master Plan) we will be poised to service the local community as well as those who utilize Maple Road as a through fare.

2. Compatibility with the Master Plan.

The Maple Road section of the Master Plan begins with this Vision Statement:

*“There are moments in the development of a city where an opportunity presents itself, and where entrepreneurs are rewarded. With less focus on land use, and more focus on quality development, businesses incubation, creation of anchors, and reinvestment through **entrepreneurship**, Maple Road can become a choice location.”*

Priority 2 of this section of the Master Plan emphasizes the encouragement of entrepreneurship and redevelopment and even goes so far as to include our intended use:

*“Entrepreneurial:
Finally, the entrepreneurial businesses are comprised of lifestyle businesses and startup companies, including cross fit gyms, **pet daycare facilities**, and several photography studios.”*

*The corridor’s future opportunities along these segments should **be focused on entrepreneurial development and growth**. This strategy focuses on eliminating barriers and creating a sense of entrepreneurship to identify and promote new uses and development types that can restore values. The Plan intent is to accommodate the widest possible spectrum of uses to ensure flexibility and provide for entrepreneurship.*

We are therefore, through mention of and inclusion in the Master Plan totally compatible with its intent.

3 Traffic Impact.

Our proposed use generates little traffic and will have no adverse impact on the traffic in the area.

Our parking requirement in fact is only 15 parking spaces because our daily number of customers is very low. This also includes a maximum of 5 parking spaces for 5 employees, which is only necessary at peak times such as holidays. Normally there will be only 3 employees on site working at one time.

Our busier morning hours, between 6am – 8am, will see approx. 30 pet drop-offs. And we will experience similar traffic between 5pm – 7pm. Traffic during other hours will be much lower than those peak times.

4 Impact on Public Services.

Our proposed use will have no adverse impact on the public services in the area.

All facility lighting will be via LED lights, which requires a minimal amount of electricity vs. incandescent or sodium lighting.

And even later usage is very low. Although many people may guess that there is a lot of power washing taking place at a pet care facility this is no longer the case. Pressure washing turns contaminants into an air-borne "aerosol state", which increases the chance of pets getting sick. Modern pet care facilities, including ours, use low water consumption floor portable cleaning machines.

5. Compliance with Zoning Ordinance Standards.

The proposed Special Use will be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and complies with all applicable ordinance standards as evidenced by the documents in our submission.

6. Impact on the Overall Environment.

The proposed Special Use will not unreasonably impact the quality of natural features and the environment in comparison to the impacts associated with typical permitted uses.

As an integral part of our development of this site, and as recommended by the Oakland County Drain Commission, we will improve the condition of the Spencer drain at its terminus before it goes under Maple Road.

The nature of our use requires less parking than average development of similar size and compatible use. As such, fewer cars will have a lesser impact on the environment.

It is our intent to design using the best technology available to construct an extremely energy efficient building to minimize our carbon footprint.

7. Special Use Approval Specific Requirements.

- A.** No animal wastes, biohazard materials or byproducts shall be buried or incinerated on-site, or allowed to enter to groundwater.

Solid pet waste, whether indoors or out, will be quickly picked up and disposed of in proper sanitation containers. Sanitation containers will be emptied once/week or more often as needed.

Liquid pet waste will not be allowed to enter the groundwater. Each of K9 Club's 3 indoor pet play areas will have a raised K9 grass pet waste elimination area, sprayed with a natural and safe attractant to encourage use. Since K9 Club's pets spend a significant part of their day in these indoor areas, pets may relieve themselves any time they wish. The pet waste elimination areas will be connected to the sanitary sewer, will include K9 grass, natural landscaping boulders, and a fire hydrant.

Indoor pet waste elimination areas are very effective. A quick Google or Amazon.com search will display dozens of effective, highly rated, indoor home solutions for the home market. Additionally, hundreds of pet daycare centers and kennels in large cities across the United States use indoor areas as their only solution for pet waste elimination due to zoning constraints or the lack of available outdoor land (i.e. a dog daycare in downtown NYC).

The primary intended use of the outdoor play area is for play during very limited daily hours. Its intent is not for potty breaks for the pets.

- B.** No building, dog run or exercise area is within 100 feet of any adjacent occupied dwelling.
- C.** Dog exercise areas are not located within the front yard and are screened with an opaque fence 6 feet high.
- D.** All principle uses other than dog runs and exercise areas are in a totally enclosed building.
- E.** All operations and the housing of animals are contained in a completely enclosed building.

LOGOTYPE



PRIMARY



SECONDARY



OPTIONAL

COLORS



PMS 167 U
SETTER RED



PMS BLACK 3 U - LAB BROWN
PMS 466 U - YORKSHIRE BEIGE



PMS BLACK 6 U - NEWFOUNDLAND
PMS 7407 U - GOLDEN RETRIEVER
PMS 1665 U - TABBY ORANGE

FONTS

Rockwell

Day care, Grooming, Training (Regular)
Boarding for cats and dogs (Italic)
Love, Treats and more (Bold)
K9 Club (Bold Italic)

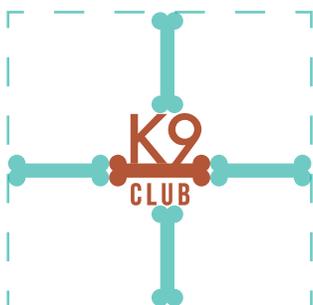
COLLATERAL, HEADERS/SPECIAL CALLOUTS

Arial Narrow

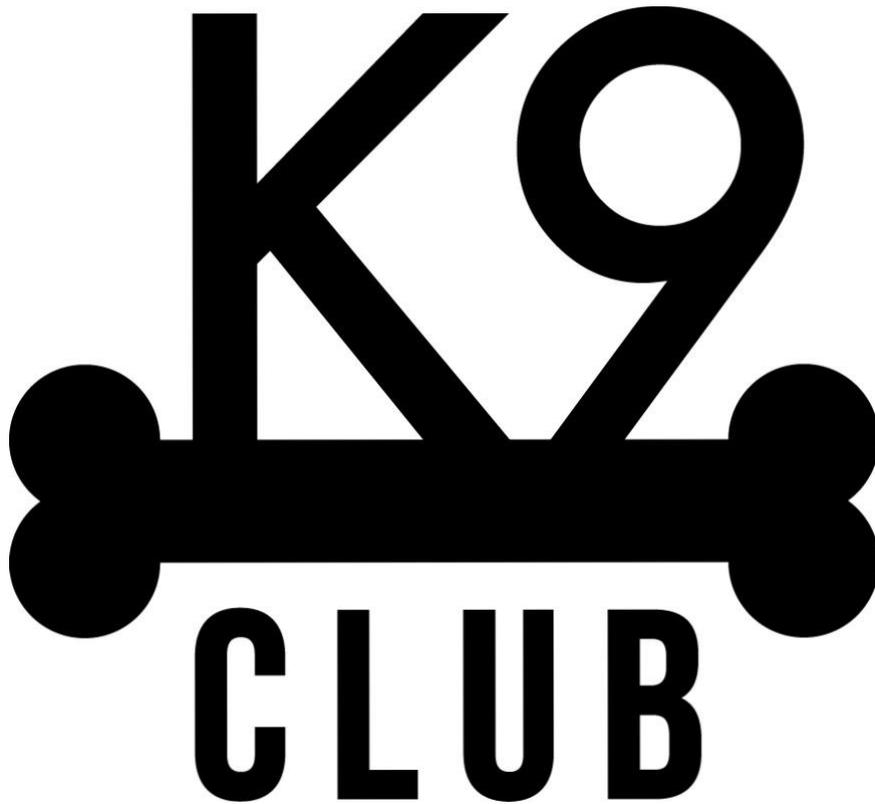
Day care, Grooming, Training (Regular)
Boarding for cats and dogs (Italic)
Love, Treats and more (Bold)
K9 Club (Bold Italic)

BODY COPY, LETTERS, WEB, ETC.

LOGOTYPE
SAFE USAGE



SAFE DISTANCE SURROUNDING LOGOTYPE
EQUALS (1) BONE LENGTH



Urban Pet Center with a “Cool Vibe”

Troy, MI

Veteran-Owned

Proudly, K9 Club is a majority veteran-owned business

Professionals and Consultants Hired

Asselin McLane Architectural Group

Architects

Flint, MI

Plow Digital

Digital marketing, branding

Indianapolis, IN

Turnkey, Inc.

Pet care industry and construction consultants

Houston, TX

System Trends

Business management software solutions, mobile phone apps

Atlanta, GA

Web Savvy Marketing

Website design, SEO optimization

Commerce, MI

Parking, Employee Headcount

Designed to meet the specific needs of the business, K9 Club only requires 15 parking spaces. The maximum number of employees at peak times will be 6. And there are no “shift changes” so there would never be a time in which both a first shift and second shift of employees are on the property at the same time. Employee start times in the morning will be staggered, which means that relieving these employees in the late afternoon will be at staggered times as well.

Average and Maximum Number of Dogs

K9 Club customers are primarily there to drop off or pick up their dogs. Customers are on the premises for only a few minutes at a time. Daycare customer drop-off's are staggered between 6am – 8am, depending on the customer's work schedule. K9 Club anticipates an average of 30 daycare dogs per day during the week. Daycare pickup is between 4pm – 7pm, and again, it's depending upon the customer's work schedule.

K9 Club will include approximately 70 overnight dog kennels. The average number of overnight dogs is estimated to be 25. And many of these dogs will also be the same daycare guests mentioned in the paragraph above. K9 Club anticipates that the overnight kennels will be full to capacity only during major holidays such as Easter, Fourth of July, Thanksgiving, Christmas, and New Year's. During the few days per year in which K9 Club anticipates to be at capacity, the estimated number of dogs on the property at one time is estimated to be 90. So for all but a few days per year, the estimated number of dogs on the property would be less than 50 (remember, many of the dogs in daycare during the day are the same dogs staying with K9 Club overnight).

Traffic Impact

K9 Club's traffic impact onto Maple Rd. is very negligible due to the low employee headcount and low daily visits by customers.

Managing Noise

To comply with Troy's noise ordinance, K9 Club will follow these guidelines:

- No adjacent occupied dwelling will be within 100 feet of any building, dog run or exercise area.
- The dog exercise area will not be located within the front yard and will be screened with an opaque, solid fence 6 feet high.
- All principle uses other than dog runs and exercise areas will be in a totally enclosed building.
- All operations and housing of animals will be contained in a completely enclosed building.
- The outdoor exercise area will not be used outside of the hours of 7am – 8pm. And in fact, K9 Club's outdoor exercise times will most likely be limited to between the hours of 8am – 5pm.
- Outdoor exercise areas will include many features that will occupy the dog's attention, thereby reducing barking. The list includes: (a) separate exercise areas to reduce the number of dogs in one area, (b) lots of trees, boulders, landscaping, (c) exercise and climbing structures, (d) toys.

Additionally, the outdoor exercise area will be supervised by one or more employees when dogs are occupying this area. Excessively noisy dogs will be brought back inside to exercise. K9 Club's design includes nearly 2,000 square feet of indoor exercise area, which is the primary area for exercise/play.

Managing Dog Waste

Troy's zoning ordinance states "no animal wastes, biohazard materials or byproducts shall be buried or incinerated on-site, or allowed to enter to groundwater".

Utilizing smart design and management practices, K9 Club will comply with the zoning ordinance as follows.

Solid dog waste, whether indoors or out, will be quickly picked up and disposed of in proper sanitation containers. Sanitation containers will be emptied as needed to manage offensive odors.

Liquid dog waste will not be allowed to enter the groundwater. K9 Club's indoor play areas will each have a raised K9 grass dog waste relief area, sprayed with a natural and safe attractant to encourage use. Since K9 Club's dogs spend a significant part of their day in these indoor areas, dogs may relieve themselves any time they wish. Indoor dog waste relief areas will be connected to the sanitary sewer.

Indoor dog waste relief areas are very effective. A quick internet search will display dozens of effective, highly rated, indoor home solutions for the home market. Additionally, hundreds of commercial pet centers in large cities across the United States use indoor areas as their exclusive solution for dog waste relief due to zoning constraints or the lack of available outdoor land.

Repurposing with Expanded Parking

In the event K9 Club outgrows the Maple Rd building it's important to know that this is not a single use building, but instead may be repurposed for many types of commercial or office uses. Following this page is a site drawing titled "Repurposing with Expanded Parking". It can be seen that by eliminating the outdoor exercise area in the rear yard, at least 23 parking spaces may be easily added. And a slight relocation of the dumpster allows for another 3 parking spaces. These additional 26 parking spaces, along with the 15 existing spaces, makes for a grand total of 41 spaces.

Nestled in the northern Netherlands (specifically Holland), this building, with its unique, clean, contemporary “skin” of painted metal and stained cedar was in part the inspiration for the 2 story portion of K9 Club’s design.

The cedar does a good job of softening the metal cladding’s appearance while still allowing the building to make a modern statement.



And from the Bureau for Architecture and Urbanism here is another example of metal paired with stained cedar. This time, though, the painted metal is a standing seam, similar to the appearance K9 Club is aiming for. Notice how the standing seams of the roof are exactly in line with the wall seams. McElroy Metal, a premium metal roofing and siding manufacturer since 1963, who will most likely be K9 Club's metal siding supplier, could not recall any project in which they have used this technique, but loved the idea.



And below is a Leadership in Energy and Environmental Design (LEED) certified winery in Virginia. It's an excellent example of mixing standing seam metal siding, stained cedar and stone. Of course, brick would be a suitable alternative to the stone.



Contemporary dormers provide an opportunity for mixing exterior cladding materials. K9 Club is currently designed with 6 dormers, covered with stained cedar lap siding.



When looking at these gabion planters do they appear to have a more natural or industrial appearance? Either way they would be an unexpected modern element when incorporated in K9 Club's landscaping.



Below is a metal outdoor sculpture. The photo was taken in downtown Knoxville, TN, but the sculpture now resides in Fenton, MI. It's a good example of what will be in place at K9 Club in the outdoor landscaping.



Bringing the outdoors inside, this gabion reception desk (below) resides at a high end sporting goods store, and is similar to the appearance of how K9 Club's reception desk will look.



K9 Club's lobby will feature a reception desk, retail space, sitting area and coffee bar. The appearance and decorating will have a cool vibe and be somewhat "industrial rustic", eclectically accented with a modern flair. Think Starbuck's or Zingerman's Deli in Ann Arbor. Examples of this look are below.



Date: March 4, 2016
To: Planning Commission
From: R. Brent Savidant, Planning Director
Subject: APPLICATION TO DE-LIST 3645 CROOKS ROAD

Kristel Group Inc. purchased 3645 Crooks from the City of Troy on July 13, 2015. The property is listed as a historic property in the City's Historic Preservation Ordinance (Chapter 13).

The building was originally a house but was used as an Engineering Field Office by the City for years. Prior to that it had been used as an insurance office, which it was used for at the time it was listed. The office use was legal non-conforming, since the property was zoned One Family Residential. Alterations made to the interior and exterior of the building have significantly impacted its original historic character. The owner seeks to de-list the property to provide flexibility when renovating the building.

Chapter 13 specifies the process for de-listing (see attached checklist). City Council appointed a Historic District Study Committee (HDSC) on September 28, 2015. The HDSC reviewed the Preliminary Report at a meeting on November 13, 2015. The Preliminary Report was submitted to the Michigan Historical Commission and the State Historic Preservation Review Board for review and comment (see attached letter). Following the 60-day review period, the HDSC reviewed the Final Report at a meeting on February 19, 2016, and recommended that the property be de-listed.

The Planning Commission is asked to make a recommendation on the Final Report to City Council, as per Chapter 13.

Attachments:

1. Map
2. Checklist to Delist a Historic Resource
3. Minutes (draft) from February 19, 2016 Historic District Study Committee meeting
4. Final Report to De-List 3645 Crooks
5. Letter from MSHDA, dated January 16, 2016.

G:\Historic District Study Committee\3645 Crooks\PC Memo 03 08 2016.doc

PROPOSED RESOLUTION

APPLICATION TO DE-LIST 3645 CROOKS ROAD

Resolution # PC-2016-03-

Moved by:

Seconded by:

RESOLVED, The Planning Commission hereby supports the de-listing of 3645 Crooks Road, as per the recommendation of the Historic District Study Committee.

Yes:

No:

MOTION CARRIED/FAILED

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CHECKLIST TO DELIST A HISTORIC RESOURCE

The following are the steps required to delist a historic resource in Troy, as per Chapter 13 Historic Preservation:

Applicant submits a complete Application to Delist a Historic Resource to the City of Troy Planning Department.

Historic District Study Committee (HDSC) is appointed to complete the following steps:

HDSC prepares a Preliminary Report, including photo inventory that indicates one of the following reasons for de-listing:

The historic district has lost those physical characteristics that enabled establishment of the district

The historic district was not significant in the way previously defined

The historic district was established pursuant to defective procedures

Transmit the Preliminary Report to the Historic District Commission, The Michigan Historical Commission and the State Historic Preservation Review Board, Planning Commission and City Council

The Planning Department shall schedule a public hearing with the HDSC not less than sixty (60) days after the Preliminary Report is on the City Council agenda as an informational item.

The Planning Department shall mail the property owner via first class mail a written notice of the public hearing, not less than fourteen (14) days prior to the public hearing.

After the public hearing, the HDSC shall prepare a Final Report with the recommendations of Planning Commission and transmit the Final Report to City Council

City Council may consider an amendment to Chapter 13 which modifies or eliminates one or more of the historic districts.

Council approves and property owner notified

The Historic District Study Committee meeting began at 9:00 p.m. on February 19, 2016, in Conference Room C of Troy City Hall.

1. ROLL CALL

Present:

Barb Chambers

Laurie Huber

Charles Salgat

Also Present:

R. Brent Savidant, Planning Director

Mirela Pllumaj, Owner of 3645 Crooks

2. APPROVAL OF AGENDA

Moved by: Huber

Seconded by: Salgat

RESOLVED, To approve the Agenda as prepared.

Yes: All present (3)

MOTION CARRIED

3. APPROVAL OF MINUTES

Moved by: Huber

Seconded by: Salgat

RESOLVED, To approve minutes of November 13, 2015, as presented.

Yes: All present (3)

MOTION CARRIED

4. PUBLIC HEARING – FINAL REPORT, APPLICATION TO DE-LIST A HISTORIC PROPERTY – 3645 CROOKS

Mr. Savidant presented the Final Report. The only addition to the Preliminary Report was the addition of the letter from the State of Michigan. The Committee disagreed with the letter and concurred that the property had been listed in error, as its character had been significantly diminished before it was listed..

Mr. Salgat noted, the historic significance of the home as listed on the Building-Structure Inventory Form was that Riley Crooks once lived on the property. However, Mr. Crooks died in 1830. The home was constructed around 1953. Therefore Mr. Crooks died 23 years before the home was constructed.

General discussion followed.

The Chair opened the public hearing. Nobody spoke. The chair closed the public hearing.

The Committee requested that updated photographs of the building be provided to City Council.

The Committee agreed the building’s interior and exterior had been significantly altered from its original character when converted to an office use. This alteration occurred prior to being listed as a historic property. The integrity of the property is non-compliant to historical resource standards and the historic character has been eliminated. For this reason the Committee supports de-listing.

Moved by: Huber
Seconded by: Salgat

RESOLVED, The Historic District Study Committee hereby approves the Final Report to De-List 3645 Crooks Road.

BE IT FINALLY RESOLVED, The Historic District Study Committee hereby recommends that City Council takes action to de-list 3645 Crooks Road.

Moved by: Chambers
Seconded by: Salgat

Yes: All present (3)

MOTION CARRIED

5. PUBLIC COMMENT

There was no one present who wished to speak.

Chairperson Chambers adjourned the meeting at 9:25 am.



HISTORIC DISTRICT STUDY COMMITTEE MEETING AGENDA

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Barbara Chambers, Laurie Huber, Charles Salgat

February 19, 2016

9:30 A.M.

Conference Room C

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – November 13, 2015
4. PUBLIC HEARING - FINAL REPORT, APPLICATION TO DE-LIST A HISTORIC PROPERTY – 3645 CROOKS
5. PUBLIC COMMENT

ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

The Historic District Study Committee meeting began at 3:32 p.m. on November 13, 2015, in the meeting room of Troy Historic Village.

1. ROLL CALL

Present:

Barb Chambers

Laurie Huber

Charles Salgat

Also Present:

R. Brent Savidant, Planning Director

Mirela Pllumaj, Owner of 3645 Crooks

2. APPROVAL OF AGENDA

Moved by: Salgat

Seconded by: Huber

RESOLVED, To approve the Agenda as prepared.

Yes: All present (3)

MOTION CARRIED

3. ELECTION OF OFFICERS

Moved by: Salgat

Seconded by: Huber

RESOLVED, To elect Barb Chambers as Chairperson.

Yes: All present (3)

MOTION CARRIED

4. PRELIMINARY REPORT, APPLICATION TO DE-LIST A HISTORIC PROPERTY – 3645 CROOKS

Mr. Savidant presented the Preliminary Report. General discussion followed.

The Committee agreed the building's interior and exterior had been significantly altered from its original character when converted to an office use. This alteration occurred prior to being listed as a historic property. For this reason the Committee supports de-listing.

Moved by: Huber

Seconded by: Salgat

RESOLVED, The Historic District Study Committee hereby approves the Preliminary Report to De-List 3645 Crooks Road.

BE IT FURTHER RESOLVED, The Historic District Study Committee hereby requests that the Planning Department transmit copies of the Preliminary Report to City Council, the Planning Commission, the Historic District Commission, the Michigan Historical Commission and the State Historic Preservation Review Board, and any additional review body required by the State Historic Preservation Officer.

BE IT FINALLY RESOLVED, The Historic District Study Committee hereby requests the Planning Department to schedule a public hearing not less than sixty (60) days after the transmittal of the report to the above listed organizations.

Yes: All present (3)

MOTION CARRIED

5. PUBLIC COMMENT

There was no one present who wished to speak.

Chairperson Chambers adjourned the meeting at 3:55 pm.

Date: February 9, 2016

To: Historic District Study Committee

From: R. Brent Savidant, Planning Director

Subject: Elimination of Historic District Designation – 3645 Livernois

The owner of 3645 Crooks requested that the historic district designation of their property be eliminated. The Historic District Study Committee prepared the attached Final Report for 3645 Crooks, as required by Chapter 13 Historic Preservation.

The Historic District Study Committee reviewed the Preliminary Report at their November 13, 2015 meeting and requested that the Planning Department transmit copies of the Preliminary Report to City Council, the Planning Commission, the Michigan Historical Commission and the State Historic Preservation Review Board, and any additional review body required by the State Historic Preservation Officer. The Planning Department completed these tasks.

The Michigan State Housing Development Authority (MSHDA) reviewed the Preliminary Report and stated the application does not meet standards for de-listing. Further, MSHDA encouraged the City to make every effort to continue to protect the resource. The findings of the HDSC at the November 13, 2015 meeting disagree with those of MSHDA.

The final task of the Historic District Study Committee as it relates to this application is submit of the Final Report and recommendation to City Council.

Attachment:

1. Minutes from November 13, 2016 HDSC meeting.
2. Final Report to De-List 3645 Crooks

**FINAL REPORT
APPLICATION TO DE-LIST A HISTORIC PROPERTY
3645 CROOKS**

PREPARED BY HISTORIC DISTRICT STUDY COMMITTEE:

Barb Chambers
Laurie Huber
Charles Salgat

A request to remove the historic designation of the property at 4820 Livernois was received from the present owner, Mirela Pllumaj of Kristel Group.

The following is a Final Report by the Historic District Study Committee.

Description of Resource:

3645 Crooks

Referred to as the “Riley Crooks House”



Legal Description of 3645 Crooks:

(Tax ID: 88-20-20-226-038)

T2N, R11E, SEC 20

TROY HIGHLANDS NO. 1

LOT 70

Historical Significance (Reason for Listing):

According to the Building-Structure Inventory Form prepared by the Historic District Commission on October 31, 1983:

“Land taken by Riley Crooks who came into Troy 1822, and being the first Twp Clerk and held first town meeting. Sold to Sprague 1832-1896. Spragues lived 64 years”

Findings of Fact:

The Building-Structure Inventory Form indicates there has been extensive renovations made to the original structure over time:

- The residential building was being used as a business at the time of designation.
- The home featured non-original siding at the time of designation.
- The Michigan stone basement had been repaired with concrete blocks at the time of designation.
- Original fireplace was removed at the time of designation.

Applications of Standards:

Chapter 13 requires that in order to eliminate a property’s historic designation, one or more of the following shall be shown: (1) The historic district has lost those physical characteristics that enabled establishment of the district; (2) The historic district was not significant in the way previously defined; and (3) The historic district was established pursuant to defective procedures.

Based on research conducted, the subject parcel meets two of the standards:

1. *The historic district has lost those physical characteristics that enabled establishment of the district.*

The original home has been used as an office since at least 1983, the year it was designated as a historic building. The character of the building is that of an office. The interior has been dramatically altered to accommodate the office use.

2. *The historic district was not significant in the way previously defined.*

The character of the original home was negatively impacted by its use as a business prior to designation. It is unclear why the building was designated in 1983 given the modifications that had already occurred.

3. *The historic district was established pursuant to defective procedures.*

It appears the historic characteristics of the original home were already negatively altered at the time of designation in 1983. The home has been used for business purposes since that time.

MSHDA Findings

The Michigan State Housing Development Authority (MSHDA) reviewed the Preliminary Report and stated the application does not meet any of the above three standards for de-listing. Further, MSHDA encouraged the City to make every effort to continue to protect the resource.

Recommendation:

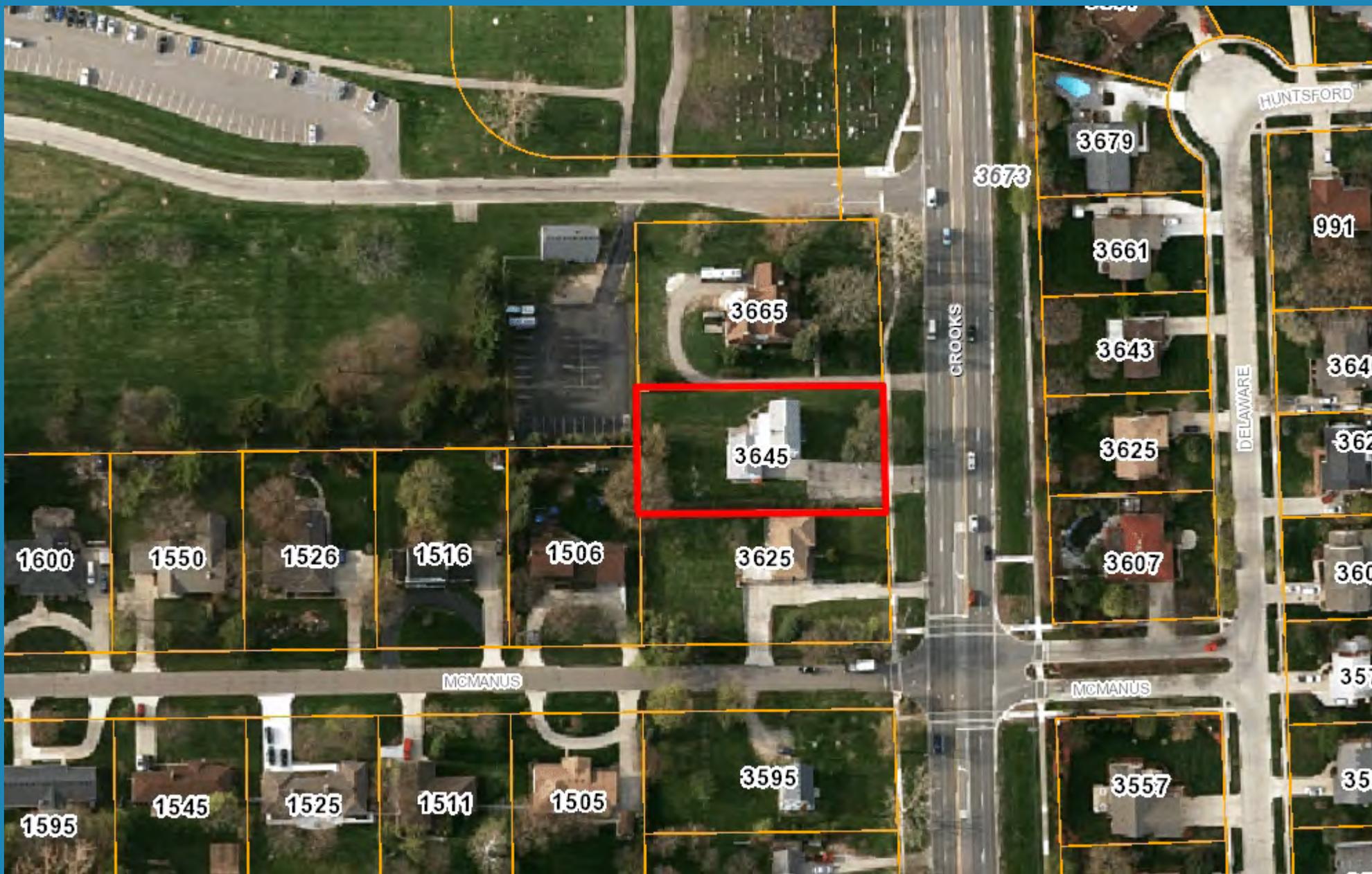
The historic designation restricts the improvement of this residential building. The interior of the structure had already been gutted prior to designation as a historic property, to accommodate office use. This included removal of the fireplace. Modifications to the exterior of the building had already been made prior to designation.

It is recommended that the historic district designation for 3645 Crooks be eliminated.

Attachments:

1. Map
2. Building-Structure Inventory Form
3. Photos of site
4. Letter from Michigan State Housing Development Authority, dated January 16, 2016

G:\Historic District Study Committee\3645 Crooks\REPORTS\Final Report HDSC 3645 Crooks.doc



325 0 163 325Feet



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

BUILDING-STRUCTURE INVENTORY FORM

Michigan History Division
Michigan Department of State
Lansing, Michigan 48918

For Office Use

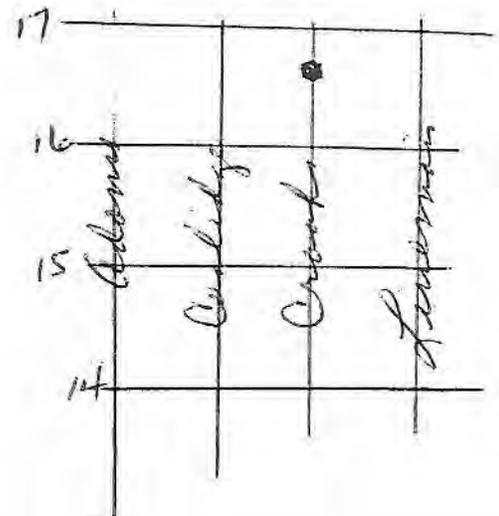
Theme _____

IDENTIFICATION

1. Building name Crooks - Sprague - Ford
2. County Oakland Town/City Troy Village _____
3. Street Location 3645 Crooks Rd.
4. Ownership: a. Public b. Private
5. Present Owner M/M Kenneth Adamski Address 1780 Kensington Blmfld Hills
6. Use: Original home Present Business
7. Accessibility to Public: Exterior visible from public road: Yes No
Interior accessible: Explain Some areas due to business

DESCRIPTION

8. Building Material a. clapboard b. stone c. brick d. board and batten
e. cobblestone f. shingles g. stucco h. other partial sided for years
9. Structural Material a. wood frame with interlocking joints b. wood frame with light members (balloon frame)
c. masonry load-bearing walls d. iron frame e. steel frame with curtain walls
f. reinforced concrete g. other Michigan stone basement with block
10. Condition a. excellent b. good c. fair d. deteriorated repairs
11. Integrity a. original site b. moved if so, when? _____
Notes on alterations and additions, with dates and architect.
medium sized early country farm house. At one time there was a fireplace which all traces have been removed.
No other alterations.
12. Related Outbuildings and Property none
a. barn b. carriage house c. garage d. privy e. shed
f. shop g. greenhouse h. landscape features i. other _____
13. Surroundings of the Building Added feature is large horse chestnut tree with girth of 125".
a. open land b. woodland c. scattered outbuildings d. densely built-up
e. commercial f. industrial g. residential h. other _____
14. Photo _____
15. Map



16. Interrelationship of Building and Surroundings

17. Other Notable Features of Building and Site Beautiful doorway which makes the house.
As noted horse chestnut tree.

18. Threats to Building

- a. none known
- b. zoning
- c. roads
- d. developers
- e. deterioration
- f. other _____

SIGNIFICANCE (Indicate sources of information for all statements)

19. Architectural Significance

Date of Construction circa 1853. Architect unknown

Builders, suppliers, etc. _____

Notes on original plan and specifications:

20. Historical Significance:

Land taken by Riley Crooks who came into Troy 1822, and being the first Twp Clerk and held first town meeting..
Sold to Sprague 1832 - 1896. Spragues lived 64 years.

21. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date):

Source for information:

Land Records - County Records, Telegraph Rd., Pontiac

Vital Records - Cemetery, City of Troy

Oakland County History - 1877 by Durand

Inventory Nomination Form on file History Division, Lansing

Prepared by Dorothy Scott Date October 31, 1983

Address _____ Telephone 689-0516

Organization Troy Historic Commission

I understand that the RILEY CROOKS HOME - 3645 CROOKS ROAD located in Troy, Michigan, County of Oakland, and owned by GARY GILLIM, is being submitted to the Michigan History Division of the Michigan Department of State for inclusion in the statewide historic resource inventory and, potentially, for nomination to the State Register of Historic Sites. I am aware that no legal restrictions or allowances are conferred to the property should the proposed site be found eligible for State Registration by the Michigan Historical Commission. Therefore, I GARY GILLIM give my consent to the above mentioned review and potential nomination to the State Register of Historic Sites.

Signed

Gary Gillim

Dated _____

J. Kenneth
Adamski

I understand that the Riley Crooks House located at 3645 Crooks Road, located in Troy, Michigan, County of Oakland, and owned by Kenneth Adamski is being submitted to the Michigan History Division of the Michigan Department of State for inclusion in the statewide historic resource inventory and, potentially, for nomination to the State Register of Historic Sites. I am aware that no legal restrictions or allowances are conferred to the property should the proposed site be found eligible for State Registration by the Michigan Historical Commission. Therefore, I, Kenneth Adamski give my consent to the above mentioned review and nomination to the State Register of Historic Sites.

Dated 11/2/83

Home Address

KENNETH ADAMSKI
1780 KENSINGTON
BLOOMFIELD HILLS, MICH. 48013

I understand that the Riley Crooks House located at 3645 Crooks Road, located in Troy, Michigan, County of Oakland, and owned by Kenneth Adamski is being submitted to the Michigan History Division of the Michigan Department of State for inclusion in the statewide historic resource inventory and, potentially, for nomination to the State Register of Historic Sites. I am aware that no legal restrictions or allowances are conferred to the property should the proposed site be found eligible for State Registration by the Michigan Historical Commission. Therefore, I, Kenneth Adamski give my consent to the above mentioned review and nomination to the State Register of Historic Sites.

Dated 11/2/83

Home Address

KENNETH ADAMSKI
1780 KENSINGTON
BLOOMFIELD HILLS, MICH. 48013

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

FOR NPS USE ONLY
RECEIVED
DATE ENTERED

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC Riley Crooks

AND/OR COMMON Famularos Ins.

2 LOCATION

STREET & NUMBER 3645 Crooks Rd.

CITY, TOWN Troy NOT FOR PUBLICATION
CONGRESSIONAL DISTRICT

STATE Michigan VICINITY OF COUNTY CODE
Oakland

3 CLASSIFICATION

CATEGORY	OWNERSHIP	STATUS	PRESENT USE
<input checked="" type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input checked="" type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE <input type="checkbox"/> MUSEUM
<input checked="" type="checkbox"/> BUILDING(S)	<input checked="" type="checkbox"/> PRIVATE	<input type="checkbox"/> UNOCCUPIED	<input type="checkbox"/> COMMERCIAL <input type="checkbox"/> PARK
<input type="checkbox"/> STRUCTURE	<input type="checkbox"/> 30TH	<input type="checkbox"/> WORK IN PROGRESS	<input type="checkbox"/> EDUCATIONAL <input type="checkbox"/> PRIVATE RESIDENCE
<input type="checkbox"/> SITE	PUBLIC ACQUISITION	ACCESSIBLE	<input type="checkbox"/> ENTERTAINMENT <input type="checkbox"/> RELIGIOUS
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS	<input checked="" type="checkbox"/> YES: RESTRICTED	<input type="checkbox"/> GOVERNMENT <input type="checkbox"/> SCIENTIFIC
	<input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES: UNRESTRICTED	<input type="checkbox"/> INDUSTRIAL <input type="checkbox"/> TRANSPORTATION
		<input type="checkbox"/> NO	<input type="checkbox"/> MILITARY <input checked="" type="checkbox"/> OTHER:

4 OWNER OF PROPERTY

NAME Robert Champayne

STREET & NUMBER 3800 Wabeek Rd.

CITY, TOWN Bloomfield Hills VICINITY OF STATE
Mich

5 LOCATION OF LEGAL DESCRIPTION

COURTHOUSE, REGISTRY OF DEEDS, ETC. Oakland County

STREET & NUMBER 1200 Telegraph Rd.

CITY, TOWN Pontiac, Michigan STATE

6 REPRESENTATION IN EXISTING SURVEYS

TITLE None

DATE

FEDERAL STATE COUNTY LOCAL

DEPOSITORY FOR SURVEY RECORDS

CITY, TOWN STATE

7 DESCRIPTION

CONDITION

EXCELLENT

GOOD

FAIR

DETERIORATED

RUINS

UNEXPOSED

CHECK ONE

UNALTERED

ALTERED

CHECK ONE

ORIGINAL SITE

MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The present structure is a medium sized early country farm house. The main feature is the ornate design of the front doorway which seems to overshadow the rest of the structure. There was at one time a large fireplace on the south end of the structure which would probably have been the living room or family living room with a more formal living room on the north side. Immediately inside the door is the long stairway up. Someone has attempted to refinish the steps and railing. Using a power sander they have made a few wavy spots but left the wood unfinished. Mr. Champayne hopes to redo the interior as it was very cheaply finished to permit office facilities.

One feature that is very striking is in the basement. The original foundation of stone and mortar has had many replaced spots using cement blocks. Further checking shows the first basement was small round stones put together with very thin and crumbly mortar, and that perhaps the builder did not know too much about mixing mortar or could not afford the supplies.

Mr. Champayne hopes that in time when he removes the coverings of the interior we may know more about the room set up, as the house has lovely possibilities of making a spacious home or elegant interior for further business possibilities.

Another feature to add to the house is the large horse chestnut tree in the front yard. The tree has a girth of 125" and is well shaped.

8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION
<input type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)
		<input type="checkbox"/> INVENTION		

SPECIFIC DATES

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

Not many of the houses in Troy can be verified by dates as to year of being built. Tax research shows a high jump in 1853, but believe this structure was built before that time because of its simplicity.

Riley Crooks came into Troy, bringing his mother and sister Polly, from Ontario Co. New York and settled on 80 acres June 1822. Being one of the first settlers of the area. He was well liked and therefore when it was time to enact upon a town council he was called to be first City Clerk and held the first few meetings in his home and in his hayloft in the barn. He died young, April 1830 while chopping a tree when a limb fell on him.

He is buried in Crooks Rd. Cemetery along with his mother. They being the only two. His mother continued living on the homestead for a few years when she sold the property to Orrin Sprague, in 1932. Sprague is the gentleman who sold the Township 1 acre of land called Crooks Rd. Cemetery.

The Sprague family lived the longest in the structure until 1896 when it was sold to George Ford. George Ford and his son Charles were caretakers for many of the cemetery burials.

9 MAJOR BIBLIOGRAPHICAL REFERENCES

History Oakland County - Seeley
History Oakland County - Durant
Oakland County Tax Records 1844-1872
Vital Record Oakland County Courthouse

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY _____

UTM REFERENCES (*we will figure this*)

A	ZONE	EASTING	NORTHING
C	ZONE	EASTING	NORTHING

B	ZONE	EASTING	NORTHING
D	ZONE	EASTING	NORTHING

VERBAL BOUNDARY DESCRIPTION

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE
none			
STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME / TITLE

Dorothy J. Scott

ORGANIZATION

Troy Historic District Commission

DATE

January 12, 1978

STREET & NUMBER

500 West Big Beaver Rd.

TELEPHONE

689-0516

CITY OR TOWN

Troy Michian

STATE

48084

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL _____

STATE _____

LOCAL _____

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

TITLE

DATE

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

DATE

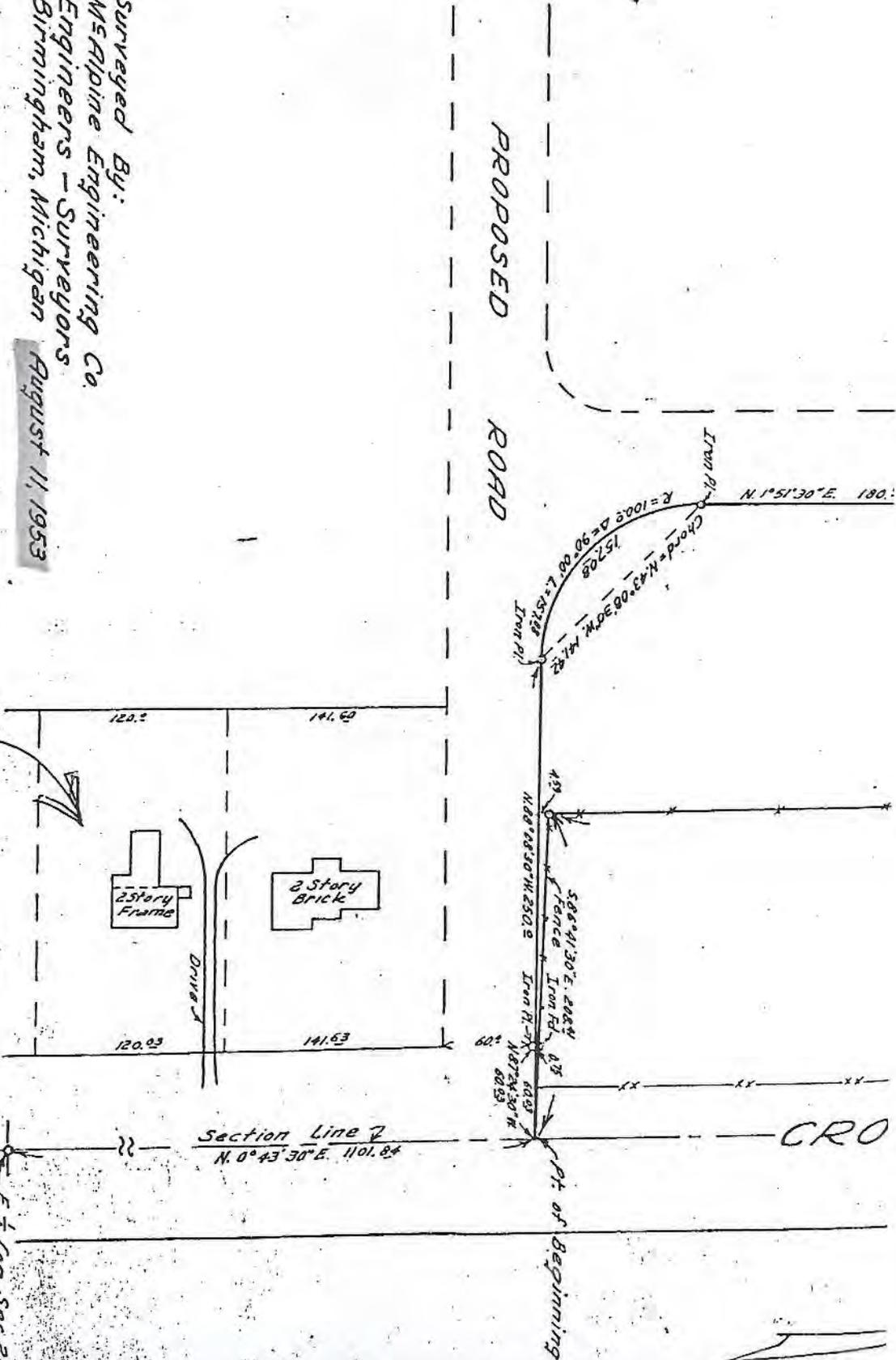
DIRECTOR, OFFICE OF ARCHEOLOGY AND HISTORIC PRESERVATION
ATTEST:

DATE

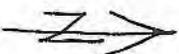
KEEPER OF THE NATIONAL REGISTER

Surveyed By:
 McRipine Engineering Co.
 Engineers - Surveyors
 Birmingham, Michigan
 August 11, 1953

PROPOSED ROAD



3045 Acres





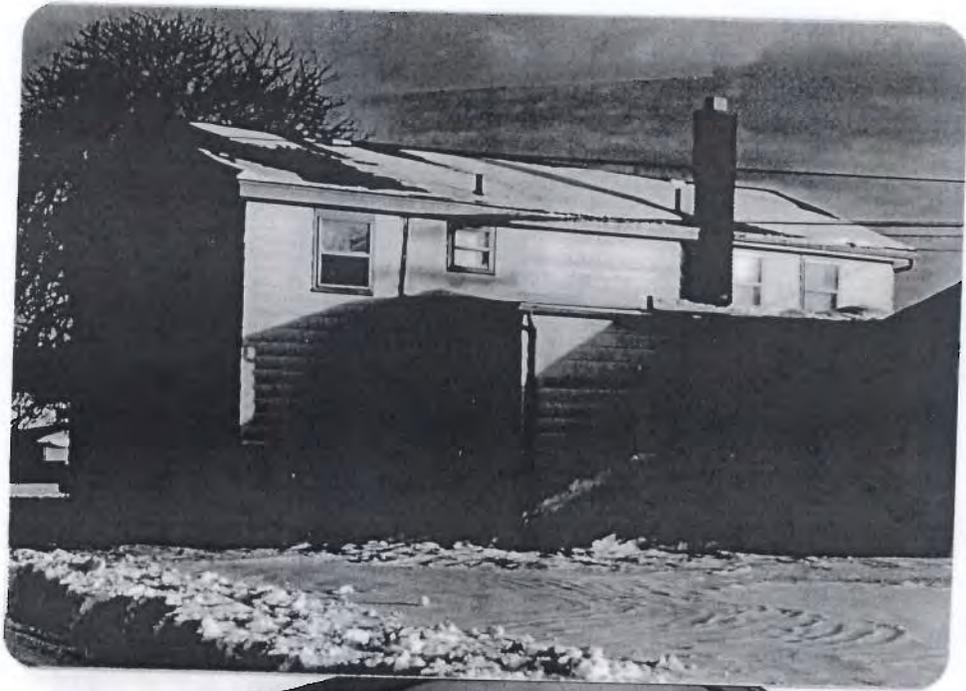
FRONT
facing
EAST



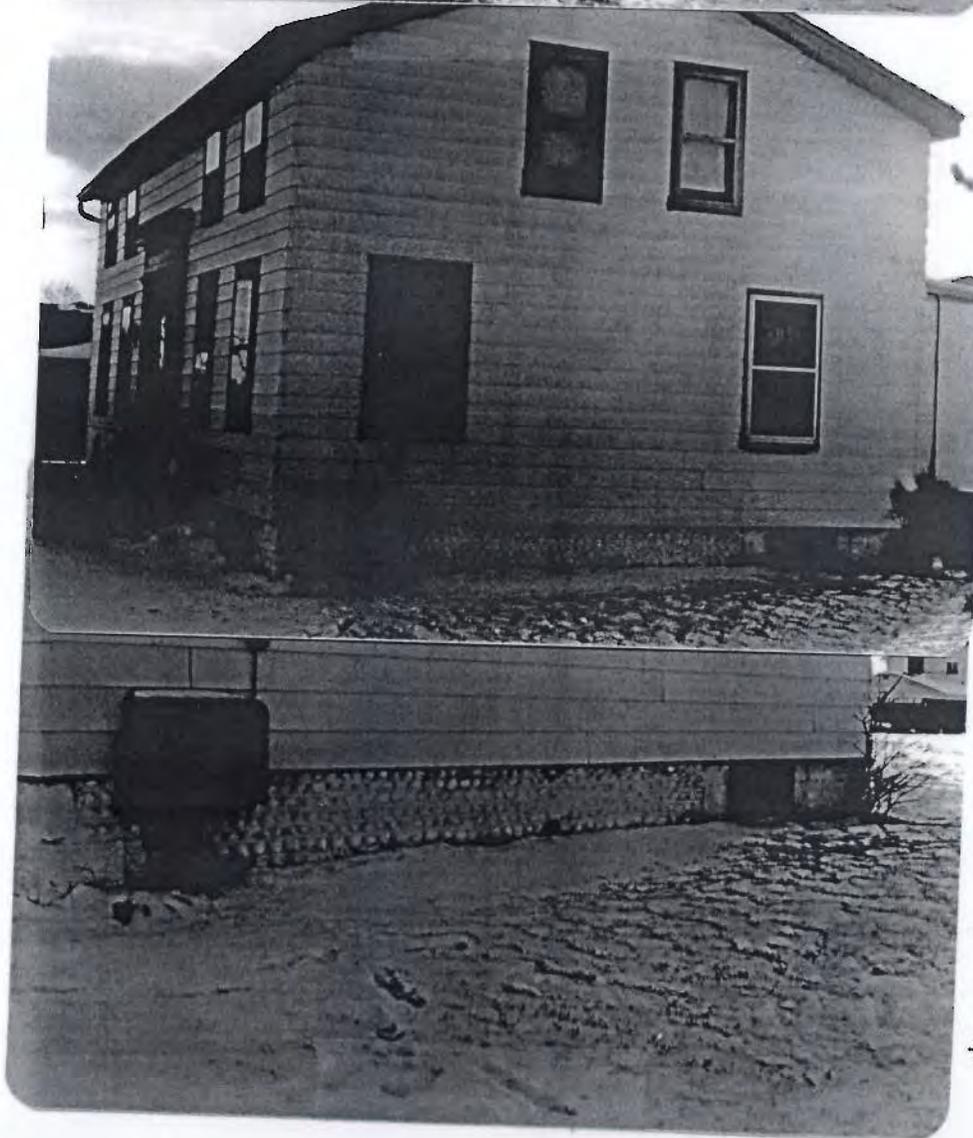
3645 Crook's
Rd.



South east
corner.



North
west
back side.
Addition



North end.

Small
Round
Stones
made
Basement
Foundation



Horse chestnut located in the yard at
3645 Crooks Rd.

125" girth which cannot begin to compare with the largest in Ann Arbor of 182", but that is a State survey and at this point we only have a few such as this one. Seventy five years ago, one of every ten hardwood trees that went to the sawmill was a chestnut. The wood was prized by furniture makers because of its color. Posts outlasted the farmer in his fence row. The chestnut once covered nine million acres of woodlands. There was plenty of chestnut nuts for harvesting until a fluke of a fungus from Japan wiped them out in 1904. Finish. A few are still found in Michigan. If you find one. Take a good look for you may not see too many.

Hearings April 24

4 Troy Locations Nominated for Historic Site Designations

The Troy City Council April 24 will conduct public hearings on whether to classify four locations in the City as "Historical" sites.

The locations are:

—Poppleton school building, 1480 West Sixteen-Mile (Big Beaver) west of Crooks.

—The home of the Morse, Halsey and Poole families, now the B.E. Jiggins Real Estate office, 1934 Livernois, north of Fifteen-Mile (Maple).

—The Butler House, 1181 West Eighteen-Mile (Long Lake) west of Crooks, formerly an antique shop.

—The Riley Crooks House, formerly the Famularo Insurance agency location, 3645 Crooks north of Sixteen-Mile.

The hearings will be during the regular council meeting starting at 7:30 p.m., in City Hall, 500 West Sixteen-Mile.

Historical Preservation Law—

Under Troy's 1972 Historical Preservation Law, buildings with historic designations can't be demolished or their exteriors altered without city approval. Interior remodeling and use of the building aren't affected.

City Council by policy holds hearings to air opinions of the building owner and surrounding property-owners.

30 on List—

Approximately 30 buildings and sites in Troy have been designated as historical sites — all either city-owned or submitted for special designations by the owners.

The four locations have been proposed by the Troy Historic District Commission, a city-appointed group charged with finding and preserving historical sites.

Two of the proposed historical sites, Poppleton and the Jiggins location, have previously been approved for erection of markers by the Michigan Historical Commission. State designation is separate from the city's historical list.

The markers, explaining the history of the two sites, will be erected later this year.

Built in 1877—

Poppleton, constructed in 1877, has been used as a school since then except from 1924-39 when it was a residence. The Troy School District donated the building to the City and the city purchased the site with about \$50,000 raised by private donation.

Additions to the original building are still used for classes, but will be phased out when a new school is completed next fall northwest of the site.

The building was named after the Poppleton family, owners of the property in the mid-1800's.

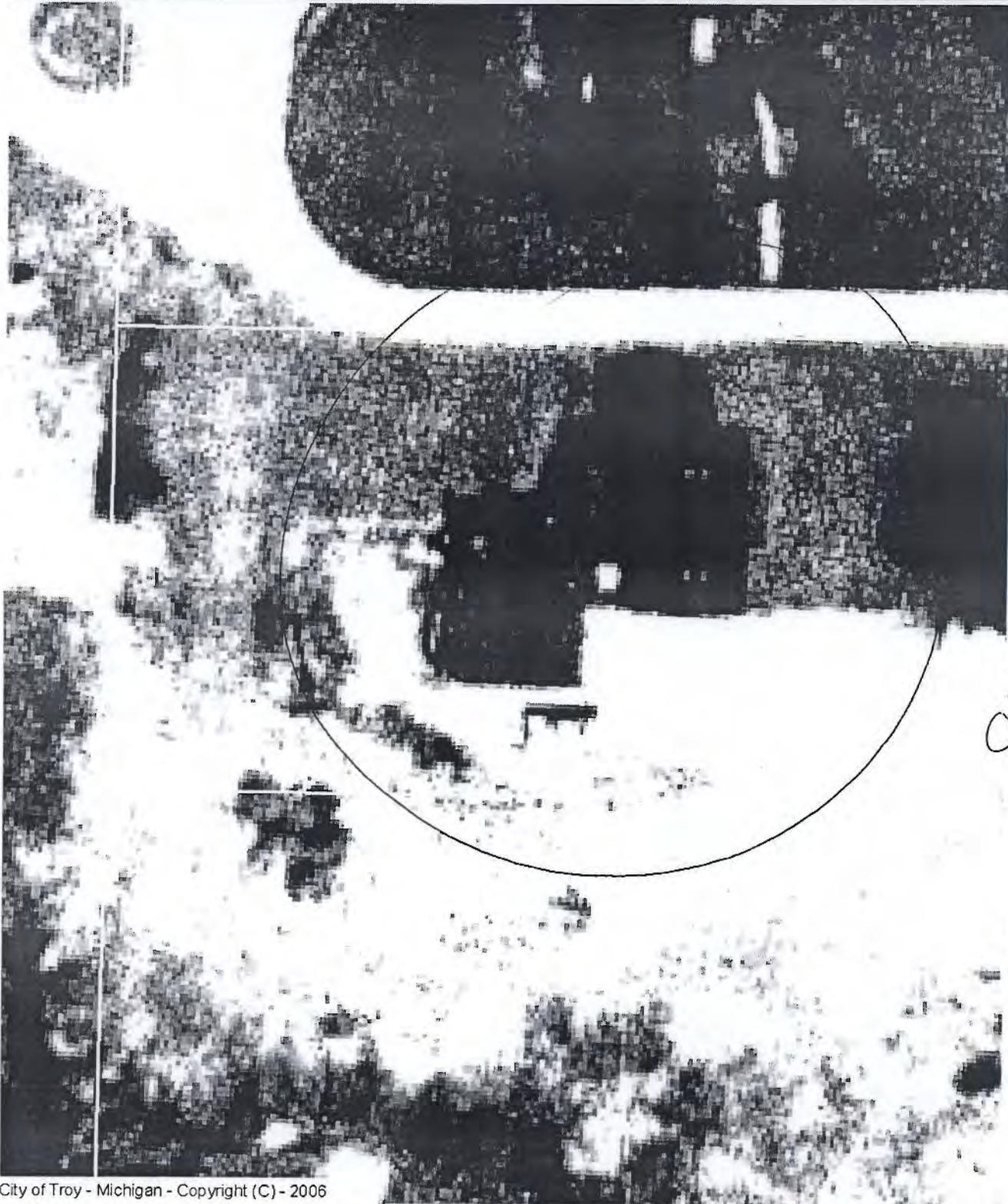
Fire Chief's Ancestors—

The Morse, Halsey, Poole house, built in about 1860, was named after its pioneer occupants. Descendants of those families include Troy Fire Chief James L. Halsey.

Currently owned by Waldo Paladinos, the Butler house

was built about 1853 by Alva Butler. Paladinos resides in the house.

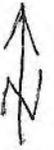
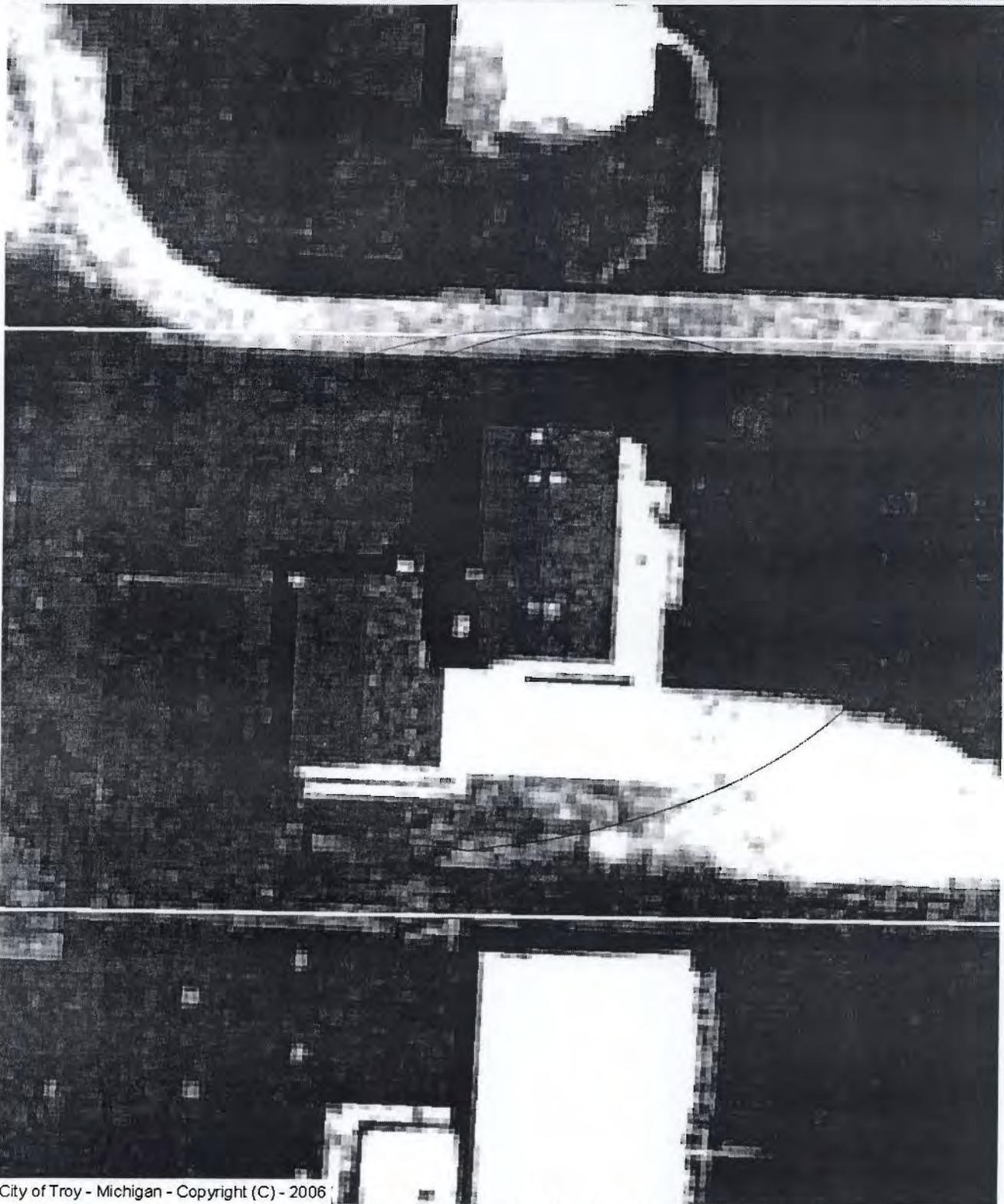
Robert Champayne, Bloomfield Hills, is owner of the Riley Crooks House, built about 1850 by descendants of Riley Crooks who established a homestead on the land about 1822.



3645
Crooks

1963

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

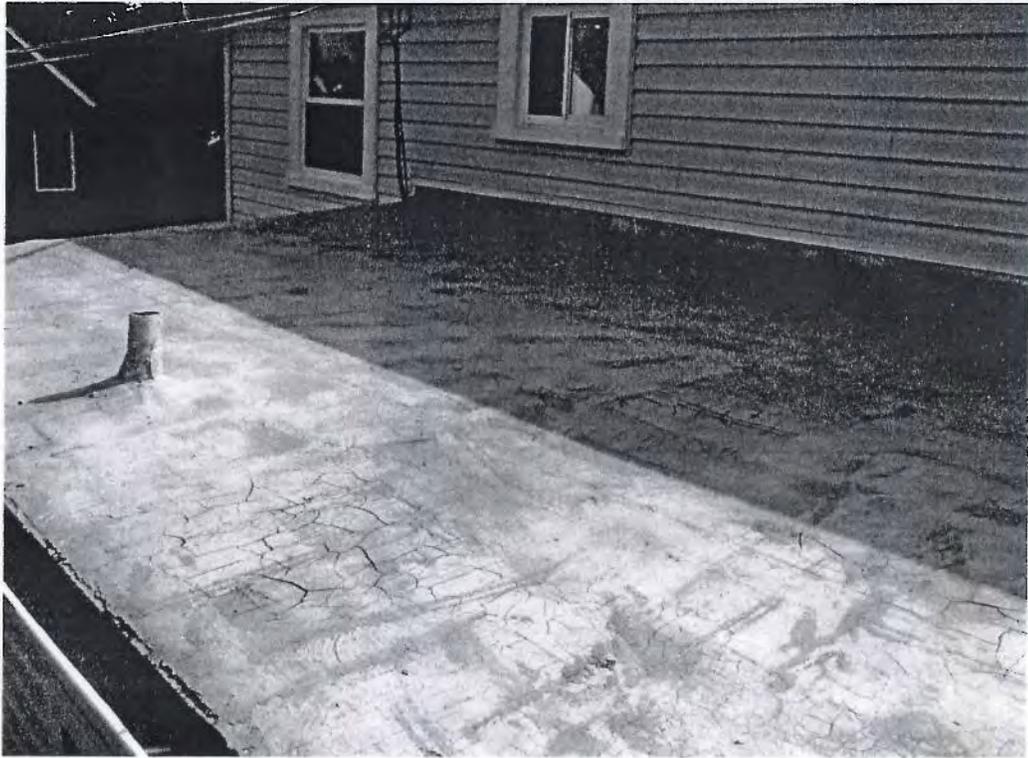


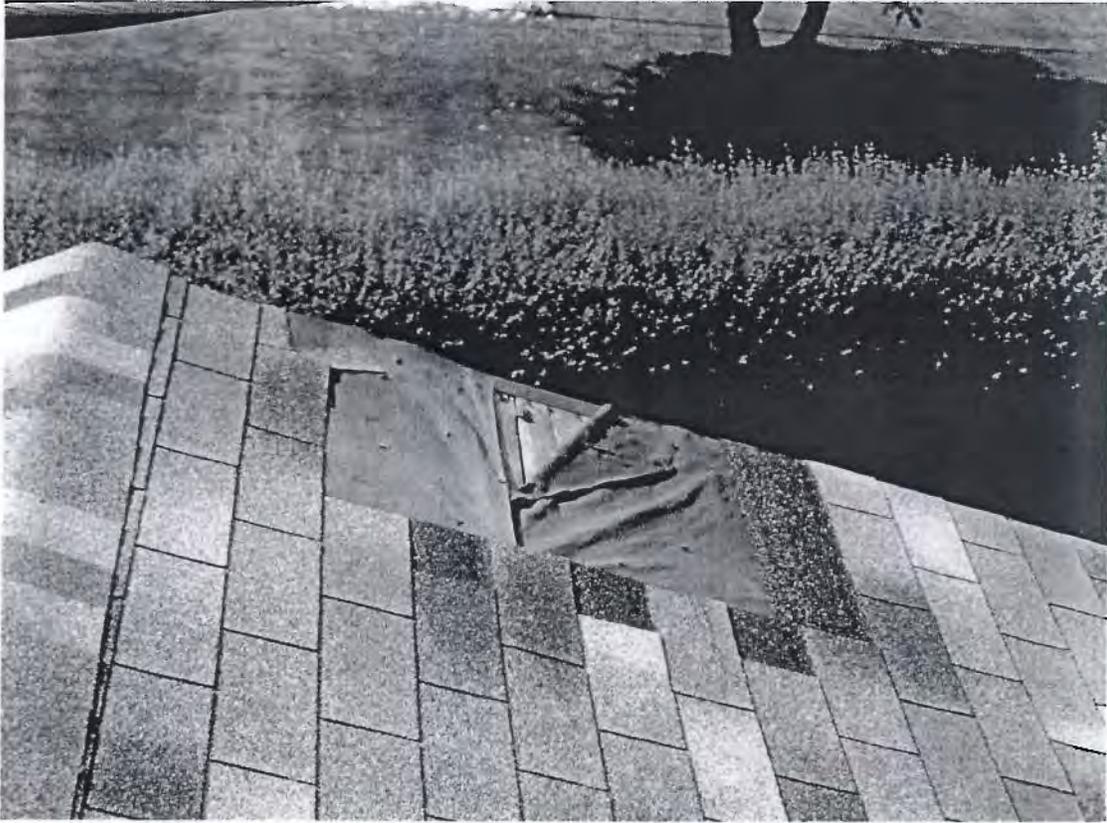
3645
Crooks

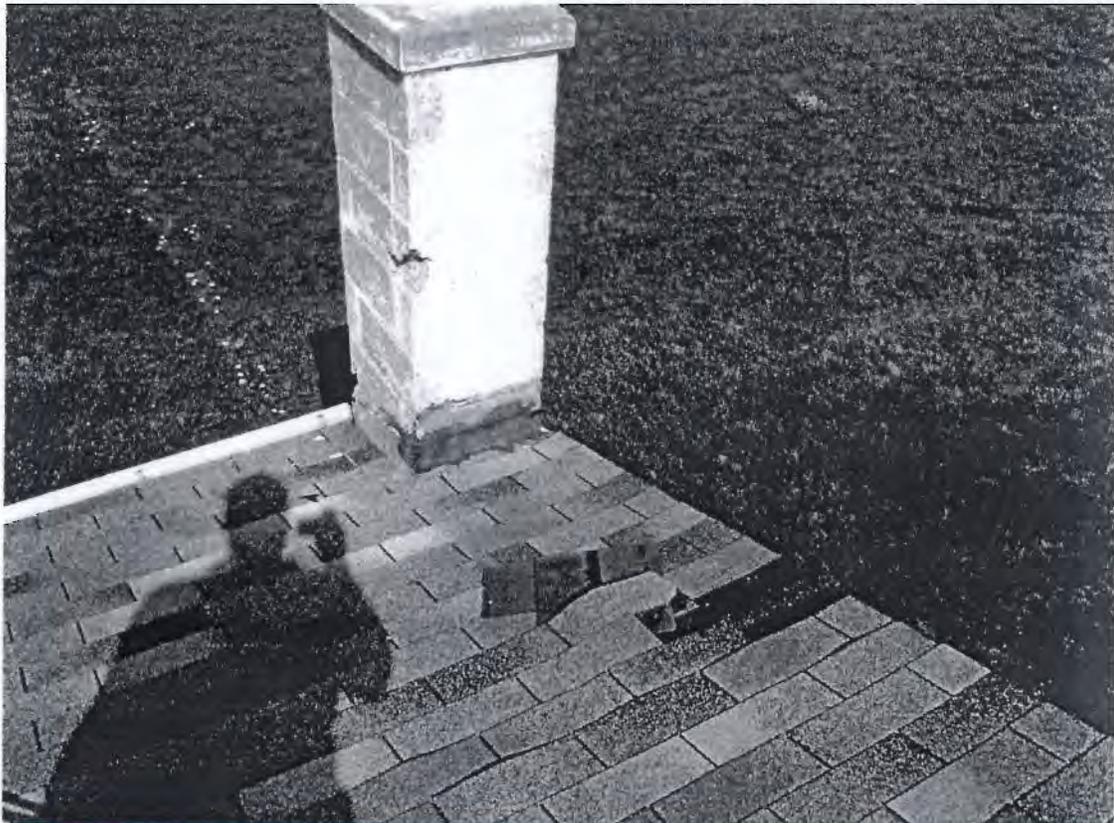
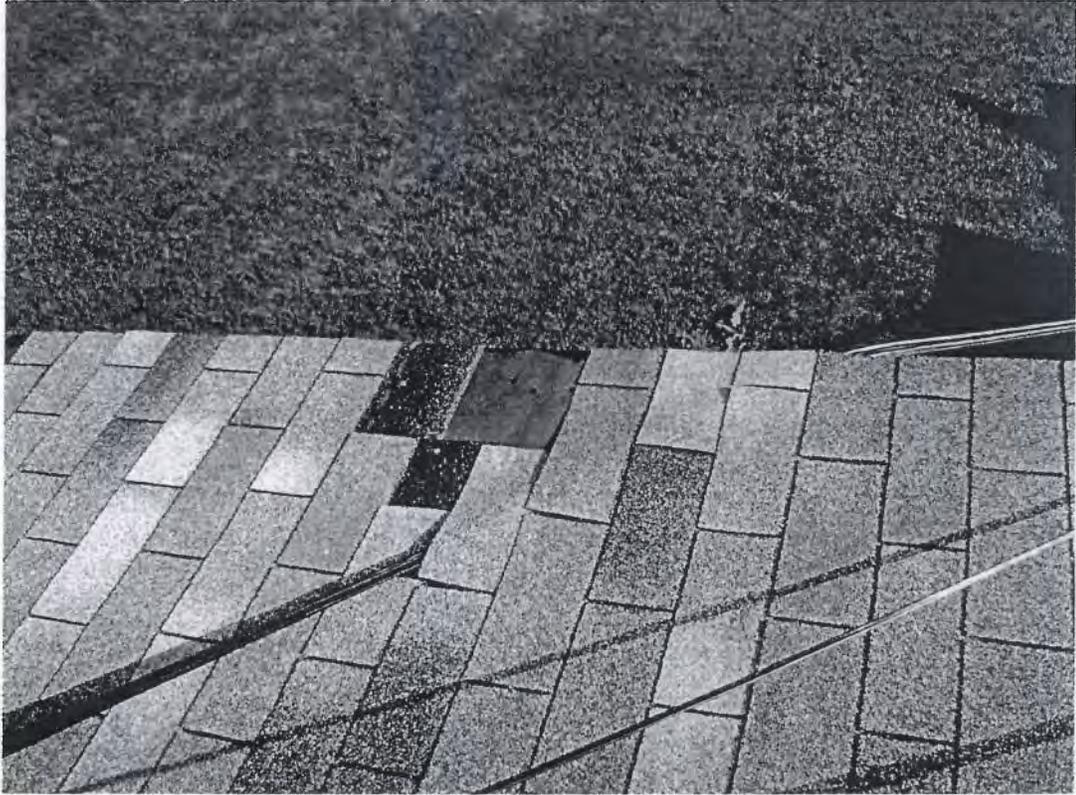
1974

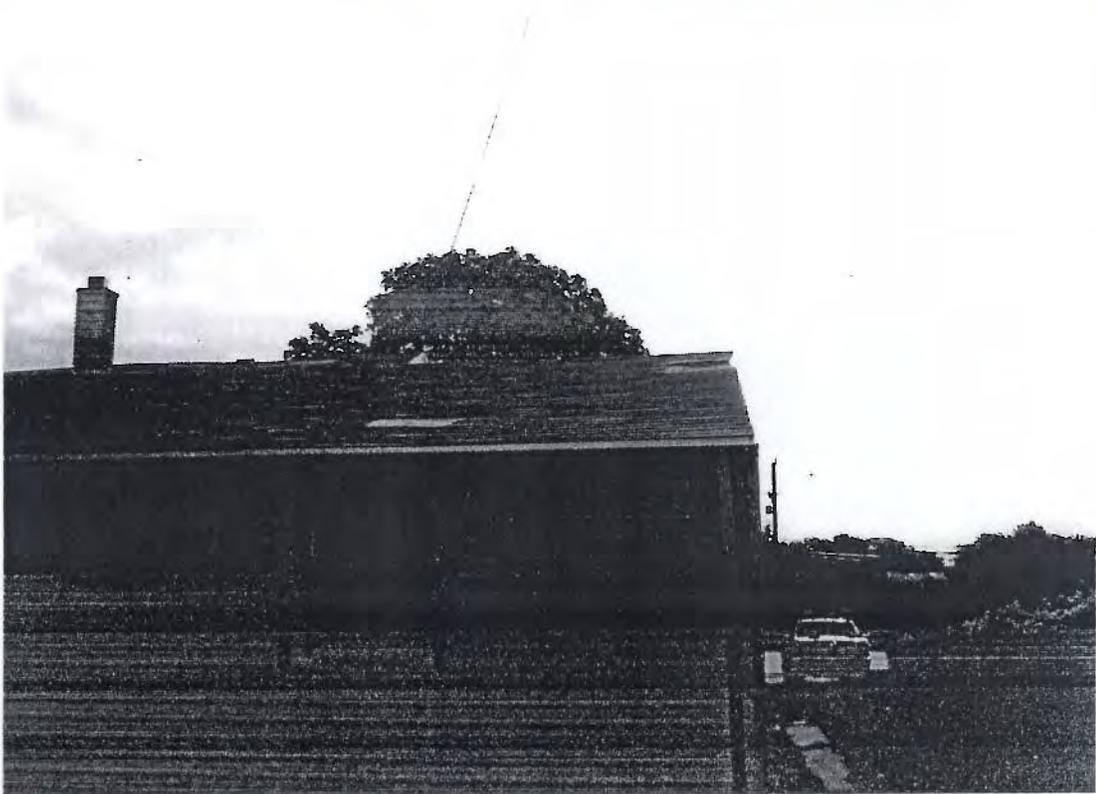
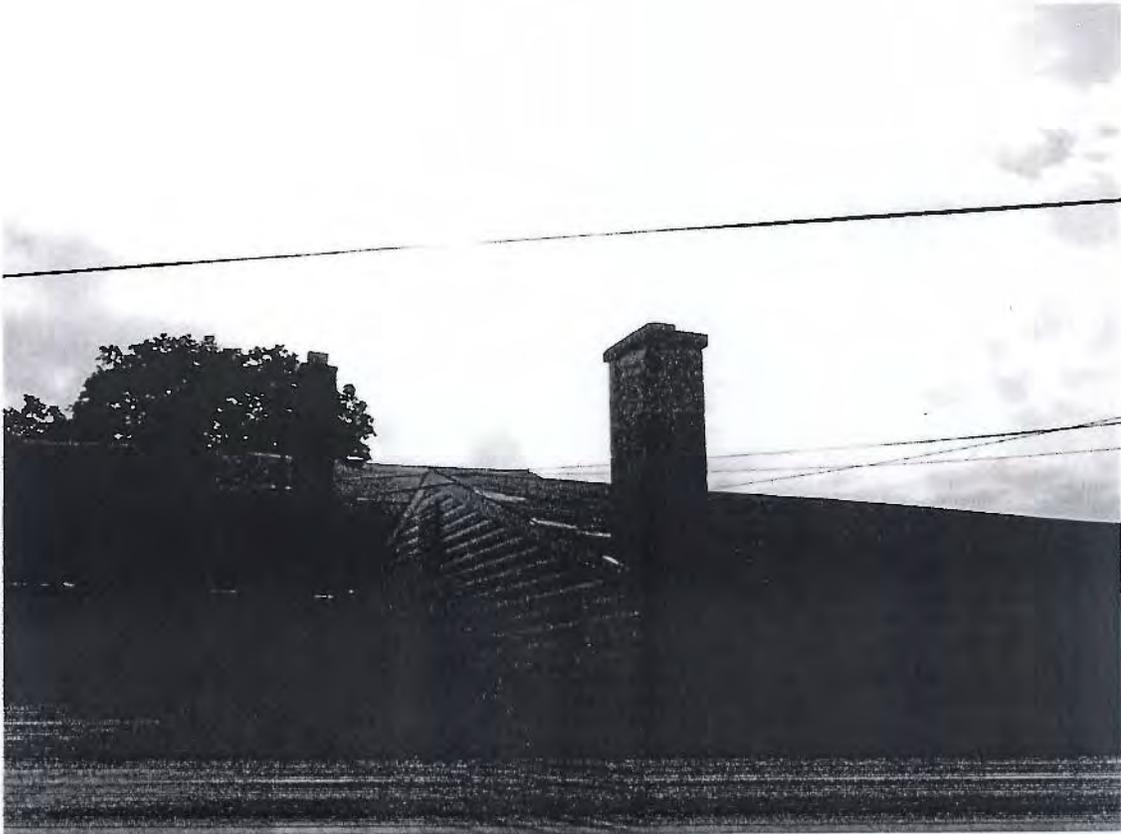
City of Troy - Michigan - Copyright (C) - 2006

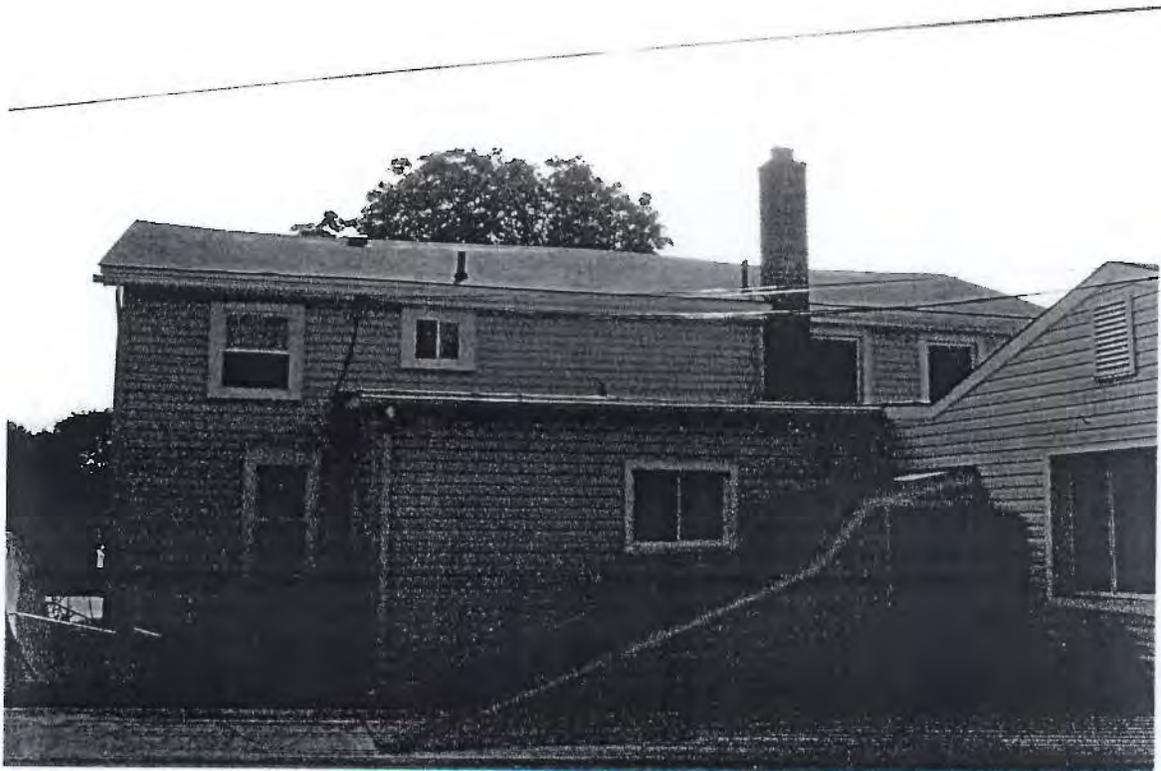
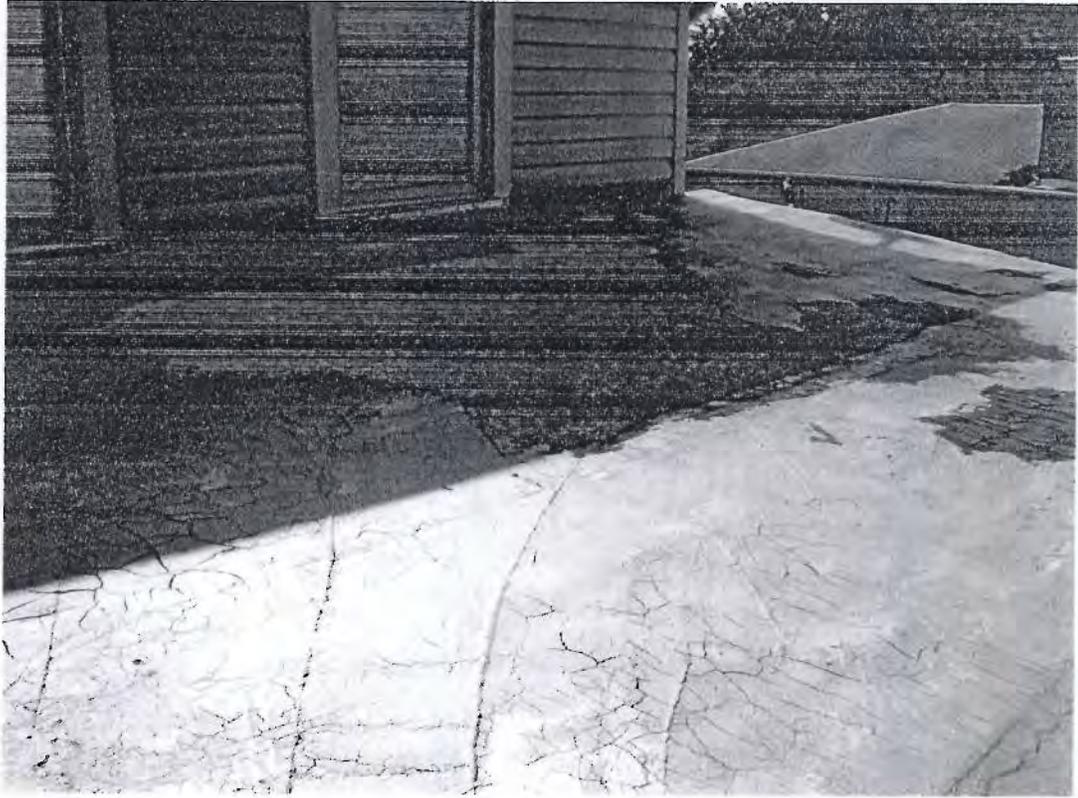
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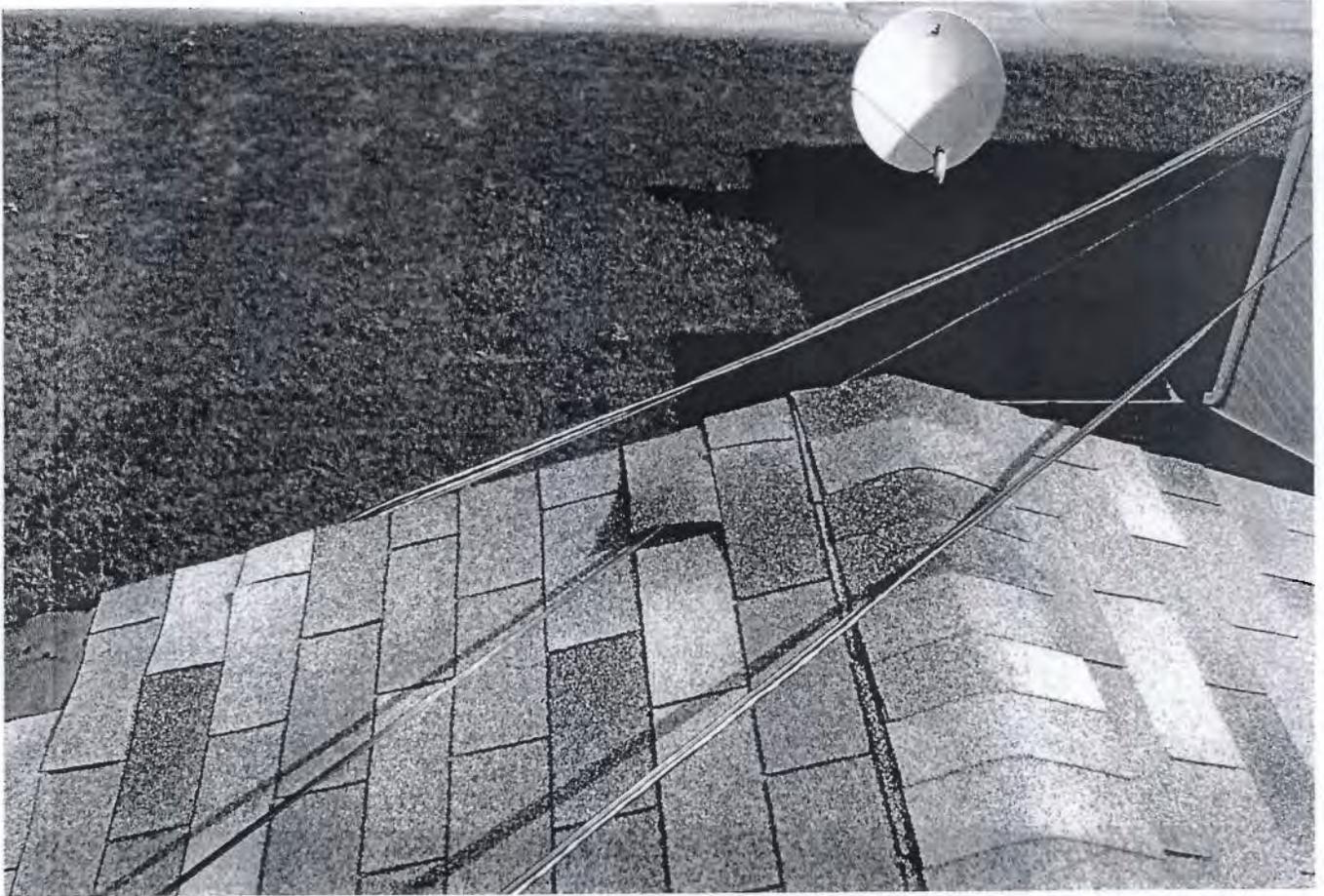






















STATE OF MICHIGAN

MICHIGAN STATE HOUSING DEVELOPMENT AUTHORITY

RICK SNYDER
GOVERNOR

KEVIN ELSENHEIMER
EXECUTIVE DIRECTOR

January 16, 2016

Mr. Brent Savidant, AICP, PCP
Planning Director
City of Troy
500 W. Big Beaver Road
Troy, MI 48084

Dear Mr. Savidant:

Staff members of the State Historic Preservation Office (SHPO) have reviewed the preliminary historic district study committee reports to de-list the Crooks House local historic district at 3645 Crooks Road. Our comments on the report are enclosed. We offer these comments in order to assist communities to prepare final study committee reports that meet the requirements of Michigan's Local Historic Districts Act and provide a strong legal basis for protecting historically significant resources. These comments and recommendations are based on our experiences working with local historic districts. The SHPO lacks authority to give legal advice to any person or agency, public or private.

The report was presented to the State Historic Preservation Review Board at their January 16, 2016 meeting. They noted that this Greek Revival style house represents the early settlement period of Michigan. Resources like the Crooks House are becoming scarce as they succumb to alteration and demolition. The Board found that this resource still retains a good deal of exterior integrity. They encourage the city to make every effort to continue to protect this resource.

The report has been sent to the Michigan Historical Commission for their review. Should they have comments they will be forwarded to you.

If we can assist you further, please contact Amy Arnold at 517-335-2729 or ArnoldA@michigan.gov.

Sincerely,

Brian D. Conway
State Historic Preservation Officer

BDC: ALA

735 East Michigan Avenue, P.O. Box 30044, Lansing, Michigan 48909
michigan.gov/mshda • 517.373.8370 • FAX 517.335.4797 • TTY 800.382.4568

**State Historic Preservation Office
Michigan State Housing Development Authority**

**Staff Comments, December 4, 2015
De-List the Crooks House Local Historic District (3645 Crooks), Troy, MI**

The Crooks house is a Greek Revival style house that retains a number of features that identify it as such including its low pitched, side gable roof; the entablature surrounding the front door; and its banded window frames. According to *A Field Guide to American Homes*, "Greek Revival was the dominant style of American domestic architecture during the interval from about 1830 to 1860." Thus, this house is from the earliest period of major settlement in the state of Michigan. The cobblestone foundation also helps to date this house to an early construction period. The original report was clear about the physical changes that had occurred to the property--from removal of a chimney to new siding--before it was designated. It also outlined the resource's remaining historic features.

Use is not a factor in determining historic integrity or significance. Therefore, the argument that the building has been used as an office has no bearing on whether the building has or has not lost physical integrity. Also, since historic district commissions only review exterior features, stating that the "interior has been dramatically altered" would not be a factor to consider unless the interior changes affected the exterior.

When delisting a resource the study report must show one of 3 things: how the property has lost its integrity, how it is not significant in the way previously defined, or that it was established pursuant defective procedures. In our opinion, the report does not provide the documentation to meet any of those 3 requirements.

The map should be labeled appropriately and include the name of the historic district.



3645

03/02/2016 12:22



03/02/2016 12:23



03/02/2016 12:24



03/02/2016 12:25