



PLANNING COMMISSION

MEETING AGENDA

REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Donald Edmunds, Chair, Tom Krent, Vice Chair
Ollie Apahidean, Karen Crusse, Carlton M. Faison, Michael W. Hutson
Padma Kuppa, Philip Sanzica and John J. Tagle

July 26, 2016

7:00 P.M.

Council Board Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – July 12, 2016
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. PLANNING AND ZONING REPORT

SPECIAL USE AND PRELIMINARY SITE PLAN REVIEWS

7. PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number JPLN2016-0020) – Proposed Rite Aid Pharmacy Drive Through Addition, Southeast Corner of South Boulevard and Crooks (1981 W South Boulevard), Section 04, Currently Zoned NN “U” (Neighborhood Node “U”) District
8. PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2016-0017) – Proposed 1-800 Self Storage Facility, East side of Coolidge, South of Maple (1330 Coolidge), Section 32, Currently Zoned MR (Maple Road) District

PRELIMINARY SITE PLAN REVIEWS

9. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0009) – Proposed Maplawn II Mixed Use, West side of Crooks, North of Maplawn (PID 88-20-29-401-025), Section 29, Currently Zoned IB (Integrated Industrial and Business) District
10. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2015-0014) – Proposed Aloft Hotel, East side of Troy Center Drive, South of Big Beaver (PID 88-20-28-101-067), Section 28, Currently Zoned BB (Big Beaver) District

OTHER ITEMS

11. PUBLIC COMMENT – Items on Current Agenda
12. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Edmunds called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on July 12, 2016 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Karen Crusse
Donald Edmunds
Carlton M. Faison
Michael W. Hutson
Tom Krent
Padma Kuppa
Philip Sanzica
John J. Tagle

Absent:

Ollie Apahidean

Also Present:

R. Brent Savidant, Planning Director
Richard K. Carlisle, Carlisle Wortman Associates
Julie Dufrane Quinlan, Assistant City Attorney
Joe Blair, Planning Department NEXT Assistant
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2016-07-044

Moved by: Tagle
Support by: Kuppa

RESOLVED, To approve the Agenda as prepared.

Yes: All present (8)
Absent: Apahidean

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2016-07-045

Moved by: Hutson
Support by: Krent

RESOLVED, To approve the minutes of the June 28, 2016 Regular meeting as submitted.

Yes: Crusse, Edmunds, Faison, Hutson, Krent, Sanzica, Tagle
Abstain: Kuppa
Absent: Apahidean

MOTION CARRIED

4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0009) – Proposed Maplelawn II Mixed Use, West side of Crooks, North of Maplelawn (PID 88-20-29-401-025), Section 29, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle reported on the proposed Preliminary Site Plan application. He addressed the traffic study, the applicant’s request for a parking deviation and technical site plan issues.

Mr. Carlisle expressed support of the overall investment in the vacant property. He said should the Planning Commission deem the parking deviation is appropriate, it is recommended to either grant Preliminary Site Plan approval with the conditions as identified in the Planning Consultant report dated July 5, 2016 or postpone the matter to allow the applicant to address the items.

The applicant Joe Caradonna was present. Mr. Caradonna addressed revisions to the site plan, copies of which were distributed prior to the beginning of tonight’s meeting.

Resolution # PC-2016-07-046

Moved by: Sanzica
 Support by: Krent

RESOLVED, The Planning Commission approves a parking space deviation of 31 spaces, bringing the total spaces provided to 115 spaces when 146 spaces are required by Zoning Ordinance.

Yes: All present (8)
 Absent: Apahidean

MOTION CARRIED

Resolution # PC-2016-07-047

Moved by: Krent
 Support by: Kuppa

RESOLVED, To postpone review and approval of the proposed Maplelawn II Preliminary Site Plan application until the next available meeting to allow the applicant to provide:

1. Revised plans.
2. Samples of building materials.
3. Elevations of proposed building and existing building to the south.
4. Landscape Architect attendance to address landscaping; i.e., water containment.

Yes: All present (8)
Absent: Apahidean

MOTION CARRIED

STUDY ITEM

6. CONDITIONAL REZONING APPLICATION (File Number CR JPCR2016-003 – Proposed McClure Road Apartments, North of Big Beaver, East of Crooks, East side of McClure (3142, 3114, 3086 McClure), Section 20, From R-1B (One Family Resident) District to BB (Big Beaver) District

Mr. Savidant introduced the proposed Conditional Rezoning application. Mr. Carlisle summarized the Planning Consultant report dated July 5, 2016.

Present were the applicant Sam Stafa, project architect Peter Stuhlreyer of Designhaus Architecture and Attorney Dennis Cowan.

Discussion on:

- Concept good; housing stock City needs.
- Building height, massing, “L” shape design.
- Site line from 2nd story neighboring single family homes.
- Traffic study required.

OTHER BUSINESS

7. PUBLIC COMMENT – Items on Current Agenda

There was no one present who wished to speak.

8. PLANNING COMMISSION COMMENT

There were general Planning Commission comments.

The Regular meeting of the Planning Commission adjourned at 8:56 p.m.

Respectfully submitted,

Donald Edmunds, Chair

Kathy L. Czarnecki, Recording Secretary

DATE: July 22, 2016

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number JPLN2016-0020) – Proposed Rite Aid Pharmacy Drive Through Addition, Southeast Corner of South Boulevard and Crooks (1981 W South Boulevard), Section 04, Currently Zoned NN “U” (Neighborhood Node “U”) District

The petitioner Fabo Architecture submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a drive thru addition at an existing Rite Aid building. The Rite Aid received Preliminary Site Plan Approval from the Planning Commission in 1999. However the drive thru window was never constructed. Drive thru windows are now permitted subject to special use approval.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SPECIAL USE\SU JPLN 2016-0020 Rite Aid Pharmacy Sec 04\Rite Aid PC Memo 07 26 2016.docx

PROPOSED RESOLUTION

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number JPLN2016-0020) – Proposed Rite Aid Pharmacy Drive Through Addition, Southeast Corner of South Boulevard and Crooks (1981 W South Boulevard), Section 04, Currently Zoned NN “U” (Neighborhood Node “U”) District

Resolution # PC-2016-07-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Rite Aid drive-through addition, Southeast corner of South Boulevard and Crooks (1981 W. South Boulevard), Section 4, Currently Zoned NN “U” (Neighborhood Node) District, be (granted, subject to the following conditions):

1. Provide two (2) bicycle parking spaces.
2. Reconstruct sidewalk on Crooks and South to 8-feet in width.
3. Submit a complete landscape plan.
4. Submit a photometric plan in compliance with Article 13.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



CARLISLE



WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: July 18, 2016

Preliminary Site Plan and Special Use Review For City of Troy, Michigan

Applicant:	Brian Fabo, Architect
Project Name:	Rite Aid Pharmacy – Drive Thru Addition
Plan Date:	June 9, 2016
Location:	1981 South Boulevard
Zoning:	Neighborhood Node U, Site Type A, Street Type A
Action Requested:	Preliminary Site Plan and Special Use Approval
Required Information:	Deficiencies noted

PROJECT AND SITE DESCRIPTION

We received a site plan for the installation of drive-through facility at the existing Rite Aid located on the southeast corner of Crooks Road and South Boulevard. A drive-through was originally approved for this building when the site was first approved. Though the lane for the drive-through exists, the drive-through was never constructed, and the previous site plan approvals have expired. Pharmacy with drive-through facilities are listed as a special use for site type A.

Location of Subject Property

The property is located on the southeast corner of Crooks Road and South Boulevard



Size of Subject Property:

The overall size of the subject property is 1.21 acres.

Current and Proposed Uses of Subject Parcel:

Rite Aid

Current Zoning:

The property is currently zoned Neighborhood Node D.

Direction	Zoning	Use
North	Rochester Hills	Bank
South	NN, Neighborhood Node U	Commercial
East	NN, Neighborhood Node U	Commercial
West	NN, Neighborhood Node U – Consent Judgement	Commercial

PARKING/STACKING

Section 13.06 provides the following parking requirements:

	Required	Provided	Compliance
Rite Aid: 1 space per 250 gross sq/ft	47 spaces	57 spaces	Compliant
Stacking Spaces per service lane	4	4	Compliant
Barrier Free	3	4	Compliant
Bicycle Parking	2	Not Provided	Not Compliant
Loading	0	1	Compliant

The applicant is require to add two (2) bicycle parking spaces.

Items to be Addressed: Provide two (2) bicycle parking spaces.

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation

Site access will remain via one (1) access off Crooks and one (1) off South Boulevard. The site plan has been reviewed by the City’s traffic engineering consultant OHM, who notes that circulation and stacking as provided is sufficient.

Pedestrian access:

Consistent with City requirements, the existing sidewalks on South and Crooks adjacent to the development will need to be reconstructed to 8-feet in width.

Items to be Addressed: Reconstruct sidewalk on Crooks and South to 8-feet in width.

LANDSCAPING

The applicant has shown additional landscaping on sheet SP-1; however, has not indicted size or species. The applicant should submit a complete landscape plan.

Items to be Addressed: Submit a complete landscape plan.

PHOTOMETRICS

The applicant has provided a lighting plan, which appears to simply the existing lighting on site. Lighting is not compliant in regards to both fixture type and photometric levels. Applicant should submit a photometric plan in compliance with Article 13.

Items to be Addressed: Submit a photometric plan in compliance with Article 13.

SPECIAL USE

In the Neighborhood Node U District, Drive-up and Drive-through facilities are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Use Standards

1. *Ingress and egress to drive-through facilities shall be part of the internal circulation of the site and integrated with the overall site design. Clear identification and delineation between the drive-through facility and the parking lot shall be provided. Drive-through facilities shall be designed in a manner which promotes pedestrian and vehicular safety.*

Site access and circulation will remain mostly the same. Drive-through facilities are maintained along the rear portions of the site, and pedestrian movements between drive-through traffic are limited.

2. *Single-lane drive-throughs may be located at the side of a building. Multiple-lane drive-throughs shall be located in a manner that will be the least visible from a public thoroughfare. Canopy design shall be compatible with the design of the principal building and incorporate similar materials and architectural elements.*

The proposed drive-through is a single-lane drive-through located at the side of the building.

3. *Each drive-through facility shall provide stacking space meeting the following standards:*
 - (a) *Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of twelve (12) feet in width and twenty (20) feet in length.*
 - (b) *If proposed, an escape lane shall be a minimum of twelve (12) feet in width to allow other vehicles to pass those waiting to be served.*
 - (c) *The number of stacking spaces per service lane shall be provided for the uses listed below. When a use is not specifically mentioned, the requirements for off-street stacking space for the use with similar needs, as determined at the discretion of the Zoning Administration, shall apply. – Fast Food Restaurants require 10 stacking spaces per service lane.*

The site plan has been reviewed by the City’s traffic engineering consultant OHM, who notes that circulation and stacking as provided is sufficient.

Standards of Approval

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

The proposed use is an expansion of the existing use to include a drive-through, which is commercial in nature and fits with the existing commercial character of the property and surrounding area.

2. Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.

The subject site is located in the Neighborhood Node future land use category. This designation is intended to be a high-intensity, high-density, compact area that serves as a notable entry-point to the community. Development may include residential, retail, office and service-oriented uses, but should be designed to create a very noticeable “gateway” into the City of Troy with its complex, high-density, mixed-use character.

3. Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.

The proposed drive-through addition should have minimal impact on traffic.

4. Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.

The proposed use should not cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.

5. Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.

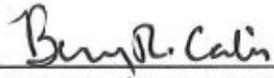
Deficiencies are noted.

RECOMMENDATION

We recommend preliminary site plan approval on the condition the following items are addressed as part of the final site plan submittal:

- 1. Provide two (2) bicycle parking spaces.*
- 2. Reconstruct sidewalk on Crooks and South to 8-feet in width.*
- 3. Submit a complete landscape plan.*
- 4. Submit a photometric plan in compliance with Article 13.*

Sincerely,

Handwritten signature of Benjamin R. Carlisle in cursive script.

CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



3 LOCATION MAP
SP-1 SCALE: N.T.S.

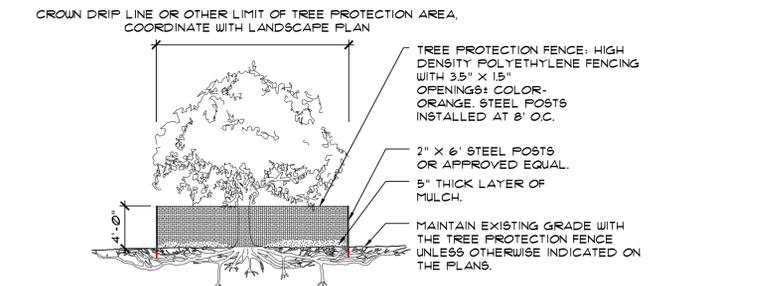
SITE INFORMATION	
ADDRESS:	1981 W SOUTH BOULEVARD, TROY, MI 48098
LEGAL DESCRIPTION	T2N, R1E, SEC 4 PART OF NW 1/4 BEG AT PT DIST S 89-44-56 E 75 FT & S 60 FT FROM NW SEC COR, TH S 89-44-56 E 179.97 FT, TH N 293.76 FT, TH N 89-45-53 W 179.97 FT, TH N 293.81 FT TO BEG 1.21 A4-27-99 FR 034, 047 & 052

SITE ANALYSIS	
TOTAL SITE AREA:	1.21 ACRES (52,873 S.F.)
TOTAL BUILDING AREA:	11,157 S.F. (GROSS)

DRIVE THRU INFORMATION				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
3	DRIVE THRU AISLE WIDTH	12'-0"	22'-0"	NO
5	MINIMUM STACKING SPACE SIZE	10'-0" x 20'-0"	10'-0" X 20'-0"	NO

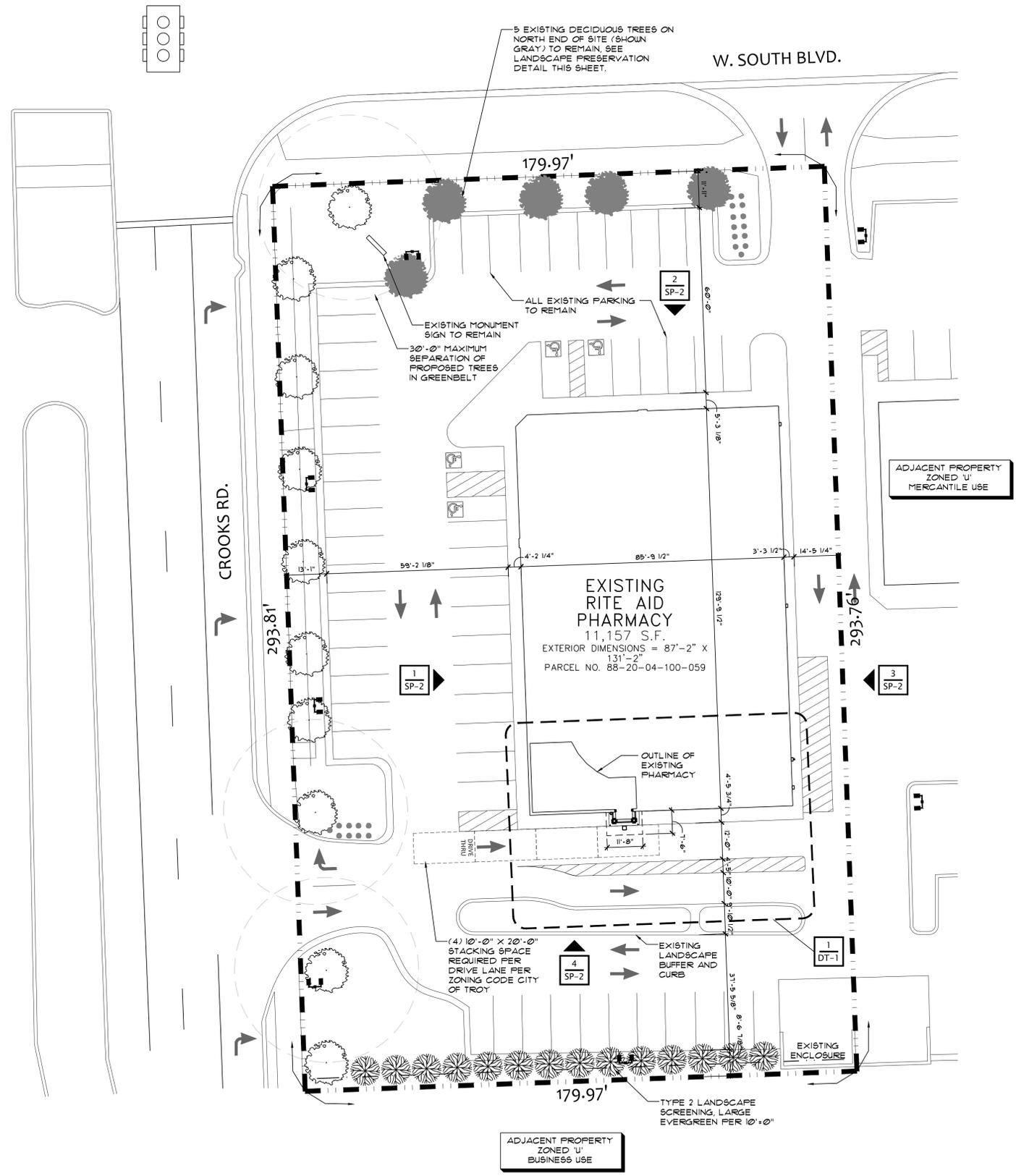
ZONING INFORMATION				
LOCATION: TROY, MI				
CURRENTLY ZONED: NN-A - HIGH INTENSITY NEIGHBORHOOD NODE "U"				
USE: MISC. COMMERCIAL, LARGE FORMAT				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	-	52,873 S.F. = 1.21 ACRES	NO
2	MAXIMUM BLDG. SIZE	-	11,187 SQFT.	NO
3	MINIMUM FRONT SETBACK	APPROVED EXISTING TO REMAIN	38'-4"	NO
4	MINIMUM SIDE SETBACK	APPROVED EXISTING TO REMAIN	CONJOINED LOT	NO
5	MINIMUM REAR SETBACK	APPROVED EXISTING TO REMAIN	9'-0"	NO
6	MINIMUM FRONTAGE LANDSCAPING	APPROVED EXISTING TO REMAIN	0'-0" AT PARKING	NO
7	SOUTH ADJACENT ZONING	NN:U NEIGHBORHOOD NODE		NO
7	WEST ADJACENT ZONING	NN:U NEIGHBORHOOD NODE		NO
7	EAST ADJACENT ZONING	NN:U NEIGHBORHOOD NODE		NO

LANDSCAPING REQUIREMENTS				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	GREENBELT TREE MINIMUM	1 DECIDUOUS TREE PER 30'-0" FRONTAGE	10 ADDITIONAL, 5 E.T.R.	NO
2	SEPARATED USE LANDSCAPE SCREENING	TYPE II: 1 LARGE EVERGREEN TREE PER 10'-0" OF SHARED LOT LINE	+/- 14 LARGE EVERGREEN TREES 4'-0" INSET FROM PROPERTY LINE	NO



- NOTES:
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.

2 LANDSCAPE PROTECTION DETAIL
SP-1 SCALE: 1/8" = 1'



1 SITE PLAN
SP-1 SCALE: 1" = 20'-0"



Brian G. Fabo, License #11898
Expiration Date 12/31/2017

1736 columbus road
cleveland, oh 44113
www.faboarch.com
t: 216.241.6150
f: 216.395.0053

fabo
architecture

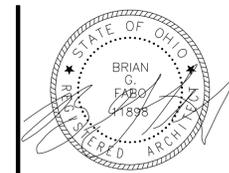
RITE AID DRIVE THRU #2731
1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48098



REVISIONS:

issue date: 06-09-16

SP-1
sheet No.
job No. FA15278



Brian G. Fabo, License #11898
Expiration Date 12/31/2017

1736 columbus road
cleveland, oh 44113
www.faboarch.com
t: 216.241.6150
f: 216.395.0053

fabo
architecture

RITE AID DRIVE THRU #2731
1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48098

THIS DOCUMENT ("INSTRUMENT OF SERVICE") WAS PREPARED BY FABO ARCHITECTURE, INC. ("FAI") SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. IT IS THE PROPERTY OF FABO ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF FABO ARCHITECTURE, INC. ANY UNAUTHORIZED USE OF THIS INSTRUMENT OF SERVICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO FABO ARCHITECTURE, INC. FABO ARCHITECTURE, INC. MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

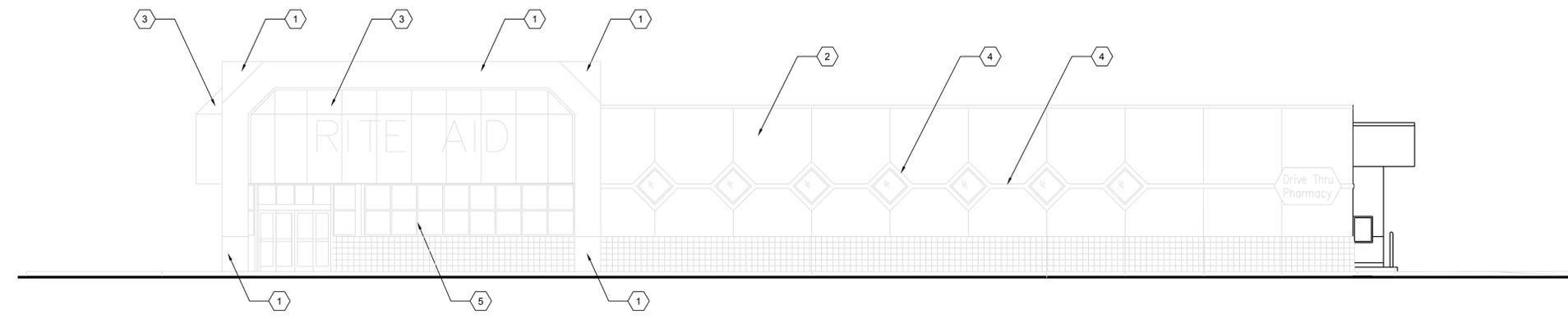


REVISIONS:

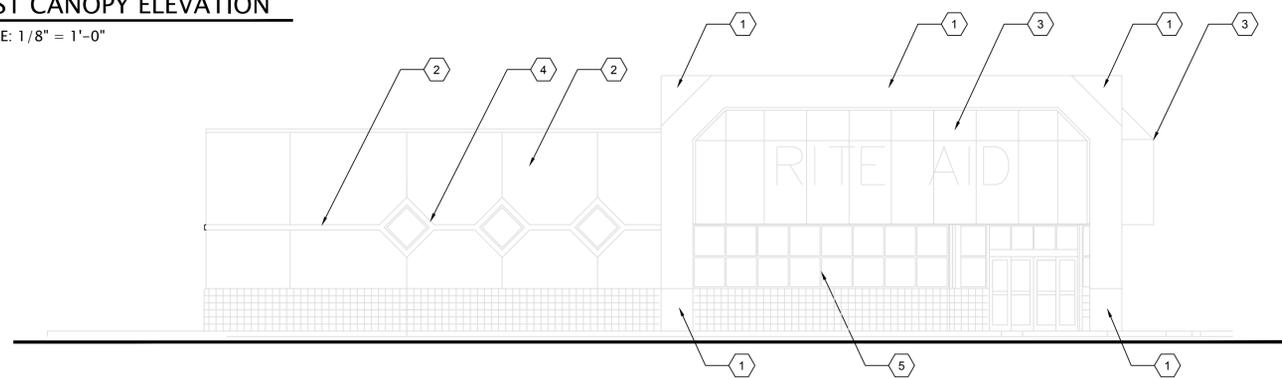
issue date: 06-09-16

SP-2

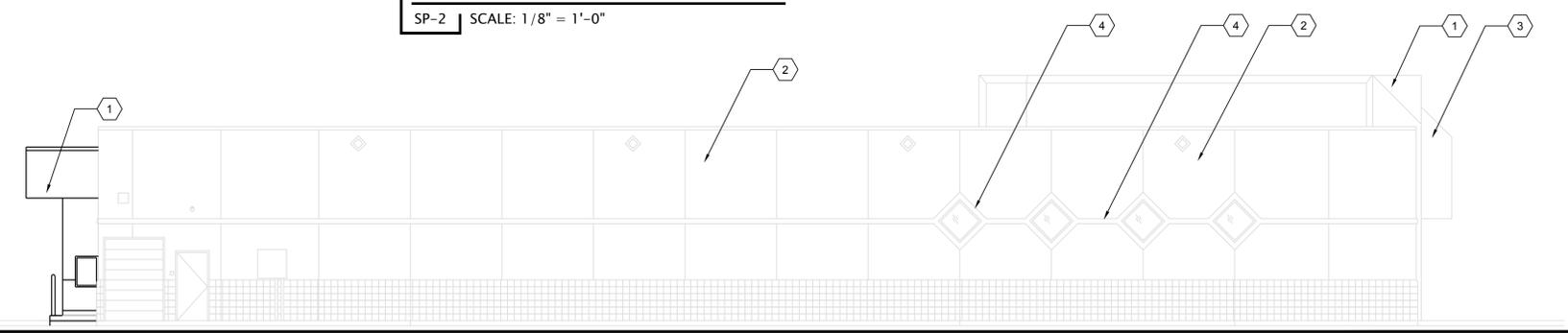
sheet No.
job No. FA15278



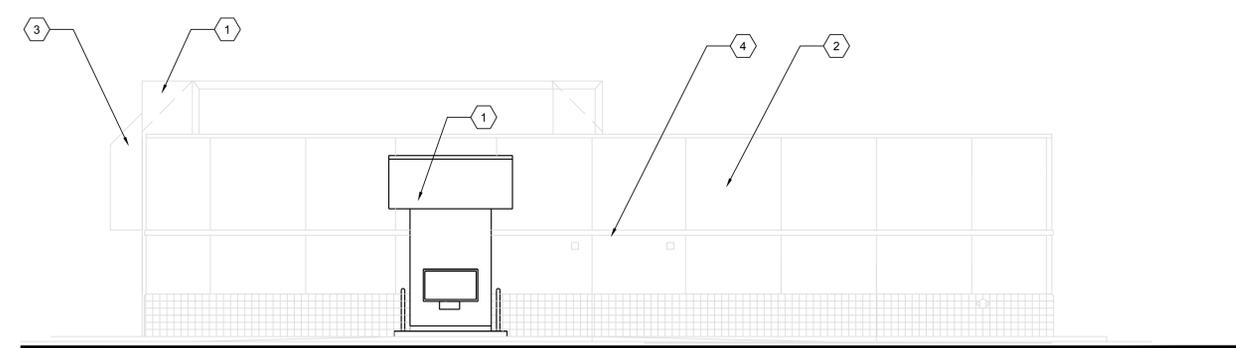
1 WEST CANOPY ELEVATION
SP-2 SCALE: 1/8" = 1'-0"



2 NORTH CANOPY ELEVATION
SP-2 SCALE: 1/8" = 1'-0"

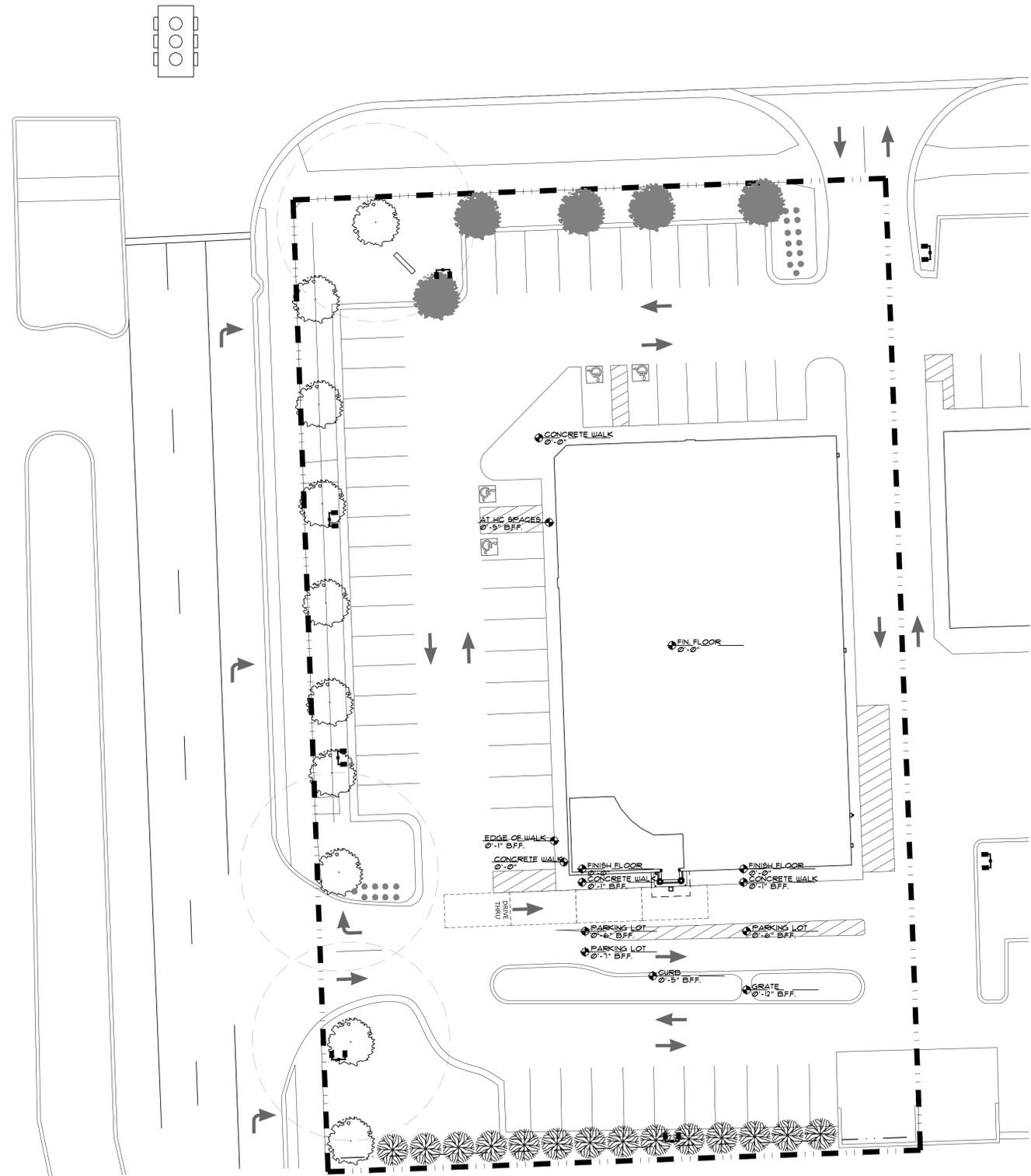


3 EAST CANOPY ELEVATION
SP-2 SCALE: 1/8" = 1'-0"



4 SOUTH CANOPY ELEVATION
SP-2 SCALE: 1/8" = 1'-0"

HEALTH & WELLNESS REMODEL FINISH GUIDELINES					
EXTERIOR ELEVATIONS					
DESCRIPTION	FINISH	RESPONSIBILITY	SPECIFICATION	NOTES	
1 EXTERIOR TOP ACCENT BAND	PAINT	GC SUPPLIED	SHERWIN WILLIAMS CUSTOM: BUNGALOW TAUPE		
2 EXTERIOR: STUCCO, UPPER WALL	PAINT	GC SUPPLIED	SHERWIN WILLIAMS 6140 MODERATE WHITE		
3 ENTRANCE: CANOPY	ETR	-	-		
4 EXTERIOR: WINDOW BAND	PAINT	GC SUPPLIED	SHERWIN WILLIAMS 6140 MODERATE WHITE		
5 EXTERIOR: MULLION	PAINT	GC SUPPLIED	SHERWIN WILLIAMS 6076 TURKISH COFFEE	ON TYPE A & B STORES ONLY, TYPE C EXISTING TO REMAIN	
6 EXTERIOR: MULLION	PAINT	GC SUPPLIED	SHERWIN WILLIAMS 6076 TURKISH COFFEE	ON TYPE A & B STORES ONLY, TYPE C EXISTING TO REMAIN	



1 EXISTING SITE SPOT ELEVATION PLAN
 SP-3 SCALE: 1" = 20'-0"



Brian G. Fabo, License #11898
 Expiration Date 12/31/2017

1736 columbus road
 cleveland, oh 44113
 www.faboaarch.com
 t: 216.241.6150
 f: 216.395.0053

fabo
 architecture

RITE AID DRIVE THRU #2731
 1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48068



revisions:

issue date: 06-09-16

SP-3
 sheet No.
 job No. FA15278

THIS DOCUMENT ("INSTRUMENT OF SERVICE") WAS PREPARED BY FABO ARCHITECTURE, INC. ("FAI") SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. IT IS THE PROPERTY OF FABO ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF FABO ARCHITECTURE, INC. ANY UNAUTHORIZED USE OF THIS INSTRUMENT OF SERVICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO FABO ARCHITECTURE, INC. FABO ARCHITECTURE, INC. MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.



Brian G. Fabo, License #11898
Expiration Date 12/31/2017

1736 columbus road
cleveland, oh 44113
www.faboaarch.com
t: 216.241.6150
f: 216.395.0053

fabo
architecture

RITE AID DRIVE THRU #2731
1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48068

THIS DOCUMENT ("INSTRUMENT OF SERVICE") WAS PREPARED BY FABO ARCHITECTURE, INC. ("FABO") SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. FABO ARCHITECTURE, INC. ("FABO") AND ITS ARCHITECTS, ENGINEERS, AND DESIGNERS ("FABO PROFESSIONALS") RESERVE ALL RIGHTS, INCLUDING COPYRIGHTS, IN THIS INSTRUMENT OF SERVICE. NO PART OF THIS INSTRUMENT OF SERVICE SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF FABO ARCHITECTURE, INC. ("FABO"). UNAUTHORIZED USE OF THIS INSTRUMENT OF SERVICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO FABO ARCHITECTURE, INC. ("FABO"). FABO ARCHITECTURE, INC. ("FABO") MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.



revisions:

issue date: 06-09-16

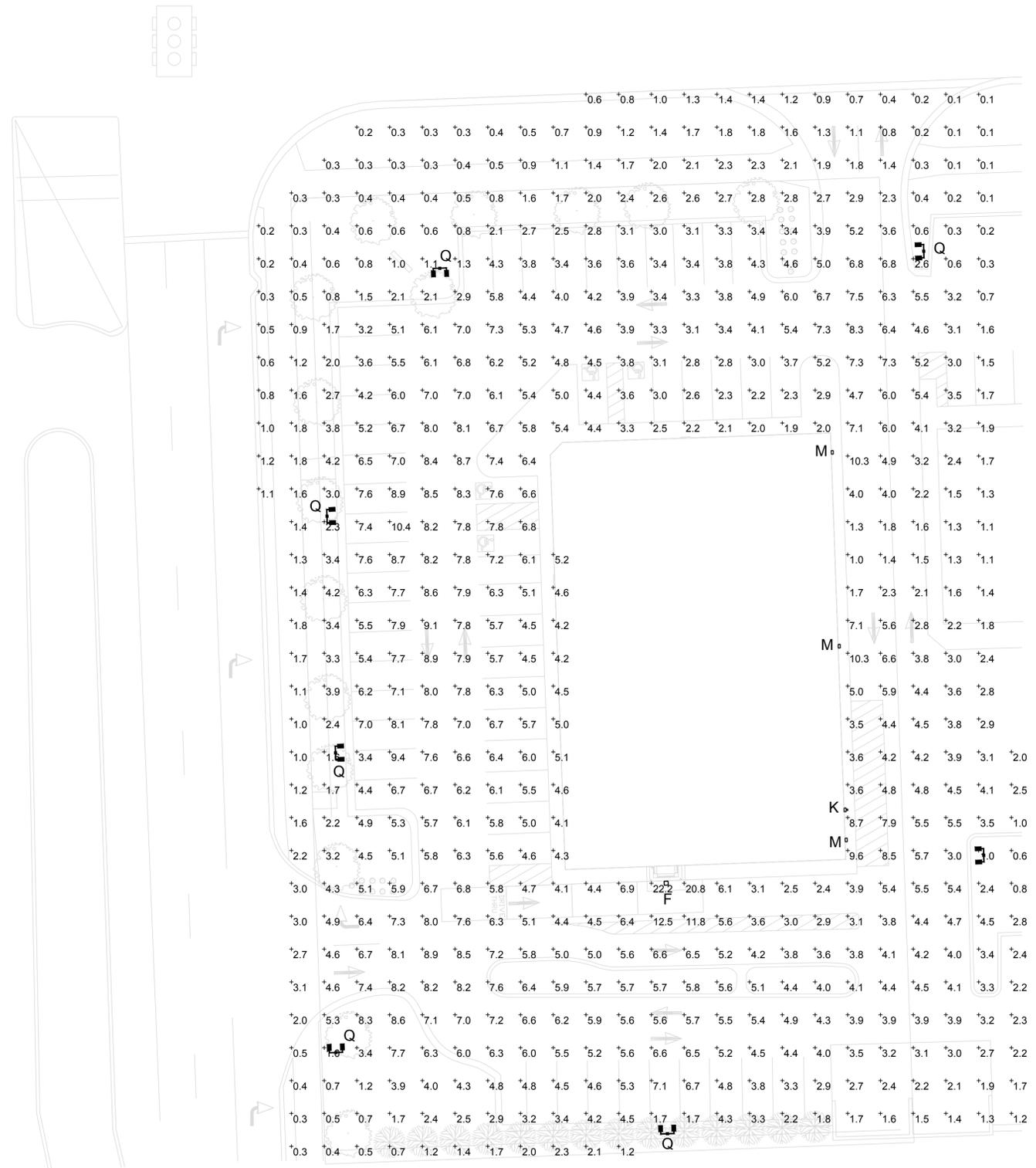
SP-4
sheet No.
job No. FA15278

Statistics

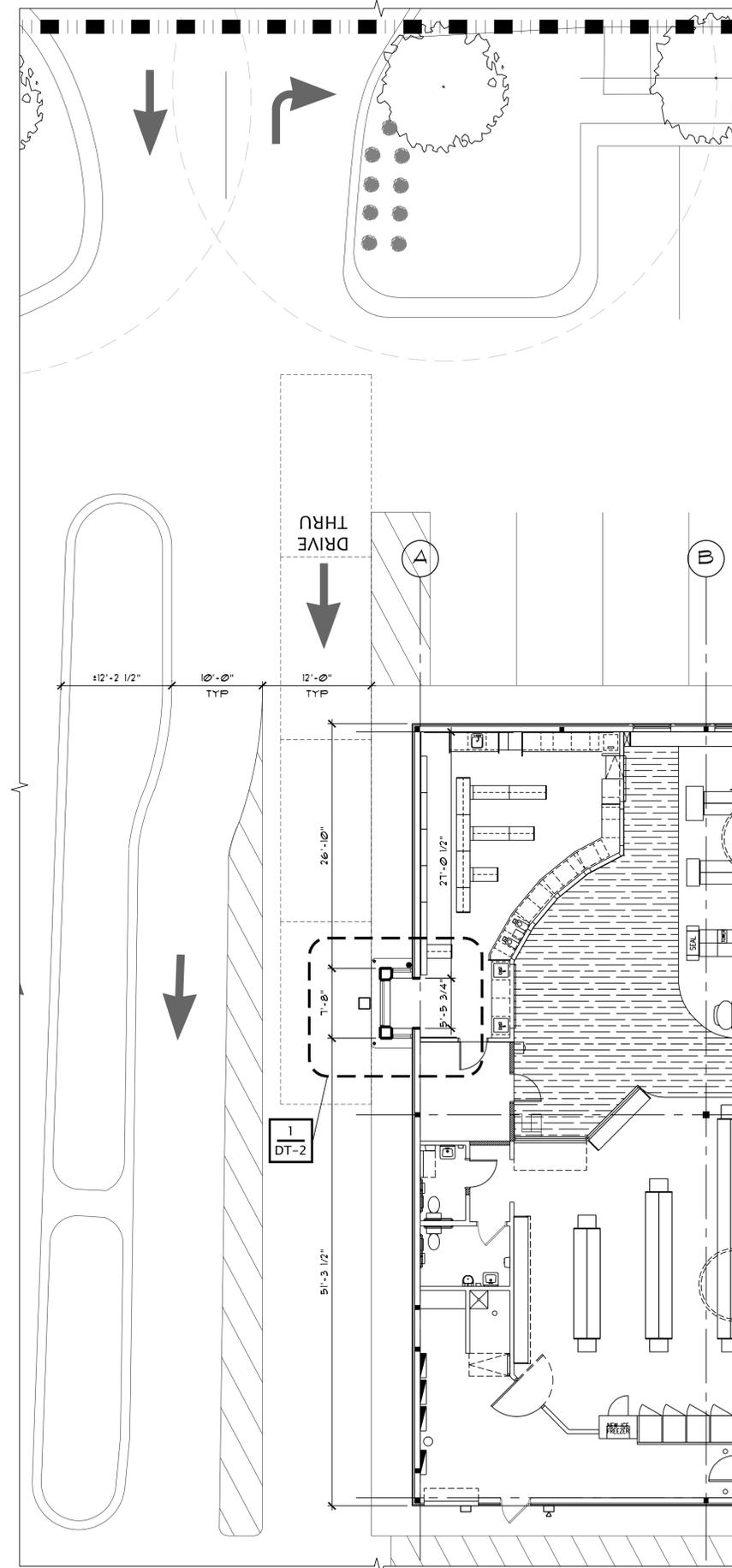
Description	Symbol	Avg	Max	Min
Site	+	3.4 fc	22.2 fc	0.0 fc

Schedule

Symbol	Label	Quantity	Description	Lamp	Wattage
□	M	3	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR	ONE 100-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION.	140
⌌	Q	7	CONTOUR SERIES SMALL SPECIFICATION FLOODLIGHT WITH RA2 DISTRIBUTION	2) ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION	462
⊞	K	1	CONTRACTOR SELECT LED TWIN-HEAD UNIT (ONE HEAD ONLY)	ONE-WATT LED	0
□	F	1	Cree CPY250 Canopy / Soffit Luminaire w- Flat Lens, 82W, 5700K	SEVENTY-TWO WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS)	81.5



1 PHOTOMETRIC SITE PLAN
SP-4 SCALE: 1" = 20'-0"



1
DT-1

**DRIVE-THRU
PHARMACY PLAN**

SCALE: 1/8" = 1'-0"



Brian G. Fabo, License #11898
Expiration Date 12/31/2017

1736 columbus road
cleveland, oh 44113
www.faboarch.com
t: 216.241.6150
f: 216.395.0053

fabo
architecture

RITE AID DRIVE THRU #2731

1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48068



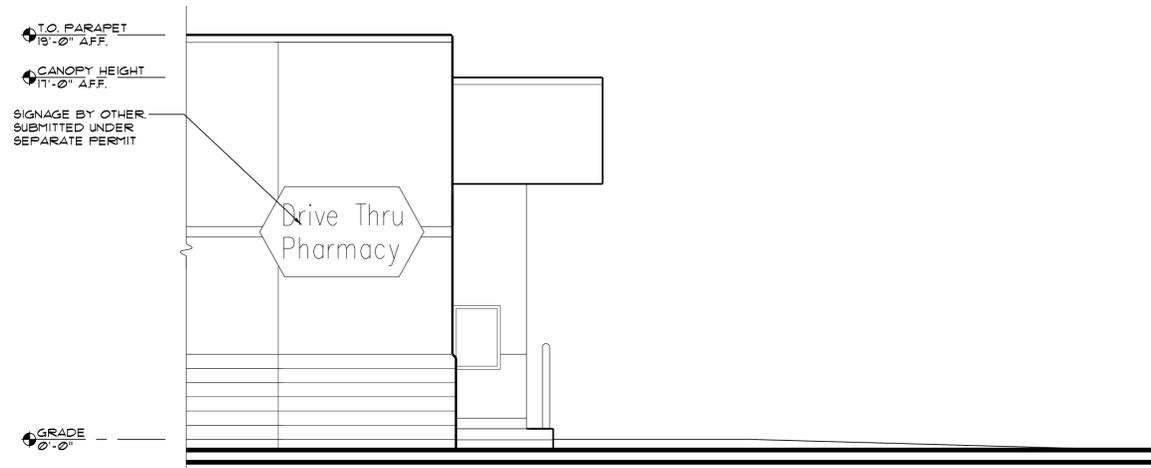
revisions:

issue date: 06-09-16

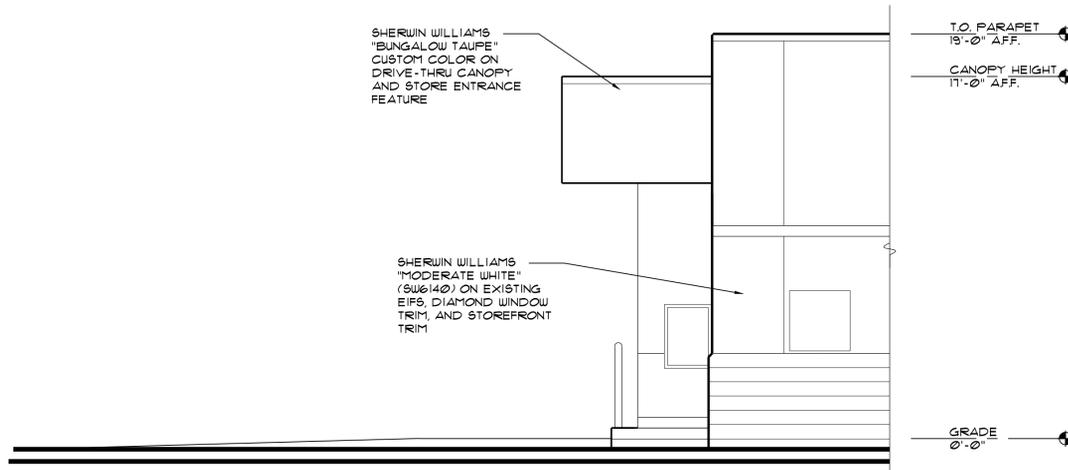
DT-1

sheet No.
job No. FA15278

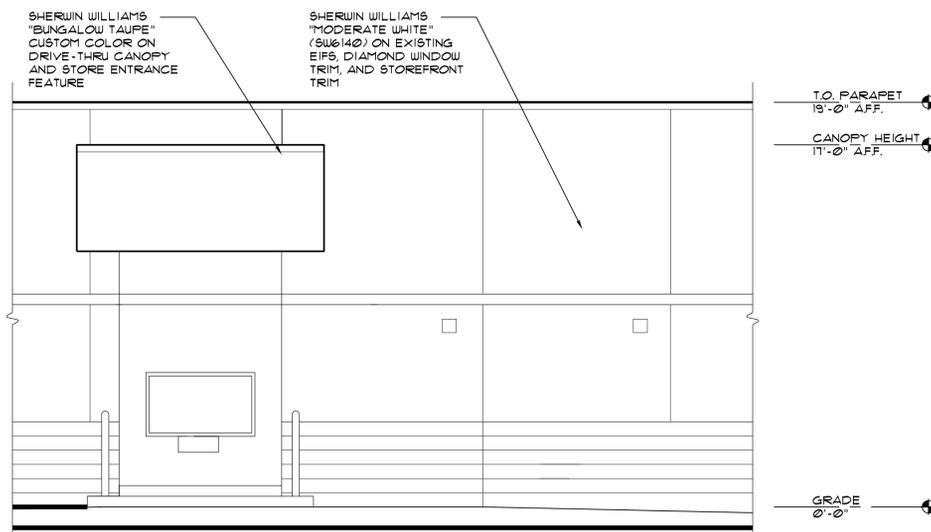
THIS DOCUMENT ("INSTRUMENT OF SERVICE") WAS PREPARED BY FABO ARCHITECTURE, INC. ("FAI") SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. IT IS THE PROPERTY OF FABO ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF FABO ARCHITECTURE, INC. ANY UNAUTHORIZED USE OF THIS INSTRUMENT OF SERVICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO FABO ARCHITECTURE, INC. FABO ARCHITECTURE, INC. MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OF MERCHANTABILITY OR OF FITNESS FOR A PARTICULAR PURPOSE.



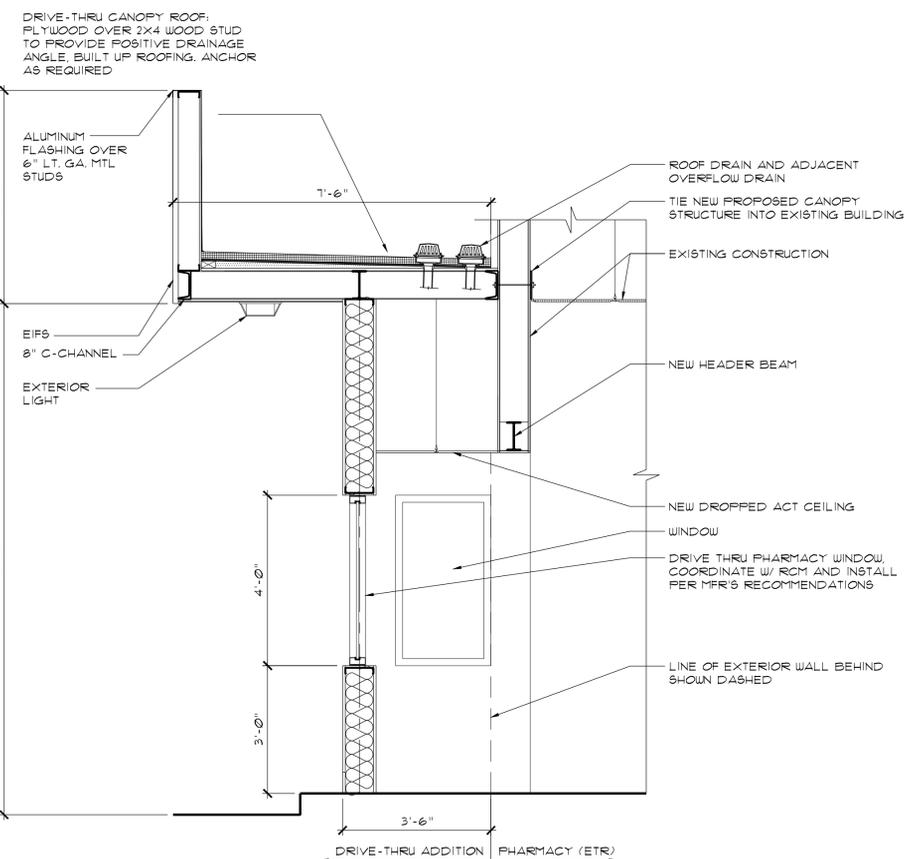
5 WEST CANOPY ELEVATION
DT-2 SCALE: 1/4" = 1'-0"



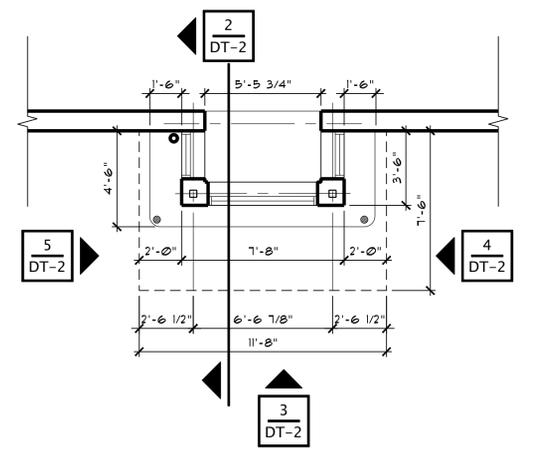
4 EAST CANOPY ELEVATION
DT-2 SCALE: 1/4" = 1'-0"



3 SOUTH CANOPY ELEVATION
DT-2 SCALE: 1/4" = 1'-0"



2 CANOPY SECTION
DT-2 SCALE: 1/2" = 1'-0"



1 ENLARGED PLAN
DT-2 SCALE: 1/4" = 1'-0"



Brian G. Fabo, License #11898
Expiration Date 12/31/2017

1736 columbus road
cleveland, oh 44113
www.faboarch.com
t: 216.241.6150
f: 216.395.0053

fabo
architecture

RITE AID DRIVE THRU #2731
1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48068

THIS DOCUMENT ("INSTRUMENT OF SERVICE") WAS PREPARED BY FABO ARCHITECTURE, INC. ("FABO") SPECIFICALLY FOR THE PROJECT AND SITE IDENTIFIED HEREIN. FABO ARCHITECTURE, INC. ("FABO") ACCEPTS NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT OR FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM OR OUT OF THE PROJECT. FABO ARCHITECTURE, INC. ("FABO") RESERVES ALL RIGHTS, INCLUDING COPYRIGHTS, IN THIS INSTRUMENT OF SERVICE. THIS INSTRUMENT OF SERVICE SHALL NOT BE USED ON OTHER PROJECTS FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF FABO ARCHITECTURE, INC. ("FABO"). UNAUTHORIZED USE OF THIS INSTRUMENT OF SERVICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO FABO ARCHITECTURE, INC. ("FABO"). FABO ARCHITECTURE, INC. ("FABO") MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

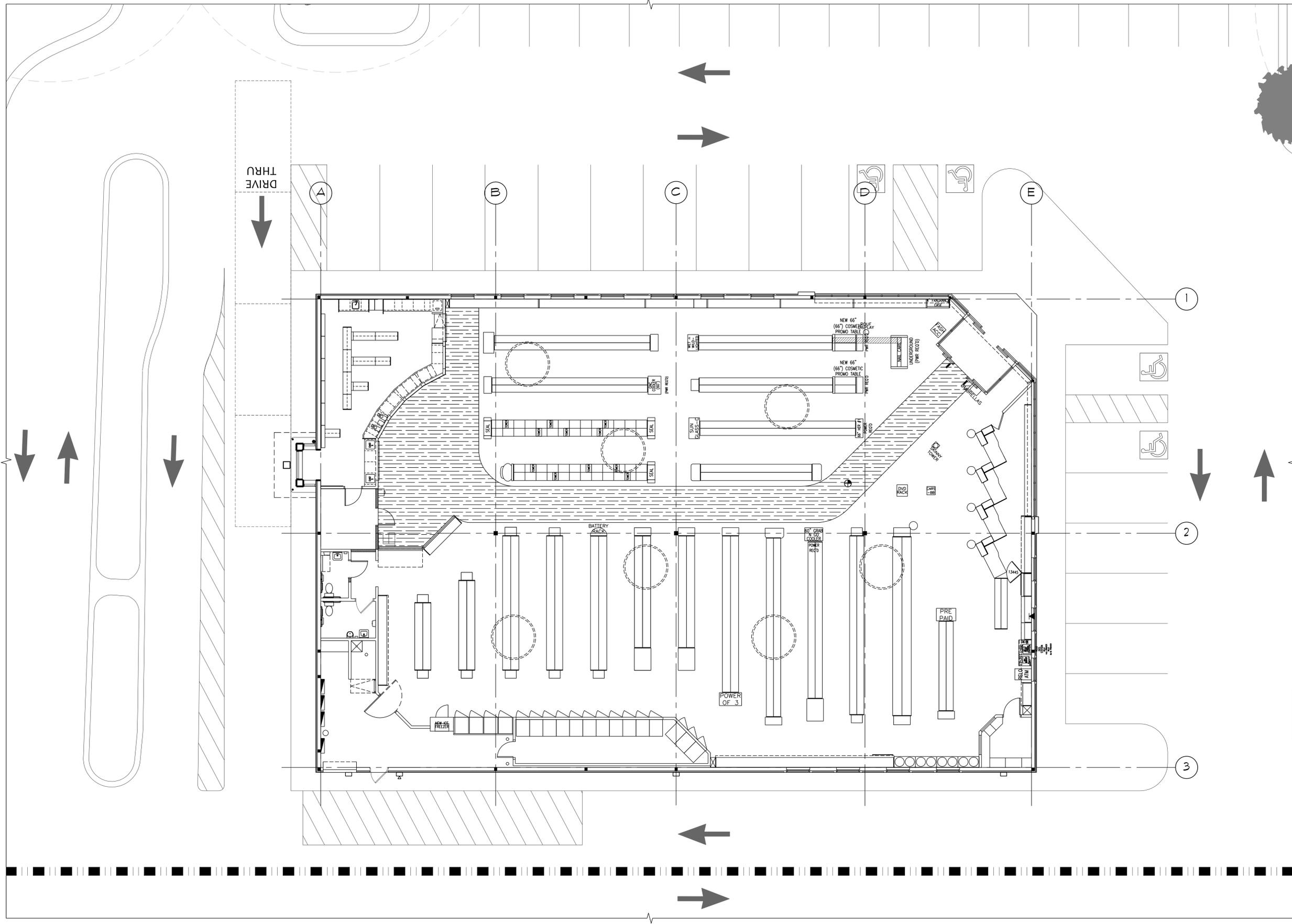


REVISIONS:

issue date: 06-09-16

DT-2

sheet No.
job No. FA15278



PROPOSED FLOOR PLAN
FOR REFERENCE ONLY
1
A-1 SCALE: 1/8" = 1'-0" 



Brian G. Fabo, License #11898
Expiration Date 12/31/2017

1736 columbus road
cleveland, oh 44113
www.faboarch.com
t: 216.241.6150
f: 216.395.0053



RITE AID DRIVE THRU #2731
1981 WEST SOUTH BOULEVARD TROY, MICHIGAN 48068

THIS DOCUMENT ("INSTRUMENT OF SERVICE") WAS PREPARED BY FABO ARCHITECTURE, INC. ("FAI") SPECIFICALLY FOR THE PROJECT AND SITE DESCRIBED HEREIN. IT IS THE PROPERTY OF FABO ARCHITECTURE, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF FABO ARCHITECTURE, INC. ANY UNAUTHORIZED USE OF THIS INSTRUMENT OF SERVICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO FABO ARCHITECTURE, INC. FABO ARCHITECTURE, INC. MAKES NO WARRANTIES, EXPRESS OR IMPLIED, OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.



REVISIONS:

issue date: 06-09-16

A-1
sheet No.
job No. FA15278

June 9, 2016

Attn. Brent Savidant
Planning Director
City of Troy
Planning Department
500 W. Big Beaver Road
Troy, MI 48084

Regarding:
Rite Aid #2731
Proposed Drive Thru Addition
1981 W. South Blvd.
Troy, MI 48089

Statement of Compatibility per section 9.03 of the adopted ordinances for the city of Troy

Dear Mr. Savidant:

Section 9.03

1. The proposed drive thru addition would be compatible with the existing adjacent uses. Both properties abutting the Rite Aid are in the NN:U district and are either mercantile or business uses which are permitted to have drive thru facilities.
2. The proposed drive thru addition would be designed to accommodate the intended goals of the city of Troy's zoning ordinances and master plan. Our proposal will seek to ensure that this addition complies with all applicable zoning codes as feasibly possible. The design will account for public safety concerns. The design will be compliant with the intended purposes outlined in section 1.03 of the ordinances.
3. The proposed drive thru will use existing circulation originally designed for a drive thru. We will provide adequate circulation and size as required to allow the efficient and safe use of this drive thru facility. The design will be such to minimize any hazardous traffic patterns.
4. The existing Rite Aid has both pedestrian and vehicular access. The design will not impact existing access to public routes or utilities. The plan will not reduce the ability for emergency vehicles or responders from properly accessing the site.
5. The proposed addition will be designed to reflect the desired intentions and design criteria outlined in the requirements for neighborhood node districts. The new exterior materials and colors will be designed as such to match and be compatible with the existing structures. The design will not contract from the existing space or the appeal of the building.
6. The proposed layout will re-use existing paved surfaces and circulation to minimize the environmental impact on site. Included in the design are additional landscaping as to make the site compatible with current zoning ordinances and improve the overall appeal of the site to the public.
7. Also requirements as outline in the special use section of the zoning ordinance will be met to the best of our abilities and as technically feasible for the proposed drive thru.

If you have any additional comments or questions please contact me at 216-341-5964 ext 105, or at my email

kyle.davis@faboarch.com

Thank you,

Kyle Davis
Project Manager
Fabo Architecture, Inc.

DATE: July 22, 2016

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2016-0017) – Proposed 1-800 Self Storage Facility, East side of Coolidge, South of Maple (1330 Coolidge), Section 32, Currently Zoned MR (Maple Road) District

The petitioner Guido Architects, Inc. submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a proposed self storage facility.

The property is currently zoned MR (Maple Road) District. The Planning Commission is responsible for granting Special Use Approval and Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SPECIAL USE\SU JPLN 2016-0017 1-800 Self Storage 1330 Coolidge Sec 32\1-800 Self Storage PC Memo 07 26 2016.docx

PROPOSED RESOLUTION

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU JPLN2016-0017) – Proposed 1-800 Self Storage Facility, East side of Coolidge, South of Maple (1330 Coolidge), Section 32, Currently Zoned MR (Maple Road) District

Resolution # PC-2016-07-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed 1-800 Self Storage Facility, East side of Coolidge, South of Maple (1330 Coolidge), Section 32, Currently Zoned MR (Maple Road) District, be (granted, subject to the following conditions):

1. Obtain sustainable design option approval to offset exceeding lot coverage prior to issuance of permits for Phase 2.
2. Provide screening between adjacent uses as determined by the Planning Commission.
3. Reduce the lighting levels along the northern property line to no less than 1.0 footcandles.
4. Confirm the proposed final location pole mounted light labeled B-4 and submit the revised, respective, plan.
5. Provide architectural changes as determined by the Planning Commission.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED



Legend:

 Tax Parcel

Aerial

 Red: Band_1

 Green: Band_2

 Blue: Band_3

167 0 83 167 Feet

Scale 1: 1,000



Legend:

- Tax Parcel
- Form Based Zoning 2**
- (PUD) Planned Unit Development
- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road
- (MR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales
- Aerial**
- Red: Band_1
- Green: Band_2
- Blue: Band_3

300 0 150 300 Feet

Scale 1: 1,800



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: July 13, 2016

Preliminary Site Plan and Special Use Review For City of Troy, Michigan

Applicant:	Joseph A. Guido
Project Name:	1-800-Self-Storage
Plan Date:	May 27, 2016
Location:	1330 Coolidge Highway – between W. Maple Rd. and Industrial Row Dr.
Zoning:	MR, Maple Road District (Form Based)
Action Requested:	Site Plan Approval and Special Use Amendment
Required Information:	Deficiencies noted

PROJECT AND SITE DESCRIPTION

We received a site plan for a two-phase development of consisting of a 4-story self-storage facilities with a combined size of 63,170 square foot at 1330 Coolidge Highway.

The plan is divided into two phases of development. Phase one is a 4-story, 34,356 square foot building Phase two is a 4-story, 29,610 square foot addition, connected to the phase one building from the second through fourth floor. There will be a covered one-way drive-through loading and unloading area located between the buildings; this will be part of phase two; the three floors above contain additional storage units. The first floor of phase one includes 52 storage units plus an office, while floors 2-4 employ 67 storage units each. The first floor of phase two includes 27 storage units, while floors 2-4 employ 66 storage units each. Once completed the total combined building envelope will be 13,880 square feet and house 478 self-storage units. The completion date for phase two is not indicated.

Mini-warehouse or self-storage facilities, categorized in Use Group 6 as a Miscellaneous Commercial Use, are listed as a special use in the MR, Maple Road District. Site access will be via one (1) curb cut off Coolidge Highway. The use does not include any outdoor storage or storage of moving or rental trucks. The proposed building shall be categorized as Building Form D; all bulk, setback, and parking requirements have been met. The application requires a Special Use permit.

The building is located within proximity to the Oakland/Troy Airport. The building and site plan have been preliminary reviewed by the FAA who note that proposed building height of 58 feet submitted exceeds the allowable height by 5 feet, and therefore would constitute a hazard to air navigation. The applicant has two options: 1). Reduce the height of the proposed building; or 2). Agree to install & maintain obstruction lights on the building and ask the FAA & MDOT/Aeronautics to re-evaluate their determinations in consideration of the mitigating effect of the obstruction lights. The applicant has agreed to install and maintain obstruction lights.

Location of Subject Property:

The property is located on the east side of Coolidge Highway between W. Maple Rd. and Industrial Row Dr.



Size of Subject Property:

The overall size of the subject property is 37,568 gross s.f. (0.86 acres)

Proposed Uses of Subject Parcel:

Self-storage

Current Use of Subject Property:

Vacant building

Current Zoning:

The property is currently zoned MR, Maple Road District (Form Based)

Direction	Zoning	Use
North	MR, Maple Road District	Medical Clinic/Offices
South	MR, Maple Road District	Vacant
East	IB, Integrated Industrial Business District	Industrial
West	IB, Integrated Industrial Business District	Commercial Retail

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

The site is being developed as Building Form D, which is a permitted building form for Site Type A. Table 5.03.B1 establishes the dimensional requirements for the building form A:

	Required	Provided	Compliance
Front (Coolidge Road)	10 foot build-to-line	10'	Complies
Side	0	30' north 6' south	Complies
Rear	40 feet	51 feet	Complies
Lot Coverage Space	30 percent	Phase 1: 20% Phase 1 and 2: 37%	Phase 1 Complies Phase 2: Can be approved as part of Sustainable Design Option, which will be required prior to issuance of permits for Phase 2.
Building Height	Minimum 14 feet Maximum 66 feet	58 feet	Complies with FAA Approval. See note below
Parking	Not located in front yard + screening	Not located in front yard and screened	Complies

The building is located within proximity to the Oakland/Troy Airport. The building and site plan been preliminary reviewed by the FAA who note that proposed building height of 58 feet submitted exceeds the allowable height by 5 feet, and therefore would constitute a hazard to air navigation. The applicant has two options: 1). Reduce the height of the proposed building; or 2). Agree to install & maintain

obstruction lights on the building and ask the FAA & MDOT/Aeronautics to re-evaluate their determinations in consideration of the mitigating effect of the obstruction lights.

The applicant has indicated that they plan to install & maintain obstruction lights on the building and ask the FAA & MDOT/Aeronautics to re-evaluate their determinations in consideration of the mitigating effect of the obstruction lights. The applicant has been asked to provide light samples at the meeting.

In addition, the applicant exceeds the maximum lot coverage for Phase 2 by 7%. The applicant may be permitted to exceed the maximum lot coverage with approval of a Sustainable Design Option prior to issuance of permits for Phase 2.

Items to be Addressed: 1). Applicant to provide light samples at the meeting; and 2). Obtain sustainable design option approval prior to issuance of permits for Phase 2.

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation:

Access to the site will be via Coolidge.

Pedestrian access:

The applicant will replace the existing sidewalk on Coolidge with an 8-foot sidewalk. The new sidewalk on Coolidge that connects to the front of the building and sales office.

Items to be Addressed: None

PARKING

	Required	Provided
One (1) parking space per 100 storage units, with a minimum of six (6) spaces.	Minimum of 6 spaces	+6 spaces on site
Barrier Free	1	1
Bicycle Parking	2	2
Total	6 automobile + 2 bicycle	+6 automobile + 2 bicycle

In addition to the five (5) spaces adjacent to the office, there is ample parking along the perimeter and within the building. Parking is sufficient.

Items to be Addressed: None

LANDSCAPING

The application includes a landscape plan. The plan includes a mix of evergreen and deciduous trees, and shrubs.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Greenbelt Width	Ten (10) feet	Ten (10) feet	Compliant
Street Trees	One (1) deciduous tree per thirty (30) linear feet of frontage. 100 lf / 30 ft = 3.33 trees	Four (4) street trees	Compliant
Site Landscaping	A minimum of fifteen percent (15%) of the site area shall be comprised of landscape material. 37,568 sf x 15% = 5,635 sf	6,309 sf or 17%	Compliant
Parking Lot Landscaping	1 tree for every 8 parking spaces. 7 spcs / 8 = .875	One (1) tree	Compliant
Screening Between Land Uses (north, east, and south prop line) Table 13.02- B	Screen Alt 2 One (1) large evergreen every ten (10) feet or one narrow evergreen five (5) feet, or wall, or fence .	None	Non-compliant with consideration by the Planning Commission

Screening: Screening is required between mini-storage and the adjacent office uses. The Planning Commission has the discretion to require landscape screening and/or a wall, or allow a fence to suffice for screening.

The applicant is proposing a 6-foot vinyl coated chain-link fence around, approximately, two-thirds (2/3) of the property, the majority surrounding what would be considered the rear yard of the western most building. Additionally, there will be a 6-foot tall, black steel decorative fence with twenty-eight (28) square block piers stretching for sixty-eight (68) feet along the northern property line.

Trash Enclosure: A concrete dumpster enclosure with wooden gate is proposed to be located at the northeastern corner of the property, meeting the standards of Section 13.03.

Items to be Addressed: *Provide screening between adjacent uses as determined by the Planning Commission.*

PHOTOMETRICS

The lighting plan indicates five (5) pole mounted lights, fifteen (15) feet high from grade, two (2) exterior building mounted lights on the south side of the eastern most building and four (4) can or pot lights, two (2) located under the parking canopy and two located under the covered loading/unloading area. The applicant has provided cut sheets.

The applicant has submitted a photometric plan. The lighting levels along the northern property line slightly exceed the maximum 1.0 footcandles.

NOTE: the pole mounted light labeled B-4 on the photometric sheet is located on the north side of the drive aisle, whereas, on the site plan, sheet SP-1, it is located on the south side. Please confirm the proposed final location and submit the revised, respective, plan.

Items to be Addressed: 1). Reduce the lighting levels along the northern property line to no less than 1.0 footcandles; and 2). Confirm the proposed final location pole mounted light labeled B-4 and submit the revised, respective, plan.

FLOOR PLANS and ELEVATIONS

Floor plans and building elevations have been provided. The building is to be constructed with pre-colored spilt-face block, pre-colored scored smooth-face block course, and vertical metal siding. The color scheme is grey and tan with orange accents. A color rendering has been provided on the cover page.

The north, south and east elevations have minimal architectural details. The Planning Commission should consider if additional architectural treatments would be appropriate for the north and south elevations.

Items to be Addressed: The Planning Commission should consider if additional architectural treatments would be appropriate for the north and south elevations.

DESIGN STANDARDS

Developments within the Maple Road form-based district must comply with Design Standards outlined in section 5.05.

Building Orientation and Entrance

- a. *Primary Entrance:* The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **The primary entrance is located in the front façade facing Coolidge.**
- b. *Recessed Doorways.* Where the building entrance is located on or within five (5) feet of a lot line, doorways shall be recessed into the face of the building. **Not applicable**
- c. *Residential Dwellings.* Entrances for all residential dwellings shall be clearly defined by at least one (1) of the following:
 - I. *Projecting or recessed entrance.* A recessed entrance is required if the building entrance is located on or within five (5) feet of the lot line.
 - II. *Stoop or enclosed or covered porch.*
 - III. *Transom and/or side light window panels framing the door opening.*
 - IV. *Architectural trim or unique color treatments framing the door opening*

Not Applicable

Ground Story Activation

- a. *The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.*

Through the use of both windows and architectural features, the applicant meets the transparency requirement.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

The building and parking lot are adjacent to office uses. The proposed use shall be no more intense than those uses.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.*

The applicant meets the parking requirements.

- b. *Location.*

- I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

Not Applicable

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Not Applicable

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of*

the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

The applicant has screened their parking lot in compliance with section 13.02.C.

Items to be Addressed: None

SPECIAL USE

In the Maple Road District, Mini-Warehouse and Self-Storage facilities are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Use Standards – Section 6.24, Self-Storage Facilities

1. *Incidental accessory uses such as the sale of boxes, locks and other supplies, shall be permitted.*

The applicant has shown a retail portion of their development. Retail sales in this space are limited to sales of boxes, locks, and other supplies and materials.

2. *The storage of any toxic, corrosive, flammable, or hazardous materials is prohibited.*

The applicant has noted that any toxic, corrosive, flammable, or hazardous materials are prohibited at the facility. Any future finding of the storage of such materials is grounds to revoke a Special Use permit.

3. *Other than the storage of recreation vehicles, all storage and accessory uses shall be contained within a building. All recreational vehicle storage shall be screened from the view of the residentially zoned or used property and public roads in accordance with the standards set forth in Section 13.02.B.*

No outdoor storage is demonstrated on the site plan.

4. *Exterior walls of all storage units shall be of masonry construction.*

The exterior walls of the building are made up of masonry construction and metal siding.

Standards of Approval

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

The proposed use is a mix of commercial/warehousing in nature. Provided that the applicant is able to address specific noted site planning recommendations, the proposed use fits with the existing commercial character of the property and surrounding area along Coolidge.

2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

The subject site is located in the Maple Road future land use category.

3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

Compared to similar sized uses, self-storage facilities are low traffic generators. A self-storage use at this facility should have minimal impact on traffic.

4. *Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

The proposed use should not cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.

5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

Outside the aforementioned issues, the site complies with all other zoning ordinance standards.

The Planning Commission is also required to generally consider the following for any special use application:

1. *The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.*

See above. Provided site planning issues are addressed the proposed use may be permissible in the proposed location.

2. Vehicular circulation and parking areas.

Vehicular circulation and parking areas is sufficient.

3. Outdoor activity, storage and work areas.

N/A.

4. Hours of operation.

Applicant should confirm hours of operation. Hours of operation can be limited by the Planning Commission provided that they find limiting hours shall reasonably reduce impacts upon adjacent properties.

5. Production of traffic, noise vibration, smoke, fumes, odors, dust, glare and light.

Through setbacks, tree preservation, additional landscaping, architectural considerations and operational considerations the applicant has mitigated the potential impact of traffic, noise, smoke, fumes, odor, dust, glare, and light.

Items to be addressed: None.

SITE PLAN RECOMONDATIONS

We recommend Site Plan and Special Use approval, with the following conditions:

1. *Obtain sustainable design option approval to offset exceeding lot coverage prior to issuance of permits for Phase 2.*
2. *Provide screening between adjacent uses as determined by the Planning Commission.*
3. *Reduce the lighting levels along the northern property line to no less than 1.0 footcandles; and*
4. *Confirm the proposed final location pole mounted light labeled B-4 and submit the revised, respective, plan.*
5. *Provide architectural changes as determined by the Planning Commission*

Sincerely,

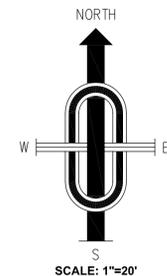


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, AICP, LEED AP
Principal



CARLISLE/WORTMAN ASSOC., INC.
Christopher Atkin
Planner

Cc: Guido Architects, Inc., via: jguido@guidoarchitects.com
Mickalich Engineering, Inc., via: amickalich@gmail.com
Kemp Building + Development, via: tkemp@kemp-company.com



- LEGEND**
- ABBREVIATIONS**
- FI FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FM FOUND CONCRETE MONUMENT
 - SI SET IRON ROD
 - C CALCULATED
 - M MEASURED
 - R RECORD
 - CLF CHAIN LINK FENCE
 - CB CATCH BASIN
 - CO CLEAN OUT
 - DS DOWNSPOUT
 - FF FINISHED FLOOR
 - GV&W GATE VALVE & WELL
 - HYD HYDRANT
 - INLET INLET
 - IE INVERT ELEVATION
 - LP LIGHT POLE
 - MH MANHOLE
 - NTS NOT TO SCALE
 - OH OVERHEAD
 - SB SOIL BORING
 - TC TOP OF CURB
 - UG UNDERGROUND
 - U. POLITY POLITY POLE
- SYMBOLS**
- CABLE
 - ELECTRIC
 - FENCE
 - GAS
 - GUY WIRE & ANCHOR
 - SANITARY SEWER
 - STORM SEWER
 - TELEPHONE
 - TRAVERSE/CONTROL POINT
 - WATER MAIN
 - EXISTING CONTOURS
 - EXISTING ELEVATIONS

SURVEY INFORMATION
PREPARED BY:

Raymond J. Donnelly & Associates, Inc.
Land Surveying, Mapping
Site Development Consulting
"Over 33 Years of Excellence"

1853 E. Maple Road
Troy, MI 48063-4207
Phone: 248.689.5555
Fax: 248.689.5677
Web: www.rjdsurveyors.com

PROJECT NO. 2015-047
DATE: 8-28-15



PREPARED FOR:
COMMUNITY E.S., INC.
C/O RICHARD HOODSON, P.E. #48078
6303 26 MILE ROAD, STE. 110
WASHINGTON, MI 48094
PH: (586) 677-4091
FX: (586) 677-4084
E-MAIL: RICH@COMMUNITYENG.COM

© 2015 - COMMUNITY E.S., INC. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY OF COMMUNITY E.S., INC. ANY REPRODUCTION, COPYING, REUSE OR DISTRIBUTION OF THESE PLANS AND DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF COMMUNITY E.S., INC.



PROPERTY DESCRIPTION

LOT 15 OF "MAPLE COOLIDGE ESTATES", A SUBDIVISION OF PART OF THE NW 1/4 OF SECTION 32, T. 2 N., R. 11 E., TROY TWP. (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN ACCORDING TO THE PLAT RECORDED IN LIBER 47 OF PLATS, PAGE 51, OAKLAND COUNTY RECORDS.

CONTAINS 37,568.7 SQ. FT. OR 0.8624 ACRES

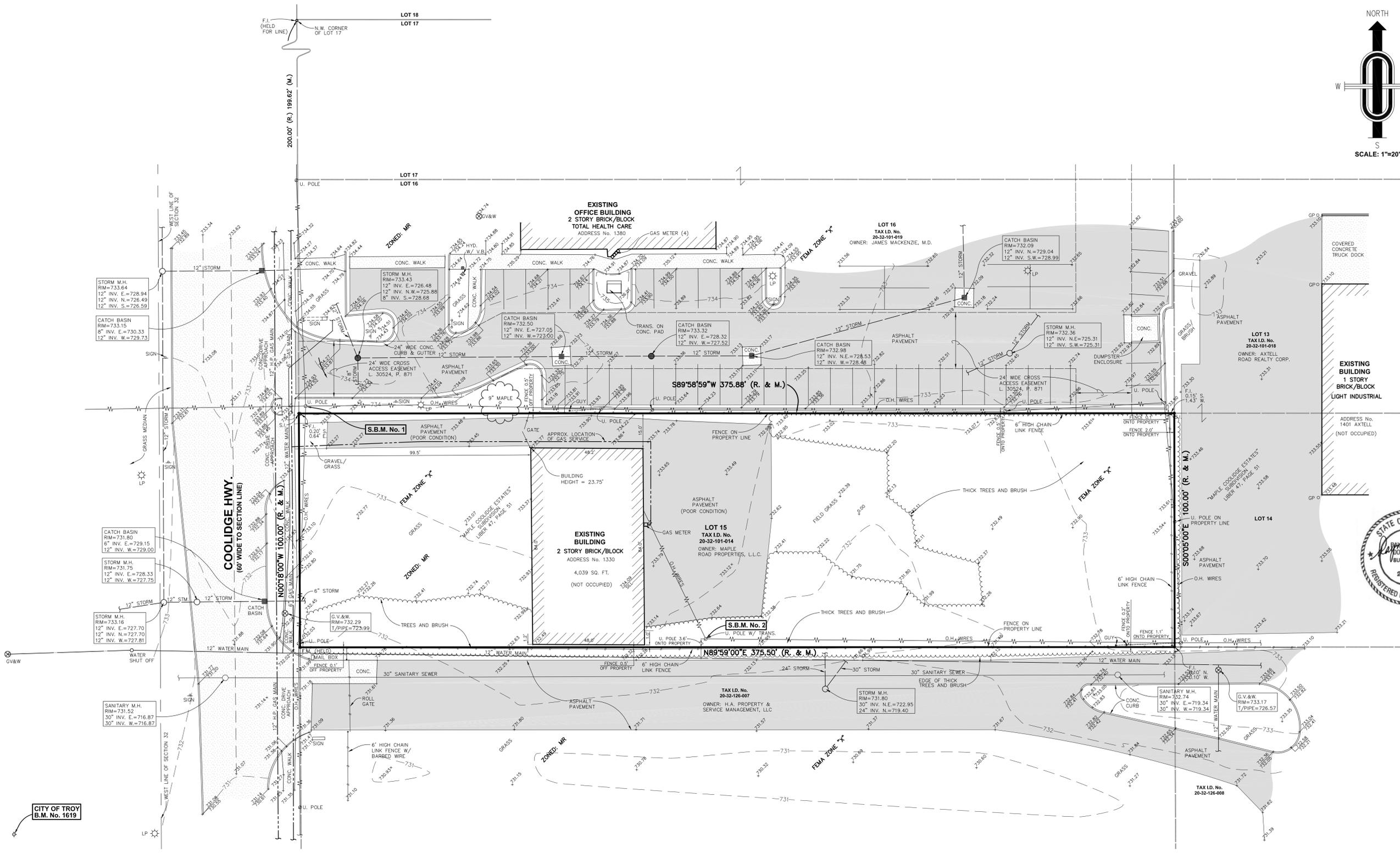
A.K.A. 1330 COOLIDGE HWY, TROY, MI 48084
TAX ID No. 20-32-101-014

BENCH MARK DATA

CITY B.M. No. 1619
ARROW ON HYDRANT #31-7 LOCATED ON THE WEST SIDE OF COOLIDGE AT THE NORTH ENTRANCE TO "MIDTOWN SQUARE MALL".
ELEV. = 733.148

S.B.M. No. 1
RAIL ROAD SPIKE IN THE EAST FACE OF UTILITY POLE LOCATED NEAR THE S.W. PROPERTY CORNER OF LOT 16, 114'± S.W. OF S.W. BUILDING CORNER OF ADDRESS 1380 COOLIDGE (TOTAL HEALTH CARE).
ELEV. = 735.79

S.B.M. No. 2
RAIL ROAD SPIKE IN THE NORTH FACE OF UTILITY POLE LOCATED ON SUBJECT PROPERTY 3.7'± NORTH OF SOUTH PROPERTY LINE AND 26.3'± EAST OF S.E. BUILDING CORNER.
ELEV. = 734.28



CITY OF TROY
B.M. No. 1619

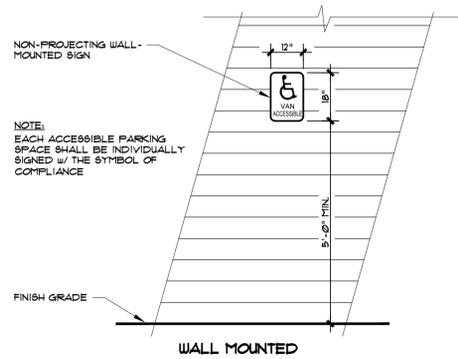
COMMUNITY
CIVIL ENGINEERING & SURVEYING

Civil Engineering and Surveying
6303 26 Mile Road, Suite 110
Washington Twp., Michigan 48094
Telephone: (586) 677-4081
www.communityeng.com

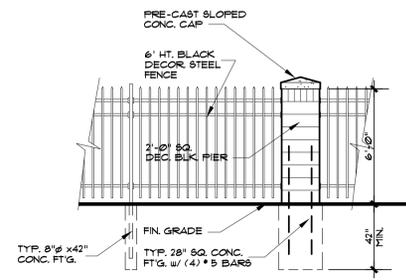
LOT 15
1330 COOLIDGE HWY.
SEC. 32, T. 2 N., R. 11 E.
CITY OF TROY
OAKLAND COUNTY, MI

DATE 8-28-15 SCALE 1"=20'
DRAWN BY J.E.K. SHEET 1 OF 1
CHECKED BY R.J.D. DRAWING E-15-0211

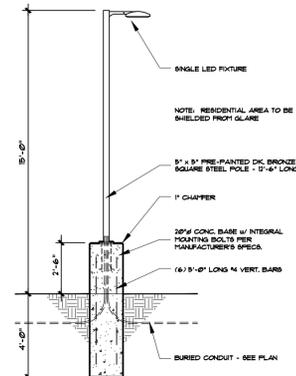
TOPOGRAPHICAL SURVEY



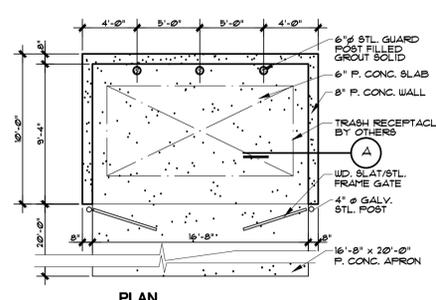
P.H. PARKING SIGNAGE
(PHASE I CONST.)
NOT TO SCALE



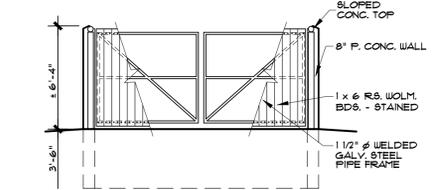
DECOR. FENCE / PIER DETAIL
(PHASE I CONST.)
NOT TO SCALE



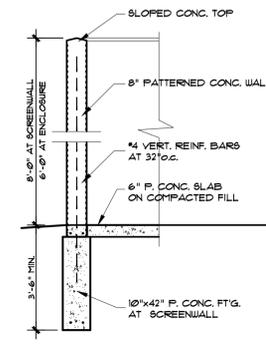
TYPICAL LIGHT STANDARD
(PHASE I CONST.)
NOT TO SCALE



PLAN
NOT TO SCALE

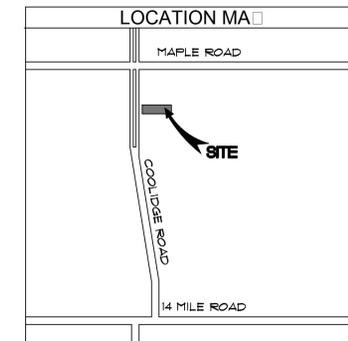


ELEVATION
NOT TO SCALE

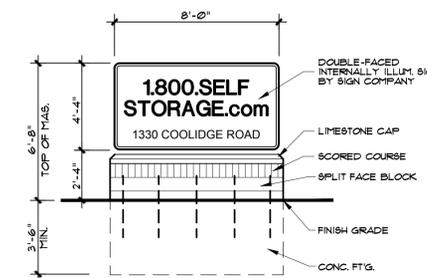


SECTION A-A
NOT TO SCALE

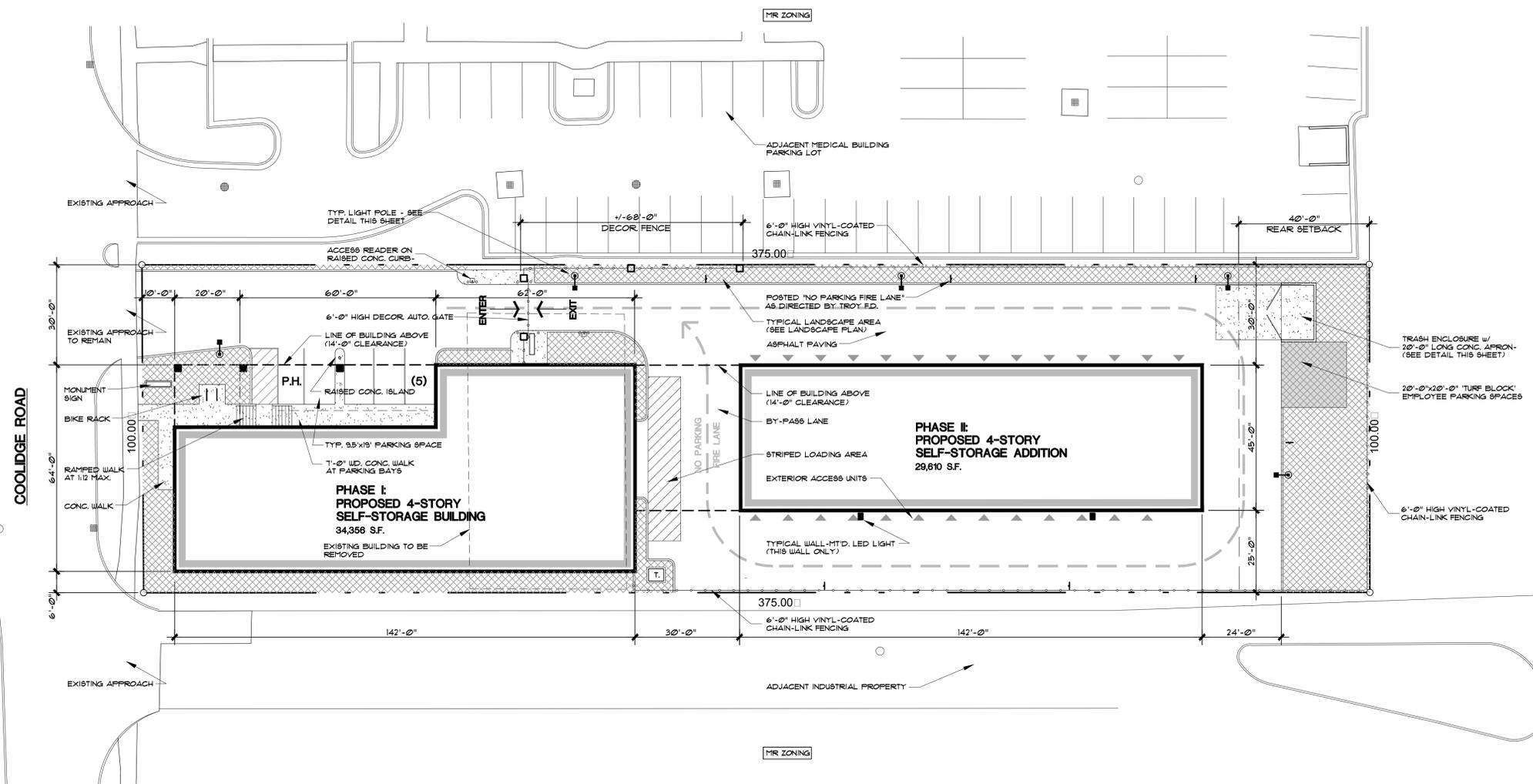
TRASH ENCLOSURE WALL
(PHASE II CONST.)
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



MONUMENT SIGN DETAIL
(PHASE I CONST.)
NOT TO SCALE



SITE PLAN
SCALE: 1" = 20'-0"

NOTES:
1. INSTALL A KNOX BOX FOR GATE AND BUILDING.
2. NO TRUCK RENTAL IS PROPOSED FOR THIS FACILITY.

PROPERTY DESCRIPTION:
LOT 15 OF "MAPLE COOLIDGE ESTATES", A SUBDIVISION OF PART OF THE NW 1/4 SECTION 32, T. 2 N., R. 11 E., TROY TWP., NOW CITY OF TROY, OKLA. LAND COUNTY, MICHIGAN ACCORDING TO THE PLAT RECORDED IN LIBER 47 OF PLATS, PAGE 51, OKLA. LAND COUNTY RECORDS.
CONTAINS 37,568.7 S.F. OR 0.8624 ACRES
A.A. 1330 COOLIDGE HWY., TROY, MI 48064
TAX ID No. 20-32-101-014

SITE DATA:

CURRENT ZONING:	MR MAPLE ROAD
PROPOSED ZONING:	MR MAPLE ROAD
GROSS SITE AREA:	37,568 S.F. .86 AC.
BUILDING PAD AREA:	7,490 S.F. [PHASE I] 13,880 S.F. [PHASE I & II]
COVERAGE:	20% [PHASE I] 37% [PHASE I & II]
LANDSCAPE AREA:	6,309 S.F. [PHASE I & II] 7,500 S.F. REIMPOSED
COVERAGE:	16.8% [PHASE I & II]
FRONT SETBACK:	REQUIRED - 10 FT. PROVIDED - 10 FT.
REAR SETBACK:	REQUIRED - 40 FT. PROVIDED - 51 FT. [PHASE I & II]
SIDE SETBACK:	REQUIRED - 0 FT. PROVIDED - 30 FT. (NORTH) 6 FT. (SOUTH)

LANDSCAPING REQUIRED: 5 S. ACES 489 UNITS
LANDSCAPING PROVIDED: 7 S. ACES INC. 11.0% PLANTED 8.0% WIDE VAN ACCESS S. ACE

Dimensions are to rough framing unless noted otherwise. DO NOT SCALE DRAWING. Use figure dimensions only. NOTE: This drawing is an instrument of service and in the event of any discrepancy between the drawing and the site conditions, the drawing shall prevail. The client shall be responsible for obtaining all necessary permits and approvals for this project.

Architect: **Guido Architects Inc.**
2349 Ford Road, Dearborn, MI 48128
(313) 274-7800, Fax: (313) 274-7808
Email: info@guidoarchitects.com

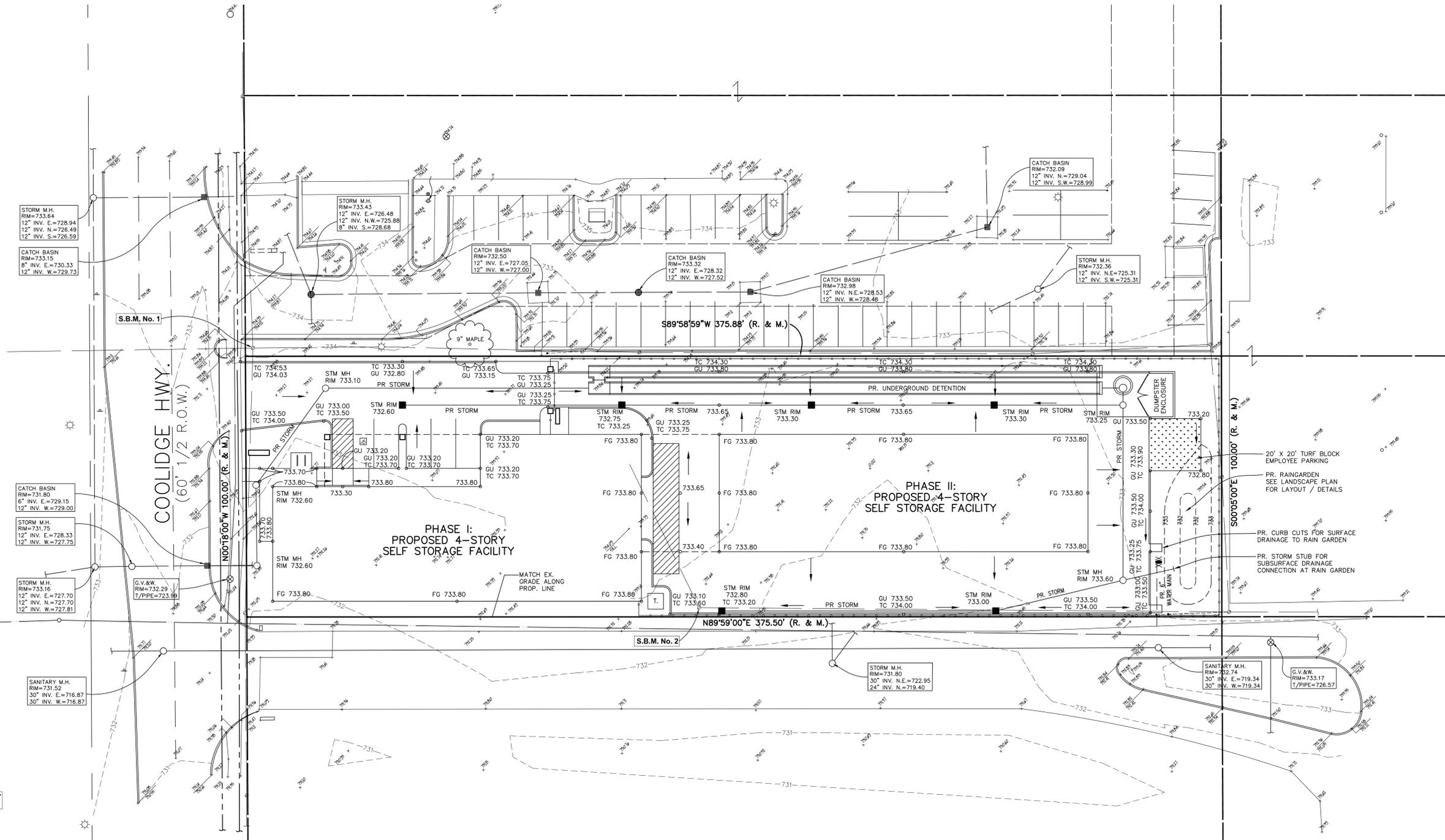
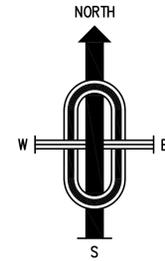
Architect: **1800.SELF STORAGE.com**
1330 COOLIDGE ROAD, TROY, MICHIGAN

Project No. **1609**

Sheet **SP-1**

"1-800.SELF STORAGE.com"

PART OF THE NORTHWEST 1/4 OF SECTION 32,
T. 2N., R. 11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN.



LEGEND

- △ CONTROL POINT
- XX FIRE HYDRANT
- ⊗ GATE WELL OR D-BOX
- MANHOLE AS NOTED
- PAVEMENT CATCH BASIN
- UTILITY POLE
- ▲ GUY WIRE BASE
- ▲ SIGN
- LIGHT POLE
- FOUND IRON (F.I.) OR FOUND PIPE (F.P.)
- EXISTING FENCE
- CL ROAD OR DITCH AS NOTED
- TREE/BRUSH LINE
- EA= EDGE OF ASPHALT
- EC= EDGE OF CONCRETE
- TC= TOP OF CURB
- GU= GUTTER
- TB= TOP OF BANK
- THIS TEXT TYPE (HARD) DENOTES EXISTING

PRELIMINARY

PREPARED BY:
COMMUNITY E.S., INC.
C/O RICHARD HODSDON, P.E. #48078
6303 26 MILE ROAD, STE. 110
WASHINGTON, MI 48094
PH: (586) 677-4081
FX: (586) 677-4084
E-MAIL: RICH@COMMUNITYENG.COM

© 2016 - COMMUNITY E.S., INC. ALL RIGHTS RESERVED. THESE PLANS AND DRAWINGS ARE OWNED BY AND THE SOLE PROPERTY OF COMMUNITY E.S., INC. ANY REPRODUCTION, COPYING, REUSE OR DISTRIBUTION OF THESE PLANS AND DRAWINGS IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF COMMUNITY E.S., INC.



COMMUNITY
CIVIL ENGINEERING & SURVEYING

1-800.SELF STORAGE.com
1330 COLLIDGE HWY.
SEC. 32, T. 2 N., R. 11 E.
CITY OF TROY
OAKLAND COUNTY, MICHIGAN

DATE May 20, 2016 SCALE 1"=20'
DRAWN BY J.M.B. SHEET CE-1 OF 1
CHECKED BY R.S.H. DRAWING Z-16-091

GRADING PLAN

CITY OF TROY
B.M. No. 1619

LANDSCAPE DEVELOPMENT NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Troy, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of four inches (4"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil. Peat sod is not acceptable.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner:
 - Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site;
 - Call the City for an inspection prior to backfilling;
 - Replace excavated material with good, medium-textured planting soil (loam or light yellow clay) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
 If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.
- Elevate the rootballs of Yew shrubs to allow for better drainage.

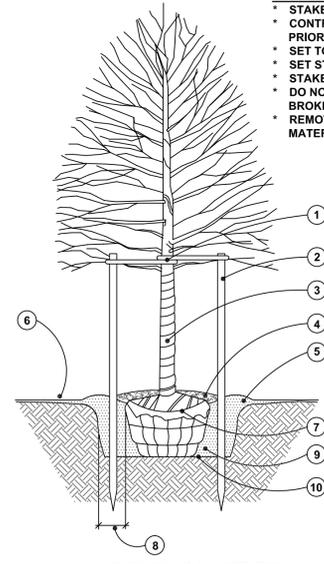
PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
AC	1	<i>Amelanchier canadensis</i>	Serviceberry	2-1/2" cal. B&B
GBF	5	<i>Gingko biloba</i> "Fastigiata"	Fastigiate Maidenhair Tree	2-1/2" cal. B&B
JHC	11	<i>Juniperus chin.</i> "Hetz Columnaris"	Hetz Columnar Juniper	4' - 5' ht. B&B
RAG	16	<i>Rhus aromatica</i> "Gro-Low"	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
SJS	12	<i>Spiraea japonica</i> "Shirobana"	Shiro Japanese Spiraea	24" ht., 3 gal. pot
TMD	25	<i>Taxus x media</i> "Densiformis"	Densiformis Yew	24" ht. B&B
CVM	*	<i>Coreopsis verticillata</i> "Moonbeam"	Moonbeam Threadleaf Coreopsis	1 gal. pot, 24" o.c.
HHR	*	<i>Hemerocallis</i> sp. "Happy Returns"	Happy Returns Daylily	1 gal. pot, 24" o.c.
HSG	*	<i>Hosta</i> sp. "Stained Glass"	Stained Glass Hosta	1 gal. pot, 24" o.c.
PC	10	<i>Pontederia cordata</i>	Pickeral Weed	Bare Root
SL	10	<i>Sagittaria latifolia</i>	Broad-Leaf Arrowhead	Bare Root

* Landscape Contractor to determine the quantity in the field.

NOTES:

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.



DECIDUOUS TREE

PLANTING DETAILS

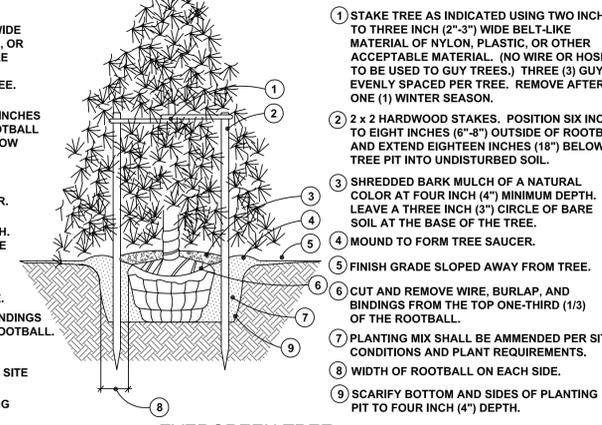
LANDSCAPE CALCULATIONS:

LANDSCAPING ADJACENT TO ROADS

- Coolidge Highway (100 l.f.)
- * One (1) deciduous tree / 30 l.f. = 3.33 trees = 4 trees
- PARKING LOT LANDSCAPING (7 spaces)**
- * One (1) deciduous tree for every eight (8) parking spaces equals 0.875 tree or 1 tree
- SITE LANDSCAPING (Site area: 37,568 sq. ft.)**
- * 37,568 sq. ft. x .20 equals 7,514 sq. ft.
- * Site landscaping area provided equals 6,309 sq. ft.

NOTES:

- STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH AND OVER.
- GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- SET STAKES VERTICAL AND EVENLY SPACED.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.



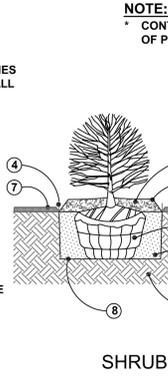
EVERGREEN TREE

SHRUB

not to scale

GENERAL NOTES FOR ALL PLANTINGS:

- DO NOT CUT CENTRAL LEADER.
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.



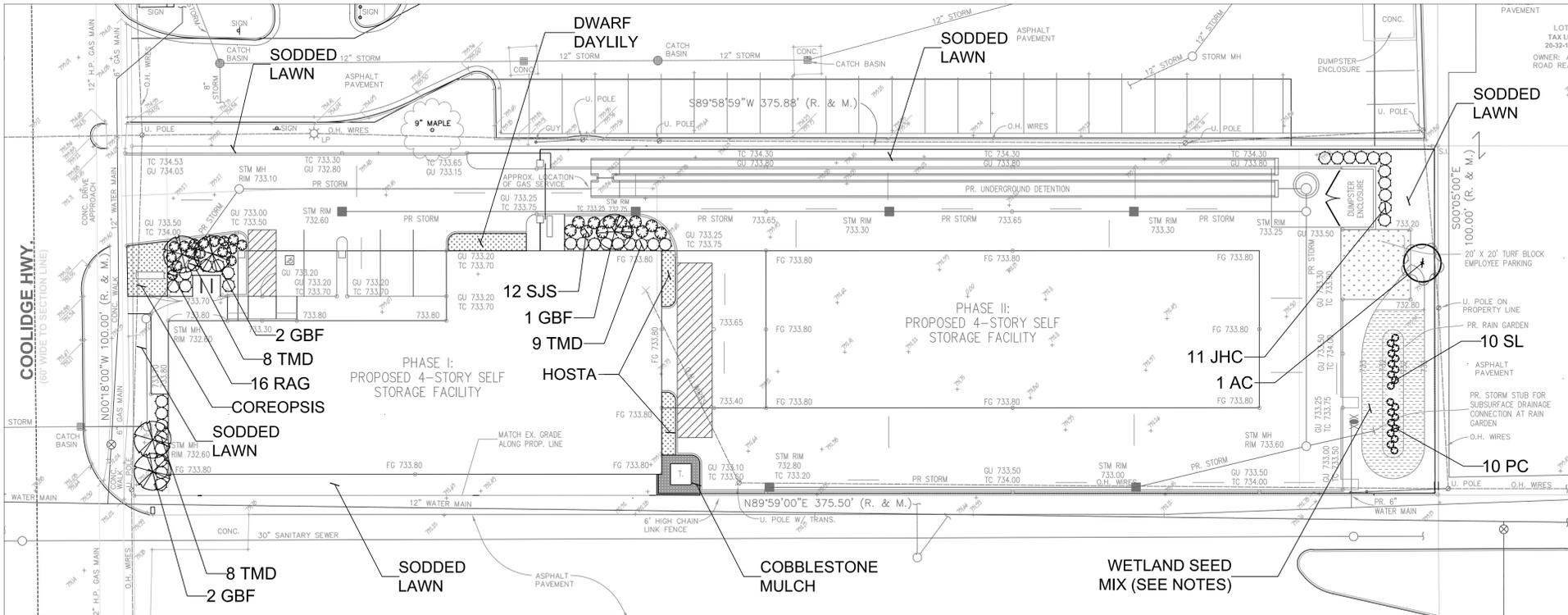
NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.

- SHREDDED BARK MULCH AT FOUR INCH (4") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR.
- FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED.
- CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING HOLE AND BACKFILL WITH PREPARED PLANTING MIX.
- UNDISTURBED SUBGRADE.
- LAWN.
- SCARIFY SUBGRADE.

ANNUAL / PERENNIAL / GROUND COVER

not to scale

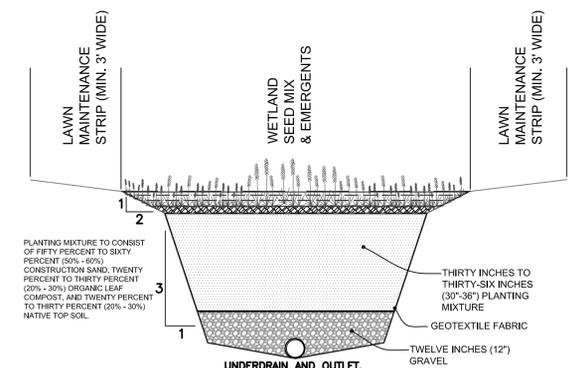


LANDSCAPE PLANTING PLAN

scale: 1" = 20'

RAIN GARDEN PLANTING NOTES

- PLANTING SOIL:** Planting soil as specified in the cross section on this sheet. The maximum clay content is less than five percent (5%). The soil mixture should have a pH measurement between 5.5 and 6.5 and an infiltration rate greater than a half inch per hour. The soil should be a uniform mix, free of stones, roots, or other similar objects larger than two inches (2"). No other materials or substances should be mixed or dumped within the rain garden area that may be harmful to plant growth or prove a hindrance to planting or maintenance operations. The planting soil should be free from Bermuda Grass, Quack Grass, Johnson Grass, Mugwort, Nutseed, Polson Ivy, Canada Thistle, or other noxious weeds.
- SAND:** Sand should be clean and free of deleterious materials. For planting soil, Michigan Department of Transportation Class II clean sand is recommended.
- SOIL PLACEMENT:** Placement of the planting soil in the rain garden area should be conducted in lifts of twelve inches to eighteen inches (12" - 18") and lightly compacted. Minimal compaction effort can be applied to the soil by tamping with a bucket from a dozer or backhoe. Do not use heavy equipment within the bioretention area. Grade the rain garden materials with light equipment such as a compact loader or a dozer / loader with marsh tracks.
- PLANTING:** Follow the Supplier's recommended procedures for bed preparation, installation, and soil erosion control measures of the proposed seeded areas. After the plants germinate and begin to grow follow the maintenance guidelines included on this sheet.
- COVER CROP:** Provide a cover crop of annual rye at a rate of ten pounds (10#) per acre and seed oats at a rate of twenty pounds (20#) per acre over the entire area to be seeded.



RAIN GARDEN CROSS SECTION not to scale

RAIN GARDEN SEED MIX

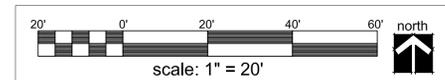
A composition of wildflowers, sedges, and grasses. Application rate: 3 oz. per 1000 sq. ft. or 6 lbs. per acre

BOTANICAL NAME	COMMON NAME
Wildflowers	
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Anemone canadensis</i>	Canada Anemone
<i>Aquilegia canadensis</i>	Columbine
<i>Aster novae-angliae</i>	New England Aster
<i>Chelone glabra</i>	White Turtlehead
<i>Coreopsis verticillata</i>	Tall Tickseed
<i>Eupatorium maculatum</i>	Joe-Pye Weed
<i>Eupatorium perfoliatum</i>	Boneset
<i>Fragaria virginiana</i>	Wild Strawberry
<i>Helenium autumnale</i>	Sneezeweed
<i>Iris virginica</i>	Wild Blue Flag
<i>Liatris spicata</i>	Marsh Blazing Star
<i>Monarda fistulosa</i>	Bergamot
<i>Pansetium digitale</i>	Beardtongue
<i>Potentilla simplex</i>	Old-Field Cinquefoil
<i>Rudbeckia hirta</i>	Black-Eye Susan
<i>Rudbeckia trilobum</i>	Green-Headed Coneflower
<i>Solidago patula</i>	Swamp Goldenrod
<i>Tradescantia ahiensis</i>	Spidertwort
<i>Verbena hastata</i>	Blue Vervain
<i>Verbena urticifolia</i>	White Vervain
<i>Veronica missurica</i>	Ironweed
<i>Veronicastrum virginicum</i>	Culver's Root
Sedges/Grasses	
<i>Carex hystericina</i>	Porcupine Sedge
<i>Carex vulpinoidea</i>	Fox Tail Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Sorghastrum nutans</i>	Indian Grass

RAIN GARDEN SEED MIX

SUPPLIER:
MICHIGAN WILDFLOWER FARM
11770 Cutler Road
Portland, Michigan 48875-9452
Phone: (517) 647 6010 Fax: (517) 647 6072
email: wildflowers@voyager.com

date: May 25, 2016
revised:



LANDSCAPE PLAN FOR:
Guido Architects, Inc.
23149 Ford Road
Dearborn, Michigan 48128
(313) 274-7800

LANDSCAPE PLAN BY:
Nagy Devlin Land Design, L.L.C.
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208



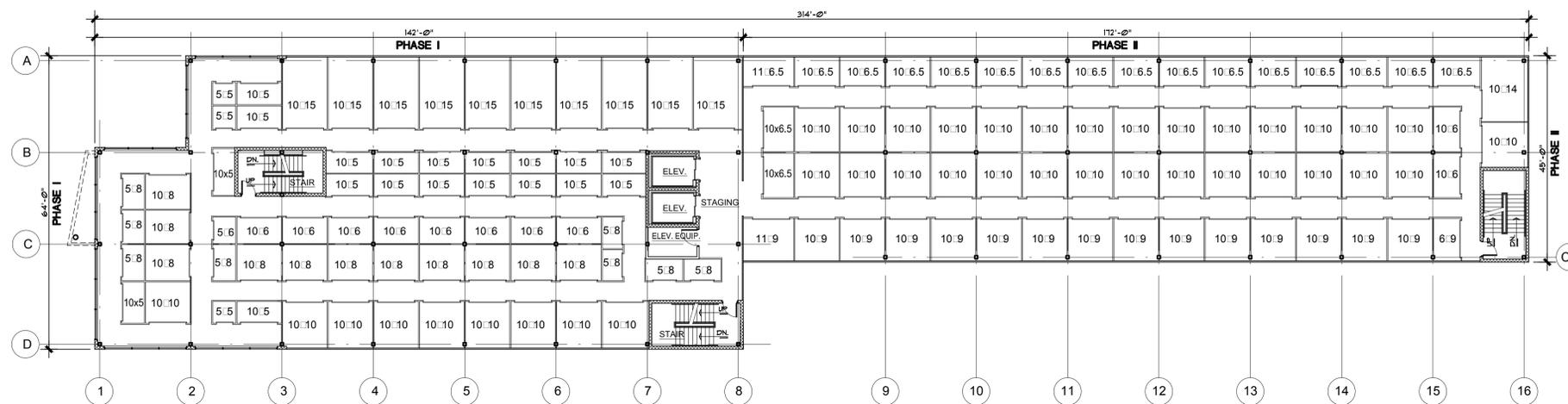
J. Brian Devlin
AUTOCAD SIGNATURE
ORIGINAL IN BLUE

L - 1: LANDSCAPE PLAN

* Base data provided by Community Engineering & Surveying.



PROJECT LOCATION:
1 800 SELF STORAGE
1330 Coolidge Highway
Troy, Michigan



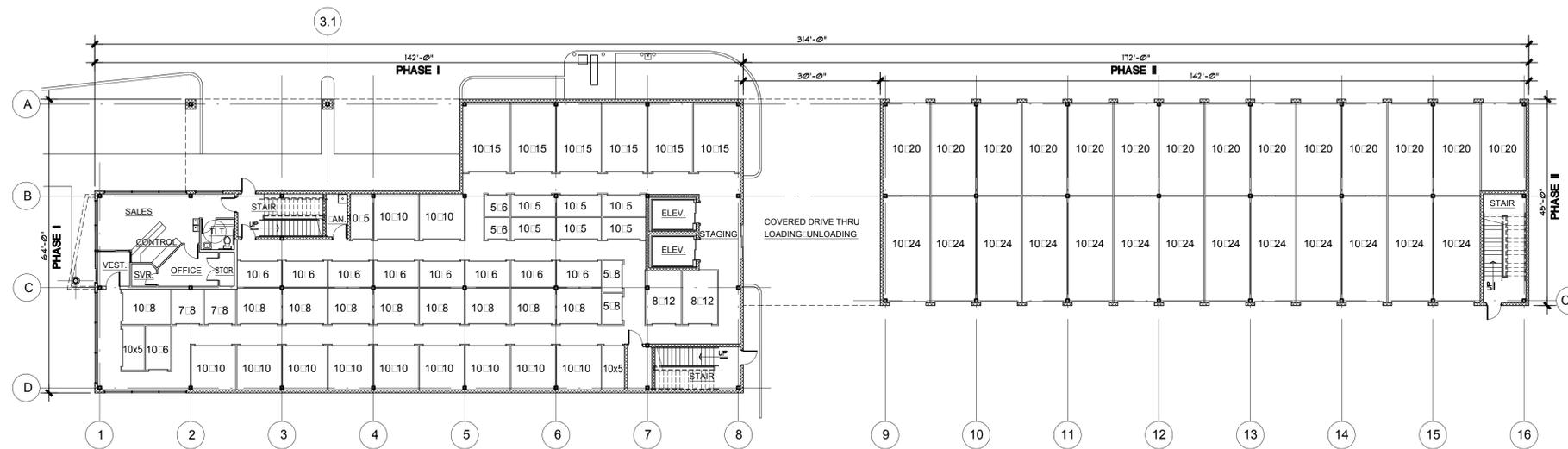
SECOND FLOOR PLAN- PHASE I & II
 NORTH SCALE: 1/16" = 1'-0"

PHASE I:

UNIT	MI	DATA:
SI	E	UAN.
10.15		11
10.10		10
10.8		11
10.6		8
10.5		16
5.8		8
5.7.5		2
5.6		1
TOTAL		67

PHASE II:

UNIT	MI	DATA:
SI	E	UAN.
10.14		1
10.10		29
10.9		14
10.6.5		17
10.6		2
11.9		1
11.6.5		1
6.9		1
TOTAL		66



FIRST FLOOR PLAN- PHASE I & II
 NORTH SCALE: 1/16" = 1'-0"

PHASE I:

UNIT	MI	DATA:
SI	E	UAN.
10.15		6
10.10		11
10.8		9
10.6		9
10.5		9
8.12		2
7.8		2
5.8		2
5.6		2
TOTAL		52

PHASE II:

UNIT	MI	DATA:
SI	E	UAN.
10.20		14
10.24		13
TOTAL		27

Dimensions are to rough framing unless noted otherwise.
 DO NOT SCALE DRAWING. Use figure dimensions only.
 NOTICE: This drawing is an instrument of service and is the property of Guido Architects Inc. It is not to be reproduced or used in any way without the written consent of Guido Architects Inc. All rights reserved.

DATE: 05/27/18
 REVISION:

DATE: 05/27/18
 BY: B.L.L./B.P.A.

DATE: 05/27/18
 BY: B.L.L./B.P.A.

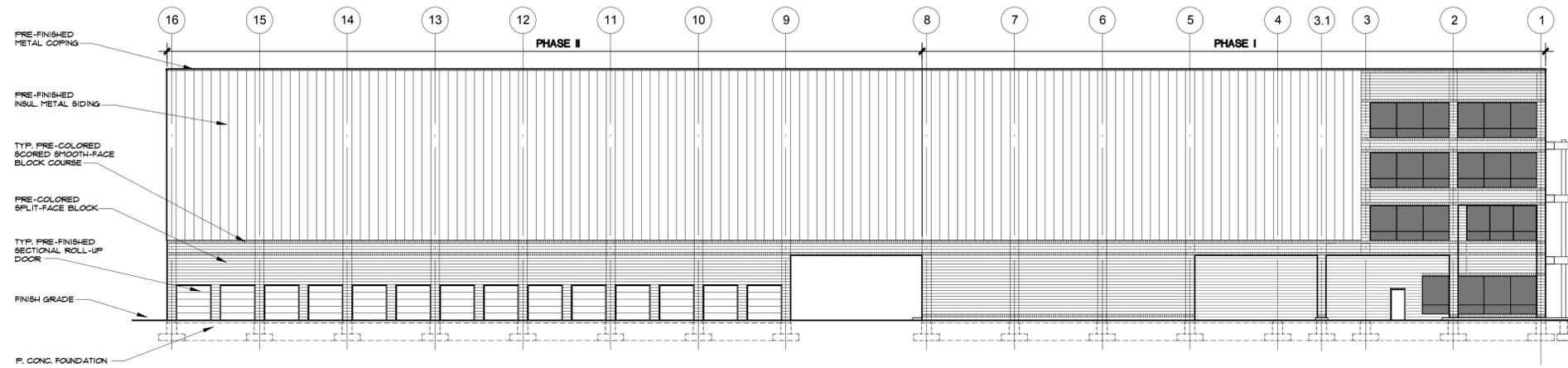


Guido Architects Inc.
 Architects / Planners
 23419 Ford Road Dearborn, MI 48128
 (313) 274-7800 Fax (313) 274-7808
 Email: info@guidoarchitects.com

PROJECT NO: 1800.SELF STORAGE.com.
 1800 COOLIDGE
FIRST & SECOND FLOOR PLANS, PHASE I & II

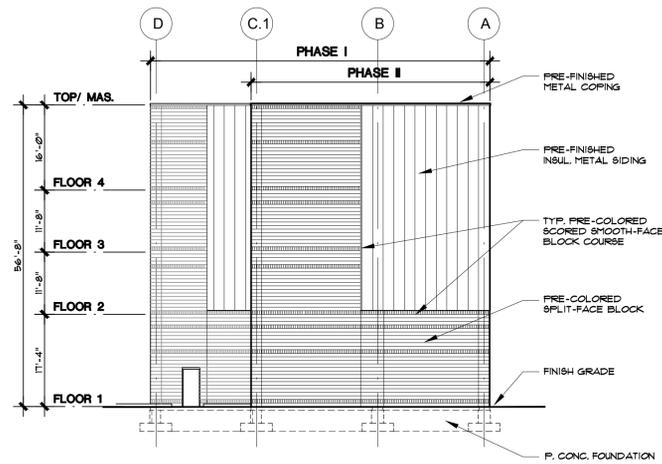
DATE: 05/27/18
1609

DATE: 05/27/18
A-5



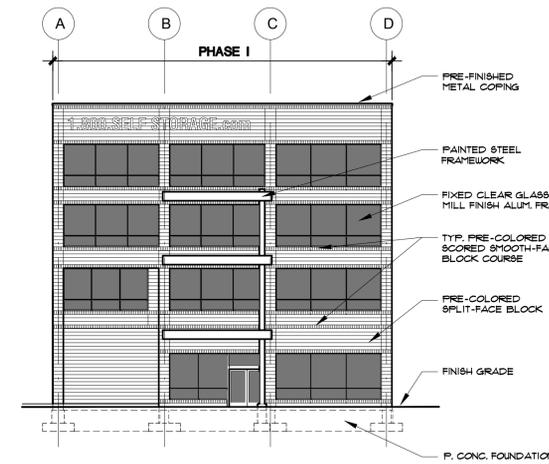
NORTH ELEVATION- PHASE I & II

SCALE: 1/16" = 1'-0"



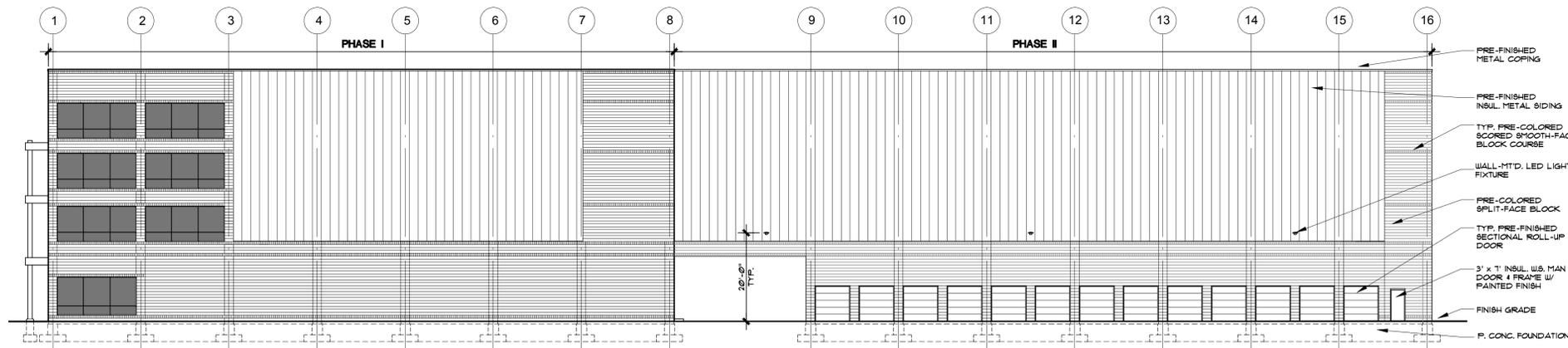
EAST ELEVATION- PHASE I & II

SCALE: 1/16" = 1'-0"



WEST ELEVATION- PHASE I WORK

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION- PHASE I & II

SCALE: 1/16" = 1'-0"

Dimensions are to rough framing unless noted otherwise.
DO NOT SCALE DRAWING. Use figure dimensions only.
NOTICE: This drawing is an instrument of service and is the property of Guido Architects Inc. It is to be used only for the project and site identified on these drawings and may not be reproduced without the written consent of Guido Architects Inc. All rights reserved.

revision

date 05/27/18
sheet 1609 / 1671

drawn J.A.G./ IBE
checked



Guido Architects Inc.
Architects / Planners
23419 Ford Road Dearborn, MI 48128
(313) 274-7800 Fax (313) 274-7808
Email: info@guidoarchitects.com

1800.SELF STORAGE.com.
1800 COOLIDGE
TROY, MICHIGAN
ELEVATIONS, PHASE I & II

1609

A-7

DATE: July 22, 2016

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0009) – Proposed Maplelawn II Mixed Use, West side of Crooks, North of Maplelawn (PID 88-20-29-401-025), Section 29, Currently Zoned IB (Integrated Industrial and Business) District

The petitioner 2145 Crooks Building, LLC submitted the above referenced Preliminary Site Plan application for a proposed two-story mixed use commercial building.

The property is currently zoned IB (Integrated Industrial and Business) District. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The Planning Commission considered this item at the July 12, 2016 Regular meeting and granted a parking reduction for the development. However, the item was postponed to provide the applicant an opportunity to address some site design issues.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Minutes (draft) from July 12, 2016 Planning Commission Regular meeting (excerpt).
3. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP JPLN 2016-0009 Maplelawn II Sec 29\Maplelawn II PC Memo 2016 07 26.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0009) – Proposed Maplelawn II Mixed Use, West side of Crooks, North of Maplelawn (PID 88-20-29-401-025), Section 29, Currently Zoned IB (Integrated Industrial and Business) District

Resolution # PC-2016-07-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed mixed use commercial building, located on the west side of Crooks, north of Maplelawn, Section 29, within the IB (Integrated Industrial and Business) District, be granted, subject to applicant the following:

1. Update landscape plan to indicate tree preservation (including tree preservation techniques on plan) prior to Final Site Plan Approval.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED

Maplelawn II Mixed Use

City of Troy Planning Department



Legend:

Aerial

Red: Band_1

Green: Band_2

Blue: Band_3

167 0 83 167 Feet

Scale 1: 1,000

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 3/9/2016

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2016-0009) – Proposed Maplelawn II Mixed Use, West side of Crooks, North of Maplelawn (PID 88-20-29-401-025), Section 29, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle reported on the proposed Preliminary Site Plan application. He addressed the traffic study, the applicant's request for a parking deviation and technical site plan issues.

Mr. Carlisle expressed support of the overall investment in the vacant property. He said should the Planning Commission deem the parking deviation is appropriate, it is recommended to either grant Preliminary Site Plan approval with the conditions as identified in the Planning Consultant report dated July 5, 2016 or postpone the matter to allow the applicant to address the items.

The applicant Joe Caradonna was present. Mr. Caradonna addressed revisions to the site plan, copies of which were distributed prior to the beginning of tonight's meeting.

Resolution # PC-2016-07-046

Moved by: Sanzica

Support by: Krent

RESOLVED, The Planning Commission approves a parking space deviation of 31 spaces, bringing the total spaces provided to 115 spaces when 146 spaces are required by Zoning Ordinance.

Yes: All present (8)

Absent: Apahidean

MOTION CARRIED**Resolution # PC-2016-07-047**

Moved by: Krent

Support by: Kuppa

RESOLVED, To postpone review and approval of the proposed Maplelawn II Preliminary Site Plan application until the next available meeting to allow the applicant to provide:

1. Revised plans.
2. Samples of building materials.
3. Elevations of proposed building and existing building to the south.
4. Landscape Architect attendance to address landscaping; i.e., water containment.

Yes: All present (8)

Absent: Apahidean

MOTION CARRIED



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Revised: July 5, 2016
July 19, 2016

Preliminary Site Plan For City of Troy, Michigan

Project Name:	Maplelawn II
Plan Date:	July 12, 2016
Location:	2145 Crooks Road
Zoning:	IB, Integrated Industrial Business District
Action Requested:	Preliminary Site Plan

PROJECT AND SITE DESCRIPTION

We have received a site application for a mixed-commercial building located on Crooks Road, just north of Maplelawn Drive. The applicant is proposing shared access and shared parking with the adjacent building, which is under the same ownership. The applicant has submitted a shared parking study. The site is currently vacant.

The applicant on their summary sheet notes a mix of uses including a carry-out restaurant (suite A), a 2,300 sq/ft spinning studio (suite B), and 2,800 sq/ft (suite C) as the owners private office and private car collection.

Location of Subject Property:



Size of Subject Property:

The overall size of the subject property is approximately 43,000 sq/ft

Proposed Uses of Subject Parcel:

Commercial / Office

Current Use of Subject Property:

Vacant

Current Zoning:

The property is currently zoned IB, General Business.

Direction	Zoning	Use
North	MF, Multiple Family Residential	Stormwater Detention for Multiple Family Residential
South	IB, Integrated Business	Commercial
East	MF, Multiple Family Residential	Multiple Family Residential
West	IB, Integrated Business	Commercial Parking

PREVIOUS PLANNING COMMISSION REVIEW

The site plan was last reviewed at the July 12, 2016 meeting. Please see our July 5, 2016 memo for a detailed review. The item was postponed to allow the applicant to address the following items:

1. Provide Tree Survey to determine if any Landmark Trees are located on the site.

The site has significant tree cover, particularly around the perimeter. The applicant has identified a total of 5 protected trees, which include 3 woodland and 2 landmark trees. They propose to preserve the 2 landmark trees and remove the 3 woodland trees.

Replacement Details		
Protected Tree	Inches Removed	Replacement Required
Woodland	18 inches	9 inches
Landmark	0 inches	0 inches
Total	18 Inches	9 inches
Preservation/Mitigation	Inches Preserved	Credit
Woodland	0 inches	0 inches
Landmark	46 inches	92 inches
Total	46 inches	92 inches
Protected Replacement Required	9 Inches	
Preservation Credit	92 Inches	
Total	+ 83 Credit	
Total Tree Mitigation	Zero. The amount of inches preserved and credited exceed the mitigation required.	

The applicant indicates the preservation of two (2) landmark trees; however the landscape plan as submitted does not clearly indicate the trees to be preserved.

Items to be addressed: *Update landscape plan to indicate tree preservation. Include tree preservation techniques on plan.*

2. Extend easterly curb and review location of southerly handicap parking stall.

Applicant has extended the curb line and has moved the southerly HC parking stall one space to the north so that the east curb line matches the west curb line and the HC stall can back up into the parking aisle rather than the new access drive. Circulation is sufficient.

Items to be addressed: *None*

3. Install a bike rack in front of each building.

Applicant has added a bike rack.

Items to be addressed: *None*

- 4. Install a landscape island within the 18-space parking block in the middle of the lot, Install at least one (1) additional parking lot tree, and the Planning Commission should consider the proposed location of parking lot landscaping to determine if the requested location deviation is appropriate.***

The applicant has reconfigured the internal drive aisles to 24-feet. By doing so they have provided a 17-foot wide landscape island, which includes area for bio-retention and three (3) parking lot trees.

Items to be addressed: *None*

- 5. Resubmit lighting and photometric plan to ensure consistency with other plans and compliance with Section 13.05 of the Zoning Ordinance.***

The applicant has submitted a photometric plan. The plan includes 15 building mounted lights, and 2 pole mounted lights. The pole mounted lights will be located within the 17-foot wide landscape island in the parking lot. The pole mounted lights are LED. The building light is considered a decorative light.

Items to be addressed: *None*

- 6. To be consistent with the building to the south, use only stone or brick for all first floor elevations.***

The applicant has revised their elevations to be consistent with the building to the south. The applicant will bring material samples to the meeting.

Items to be addressed: *None*

- 7. Confirm stormwater management requirements.***

The applicant did not submit a stormwater plan but have noted to the Engineering department that they plan to use underground detention. Use of underground detention will not affect site layout.

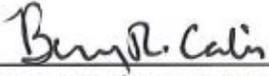
Items to be addressed: *None*

RECOMMENDATION

We recommend preliminary site plan approval with the following conditions to be submitted in the final plan submittal:

- 1. Update landscape plan to indicate tree preservation. Include tree preservation techniques on plan.***

Sincerely,

Handwritten signature of Benjamin R. Carlisle in black ink.

CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

MAPLELAWN II

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E. CITY OF TROY,
OAKLAND COUNTY, MICHIGAN

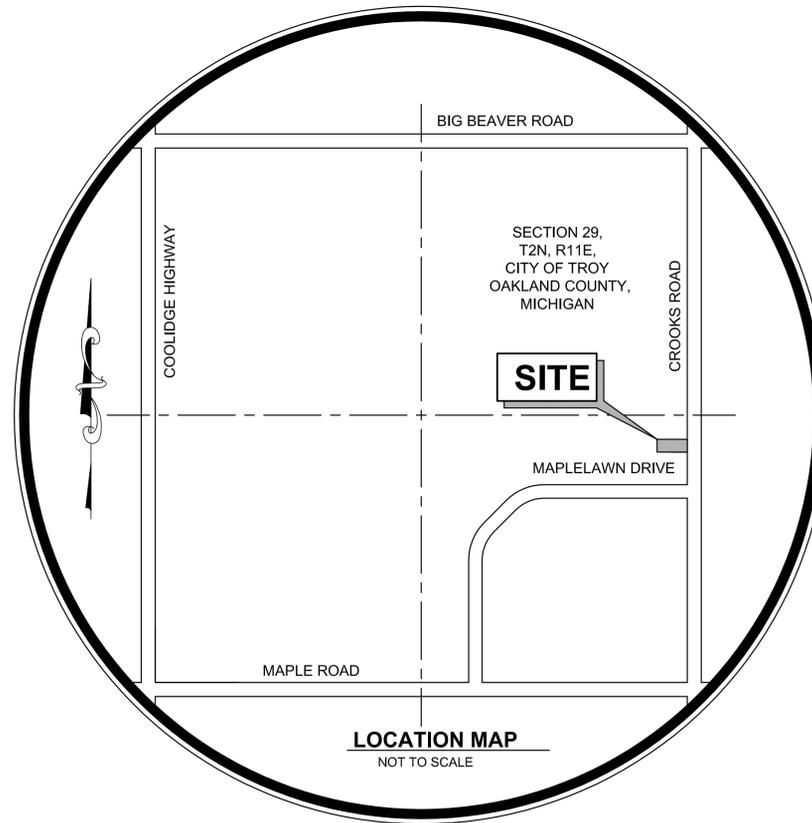
DESCRIPTION OF PROPERTY 88-20-29-401-025

PART OF THE SOUTHEAST 1/4 OF SECTION 29, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 29; THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST ON THE EAST SECTION LINE, 2374.30 FEET; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 60.02 FEET TO THE POINT OF THE BEGINNING; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 290.08 FEET; THENCE SOUTH 00 DEGREES 53 MINUTES 00 SECONDS WEST 149.52 FEET; THENCE SOUTH 87 DEGREES 44 MINUTES 41 SECONDS EAST 289.95 FEET (RECORDED) 290.08 FEET (MEASURED); THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST 149.40 FEET TO THE POINT OF THE BEGINNING. CONTAINING 0.995 ACRES OF LAND.

SUBJECT TO ANY EASEMENTS AND / OR RIGHTS OF WAY RECORDED OR OTHERWISE.

SHEET INDEX

- 1 COVER SHEET
- 2 BOUNDARY AND TOPOGRAPHY
- 3 OVERALL SITE PLAN
- L-1 LANDSCAPE PLAN
- L-2 TREE SURVEY
- A1 ELEVATIONS
- A1.1 FLOOR PLAN AND MEZZANINE PLAN



BENCHMARKS:

#1) AS SHOWN
NORTH EDGE OF SANITARY M.H.
ON MAPLE LAWN DRIVE.
APPROX. ±375 FEET SOUTH OF
THE SOUTH PROPERTY LINE
ELEV: = 700.21 (NAVD 88)

#2) AS SHOWN
ARROW ON HYDRANT, WEST
SIDE OF CROOKS ROAD EAST OF
EAST PROPERTY LINE APPROX.
15±
ELEV: = 702.58 (NAVD 88)

DEVELOPER

2145 CROOKS BUILDING, LLC
2145 CROOKS ROAD
SUITE 210
TROY, MI 48084
(248)-530-9199

SURVEYOR / ENGINEER

FAZAL KHAN AND ASSOCIATES, INC.
43279 SCHOENHERR ROAD
STERLING HEIGHTS, MI 48313
(586) 739-8007

ALL DRAWINGS, SPECIFICATIONS, AND OTHER RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF FAZAL KHAN & ASSOC. INC. AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR IN PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF FAZAL KHAN & ASSOCIATES INC.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO FAZAL KHAN & ASSOCIATES INC. BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.
ALL WATERMANS, SANITARY SEWERS (AND LEADS) AND STORM SEWERS UNDER PROPOSED OR EXISTING PAVEMENT OR WITHIN 3 FT. OF PAVEMENT TO BE SAND BACK FILLED AND COMPACTED TO 95% OPTIMUM DENSITY (PROCTOR). ALSO ALL UTILITY CROSSINGS TO BE SAND BACK FILLED. SAND BACK FILLING TO BE INCIDENTAL TO CONTRACT.

PERMITS

SOIL EROSION PERMIT # _____ ISSUED

FIRE MARSHALL APPROVAL _____

PLANS SUBMITTED TO:	DATE SUBMITTED:	COMMENTS RECEIVED:	RE-SUBMITTED:	COMMENTS RECEIVED:	RE-SUBMITTED:	COMMENTS RECEIVED:	RE-SUBMITTED:	DATE APPROVED:	ADDRESS AND PHONE #:
CITY OF TROY	03-01-16	03-31-16	04-05-16	07-12-16	07-20-16				ADDRESS: 500 W. BIG BEAVER TROY, MI 48064 PHONE: (248)-524-3364 FAX: (248)-524-3382

CALL MRS. DIG (3 WORKING DAYS) BEFORE YOU DIG 1-800-482-7171 CALL811.COM (TOLL FREE)

DATE	REVISIONS	BY
4-5-16	REVISED PER CITY OF TROY	T.F.
5-10-16	REVISED PER CLIENT	O.P.

MAPLELAWN II
A PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

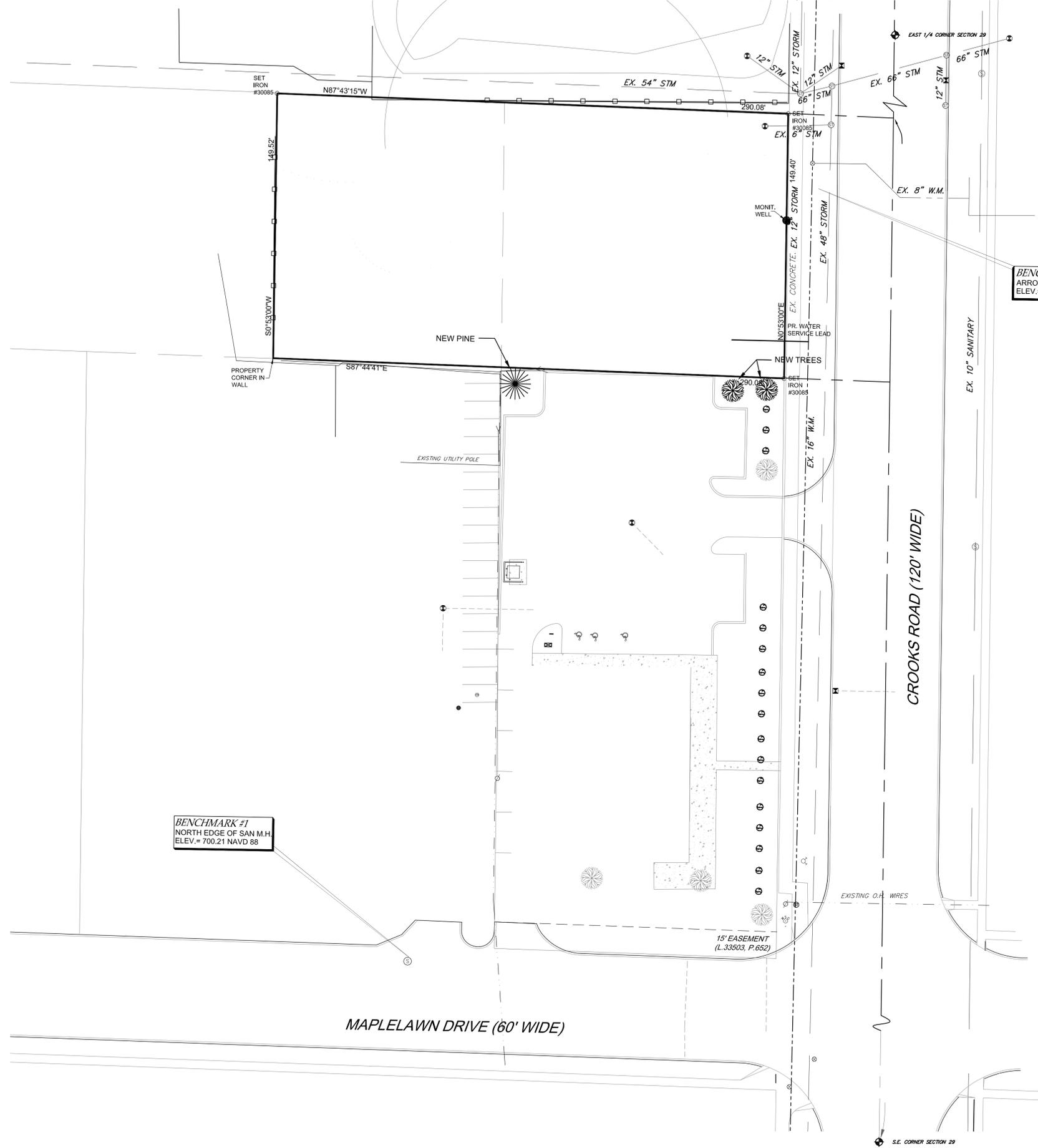
FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
43279 SCHOENHERR ROAD, STERLING HEIGHTS, MI 48313
PHONE (586) 739-8007 FAX (586) 739-6994
WWW.FAZALKHAN.COM

COVER SHEET

SHEET NO.	PRELIMINARY	CLIENT	PROJECT NO.	FIELD BOOK	DATE	DRAWN BY	CHECKED BY
1	<input type="checkbox"/>	JOE CARADONNA	02-24-2016	XXX	02-24-2016	T.F.	O.P.

TOPOGRAPHIC SURVEY

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E. CITY OF TROY, OAKLAND COUNTY, MICHIGAN



BENCHMARKS:

- #1) AS SHOWN NORTH EDGE OF SANITARY M.H. ON MAPLE LAWN DRIVE. APPROX. ±375 FEET SOUTH OF THE SOUTH PROPERTY LINE ELEV: = 700.21 (NAVD 88)
- #2) AS SHOWN ARROW ON HYDRANT, WEST SIDE OF CROOKS ROAD EAST OF EAST PROPERTY LINE APPROX. 15± ELEV: = 702.58 (NAVD 88)

○ - SET IRON 30085



DESCRIPTION OF PROPERTY

PART OF THE SOUTHEAST 1/4 OF SECTION 29, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 29; THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST ON THE EAST SECTION LINE, 2374.30 FEET; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 60.02 FEET TO THE POINT OF THE BEGINNING; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 290.08 FEET; THENCE SOUTH 00 DEGREES 53 MINUTES 00 SECONDS WEST 149.52 FEET; THENCE SOUTH 87 DEGREES 44 MINUTES 41 SECONDS EAST 289.95 FEET (RECORDED); 290.08 FEET (MEASURED); THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST 149.40 FEET TO THE POINT OF THE BEGINNING. CONTAINING 0.995 ACRES OF LAND.

SUBJECT TO ANY EASEMENTS AND / OR RIGHTS OF WAY RECORDED OR OTHERWISE.

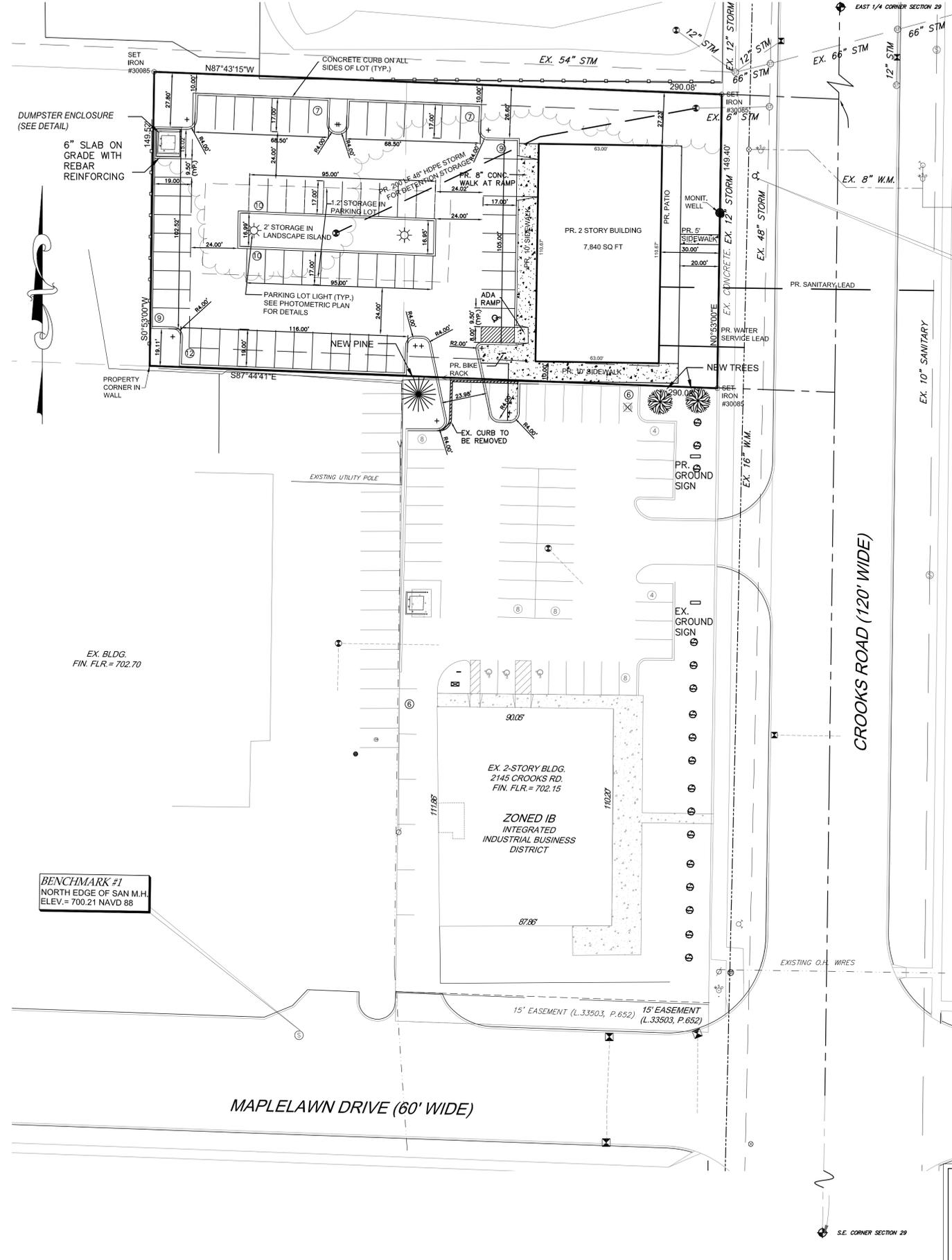
BENCHMARK #1
NORTH EDGE OF SAN M.H.
ELEV. = 700.21 NAVD 88

BENCHMARK #2
ARROW ON HYDRANT
ELEV. = 702.58 NAVD 88

SHEET NO. 2	PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> AS-BUILT	CLIENT JOE CARADONNA SCALE 1"=30'	PROJECT NO. 16404 DATE 02-24-2016 DRAWN BY T.F. CHECKED BY O.P.	FIELD BOOK XXX	TOPOGRAPHIC SURVEY	<p>FAZAL KHAN & ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS 4373 SCHAUBERG, STERLING HEIGHTS, MI 48313 PHONE (586) 739-8007 FAX (586) 739-6994 WWW.FAZALKHAN.COM</p>	<p>MAPLELAWN II</p> <p>PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E. CITY OF TROY, OAKLAND COUNTY, MICHIGAN</p>	<p>REMARKS:</p> <p>DATE:</p> <p>REVISIONS:</p>	<p>BY:</p> <p>CALL MISS DIG (3 WORKING DAYS) BEFORE YOU DIG 1-800-482-7171 CALL811.COM (TOLL FREE)</p>
-----------------------	---	---	---	-------------------	--------------------	--	---	--	--

PROPOSED SITE PLAN

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E. CITY OF TROY, OAKLAND COUNTY, MICHIGAN



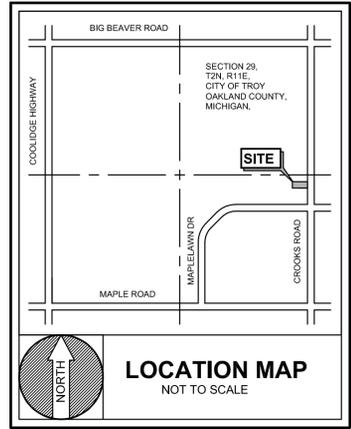
DESCRIPTION OF PROPERTY

PART OF THE SOUTHEAST 1/4 OF SECTION 29, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 29; THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST ON THE EAST SECTION LINE, 2374.30 FEET; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 60.02 FEET TO THE POINT OF THE BEGINNING; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 290.08 FEET; THENCE SOUTH 00 DEGREES 53 MINUTES 00 SECONDS WEST 149.52 FEET; THENCE SOUTH 87 DEGREES 44 MINUTES 41 SECONDS EAST 289.95 FEET (RECORDED) 290.08 FEET (MEASURED); THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST 149.40 FEET TO THE POINT OF THE BEGINNING, CONTAINING 0.995 ACRES OF LAND.

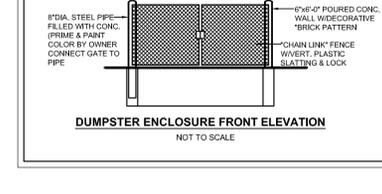
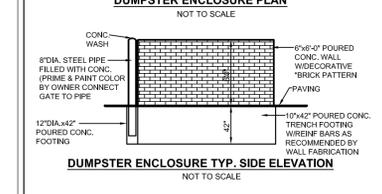
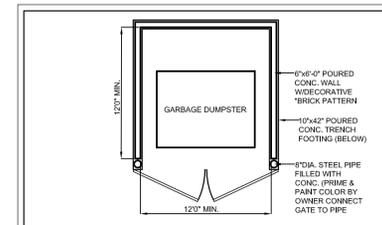
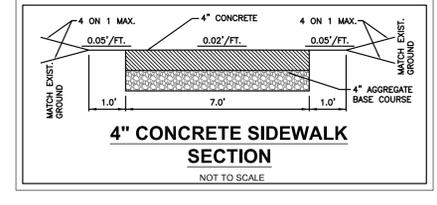
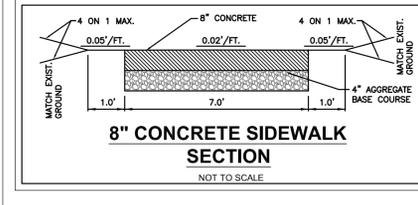
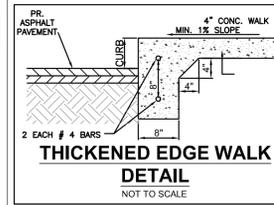
SUBJECT TO ANY EASEMENTS AND / OR RIGHTS OF WAY RECORDED OR OTHERWISE.

BENCHMARKS:

- #1) AS SHOWN NORTH EDGE OF SANITARY M.H. ON MAPLELAWN DRIVE, APPROX. ±375 FEET SOUTH OF THE SOUTH PROPERTY LINE ELEV. = 700.21 (NAVD 88)
- #2) AS SHOWN ARROW ON HYDRANT, WEST SIDE OF CROOKS ROAD EAST OF EAST PROPERTY LINE APPROX. 15'± ELEV. = 702.58 (NAVD 88)



BENCHMARK #2
ARROW ON HYDRANT
ELEV. = 702.58 NAVD 88

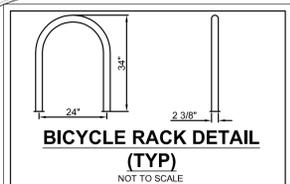
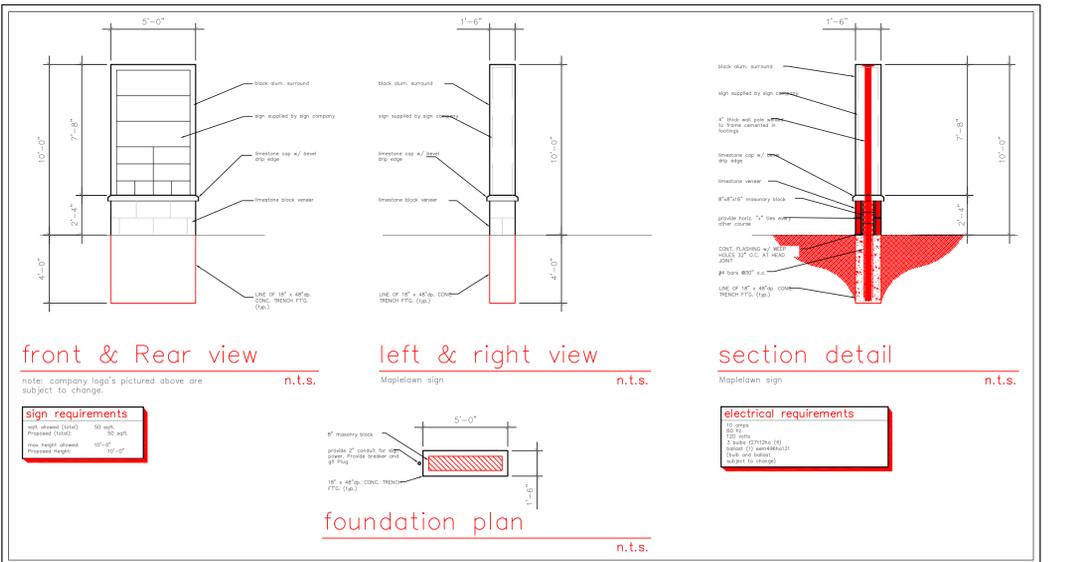


SITE DATA:
1. EXISTING ZONING = IB-INTEGRATED INDUSTRIAL BUSINESS DISTRICT
USE GROUP: MIXED USE OFFICE-RETAIL CENTER
NEW BUILDING
BASED ON NET FLOOR AREA
CARRYOUT RESTAURANT
1,688 NET SQ FT/70 = 24 SPACES
PARKING REQUIRED = 24 SPACES
BASED ON NET FLOOR AREA
RECREATIONAL (SPINNING SPA)
2,352 SQ FT/200 = 12 SPACES
PARKING REQUIRED = 12 SPACES
BASED ON GROSS FLOOR AREA
OFFICE
2,815 SQ FT/300 = 10 SPACES
PARKING REQUIRED = 10 SPACES
NEW BUILDING TOTAL 46 SPACES
EXISTING BUILDING
BASED ON MAXIMUM SEATING CAPACITY
108 SEAT STANDARD RESTAURANT
108 SEATS/2 = 54 SPACES
PARKING REQUIRED = 54 SPACES
BASED ON NET FLOOR AREA
1,376 NET SQ FT OF RECREATIONAL (KARATE STUDIO)
1,376 SQ FT/200 = 7 SPACES
PARKING REQUIRED = 7 SPACES
BASED ON EXAM ROOMS AND EMPLOYEES
MEDICAL CLINIC (OFFICE)
CHIROPRACTOR 3 EXAM ROOMS (2 PER ROOM) 2 EMPLOYEES (1 PER EMPLOYEE) = 8 SPACES
PARKING REQUIRED = 8 SPACES
BASED ON GROSS FLOOR AREA
9,084 SQ FT OF OFFICE
9,084 SQ FT/300 = 31 SPACES
PARKING REQUIRED = 31 SPACES
EXISTING BUILDING TOTAL 100 SPACES
TOTAL 146 SPACES REQUIRED
115 SPACES PROVIDED ON SITE
SEE ATTACHED SHARED PARKING ANALYSES AS PREPARED BY TRAFFIC ENGINEERING CONSULTANTS, INC.
ADA SPACES PROVIDED = 1 IN NEW LOT
3 IN EXISTING LOT
4 TOTAL
BICYCLE SPACES PROVIDED = 2
LANDSCAPING FOR PARKING: ONE (1) TREE FOR EVERY EIGHT (8) PARKING SPACES
115 SPACES / 8 = 14.375 TREES REQUIRED
3. STORM WATER SHALL BE DIRECTED TO EXISTING STRUCTURES.
4. THE DEVELOPER SHALL COMPLY WITH ALL THE APPLICABLE CODES AND ORDINANCES OF THE CITY OF TROY, OAKLAND COUNTY, AND THE STATE OF MICHIGAN.

LEGEND

SECTION CORNER	FOUND IRON	SECTION LINE	EXISTING AMERITECH MANHOLE
ROAD CENTERLINE	EXISTING IRON	EXISTING WATER MAIN	EXISTING CABLE TV
EXISTING WATER MAIN	EXISTING SANITARY SEWER	EXISTING STORM SEWER	EXISTING ELECTRIC MANHOLE
EXISTING SANITARY SEWER	EXISTING SWALE	EXISTING FENCE LINE	EXISTING TELEPHONE MANHOLE
EXISTING STORM SEWER	EXISTING OVERHEAD WIRES	EXISTING UNDERGROUND UTILITY	EXISTING MAILBOX
EXISTING SWALE	EXISTING CONTOUR	EXISTING TREE / BRUSH LINE	EXISTING UTILITY POLE
EXISTING FENCE LINE	EXISTING FIRE HYDRANT	EXISTING GATE VALVE AND WELL	EXISTING SIGN
EXISTING OVERHEAD WIRES	EXISTING UNDERGROUND UTILITY	EXISTING CONTOUR	EXISTING GAS
EXISTING CONTOUR	EXISTING TREE / BRUSH LINE	EXISTING TRANSFORMER	EXISTING UTILITY PEDESTAL
EXISTING TREE / BRUSH LINE	EXISTING AMERITECH MANHOLE	EXISTING UTILITY PEDESTAL	EXISTING TREE
EXISTING AMERITECH MANHOLE	EXISTING CABLE TV	EXISTING TREE	EXISTING SHRUB
EXISTING CABLE TV	EXISTING ELECTRIC MANHOLE	EXISTING SHRUB	
EXISTING ELECTRIC MANHOLE	EXISTING TELEPHONE MANHOLE		
EXISTING TELEPHONE MANHOLE	EXISTING MAILBOX		
EXISTING MAILBOX	EXISTING UTILITY POLE		
EXISTING UTILITY POLE	EXISTING SIGN		
EXISTING SIGN	EXISTING GAS		
EXISTING GAS	EXISTING TRANSFORMER		
EXISTING TRANSFORMER	EXISTING UTILITY PEDESTAL		
EXISTING UTILITY PEDESTAL	EXISTING TREE		
EXISTING TREE / BRUSH LINE	EXISTING SHRUB		
EXISTING TREE / BRUSH LINE			

NOTE:
LOT COVERAGE
LOT = 43341 SQ. FT.
PR. BUILDING = 6972.2 SQ. FT.
PR. BUILDING/LOT = LOT COVERAGE
6972.2/43341 = 0.1608 OR 16.1%
OPEN SPACE
LOT = 43341 SQ. FT.
GREEN SPACE = 10017.7 SQ. FT.
GREEN SPACE/LOT = OPEN SPACE
10017.7/43341 = 23.11 OR 23.11%



CALL US TODAY (800) 448-7111
1-800-448-7111
CALL 811.COM (TOLL FREE)

DATE: 04-16-16
BY: T.F.
REVISED PER CLIENT: 05-10-16
REVISED PER CLIENT: 07-12-16
REVISED PER CLIENT: 07-12-16

REVISIONS

MAPLELAWN II
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E.
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
4375 SCHOENHEER STERLING HEIGHTS, MI 48093
PHONE (588) 739-8007 FAX (588) 739-6904
WWW.FAZALKHAN.COM

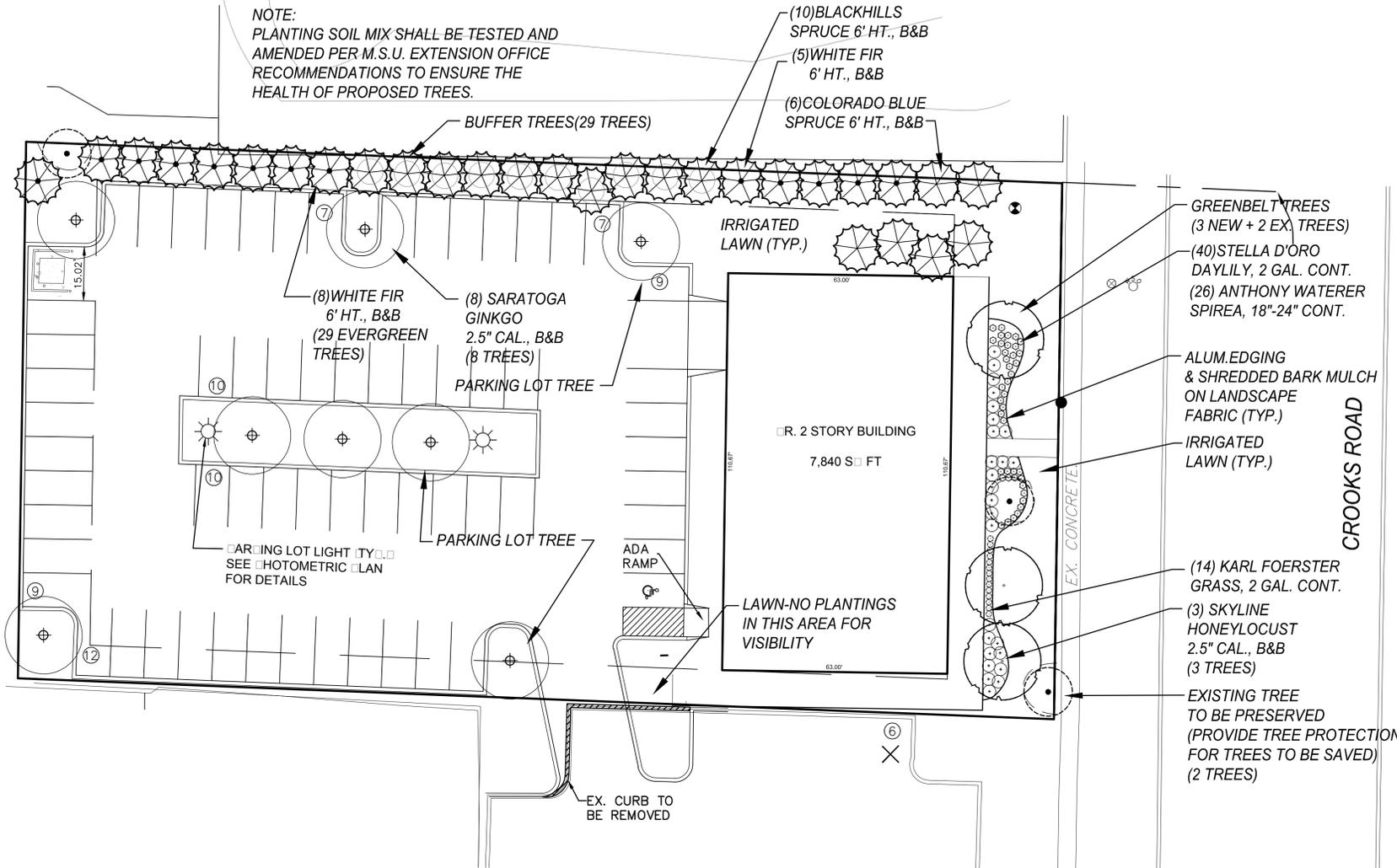
PROPOSED SITE PLAN

PROJECT NO. 16-004
FIELD BOOK XXX
DATE 02-24-2016
CLIENT JOE CARADONNA
DRAWN BY T.F.
CHECKED BY O.P.
SCALE 1\"/>

SHEET NO. 3

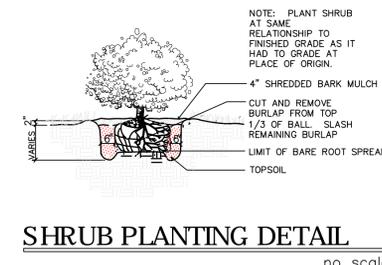
PROPOSED LANDSCAPE PLAN

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E. CITY OF TROY, OAHAND COUNTY, MICHIGAN

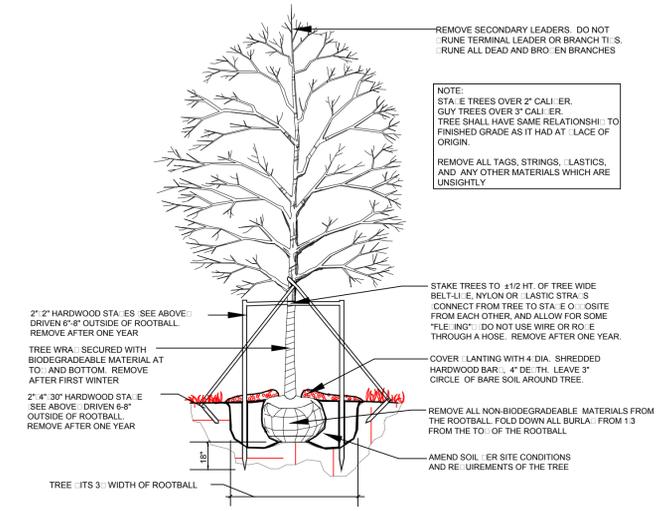


NOTE:
PLANTING SOIL MIX SHALL BE TESTED AND AMENDED PER M.S.U. EXTENSION OFFICE RECOMMENDATIONS TO ENSURE THE HEALTH OF PROPOSED TREES.

SCALE: 1"=20'



SHRUB PLANTING DETAIL
no scale



TREE PLANTING DETAIL
no scale

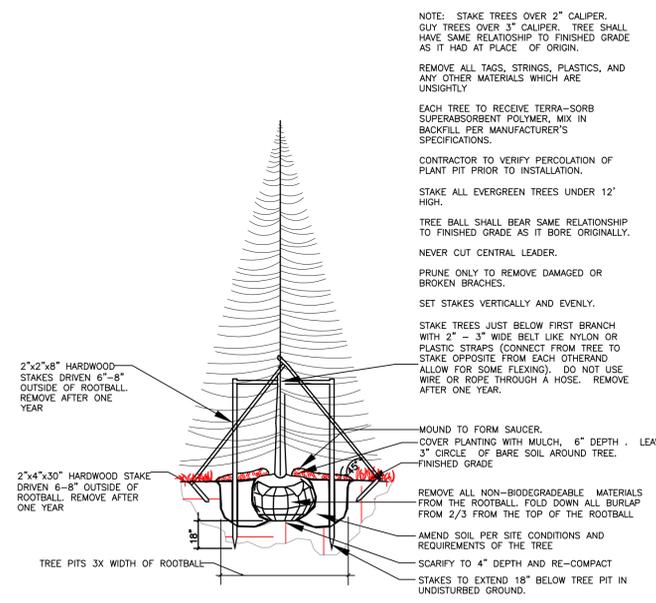
LANDSCAPE REQUIREMENTS:	
REQUIRED	PROVIDED
13.02.F SITE LANDSCAPE: MIN. OF 20% OF SITE AREA SHALL BE LANDSCAPE/OPEN SPACE. 0.995 AC. X 20%=0.20 AC.(8,668 S.F.) 13.02.B SCREENING: SCREEN BETWEEN USES, PROVIDE MINIMUM (1) LARGE EVERGREEN TREE FOR EVERY 10 L.F. 290 L.F./10 = 29 TREES	8,693.69 S.F.(0.2005 AC.) 29 TREES
13.02.E GREENBELT: GREENBELT SHALL BE LANDSCAPED WITH MINIMUM (1) DECIDUOUS TREE FOR EVERY 30 L.F. ABUTTING A PUBLIC ROAD RIGHT OF WAY. 149 L.F./30 = 5 TREES	3 TREES & 2 EX. TREES
13.02.C PARKING LOT: 62 SPACES/8 = 8 TREES	8 TREES

MAINTENANCE, INSTALLATION AND IRRIGATION
Landscape plantings shall be installed between April 1 and November 15, in a sound, workmanlike manner and according to accepted horticultural procedures. (See City of Troy Ordinance 11-001, "Maintenance of Required Landscaping", the owner shall be carried out so as to present a health, neat and orderly appearance, free from refuse and debris and according to City of Troy ordinance requirements. All unhealthy and dead material shall be replaced within one (1) year, or the next time to replace landscaping period, whichever comes first. All landscaped areas shall be provided with an underground irrigation system. Tree stakes and mulch wires to be removed after one year, tree wires to be removed after one winter season.

IRRIGATION
All landscaped areas shall be automatically irrigated with an underground irrigation system.

PLANTING NOTES:

- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK, AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL TO BE NORTHERN GROWN, NO. 1 GRADE.
- ALL PLANT MATERIAL SHALL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY AND VIGOROUS GROWING CONDITION, FREE OF DISEASES AND INSECTS.



EVERGREEN TREE PLANTING DETAIL
no scale

CALL MISS DIG 72 HOURS BEFORE YOU DIG 1-800-482-7171
CALL 811.COM (TOLL FREE)

BY: MAPLELA N II

REVISIONS:

DATE:

REMARKS:

FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
4879 SEVEN MILE DRIVE, STERLING HEIGHTS, MI 48313
WWW.FAZALKHAN.COM

PROPOSED LANDSCAPE PLAN

PROJECT NO. FIELD BOOK NO. 16-004

DATE 02-24-2016

DRAWN BY: T.F.

CHECKED BY: O.L.

CLIENT: CARADONNA

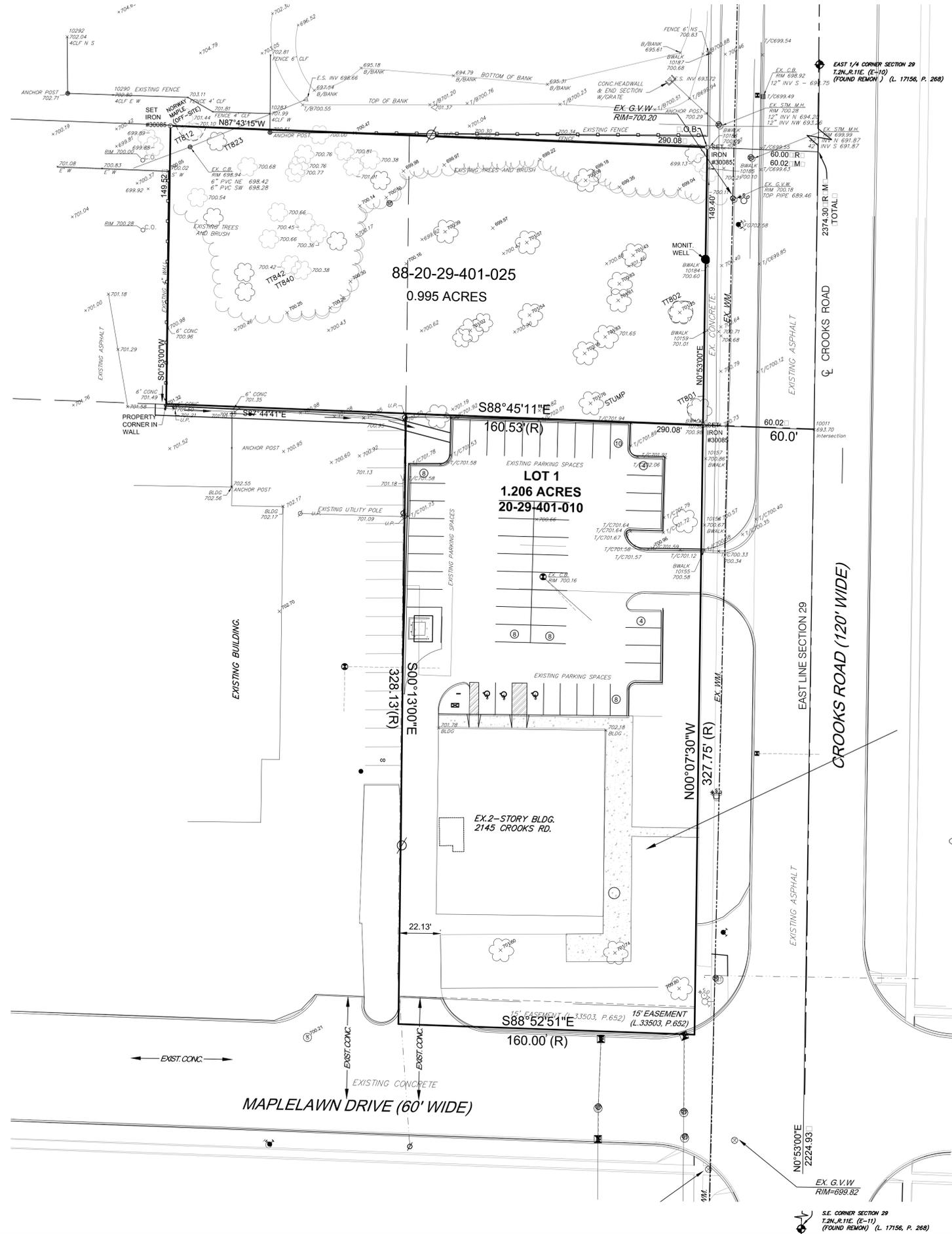
SCALE: 1"=20'

REVISIONARY: [] CONSTRUCTION [] AS-BUILT

SHEET NO. L1

TOPOGRAPHIC AND TREE SURVEY

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E.,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



TREE INVENTORY

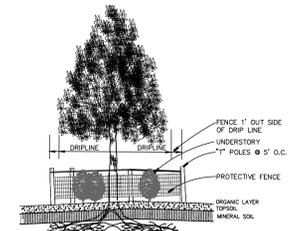
Tag	Size	Botanical Name	Common Name	Score	Notes	Status (Save/Remove)
801	25.11	Acer negundo	Box elder	3		Save
802	28	Morus alba	White mulberry	3	LANDMARK	Save
812	18	Tilia americana	Basswood	3	LANDMARK	Save
823	6	Crataegus crusgalli	Hawthorn	2	WOODLAND	Remove
840	6	Crataegus crusgalli	Hawthorn	3	WOODLAND	Remove
842	6	Crataegus crusgalli	Hawthorn	3	WOODLAND	Remove

NOTE:
MAJORITY OF THE WOODLANDS CONSIST OF SOME INVASIVE TREES, AND SCRUB. TREES INCLUDE BOXELDER, SIBERIAN ELM, SILVER MAPLE AND COTTONWOOD.

TREE HEALTH SCORE/CODES

- 4 NO APPARENT PROBLEMS/ SPECIMEN
- 3 MINOR PROBLEMS/ BROKEN BRANCHES
- 2 MAJOR PROBLEMS/ DEAD BRANCHES
- 1 POTENTIAL HAZARD/ DEAD

NOTE:
LANDSCAPE AND TREE INVENTORY PLAN
PREPARED BY STATE OF MICHIGAN LICENSED
LANDSCAPE ARCHITECT
OZELL GOTHARD—LICENSE #3901001302



- TREE PROTECTION DETAIL**
SCALE: NOT TO SCALE
- IDENTIFY ON SITE ALL TREES OR AREAS OF TREES WHICH ARE BEING PROPOSED TO BE PRESERVED WITH FLUORESCENT ORANGE SPRAY PAINT(CHALK BASE) OR BY RED FLAGGING TAPE.
 - ERECT BARRIERS OF FOUR(4) FOOT HIGH FENCING STAKED WITH METAL "T-POST" FIVE(5) FEET ON CENTER OR ALL SUCH TREES OR GROUPS OF TREES PROPOSED TO REMAIN.
 - PROTECTIVE BARRIERS ARE TO BE ERECTED PRIOR TO ANY CLEARING OR GRUBBING ON THE SITE, AND BARRIERS ARE TO REMAIN IN TACT UNTIL APPROVED BY THE CITY TO BE REMOVED, OR WHEN A CERTIFICATE OF OCCUPANCY IS ISSUED.
 - KEEP CLEAR ALL DEBRIS OR FILL, EQUIPMENT, AND MATERIAL FROM WITHIN THE REQUIRED PROTECTIVE BARRIER.
 - DURING CONSTRUCTION, THE OWNER, DEVELOPER, OR AGENT SHALL NOT CAUSE OR PERMIT ANY ACTIVITY WITHIN THE FENCE LINE OF ANY PROTECTED TREE OR GROUP OF TREES INCLUDING, BUT NOT LIMITED TO, THE STORAGE EQUIPMENT, DUMPSTER, BOLLERS, DIRT, AND EXCAVATED MATERIAL, BUILDING OR WASTE MATERIAL, OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE.
 - NO DAMAGING ATTACHMENT, WIRES (OTHER THAN CABLE WIRES FOR TREES) SIGNS OR PERMITS MAY BE FASTENED TO ANY TREE PROTECTED BY THIS ORDINANCE.

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, AND INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS TELEPHONE, CABLE MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF THESE SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- GUARANTEE OF PLANTS FOR ONE(1) YEAR SHALL BEGIN AFTER ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE IN A HEALTHY VIGOROUS CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE OWNER'S REP. DURING AND AT THE END OF THE GUARANTEE PERIOD.
- ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK. PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK".
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH IRRIGATION OR A READILY AVAILABLE & ACCEPTABLE WATER SUPPLY.

DESCRIPTION OF PROPERTY

PART OF THE SOUTHEAST 1/4 OF SECTION 29, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 29; THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST ON THE EAST SECTION LINE, 2374.30 FEET; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 60.02 FEET TO THE POINT OF THE BEGINNING; THENCE NORTH 87 DEGREES 43 MINUTES 15 SECONDS WEST 290.08 FEET; THENCE SOUTH 00 DEGREES 53 MINUTES 00 SECONDS WEST 149.52 FEET; THENCE SOUTH 87 DEGREES 44 MINUTES 41 SECONDS EAST 289.95 FEET (RECORDED); 290.08 FEET (MEASURED); THENCE NORTH 00 DEGREES 53 MINUTES 00 SECONDS EAST 149.40 FEET TO THE POINT OF THE BEGINNING. CONTAINING 0.995 ACRES OF LAND.

SUBJECT TO ANY EASEMENTS AND / OR RIGHTS OF WAY RECORDED OR OTHERWISE.

CALL MISS DIG (3 NUMBERS) BEFORE YOU DIG 1-800-482-7171 CALL811.COM (TOLL FREE)

BY: **MAPLELA N II**

REMARKS:

DATE:

REVISIONS:

MAPLELA N II
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T.2N., R.11E.,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
4373 SCHUMBERG STEELING HEIGHTS, MI 48133
PHONE (586) 739-8007 FAX (586) 739-8994
WWW.FAZALKHAN.COM

BOUNDARY AND TOPOGRAPHY

SHEET NO. **L**

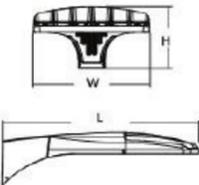
PROJ. NO. 16-004
DATE 02-22-16

CLIENT: CARADONNA
SCALE: 1"=30'

FIELD BOOK:
DATE:
DRAWN BY: D.H.L.
CHECKED BY:
AS-BUILT:



D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.8 ft² (0.07 m²)
 Length: 26" (660 mm)
 Width: 13" (330 mm)
 Height: 7" (178 mm)
 Weight (max): 16 lbs (7.3 kg)

Color Number	
Finish	
Type	

Additional information can be found on our website.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA DDBXD

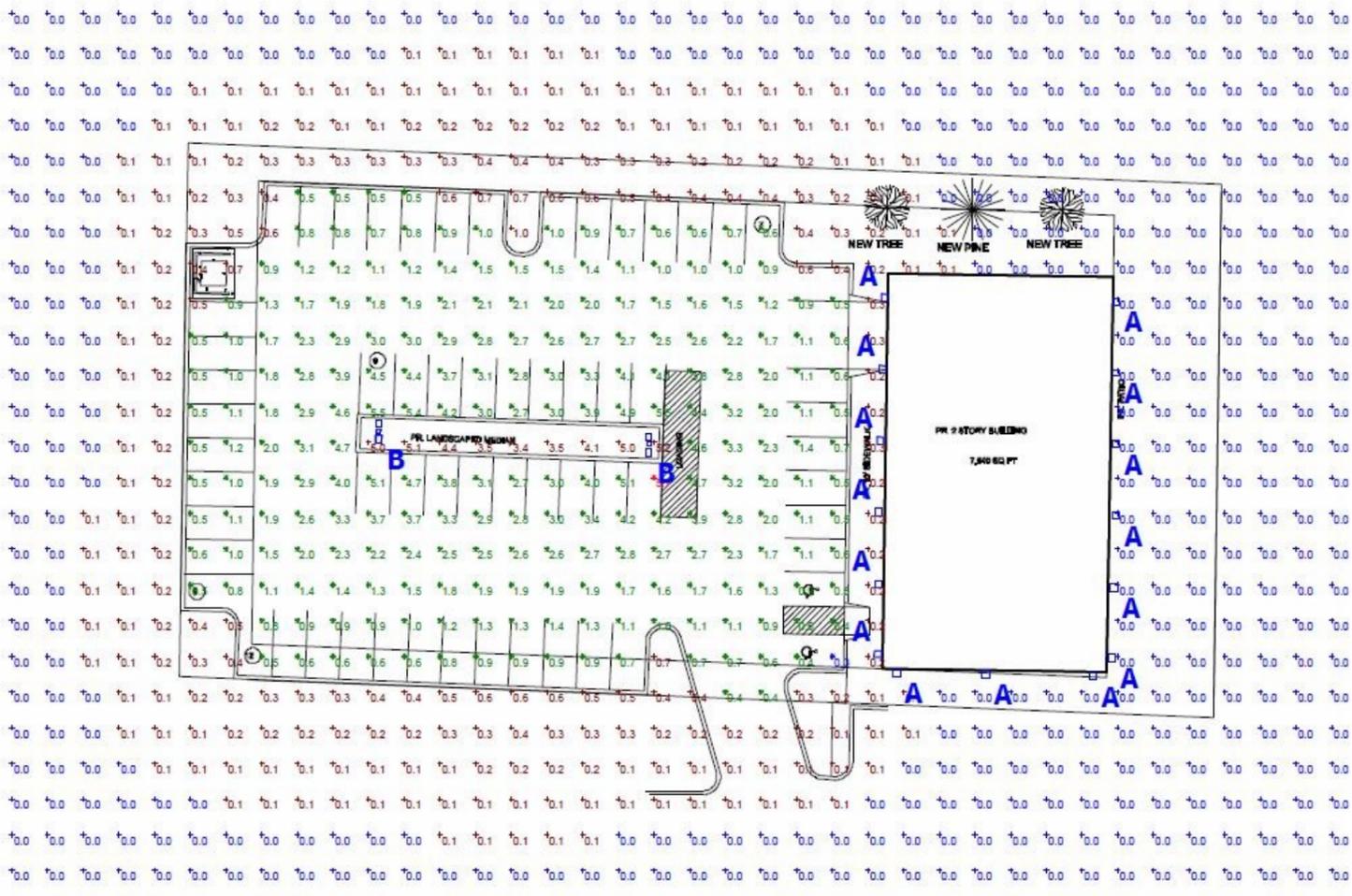
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	Forward optics 20C 20 LEDs (one engine) 40C 40 LEDs (two engines) Retained optics? 30C 30 LEDs (one engine)	580 5.0mA 700 700mA 1000 1000 mA (1A)	40K 4000K 40K 4000K 50K 5000K AMPC Amber phosphor covered	T15 Type I short T25 Type I short T2M Type I medium T3M Type II short T27 Type II medium T3M Type II medium	T-FM Increased throw medium TSF5 Type V crystal ball TSS Type V short TSM Type V medium T5W Type V wide	MVOLT ¹ 120' ² 201' ² 249' ³ 277' ⁴ 347' ⁵ 483' ⁶

Controls options	Other options	Finish options
------------------	---------------	----------------

Skipped installed	PH1FCV Motion/ambient sensor 8-15' mounting height, ambient sensor enabled at 10'	Skipped installed	DDBXD Dark bronze
PER NEVA wire lock receptacle only (no control) ¹	PH1FCV Motion/ambient sensor 15-30' mounting height, ambient sensor enabled at 10'	HS House-side shield ¹¹	DBXD Black
PER5 Five-wire receptacle only (no control) ¹¹	BL30 Bi-level switched dimming, 30% 1-11	SF Single face (120, 277, 347) ¹²	DNAD Natural aluminum
PER7 Seven-wire receptacle only (no control) ¹¹	BL50 Bi-level switched dimming, 50% 1-11	DF Double face (200, 240, 480) ¹³	DAWD White
DWG 0-10V dimming driver (no control) ¹¹	PNT085 Pin right, dim 5ft ¹⁵	LW Left-wired optics ¹⁴	DDTND Distorted duct burner
DCR Dimmable and dimmable to ROM ¹⁶ (no control) ¹¹	PNT053 Pin right, dim 5ft ¹⁵	R00 Right-wired optics ¹⁵	DDRND Distorted duct burner
PR Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 10'	PNT683 Pin right, dim 6ft ¹⁵	DDL Dimmed top exit ¹⁶	DNATD Distorted natural aluminum
PRH Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 10'	PNT783 Pin right, dim 7ft ¹⁵		DNASD Distorted white

Accessories	Notes	11	12	13	14	15	16	17	18
DLQ2FL1JH Phase-1 35-watt (100-277V) ¹¹	1 30 LEDs (20C option) and created options L30 or P30 only available together	Specify a ROM ¹⁶ enable luminaire with 0-10V dimming capability. PER options required. Address luminaire and sensor required for ROM ¹⁶ development. Must be purchased separately. Call 1-800-442-6745 or email sales@lithonia.com for details.	PH and PHFCV specify the sensor beam angle and control wire. Motion sensor units for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate circuit required.	Requires an additional switched circuit.	Dimming driver standard. MVDX only. Not available with 347V, 480V, DCR, PER5, PER7 or PHMT options.	Dimming driver standard. MVDX only. Not available with 347V, 480V, DCR, PER5, PER7 or PHMT options.	Also available as a separate accessory. See Accessories information.	Single face (SF) requires 120V, 277V or 347V Double face (DF) requires 277V, 240V or 480V.	Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	2 100mA not available with AMPC								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	3 AMPC only available with 500mA or 750mA								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	4 MVDX driver operates on any line voltage from 120-277V 60/50 Hz. Switch: 120V, 240V, 240V or 277V options only when ordering with flashing (DF, DF) options.								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	5 Not available with single board, 510mA product (20C 530 or 30C 530). Not available with BL20, BL50 or PHMT options.								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	6 Available as a separate combination accessory. PUMBA (PMB) U, 1.5 G vibration hooding per MVDX CEM 21.								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	7 Must be ordered as a separate accessory. See Accessories information. For use with 2-3" must use (not included).								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	8 Protected against and shipped as a separate line item from Acuity Brands Controls. See Accessories.								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	9 If RCVR ¹⁶ mode required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR.								
DLQ4FL1JH Phase-1 55-watt (100-277V) ¹¹	10 DNG option for 347V or 480V requires 1000mA								

For more control options, visit www.lithonia.com.
 One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8061 • Fax: 770.918.1209 • www.lithonia.com
 © 2011 Acuity Brands Lighting, Inc. All rights reserved. DSX0 LED Rev. 10/27/15 Page 1 of 4



1. SEE SCHEDULE FOR FIXTURE MOUNTING HEIGHTS.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AREA	☒	1.9 fc	5.7 fc	0.3 fc	19.0:1	6.3:1

MEASUREMENTS

Width: 12"	Length: 26"	Height: 7"	Clearance: 13.75"
Height Adjustable: No	Min Overall Height: 29"	Max Overall Height: 36"	Slope: No
Wheel Length: 7"	Min Overall Height: 29"	Max Overall Height: 36"	Val Weight: 16.63 lbs
Canopy Width: 7.25"	Canopy Height: 29"	Canopy Length: 29"	Clearance to Top: 9.91"
Backplate Width: 7.25"	Backplate Height: 29"	Backplate Length: 29"	Clearance to Bottom: 2.05"

LAMPING

No. of Fixtures: 4	Light Type: B10, 5 Cand	Color Temp: 5000K	Beam Spread: 112 Cand	Ballast Life: 50,000 hrs	Photocell: No	Lamps Included: No
Max. Ballast Voltage: 4J	Dimmable: No	Ballast Life: 50,000 hrs	Beam Spread: 112 Cand	Photocell: No	Lamps Included: No	
Dimmable: No	Color Temp.: 5000K	Beam Spread: 112 Cand	Beam Spread: 112 Cand	Photocell: No	Lamps Included: No	
Ballast Life: 50,000 hrs	Beam Spread: 112 Cand	Beam Spread: 112 Cand	Beam Spread: 112 Cand	Photocell: No	Lamps Included: No	

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Description	Catalog Number	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
☐	A	15	TBD	low voltage decorative per city ordinance 13.05.D.3	Coach Light	TBD	1	DSXF3_LED_6_P_2_50K_NSP_MVO_LT.ies	17751	0	0	TBD
☐	B	2	Lithonia Lighting	DSX0 LED with 40 LEDs @1000 mA, 5000K, Type Forward Throw Medium Optics	DSX0 LED 40C 1000 50K TFTM MVOLT	LED	1	DSX0_LED_40C_1000_50K_TFTM_MVOLT.ies	15079	0.9	276	20'-0"

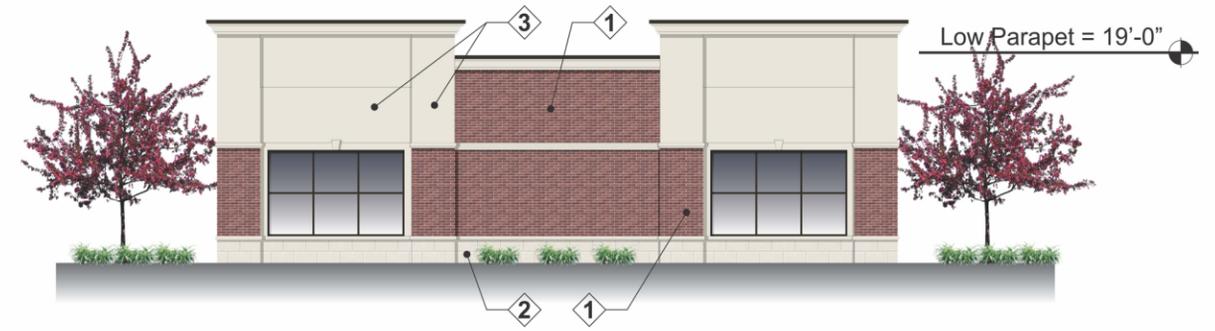


MAPLELAWN
 SITE PHOTOMETRIC PLAN
 PREPARED FOR: OSTERMAN ELECT
 GASSER BUSH ASSOCIATES

Designer
 RSS/AAM
 Date
 4/11/2016
 rev 7/15/2016
 Scale
 AS NOTED
 Drawing No.
 #16-53271-V2
 1 of 1



East Elevation



South Elevation

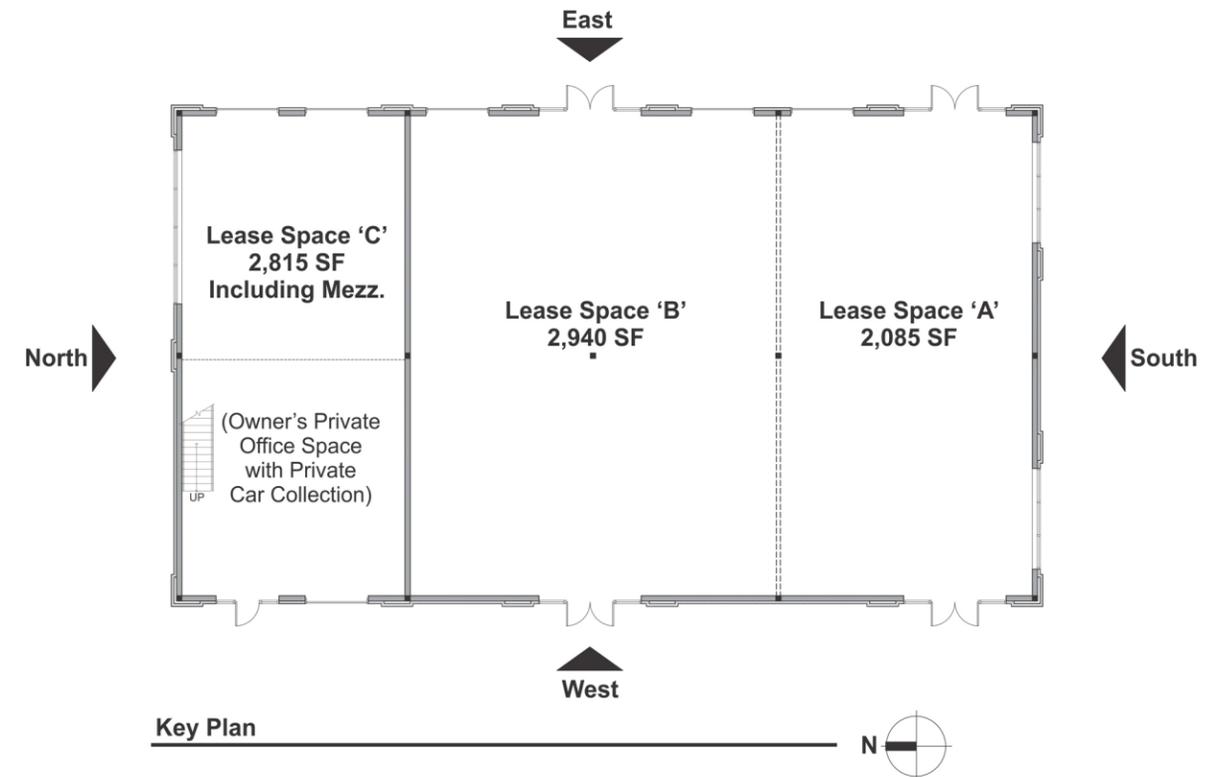


North Elevation



West Elevation

Exterior Materials Key				
Symbol	Material	Manufacturer	Style	Color
①	Brick	Brampton	Crossroads	Marshall
②	Stone	Shouldice Stone	Architectural Tapestry	Chamois
③	EIFS	Sherwin Williams	-	Accessible Beige SW7036





La Saj
Lebanese Bistro

THRIVE
chiropractic

PRO MARTIAL ARTS

La Saj

La Saj

MAPLE
La Saj
SECOND FLOOR



THRIVE
chiropractic

PRO MARTIAL ARTS

LaSaj



FAZAL KHAN & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

Fazlullah M. Khan, P.E., MSCE
Donald H. King, P.S.
Carol P. Thurber, P.E., CFM
Shannon L. Filarecki, P.E.
Thomas R. DeHondt, P.E.
Ottavio Palazzolo, P.E.

July 18, 2016

City of Troy Planning Dept.
Attn: Brent Savidant, Planning Director
500 W. Big Beaver Road
Troy, MI 48084
RE: Maplelawn-Tree Survey and Landscape Plan
Troy, MI

Dear Mr. Savidant,

I completed a tree survey of the Woodland Area for Maplelawn Project on Crooks Road. The middle of the site and south is primarily open with Siberian elm and silver maple dominant in the area, Along with some boxelder and mulberry trees.

Several of the Siberian elm trees are dead. The mulberry tree meets the requirement for landmark status (24" and greater) and will be preserved. The boxelder is on the prohibited species list, however it seems to be healthy and will be preserved.

The "Woodland Area" which is just over ¼ of an acre covers the north and west boundary of the site. Trees in the wooded area consist of Siberian elm, hawthorn, cottonwood, mulberry and some basswood trees. The 18" basswood tree meets the requirement for landmark status and will be protected and preserved as part of the site plan.

42" (18" basswood + 24" mulberry)	(Landmark trees to be preserved)
<u>18" (3 hawthorn trees)</u>	(Existing trees to be removed/Required replacement)
24" x 2 = 48"	(Replacement tree credits provided)

The proposed trees in the parking lot islands will be placed above a liner. The liner will be 3' deep or greater. A soil test will be coordinated, by the contractor thru the M.S.U. Extension office. The contractor will warranty the plant material and ensure the proposed trees are healthy and provided the best opportunity for survival. The soil used for backfill and planting mix will be tested & amended to provide the necessary nutrients and Ph. levels required by the trees, for optimum growing conditions along with irrigation. Ginkgo trees will be used in the parking lots, because they thrive in urban/ parking lot conditions, and will survive adverse soil conditions. It is a slow growing tree which allows them to adapt to their planting environment. They also will tolerate compacted and acidic soil. The roots generally grow within the top 24" of soil depth.

In summary the proposed soil for the trees in island will be tested/amended to adjust the nutrients and soil Ph. to optimum levels. Organic content and supplemental nutrients will be added as required based on soils test along with irrigation to ensure that trees will adapt and survive.

The regulated trees removed, will be compensated by preserving or providing 48 inches more replacement tree credits than the number of regulated trees being removed.

Sincerely,
FAZAL KHAN & ASSOCIATES, INC.

Ozell Gothard
Landscape Architect
Cc: Joe Caradonna
Geo Babu
Ottavio Palazzolo

Shared Parking Analysis For Proposed Crooks Road Retail Troy Oakland County



Prepared by:
Traffic Engineering Consultants, Inc.
35890 Monterey Dr.
Clinton Township, Michigan 48035
(586) 615-4120

TO: Brent Savidant, Planning Director
City of Troy

From: Carlo Santia, P.E.
Traffic Engineering Consultants, Inc.

Date: May 31, 2016

Subject: Existing Maplelawn I and Proposed Maplelawn II Parking Shared Study
Troy, Michigan

This memorandum summarizes the assumptions, methodologies, and findings of a shared parking analysis performed for the proposed Maplelawn II development in the City of Troy Michigan. The development will consist of a 1,668 square foot Firehouse Sub Carry-out Restaurant, a 2,352 square foot Spinning Spa, and 2,815 square feet of office space. The site is located in the northeast quadrant of Maplelawn Drive and Crooks Road, as shown in figure 1. The proposed development is adjacent to the existing Maplelawn I building that contains a 108 seat La Saj Restaurant, a 1,376 square foot Karate Studio, a 1,000 square foot Medical Office Clinic, and 9,084 square feet of Office space.

The purpose of the study is to provide a shared parking analysis for the existing and proposed development and to determine the ability of the parking supply to adequately meet the projected need of combined developments. Both developments would share one existing driveway on Crooks Road. The existing development provides 52 parking stalls used by customers and employees. The proposed development provides 62 stalls parking for customers and employees. Total combined parking provided for the combined developments is 114 parking spaces. City of Troy ordinance requires 146 parking spaces.

The existing and future parking demand versus supply was evaluated based on information published by the Institute of Transportation Engineers (ITE) in Parking Generation, 4th Edition. Shared parking methodology indicates that a single parking space may be utilized by two or more individual land uses without conflict based on the hourly, daily, and seasonal variation in parking demand. A review of the peak-period parking demand showed that the peak hour generally occurs between 12:00 Noon and 1:00 PM.

The parking demand for each individual land use was calculated based on the rates and equations published by ITE. The demand variations were then applied to determine the peak parking demand for both sites.

The shared parking calculations for the combined developments are summarized in the attached table.

Based on the results of this Shared Study analysis, the proposed Maplelawn II development and provided parking, plus the existing Maplelawn I development and its existing parking would be adequate to serve the demand required by both sites. Adequate cross access is provided to help facilitate the use of the existing and proposed parking for use by both the existing and proposed developments.

Crooks Road Retail City of Troy



Figure 1

Estimated Weekday Shared Parking Requirements (Maplelawn I & II- Troy Michigan)

Land Use	ITE Code	Parking Requirement (Spaces)	Quantity	Units	ITE Rate	Unadjusted Parking (Spaces) ITE	Peak-Hour Adjustment (%)	Adjusted Parking (Spaces) ITE
La Saj Restaurant/Sit-Down	932	54	108	Seat	0.52	56	90%	50
Medical Office	720	8	1,000	/ksf	4.27	4	81%	3
Office	701	41	11,899	/ksf	3.45	41	77%	32
Firehouse Sub	933	24	1,668	/ksf	12.33	21	90%	19
Karate Studio & Spinning Spa	493	19	3,728	/ksf	4.94	18	55%	10
Total		146				140		114

DATE: July 22, 2016

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2015-0014) – Proposed Aloft Hotel, East side of Troy Center Drive, South of Big Beaver (PID 88-20-28-101-067), Section 28, Currently Zoned BB (Big Beaver) District

The petitioner Group 10 Management submitted the above referenced Preliminary Site Plan application for a proposed five-story, 126-room hotel.

The property is currently zoned BB (Big Beaver) District. The Planning Commission is responsible for granting Preliminary Site Plan approval for this item.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

G:\SITE PLANS\SP JPLN 2015-0014 Aloft Hotel Sec 28\Aloft PC Memo 2016 07 26.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW (File Number SP JPLN2015-0014) – Proposed Aloft Hotel, East side of Troy Center Drive, South of Big Beaver (PID 88-20-28-101-067), Section 28, Currently Zoned BB (Big Beaver) District

Resolution # PC-2016-07-

Moved by:

Seconded by:

RESOLVED, The Planning Commission hereby approves a shared parking arrangement with the abutting property;

BE IT FINALLY RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Aloft Hotel, located on the east side of Troy Center Drive, south of Big Beaver, Section 28, within the BB (Big Beaver) District, be granted, subject to applicant the following:

1. Provide the shared parking agreement and location of shared parking as part of the final site plan.
2. The applicant shall use clear glass for the area noted as “1st floor public space glazing” that is located at the canopy entrance.
3. Submit a lighting plan in compliance with Article 13 that includes fixture details and photometrics.

_____) or

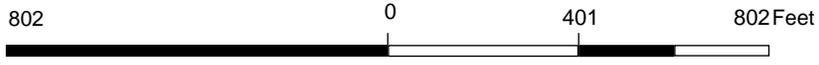
(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

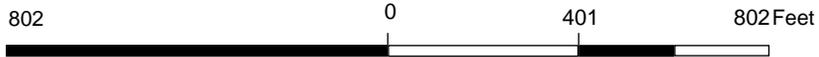
Yes:

No:

MOTION CARRIED/FAILED



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: November 16, 2015
Revised: February 23, 2016
July 18, 2016

Preliminary Site Plan Review For City of Troy, Michigan

Applicant:	Group 10 Management
Project Name:	Aloft Hotel
Revised Plan Date:	July 6, 2016
Location:	Southeast corner of Big Beaver Road and Troy Center Drive (southeast corner of site)
Zoning:	BB, Big Beaver Form-based district
Action Requested:	Preliminary Site Plan Approval
Required Information:	Deficiencies noted

PROJECT AND SITE DESCRIPTION

We received a revised site plan and accompanying documents for a proposed hotel at the parcel located at the southeast corner of Big Beaver and Troy Plaza Drive. The applicant is proposing a 5-story, 66-foot tall hotel development encompassing 126 rooms and 65,590 square feet on a 1.75 acre portion of the larger 20 acre developed site. The site is currently developed as a parking lot adjacent to the existing regional retention basin.

The property is zoned Big Beaver Form-Based District. The proposed hotel development is allowed by-right and only requires Site Plan Review approval from the Planning Commission.

Aloft Hotel
July 18, 2016

Location of Subject Property:
Southeast corner of Big Beaver Road and Troy Center Drive

Proposed Uses of Subject Parcel:
Hotel

Current Use of Subject Property:
Vacant/Parking Lot

Current Zoning:
The property is currently zoned Big Beaver Form Based Code, site type A.



Direction	Zoning	Use
North	BB, Big Beaver Form Based	Vacant / Parking
South	BB, Big Beaver Form Based	Commercial
East	BB, Big Beaver Form Based	Regional Retention Basin
West	BB, Big Beaver Form Based	Vacant Parking

MASTER PLAN

The site was identified in the Big Beaver Corridor Study as one of five Corridor “Gateway” locations. The plan calls for:

- Building from lot line to lot line along the right-of-way rather than continuing to be a collection of isolated towers.
- Multiple level buildings which includes vertically integrated mixed-use commercial, office and residential towers.
- The use of prominent ground floor retail, restaurants and cafes allows visual interest and activity for visitors and residents.
- Contain parking in structures that are shared by surrounding developments.
- Parking in rear and not visible from major thoroughfares.
- Buildings set close to the street.

Existing commercial structures currently encompass the parcel’s frontage along both Big Beaver and Troy Center Drive. The proposed hotel is planned to be constructed in the site’s southeast corner. Therefore, though desired by the Master Plan, a single large building or multiple storied buildings along Big Beaver at this site might not be achievable. However, there is an opportunity to develop a well-integrated site that includes creative yet consistent designed buildings. While we recognize that there are a multitude of different architectural styles and patterns along Big Beaver, creating site integration, cohesiveness, and a consistent design pattern both between and among this site is important. Because of its high visibility and prominence along Big Beaver, a key to site integration and cohesiveness, is a consistent building design pattern as well as the treatment and interaction between the buildings on the site.

Items to be Addressed: Address site plan issues to ensure development is consistent with Master Plan.

BUILDING ORIENTATION AND OVERALL SITE LAYOUT

The main building entrance is oriented to the west facing Troy Center Drive. A new access point along the south property line will provide direct vehicular access to the hotel. A pedestrian connection is also proposed adjacent the new access drive from Troy Center Drive to the proposed hotel. The applicant has provided additional internal pedestrian connections to the office and restaurant uses to the north furthering site integration and cohesiveness.

Items to be Addressed: None.

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

The site is being developed as a hotel meeting Building Form D requirements. Building Form D is a permitted building form for Site Type A. Table 5.03.B.4. establishes the dimensional requirements for the building form D:

	Required / Allowed	Provided	Compliance
Front (Big Beaver)	10 foot build-to-line	Not Applicable	Existing structures are located along the Big Beaver corridor.
Front (Troy Center Drive)	10 foot build-to-line	Not Applicable	Existing structures are closer to Troy Center Drive.
Front (west)	-	44.3 feet	Complies
Rear (east)	40 foot minimum	70.9 feet	Complies
Side (north/south)	0 foot	34.1 feet (north) 76 feet (south)	Complies
Open Space	15 percent	32%	Complies
Building Lot Coverage	30 percent	20%	Complies
Building Height	Minimum 35 feet Maximum 66 feet	58 feet 4 inches, 59 feet to top of parapet	Complies
Parking	Big Beaver: Not located in front yard and screening	Not located in front yard.	Complies
	Troy Center Drive: Not located in front yard and screened	Parking is located in front yard and is screened.	Complies

The hotel is proposed to be located at the furthest point from both Big Beaver and Troy Center Drive on the subject site, and does not meet the build-to-line requirements along either corridor. However, due the existing buildings located on the site, the developed configuration of the site, and the potential for additional outlot development along Big Beaver and Troy Center Drive, the proposed hotel location will allow for additional future commercial (retail and restaurant) outlot development at the property frontage.

In the form-based districts, all parking shall be located in a side or rear yard. Since the proposed outlot is not adjacent to either Big Beaver or Troy Center Drive, no parking has been provided within the front yards.

Though the building height is noted to be 66 feet on the site data table (Sheet C-2.1), the top of the parapet is 59 feet, and 68 feet to the top of the mechanical screen wall. The mechanical screen wall does not count towards building height.

Items to be Addressed: None

PARKING

For the various uses Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Hotel: 1 space for each guest room, 1 space per employee on the largest shift	126 rooms + 21 employees = 147 spaces	A parking calculation of both 144 and 141 spaces is shown on sheet C-2.1. Applicant notes additional shared parking is provided in PNC bank.
Barrier Free	6	6
Bicycle Parking	2	7
Loading	0	0
Total	147 automobile + 2 bicycle	156 spaces + 7 bicycle

The applicant notes a shared parking agreement with the PNC Bank. Sixty-eight of the noted 141/144 spaces are located on the hotel site. The remaining 73/76 spaces are located as shared parking with the PNC site. Anecdotally, parking appears to be sufficient. However, the applicant should provide the shared parking agreement as part of the final site plan to ensure parking will be preserved for this use should the PNC site redevelop in the future. A bike rack has been added to the plans along the west elevation at the main building entrance.

Items to be Addressed: Provide the shared parking agreement as part of the final site plan.

SITE ACCESS, and CIRCULATION

Access to the site is provided via new boulevard drive at along the southern property line from Troy Center Drive. The applicant has provided for a greenbelt along both sides (north and south) of the proposed drive allowing for a tree-lined entry to the site from Troy Center Drive. The traffic engineering department will need to confirm that access and circulation is sufficient.

Items to be Addressed: None

PEDESTRIAN CIRCULATION

The applicant is providing a 5-foot wide pedestrian path from Troy Center Drive to the site. Internal pedestrian connectivity through the hotel side is provided. Additional internal connections from the proposed hotel to the PNC building has also been provided.

Items to be Addressed: None.

LANDSCAPING

The applicant has provided a landscape plan. The plan provides all necessary calculations regarding greenbelt, street trees, and parking lot landscaping requirements.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	City requested street trees along the proposed south entry drive – 625 ft./30=21 trees	19 street trees 6 ornamental trees	Compliant
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	15%	The applicant indicates 44% of softscape area	Compliant
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	18 trees	18 trees	Compliant

The applicant is also proposing additional landscaping and clean-up of the eastern property line and adjacent regional retention basin at the request of the City.

Trash Enclosure:

The trash enclosure is located northeast of the building outside of the 2 acre site. Detail of the enclosure and proposed exterior materials has been included on Sheet C-5.1 of the plan set. The east and west peripheries of the proposed trash enclosure are screened with shrubs and evergreen trees.

Condensing units along the north elevation are screened with shrubbery as well.

Items to be Addressed: None.

LIGHTING

The applicant did not submit a lighting plan with the revised application set.

Items to be Addressed: Submit a lighting plan in compliance with Article 13 that includes fixture details and photometrics .

FLOOR PLAN AND ELEVATIONS

Floor plans and building elevations have been provided. The applicant is proposing a modern design with a mix of materials including a natural wood paneling system that wraps a portion of the first floor, spandrel and room glass glazing, and painted aluminum façade of various colors.



*Existing Aloft Hotel that matches materials, style, and color proposed.
–Location: Denver*

Additional detail is provided in the design standards noted below.

Items to be Addressed: none

DESIGN STANDARDS

The Big Beaver design standards provide the Planning Commission with direction when reviewing the proposed design features of this development.

Façade Variation.

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet. **The applicant has provided variation through exterior building materials, colors, textures and relief.**

Pedestrian Access / Entrance.

- a. **Primary Entrance:** The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **The primary entrance is accessible from the proposed south access drive parallel to Troy Center Drive.**

- b. Pedestrian Connection. The pedestrian connection shall be fully paved and maintained surface not less than five (5) feet in width. **Pedestrian access is accommodated from Troy Center Drive, and provides internal connections throughout the hotel site and to the northern neighboring uses on the site.**
- c. Additional Entrances. In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance. **Complies**

Ground Story Activation.

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.

The applicant notes 49% of windows and doors on the first floor; however, the glass is spandrel or "room" glass, which does allow for transparency. The applicant should use clear glass for the area noted as "1st floor public space glazing" that is located at the canopy entrance. Use of clear glass in this location will create a more welcoming feel into the hotel.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Due to proximity of other commercial uses, the commercial development is not a more intense use which would require transitional features.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards. **The applicant is six (6) spaces short but has noted a shared parking agreement.***
- b. *Location.*
 - i. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking. **Not Applicable***

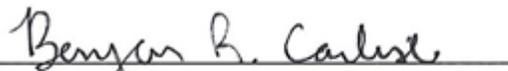
- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection. **Not Applicable***
- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less. **Not Applicable***
- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C. **Not Applicable.***

SUMMARY OF FINDINGS

We support the conceptual development of this site, and find that the plan and development details are more consistent with the vision along Big Beaver and the requirements of Big Beaver form-based district.

Provided that the Planning Commission grant the parking deviation and agree to allow for shared parking, we recommend preliminary site plan approval with the following conditions to be addressed as part of the final site plan submittal:

- 1) *Provide the shared parking agreement and location of shared parking as part of the final site plan.*
- 2) *The applicant should use clear glass for the area noted as "1st floor public space glazing" that is located at the canopy entrance. Use of clear glass in this location will create a more welcoming feel into the hotel.*
- 3) *Submit a lighting plan in compliance with Article 13 that includes fixture details and photometrics.*

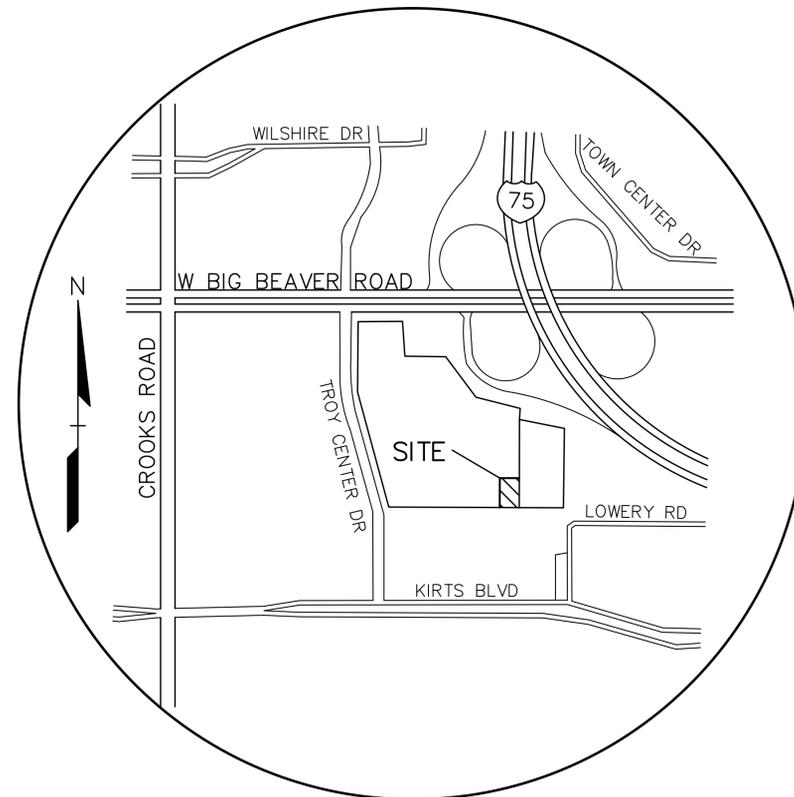


CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, AICP, LEED AP

Principal

PRELIMINARY SITE PLANS FOR
ALOFT AT PNC OFFICE CENTER
 PART OF THE SE 1/4 OF SECTION 12, T. 2N., R. 11E.,
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
 NO SCALE

LEGAL DESCRIPTION:
 PROPOSED PARCEL (PART OF PARCEL 20-28-101-067)
 Land situated in the City of Troy, Oakland County, Michigan described as follows:
 Part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the Northwest Corner of Section 28; thence along the north line of said Section 28, North 87 degrees 28 minutes 23 seconds East, 1257.91 feet; thence South 02 degrees 31 minutes 05 seconds East, 332.19 feet along the east Right-of-Way line of Troy Center Drive (120 feet wide); thence North 87 degrees 28 minutes 23 seconds East, 618.66 feet to the Point-of-Beginning; thence North 87 degrees 28 minutes 23 seconds East, 618.66 feet to the southwesterly Right-of-Way line of I-75 expressway; thence along said Right-of-Way, South 02 degrees 31 minutes 05 seconds East, 68.00 feet and South 41 degrees 10 minutes 40 seconds East, 256.12 feet and South 77 degrees 21 minutes 56 seconds East, 296.62 feet; thence South 02 degrees 53 minutes 48 seconds East, 654.74 feet to the north line of "F.J. Kirts Farm" subdivision; thence along a portion of said subdivision, South 87 degrees 28 minutes 19 seconds West, 863.35 feet to a non-tangent curve on the easterly Right-of-Way of Troy Center Drive (120 Feet Wide); thence along said Right-of-Way on a curve to the left having an arc distance of 185.55 feet, radius of 1260.00 feet, central angle of 08 degrees 26 minutes 14 seconds, and a chord bearing of North 15 degrees 13 minutes 10 seconds West, 185.38 feet and North 19 degrees 26 minutes 18 seconds West, 397.91 feet and along a curve to the right an arc distance of 336.66 feet, radius of 1140.00 feet, a central angle of 16 degrees 55 minutes 14 seconds, and a chord bearing of North 10 degrees 58 minutes 41 seconds West, 335.44 feet and North 02 degrees 31 minutes 05 seconds West, 107.59 feet to the Point-of-Beginning. Containing 10.022 acres of land, more or less.

LEGAL DESCRIPTION:
 PARCEL 20-28-101-067 (Overall Parcel)
 Land situated in the City of Troy, Oakland County, Michigan described as follows:
 Part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the Northwest Corner of Section 28; thence along the north line of said Section 28, North 87 degrees 28 minutes 23 seconds East, 1257.91 feet; thence South 02 degrees 31 minutes 05 seconds East, 332.19 feet along the east Right-of-Way line of Troy Center Drive (120 feet wide); thence North 87 degrees 28 minutes 23 seconds East, 618.66 feet to the Point-of-Beginning; thence North 87 degrees 28 minutes 23 seconds East, 618.66 feet to the southwesterly Right-of-Way line of I-75 expressway; thence along said Right-of-Way, South 02 degrees 31 minutes 05 seconds East, 68.00 feet and South 41 degrees 10 minutes 40 seconds East, 256.12 feet and South 77 degrees 21 minutes 56 seconds East, 296.62 feet; thence South 02 degrees 53 minutes 48 seconds East, 654.74 feet to the north line of "F.J. Kirts Farm" subdivision; thence along a portion of said subdivision, South 87 degrees 28 minutes 19 seconds West, 863.35 feet to a non-tangent curve on the easterly Right-of-Way of Troy Center Drive (120 Feet Wide); thence along said Right-of-Way on a curve to the left having an arc distance of 185.55 feet, radius of 1260.00 feet, central angle of 08 degrees 26 minutes 14 seconds, and a chord bearing of North 15 degrees 13 minutes 10 seconds West, 185.38 feet and North 19 degrees 26 minutes 18 seconds West, 397.91 feet and along a curve to the right an arc distance of 336.66 feet, radius of 1140.00 feet, a central angle of 16 degrees 55 minutes 14 seconds, and a chord bearing of North 10 degrees 58 minutes 41 seconds West, 335.44 feet and North 02 degrees 31 minutes 05 seconds West, 107.59 feet to the Point-of-Beginning. Containing 10.022 acres of land, more or less.

INDEX OF DRAWINGS:

- C-1.1 COVER SHEET
- C-2.1 TOPOGRAPHIC SURVEY
- C-3.1 PRELIMINARY SITE PLAN
- C-4.1 PRELIMINARY GRADING PLAN
- C-4.1 PRELIMINARY UTILITY PLAN
- C-5.1 NOTES AND DETAILS
- L-1.1 PRELIMINARY LANDSCAPE PLAN
- L-1.2 PRELIMINARY LANDSCAPE DETAILS
- 001 PROPOSED FLOOR PLAN-LEVEL 1
- 002 PROPOSED FLOOR PLAN-LEVEL 1
- 003 PROPOSED FLOOR PLAN-LEVEL 1
- 004 PROPOSED FLOOR PLAN-LEVEL 1
- 005 PROPOSED FLOOR PLAN-LEVEL 1
- 006 PROPOSED ROOF PLAN
- 007 PROPOSED EXTERIOR COLOR ELEVATIONS
- 008 PROPOSED EXTERIOR COLOR ELEVATIONS

APPLICANT:

GROUP 10 MANAGEMENT
 30500 NORTHWESTERN HIGHWAY, SUITE 525
 FARMINGTON HILLS, MI 48334
 CONTACT: KENNY KOZA
 PHONE: (248) 855-2100

ARCHITECT:

NORR, LLC
 150 W. JEFFERSON AVENUE, SUITE 1300
 DETROIT, MI 48226
 CONTACT: LARRY KOWALSKI
 PHONE: (313) 324-3134
 FAX: (586) 945-0878

CIVIL ENGINEER:

PEA, INC.
 2430 ROCHESTER COURT, SUITE: 100
 TROY, MICHIGAN 48083
 CONTACT: JAMES P. BUTLER, P.E.
 PHONE: (248) 689-9090
 FAX: (248) 689-1044

LANDSCAPE ARCHITECT:

PEA, INC.
 7927 NEMCO WAY, SUITE 115
 BRIGHTON, MI 48116
 PHONE: (517) 546-8583
 FAX: (517) 546-8973
 CONTACT: JEFFREY T. SMITH, LLA, LEED AP

NO.	BY	DESCRIPTION	DATE
1	MEB	ADDED GENERATOR, AD AND FUEL TANK	7.6.15
2	MEB	REVISED EIR STARTWOOD COMMENTS	6.13.15
3	MEB	REVISED EIR CITY REVIEW BUILDING SHIFT PER OWNER	12.15.15



CAUTION
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY A GUIDE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
 THIS DRAWING AND DESIGN ARE THE PROPERTY OF PEA, INC. AND THEY ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE REPRODUCED, COPIED, OR USED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF PEA, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY EXPRESSLY RESERVED. © 2015 PEA, INC.
 CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL AGREEMENTS, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL
811
 Know what's below
 Call before you dig
 MISS DIG System, Inc.
 1-800-482-7171 www.missdig.com



EA, Inc.
 2430 Rochester Ct. Ste 100
 Troy, MI 48083-1872
 t: 248-689-9090
 f: 248-689-1044
 www.ea-inc.com

GROUP 10 MANAGEMENT
 30500 NORTHWESTERN HIGHWAY, SUITE 525
 FARMINGTON HILLS, MI 48334

COVER SHEET
ALOFT AT PNC OFFICE CENTER
 PART OF THE SE 1/4 OF SECTION 12, T. 2N., R. 11E.,
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES: MEB DN MEB SUR MS MS MB MB
 DATE: 10/23/2015

ORIGINAL ISSUE DATE:
 OCTOBER 23, 2015

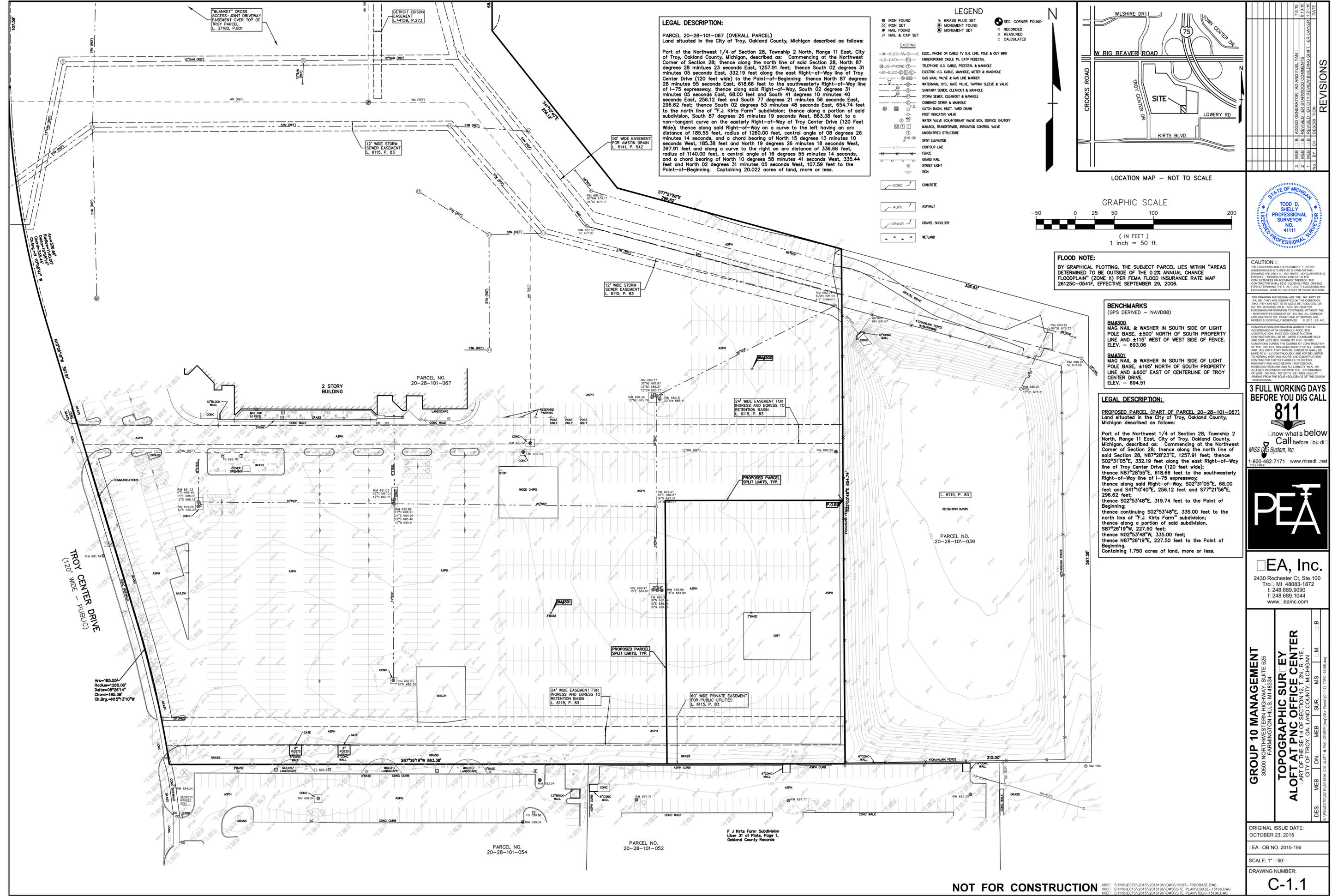
EA / OB NO. 2015-196

SCALE: N/A

DRAWING NUMBER:
COVER

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2015\2015196\DWG\15196-TOPOBASE.DWG
 XREF: S:\PROJECTS\2015\2015196\DWG\15196-SITE.PLAN\BASE-15196.DWG
 XREF: S:\PROJECTS\2015\2015196\DWG\15196-SITE.PLAN\TK-K-15196.DWG



LEGAL DESCRIPTION:
 PARCEL 20-28-101-067 (OVERALL PARCEL)
 Land situated in the City of Troy, Oakland County, Michigan described as follows:
 Part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the Northwest Corner of Section 28; thence along the north line of said Section 28, North 87 degrees 28 minutes 23 seconds East, 1257.91 feet; thence South 02 degrees 31 minutes 05 seconds East, 332.19 feet along the east Right-of-Way line of Troy Center Drive (120 feet wide) to the Point-of-Beginning; thence North 87 degrees 28 minutes 55 seconds East, 618.66 feet to the southwesterly Right-of-Way line of I-75 expressway; thence along said Right-of-Way, South 02 degrees 31 minutes 05 seconds East, 68.00 feet and South 41 degrees 10 minutes 40 seconds East, 256.12 feet and South 77 degrees 21 minutes 56 seconds East, 296.62 feet; thence South 02 degrees 53 minutes 48 seconds East, 654.74 feet to the north line of "F.J. Kirts Farm" subdivision; thence along a portion of said subdivision, South 87 degrees 28 minutes 19 seconds West, 853.38 feet to a non-tangent curve on the easterly Right-of-Way of Troy Center Drive (120 Feet Wide); thence along said Right-of-Way on a curve to the left having an arc distance of 185.55 feet, radius of 1260.00 feet, central angle of 08 degrees 26 minutes 14 seconds, and a chord bearing of North 15 degrees 13 minutes 10 seconds West, 185.38 feet and North 19 degrees 26 minutes 18 seconds West, 397.91 feet and along a curve to the right on an arc distance of 336.66 feet, radius of 1140.00 feet, a central angle of 16 degrees 55 minutes 14 seconds, and a chord bearing of North 10 degrees 56 minutes 41 seconds West, 335.44 feet and North 02 degrees 31 minutes 05 seconds West, 107.59 feet to the Point-of-Beginning. Containing 20.022 acres of land, more or less.

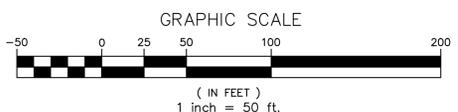
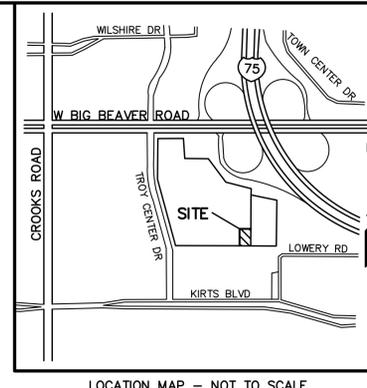
LEGEND

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET
- SEC. CORNER FOUND
- RECORDED
- MEASURED
- CALCULATED

EXISTING

- OH-ELEC-W: ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV: UNDERGROUND CABLE TV, CATV PRESTAL
- UG-PHONE: TELEPHONE U.G. CABLE, PRESTAL & MANHOLE
- UG-ELEC: ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAN, VALVE & GAS LINE MARKER
- WATERMAN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN, INLET, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- GUARD RAIL
- STREET LIGHT
- SIGN

CONC. CONCRETE
ASPH. ASPHALT
GRAVEL GRAVEL SHOULDER
WETLAND WETLAND



FLOOD NOTE:
 BY GRAPHICAL PLOTTING, THE SUBJECT PARCEL LIES WITHIN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN" (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP 26125-0541F, EFFECTIVE SEPTEMBER 29, 2006.

BENCHMARKS
 (GPS DERIVED - NAVD83)

BM#300
 MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±500' NORTH OF SOUTH PROPERTY LINE AND ±115' WEST OF WEST SIDE OF FENCE. ELEV. - 693.06

BM#301
 MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±600' EAST OF CENTERLINE OF TROY CENTER DRIVE. ELEV. - 694.51

LEGAL DESCRIPTION:
 PROPOSED PARCEL (PART OF PARCEL 20-28-101-067)
 Land situated in the City of Troy, Oakland County, Michigan described as follows:
 Part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the Northwest Corner of Section 28; thence along the north line of said Section 28; N87°28'23"E, 1257.91 feet; thence S02°31'05"E, 332.19 feet along the east Right-of-Way line of Troy Center Drive (120 feet wide); thence N87°28'55"E, 618.66 feet to the southwesterly Right-of-Way line of I-75 expressway; thence along said Right-of-Way, S02°31'05"E, 68.00 feet and S41°0'40"E, 256.12 feet and S77°21'56"E, 296.62 feet; thence S02°53'48"E, 319.74 feet to the Point of Beginning; thence continuing S02°53'48"E, 335.00 feet to the north line of "F.J. Kirts Farm" subdivision; thence along a portion of said subdivision, S87°28'19"W, 227.50 feet; thence N02°53'48"W, 335.00 feet; thence N87°26'19"E, 227.50 feet to the Point of Beginning. Containing 1.750 acres of land, more or less.

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	MEB	01/13/16	REVISED PER STARWOOD COMMENTS
2	MEB	01/13/16	REVISED PER STARWOOD COMMENTS
3	MEB	01/13/16	REVISED PER STARWOOD COMMENTS



CAUTION:
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY A: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. B: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. C: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. D: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. E: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. F: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. G: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. H: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. I: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. J: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. K: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. L: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. M: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. N: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. O: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. P: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. Q: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. R: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. S: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. T: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. U: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. V: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. W: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. X: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. Y: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. Z: INDICATE NO GUARANTEE IS GIVEN BY THE SURVEYOR AS TO THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

now what's Below
 Call before you dig
 Miss Dig System, Inc.
 1-800-482-7171 www.missdig.net



EA, Inc.
 2430 Rochester Ct. Ste 100
 Troy, MI 48063-1872
 t: 248-689-9090
 f: 248-689-1044
 www.eainc.com

GROUP 10 MANAGEMENT
 30500 NORTHWESTERN HIGHWAY / SUITE 525
 FARMINGTON HILLS, MI 48334

TOPOGRAPHIC SURVEY
ALLOTT AT PNC OFFICE CENTER
 PART OF THE SE 1/4 OF SECTION 12, T. 2N, R. 11E,
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. MEB DN. MEB SUR. MS L.M. LB

ORIGINAL ISSUE DATE:
 OCTOBER 23, 2015

EA / OB NO. 2015-196

SCALE: 1" = 50'

DRAWING NUMBER:
C-1.1

NOT FOR CONSTRUCTION

LEGEND

IRON FOUND	BRASS PLUG SET	SEC. CORNER FOUND
IRON SET	MONUMENT FOUND	R RECORDED
NAIL FOUND	MONUMENT	M MEASURED
NAIL & CAP SET		C CALCULATED

EXISTING	PROPOSED
OH-ELEC-WY-O	ELEC. PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
UG-CATV	UNDERGROUND CABLE TV, CATV PEDESTAL
UG-PHONE	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
UG-ELEC	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
UG-ELEC	GAS MAIN, VALVE & GAS LINE MARKER
WATER	WATER MAIN, VALVE, TAPPING SLEEVE & VALVE
SEWER	SANITARY SEWER, CLEANOUT & MANHOLE
STORM	STORM SEWER, CLEANOUT & MANHOLE
SEWER	COMBINED SEWER & MANHOLE
CATCH	CATCH BASIN, INLET, YARD DRAIN
POST	POST INDICATOR VALVE
WATER	WATER VALVE, SHUT-OFF VALVE, BOIL. SERVICE SHUT-OFF
MALIBOX	MALIBOX, TRANSFORMER, RIGIDIZATION CONTROL VALVE
UNIDENTIFIED	UNIDENTIFIED STRUCTURE
816.06	SPOT ELEVATION
671	CONTOUR LINE
670	FENCE
670	GUARD RAIL
670	STREET LIGHT
670	SIGN
CONC.	CONCRETE
ASPH.	ASPHALT
GRAVEL	GRAVEL SHOULDER
SB	HEAVY DUTY ONLY
SB	HEAVY DUTY STRENGTH

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET C-5.1 FOR ON-SITE PAVING DETAILS.
- REFER TO CONSTRUCTION PLANS FOR ON-SITE SIDEWALK RAMP DETAILS.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TROY CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

SITE DATA TABLE:

SITE AREA: 1.75 ACRES NET AND GROSS
20.02 ACRES OVERALL PARCEL 20-28-101-067

ZONING: BB, BIG BEAVER ROAD DISTRICT

PROPOSED USE: HOTEL
USE GROUP 5

BUILDING INFORMATION: BUILDING TYPE D
MINIMUM ALLOWABLE BUILDING HEIGHT = 35 FEET (3 STORIES)
MAXIMUM ALLOWABLE BUILDING HEIGHT = 66 FEET (6 STORIES)
PROPOSED BUILDING HEIGHT = 66', 5 STORIES

BUILDING FOOTPRINT AREA = 15,462 SQ.FT.

LOT COVERAGE = 20.3%

SETBACK REQUIREMENTS:
FRONT SETBACK: N/A 44.30' PROVIDED
SIDE SETBACK: N/A 34.10' PROVIDED TO NORTH
76.00' PROVIDED TO SOUTH
REAR SETBACK: 40 FEET REQUIRED 70.90' PROVIDED
PARKING SETBACK 10 FEET REQUIRED 10' PROVIDED

PARKING CALCULATIONS:
HOTEL = 1 SPACE PER GUEST ROOM + 1 SPACE PER EMPLOYEE ON LARGEST SHIFT
TOTAL REQUIRED PARKING = 126 ROOMS + 21 EMPLOYEES = 147 SPACES
TOTAL PROPOSED PARKING SPACES = 141 SPACES INC. 6 H/C SPACES

ADDITIONAL PARKING WILL BE PROVIDED THROUGH SHARED PARKING AGREEMENT WITH PNC BANK.

BICYCLE PARKING PROVIDED = 7 RACKS

OPEN SPACE:
MINIMUM OPEN SPACE REQUIRED = 15%
PROVIDED OPEN SPACE = 32%

SIGN LEGEND:

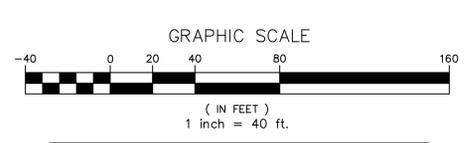
'NO PARKING FIRE LANE' SIGN	1
'STOP' SIGN	2
'BARRIER FREE PARKING' SIGN	3
'VAN ACCESSIBLE' SIGN	4
'CARPOOL PARKING ONLY' SIGN	5
'HYBRID AND LOW EMISSION VEHICLES ONLY' SIGN	6

REFER TO SHEET C-5.1 FOR SIGN DETAILS

SIDEWALK RAMP LEGEND:

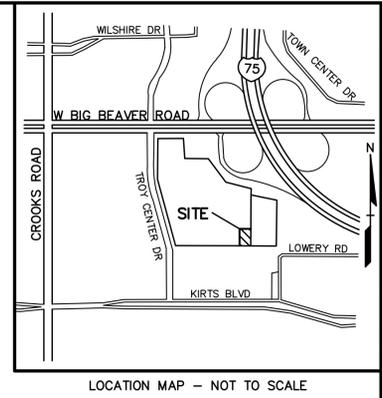
SIDEWALK RAMP 'TYPE R'	R
SIDEWALK RAMP 'TYPE P'	P
CURB DROP ONLY	X

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS



FLOOD NOTE:

BY GRAPHICAL PLOTTING, THE SUBJECT PARCEL LIES WITHIN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANGE FLOODPLAIN" (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP 26125C-0541F, EFFECTIVE SEPTEMBER 29, 2006.



NO.	DATE	DESCRIPTION
1	7.6.15	ISSUED FOR PERMITS
2	8.13.15	REVISED PER COMMENTS
3	8.13.15	REVISED PER COMMENTS
4	8.13.15	REVISED PER COMMENTS
5	8.13.15	REVISED PER COMMENTS
6	8.13.15	REVISED PER COMMENTS
7	8.13.15	REVISED PER COMMENTS
8	8.13.15	REVISED PER COMMENTS
9	8.13.15	REVISED PER COMMENTS
10	8.13.15	REVISED PER COMMENTS

LEGAL DESCRIPTION:

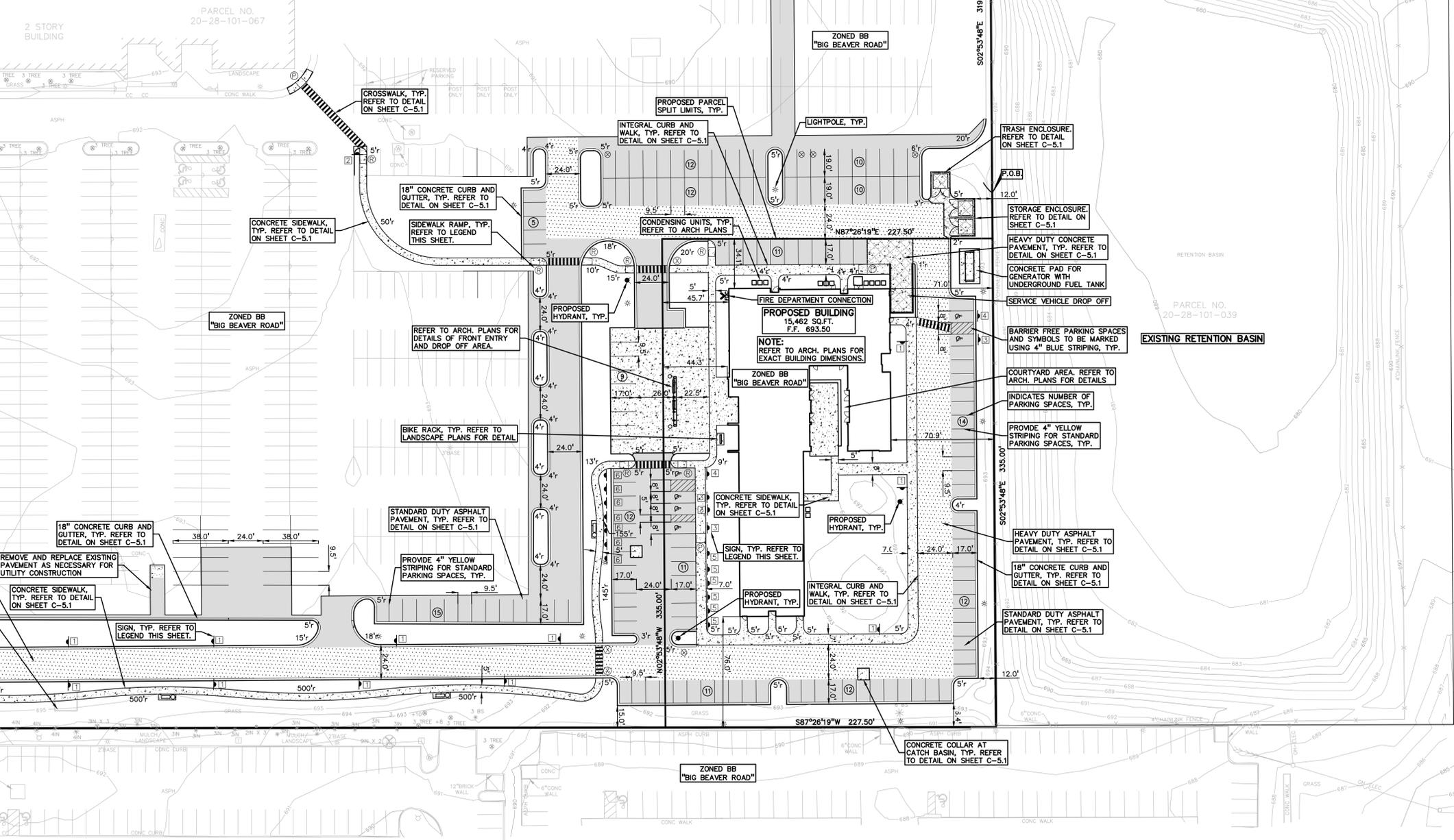
PARCEL 20-28-101-067 (Overall Parcel)
Land situated in the City of Troy, Oakland County, Michigan described as follows:

Part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the Northwest Corner of Section 28; thence along the north line of said Section 28, North 87 degrees 28 minutes 23 seconds East, 1257.91 feet; thence South 02 degrees 31 minutes 05 seconds East, 332.19 feet along the east Right-of-Way line of Troy Center Drive (120 feet wide) to the Point-of-Beginning; thence North 87 degrees 28 minutes 55 seconds East, 618.66 feet to the southwesterly Right-of-Way line of I-75 expressway; thence along said Right-of-Way, South 02 degrees 31 minutes 05 seconds East, 68.00 feet and South 41 degrees 10 minutes 40 seconds East, 256.12 feet and South 77 degrees 21 minutes 56 seconds East, 296.62 feet; thence South 02 degrees 53 minutes 48 seconds East, 654.74 feet to the north line of "F.J. Kirtz Farm" subdivision; thence along a portion of said subdivision, South 87 degrees 26 minutes 19 seconds West, 863.38 feet to a non-tangent curve on the easterly Right-of-Way of Troy Center Drive (120 feet wide); thence along said Right-of-Way on a curve to the left having an arc distance of 185.55 feet, radius of 1250.00 feet, central angle of 08 degrees 26 minutes 14 seconds, and a chord bearing of North 15 degrees 13 minutes 10 seconds West, 185.39 feet and North 19 degrees 26 minutes 18 seconds West, 397.91 feet and along a curve to the right an arc distance of 338.68 feet, radius of 1140.00 feet, a central angle of 16 degrees 55 minutes 14 seconds, and a chord bearing of North 10 degrees 58 minutes 41 seconds West, 335.44 feet and North 02 degrees 31 minutes 05 seconds West, 107.59 feet to the Point-of-Beginning. Containing 20.022 acres of land, more or less.

LEGAL DESCRIPTION:

PROPOSED PARCEL (PART OF PARCEL 20-28-101-067)
Land situated in the City of Troy, Oakland County, Michigan described as follows:

Part of the Northwest 1/4 of Section 28, Township 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the Northwest Corner of Section 28; thence along the north line of said Section 28, North 87°28'23" E, 1257.91 feet; thence South 02°31'05" E, 332.19 feet along the east Right-of-Way line of Troy Center Drive (120 feet wide); thence North 87°28'55" E, 618.66 feet to the southwesterly Right-of-Way line of I-75 expressway; thence along said Right-of-Way, South 02°31'05" E, 68.00 feet and S41°10'40" E, 256.12 feet and S77°21'56" E, 296.62 feet; thence South 02°53'48" E, 319.74 feet to the Point of Beginning; thence continuing South 02°53'48" E, 335.00 feet to the north line of "F.J. Kirtz Farm" subdivision; thence along a portion of said subdivision, S87°26'19" W, 227.50 feet; thence North 02°53'48" W, 335.00 feet; thence North 87°26'19" E, 227.50 feet to the Point of Beginning. Containing 1.750 acres of land, more or less.



CAUTION

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY A: INDICATE NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THE DRAWING AND DESIGN ARE THE PROPERTY OF PEA, INC. AND THEY ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PEA, INC. ALL RIGHTS OF PEA, INC. ARE RESERVED.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

know what's below
Call before you dig.

MISSOURI System, Inc.
1-800-482-7171 www.missdix.net

PEA

EA, Inc.
2430 Rochester Ct. Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.eainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE 525
FARMINGTON HILLS, MI 48334

PRELIMINARY SITE PLAN

ALLOT AT PNC OFFICE CENTER

PART OF THE SE 1/4 OF SECTION 12, T. 2N, R. 11E,
CITY OF TROY, ON LAND COUNTY, MICHIGAN

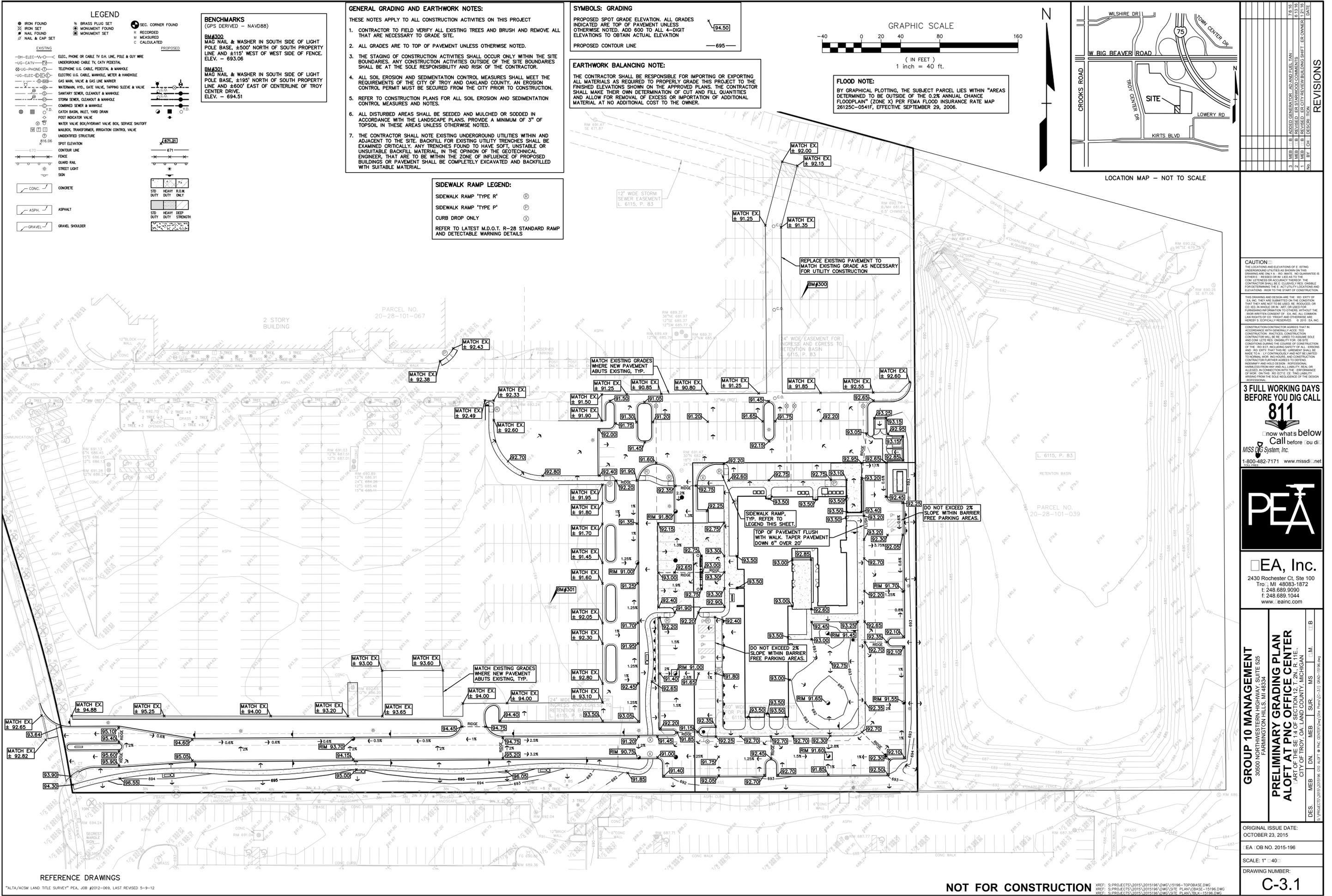
DES.	MEB	DN	MEB	SUR.	MS	LM	IM
------	-----	----	-----	------	----	----	----

ORIGINAL ISSUE DATE:
OCTOBER 23, 2015

EA / OB NO. 2015-196

SCALE: 1" = 40'

DRAWING NUMBER:



LEGEND

EXISTING

- IRON FOUND
- IRON SET
- NAIL FOUND
- NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND
- MONUMENT SET
- RECORDED
- MEASURED
- CALCULATED

PROPOSED

- ELEC. PHONE OR CABLE TV O.H. LINE, POLE & 42/27 WIRE
- UNDERGROUND CABLE TV, CATV PEDESTAL
- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATER MAIN, W.D. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN, INLET, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/PAYMENT VALVE BOX, SERVICE SHUTOFF
- MALIBU, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIK

CONCRETE

- SID HEAVY DUTY
- SID HEAVY DUTY ONLY
- SID HEAVY DEEP DUTY STRENGTH

ASPHALT

- GRAVEL SHOULDER

BENCHMARKS
(GPS DERIVED - NAVD83)

BM#300
MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±500' NORTH OF SOUTH PROPERTY LINE AND ±115' WEST OF WEST SIDE OF FENCE. ELEV. - 693.06

BM#301
MAG NAIL & WASHER IN SOUTH SIDE OF LIGHT POLE BASE, ±195' NORTH OF SOUTH PROPERTY LINE AND ±600' EAST OF CENTERLINE OF TROY CENTER DRIVE. ELEV. - 694.51

- GENERAL GRADING AND EARTHWORK NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
 - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF TROY AND OAKLAND COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
 - REFER TO CONSTRUCTION PLANS FOR ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

SYMBOLS: GRADING

PROPOSED SPOT GRADE ELEVATION, ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 600 TO ALL 4-DIGIT ELEVATIONS TO OBTAIN ACTUAL ELEVATION

PROPOSED CONTOUR LINE

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

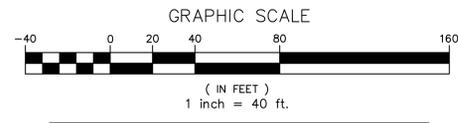
SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE R'

SIDEWALK RAMP 'TYPE P'

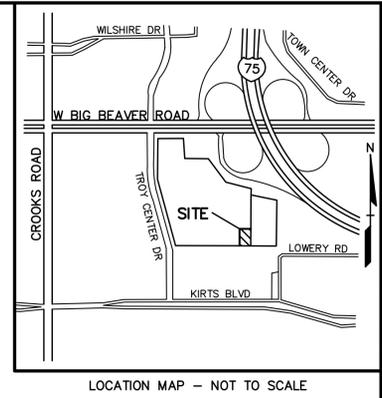
CURB DROP ONLY

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS



FLOOD NOTE:

BY GRAPHICAL PLOTTING, THE SUBJECT PARCEL LIES WITHIN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN" (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP 26125C-0541F, EFFECTIVE SEPTEMBER 29, 2006.



NO.	DATE	REVISIONS
1	06/13/16	REVISED PER STARTUP COMMENTS
2	06/13/16	REVISED PER STARTUP COMMENTS
3	06/13/16	REVISED PER STARTUP COMMENTS
4	06/13/16	REVISED PER STARTUP COMMENTS
5	06/13/16	REVISED PER STARTUP COMMENTS
6	06/13/16	REVISED PER STARTUP COMMENTS
7	06/13/16	REVISED PER STARTUP COMMENTS
8	06/13/16	REVISED PER STARTUP COMMENTS
9	06/13/16	REVISED PER STARTUP COMMENTS
10	06/13/16	REVISED PER STARTUP COMMENTS

CAUTION

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY A FIELD MADE NO GUARANTEE IS GIVEN BY THE ENGINEER OR ARCHITECT FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND DEPTH OF UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF EA, INC. AND ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED IN WHOLE OR IN PART, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF EA, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY EXPRESSLY RESERVED. © 2015 EA, INC.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

Now what's below Call before you dig.

MISS Dig System, Inc.

1-800-482-7171 www.missdig.net



EA, Inc.

2430 Rochester Ct. Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.eainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE 525
FARMINGTON HILLS, MI 48334

PRELIMINARY GRADING PLAN
ALLOFT AT PNC OFFICE CENTER
PART OF THE SE 1/4 OF SECTION 12, 2N, 11E,
CITY OF TROY, OKLAHOMA COUNTY, MICHIGAN

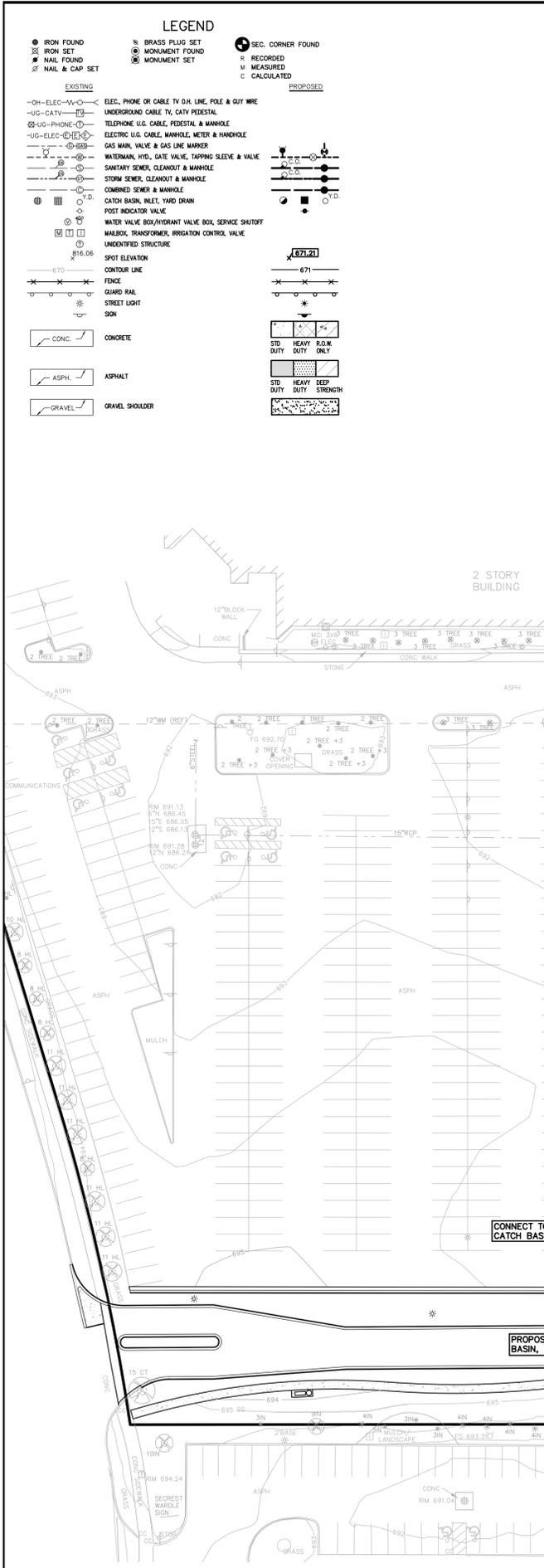
DES. MEB DN. MEB SUR. MEB MS. MEB LM. MEB

ORIGINAL ISSUE DATE:
OCTOBER 23, 2015

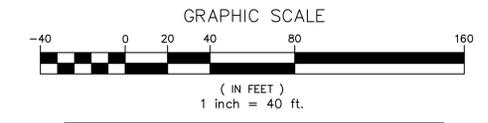
EA / OB NO. 2015-196

SCALE: 1" = 40'

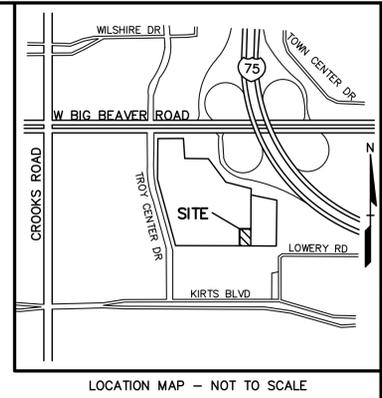
DRAWING NUMBER:
C-3.1



- GENERAL UTILITY NOTES:**
1. ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF TROY.
 2. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
 3. ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
 4. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
 5. ALL WATER MAIN SHALL BE PROVIDED WITH 6' OF COVER UNLESS OTHERWISE NOTED.
 6. ALL FIRE HYDRANTS SHALL BE E.J.W #58R MODEL #250 PER CITY STANDARDS.
 7. ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
 8. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY OF TROY.
 9. THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER AND SEWER DEPARTMENT AT (313) 833-4882 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.
 10. ALL SANITARY SEWER 10" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2680) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 11. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
 12. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY END AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.
 13. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
 14. ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GLUED JOINTS UNLESS OTHERWISE NOTED.
 15. PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
 16. THE CITY OF TROY STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF TROY STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TESTING, ETC. NOTES AND DETAILS.



FLOOD NOTE:
 BY GRAPHICAL PLOTTING, THE SUBJECT PARCEL LIES WITHIN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN" (ZONE X) PER FEMA FLOOD INSURANCE RATE MAP 26125C-0541F, EFFECTIVE SEPTEMBER 29, 2006.



NO.	DATE	REVISIONS
1	7.6.10	ADD ADDITIONAL COMMENTS
2	6.13.10	REVISED PER STARTWOOD COMMENTS
3	6.13.10	REVISED PER STARTWOOD COMMENTS
4	6.13.10	REVISED PER STARTWOOD COMMENTS
5	6.13.10	REVISED PER STARTWOOD COMMENTS
6	6.13.10	REVISED PER STARTWOOD COMMENTS
7	6.13.10	REVISED PER STARTWOOD COMMENTS
8	6.13.10	REVISED PER STARTWOOD COMMENTS
9	6.13.10	REVISED PER STARTWOOD COMMENTS
10	6.13.10	REVISED PER STARTWOOD COMMENTS
11	6.13.10	REVISED PER STARTWOOD COMMENTS
12	6.13.10	REVISED PER STARTWOOD COMMENTS
13	6.13.10	REVISED PER STARTWOOD COMMENTS
14	6.13.10	REVISED PER STARTWOOD COMMENTS
15	6.13.10	REVISED PER STARTWOOD COMMENTS
16	6.13.10	REVISED PER STARTWOOD COMMENTS
17	6.13.10	REVISED PER STARTWOOD COMMENTS
18	6.13.10	REVISED PER STARTWOOD COMMENTS
19	6.13.10	REVISED PER STARTWOOD COMMENTS
20	6.13.10	REVISED PER STARTWOOD COMMENTS

CAUTION:
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY A: INDICATE NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION, DEPTH AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
 THIS DRAWING AND DESIGN ARE THE PROPERTY OF EA, INC. AND THEY ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED IN WHOLE OR IN PART, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF EA, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY EXPRESSLY RESERVED. © 2011 EA, INC.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL PRACTICE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL CITY, COUNTY AND STATE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL CITY, COUNTY AND STATE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONFORMING TO ALL CITY, COUNTY AND STATE REGULATIONS.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

now what's below
 Call before you dig

MISSOURI System, Inc.
 1-800-482-7171 www.missdmi.net

EA, Inc.

2430 Rochester Ct. Ste 100
 Troy, MI 48063-1872
 t: 248-689-9090
 f: 248-689-1044
 www.eainc.com

GROUP 10 MANAGEMENT
 30500 NORTHWESTERN HIGHWAY, SUITE 525
 FARMINGTON HILLS, MI 48334

PRELIMINARY UTILITY PLAN
ALLOT AT PNC OFFICE CENTER
 PART OF THE SE 1/4 OF SECTION 12, T. 2N, R. 11E,
 CITY OF TROY, OKLAHOMA COUNTY, MICHIGAN

DES: MEB DN: MEB SUR: MS L: M: B

ORIGINAL ISSUE DATE:
 OCTOBER 23, 2015

EA / OB NO. 2015-196

SCALE: 1" = 40'

DRAWING NUMBER:
C-4.1

REFERENCE DRAWINGS
 "ALTA/ACSM LAND TITLE SURVEY" PE, JOB #2012-069, LAST REVISED 5-9-12

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2015\2015196\DWG\15196-TOPOBASE.DWG
 XREF: S:\PROJECTS\2015\2015196\DWG\15196-PLANBASE.DWG
 XREF: S:\PROJECTS\2015\2015196\DWG\15196-SITE.DWG

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
2. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES. JURISDICTIONAL REQUIREMENTS FOR ALL PAINTING WITHIN ACCESSIBLE SPACES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (811) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
5. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
6. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS, BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MUTCD".
9. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.
10. ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

PAVING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY AND M.D.O.T.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FULL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
4. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
6. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY AND M.D.O.T.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER AT PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
5. EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.
6. REFER TO CITY OF TROY STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

STORM SEWER NOTES:

1. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY STANDARD DETAILS SHEETS FOR STANDARD BEDDING DETAILS.
2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443)
3. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SCHEDULE 40 PIPE AT 1.00% MINIMUM SLOPE WITH GLOUED JOINTS, UNLESS OTHERWISE NOTED. REFER TO CITY STANDARD DETAIL SHEETS FOR BEDDING DETAILS.
4. REFER TO CITY OF TROY STORM SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

WATER MAIN NOTES:

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6" BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5") DEGREE BENDS, PROPERLY ANCHORED.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
5. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
6. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY SEWER OR STRUCTURE.
7. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.
8. REFER TO CITY OF TROY WATER MAIN DETAIL SHEETS FOR ADDITIONAL INFORMATION.

SANITARY SEWER NOTES:

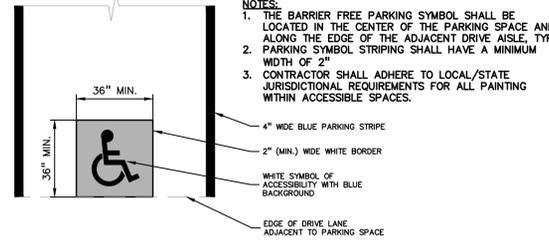
1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE.
3. ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC TRUSS PIPE WITH A MINIMUM DIAMETER OF 8" PER CITY REQUIREMENTS.
4. JOINTS FOR P.V.C. SOLID WALL PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.
5. REFER TO CITY STANDARD DETAILS FOR PIPE BEDDING DETAILS.
6. REFER TO CITY OF TROY SANITARY SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.



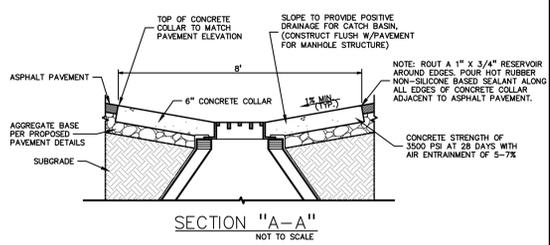
12" x 18" GREEN ON WHITE REFLECTORIZED CARPOOL PARKING ONLY SIGN DETAIL NOT TO SCALE



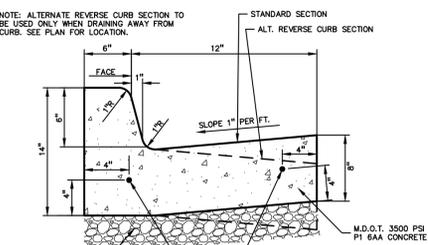
12" x 18" GREEN ON WHITE REFLECTORIZED HYBRID AND LOW EMISSION VEHICLES ONLY SIGN DETAIL NOT TO SCALE



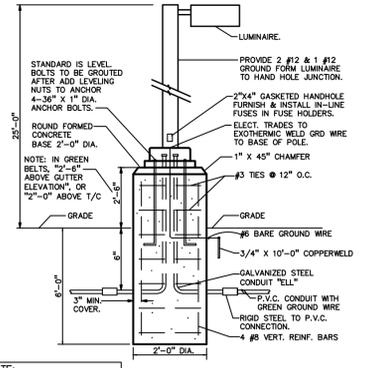
BARRIER FREE PARKING SYMBOL DETAIL (INTERNATIONAL SYMBOL OF ACCESSIBILITY) NOT TO SCALE



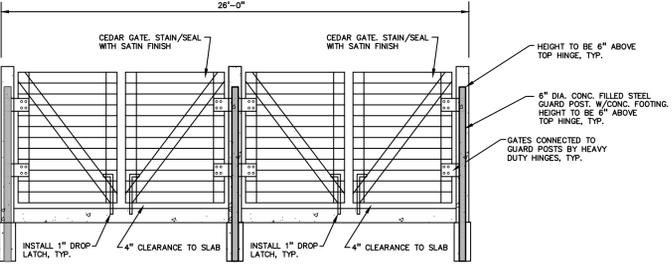
CONCRETE COLLAR AT CATCH BASIN DETAIL NOT TO SCALE



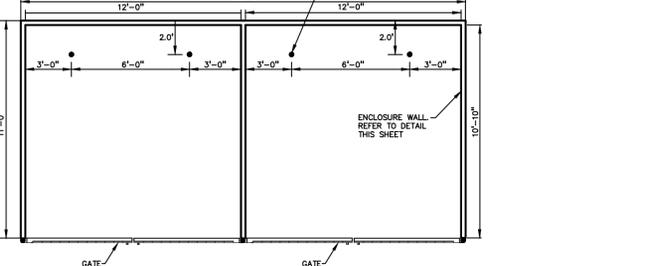
18"x6" STANDARD CONCRETE CURB AND GUTTER NOT TO SCALE



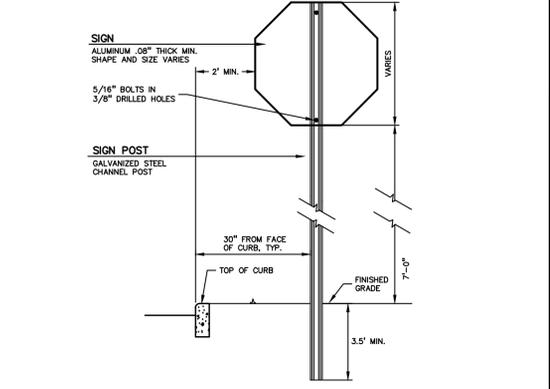
PARKING LOT LIGHT POLE DETAIL NOT TO SCALE



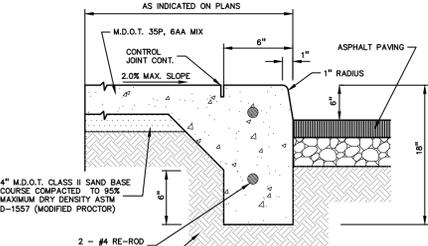
FRONT ELEVATION (STORAGE ENCLOSURE)



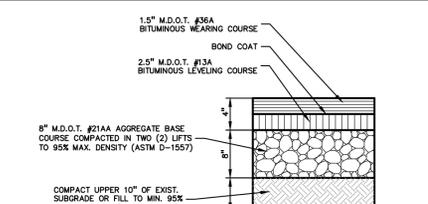
STORAGE ENCLOSURE DETAIL



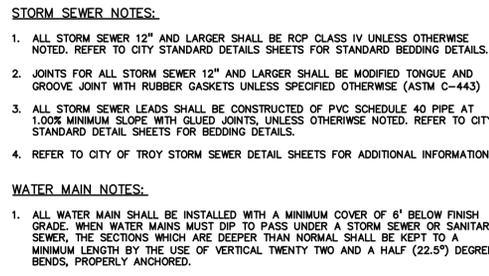
SIGN AND POST INSTALLATION IN LANDSCAPED AREAS NOT TO SCALE



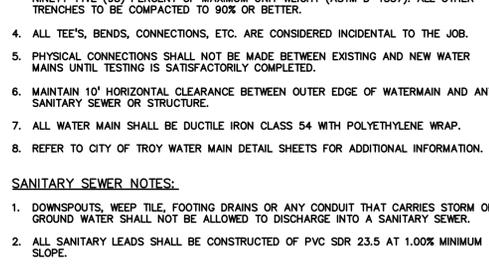
INTEGRAL CURB AND SIDEWALK NOT TO SCALE



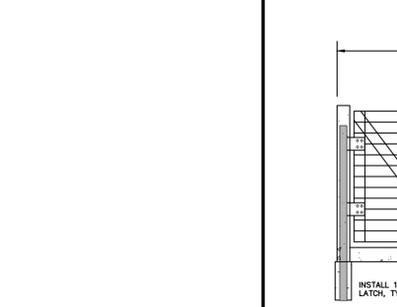
STANDARD DUTY ASPHALT DETAIL (NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



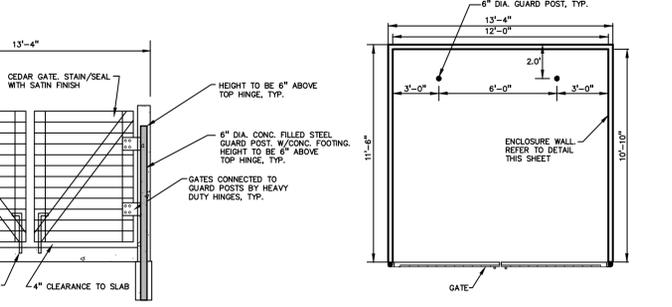
FRONT ELEVATION (TRASH ENCLOSURE)



6" DIA. GUARD POST DETAIL



TRASH/STORAGE ENCLOSURE DETAILS NOT TO SCALE



RETAIL DUMPSTER ENCLOSURE DETAIL



STOP SIGN DETAIL NOT TO SCALE



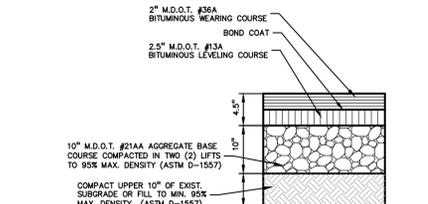
NO PARKING SIGN DETAIL NOT TO SCALE



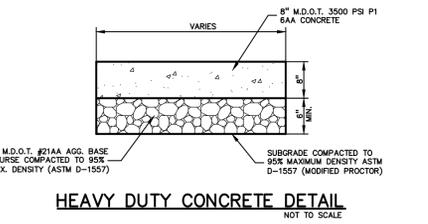
BARRIER FREE PARKING SIGN DETAIL NOT TO SCALE



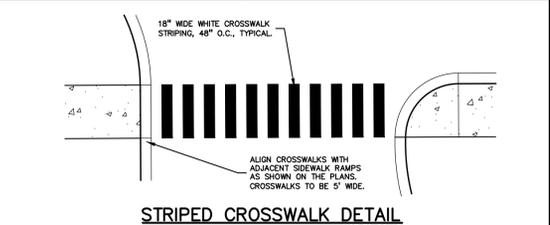
VAN ACCESSIBLE PARKING SIGN DETAIL NOT TO SCALE



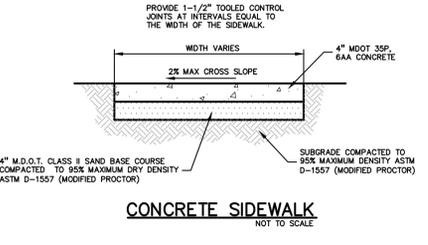
HEAVY DUTY ASPHALT DETAIL (NOT FOR USE IN THE RIGHT-OF-WAY) NOT TO SCALE



HEAVY DUTY CONCRETE DETAIL NOT TO SCALE



STRIPED CROSSWALK DETAIL NOT TO SCALE



CONCRETE SIDEWALK NOT TO SCALE

DES.	MEB	DN	MEB	SUR.	MS	LM	LB
DATE	7.6.10	6.13.10	1.21.10	1.21.10	1.21.10	1.21.10	1.21.10
NO.	1	2	3	4	5	6	7
BY	MEB	DN	MEB	DN	MEB	DN	MEB
CHKD.	MEB	DN	MEB	DN	MEB	DN	MEB
APP.	MEB	DN	MEB	DN	MEB	DN	MEB
REVISED	BY	DATE	DESCRIPTION				
1	MEB	7.6.10	ADDED GENERATOR, ADJ AND DUE LANE				
2	MEB	6.13.10	REVISED PER STARWOOD COMMENTS				
3	MEB	1.21.10	REVISED PER CITY REVIEW BOARD				
4	MEB	1.21.10	REVISED PER CITY REVIEW BOARD				
5	MEB	1.21.10	REVISED PER CITY REVIEW BOARD				
6	MEB	1.21.10	REVISED PER CITY REVIEW BOARD				
7	MEB	1.21.10	REVISED PER CITY REVIEW BOARD				

CAUTION:
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY AS INDICATED BY THE FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811
Know what's below. Call before you dig.
Miss Dig System, Inc.
1-800-482-7171 www.missdig.net

EA, Inc.
2430 Rochester Ct. Ste 100
Troy, MI 48063-1872
T: 248-689-9090
F: 248-689-1044
www.eainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE 525
FARMINGTON HILLS, MI 48334

NOTES & DETAILS
ALOFT AT PNC OFFICE CENTER
PART OF THE SE 1/4 OF SECTION 12, 2N, 17E, 11E, CITY OF TROY, ON LAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE: OCTOBER 23, 2015
EA / OB NO. 2015-196
SCALE: N/A
DRAWING NUMBER: C-5.1

NOT FOR CONSTRUCTION

REF: S:\PROJECTS\2015\2015196\DWG\15196-TOPOBASE.DWG
REF: S:\PROJECTS\2015\2015196\DWG\15196-TOPOBASE.DWG
REF: S:\PROJECTS\2015\2015196\DWG\15196-TOPOBASE.DWG

TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AL8	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8-10' Ht.	B&B
7	AR2.5	Red Sunset Maple	<i>Acer rubrum 'Red Sunset'</i>	2.5" Cal.	B&B
7	AS2.5	Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	2.5" Cal.	B&B
9	BN10	River Birch	<i>Betula nigra</i>	10' Ht.	B&B
5	GT2.5	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	2.5" Cal.	B&B
6	MS2.5	Sugar Time Crab	<i>Malus 'Sugar Tyme'</i>	2.5" Cal.	B&B
9	PC2.5	Cleveland Select Pear	<i>Pyrus calleryana 'Cleveland Select'</i>	2.5" Cal.	B&B
8	QB2.5	Swamp White Oak	<i>Quercus bicolor</i>	2.5" Cal.	B&B
6	QM2.5	Bur Oak	<i>Quercus macrocarpa</i>	2.5" Cal.	B&B
14	TC2.5	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2.5" Cal.	B&B
EVERGREEN PLANT LIST:					
15	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
7	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B
24	PS8	Eastern White pine	<i>Pinus strobus</i>	8' Ht.	B&B
SHRUB PLANT LIST:					
30	CS36	Red Twig Dogwood	<i>Cornus sericea</i>	36" Ht.	Cont.
15	JH6	Hetz Columnar Juniper	<i>Juniperus chinensis 'Hetzii Columnaris'</i>	6'	B&B
23	P036	Summerwine Ninebark	<i>Physocarpus opulifolius 'Seward'</i>	36" Ht.	Cont.
12	SAW24	Anthony Waterer Spirea	<i>Spirea x bum. 'Anthony Waterer'</i>	24" Ht.	Cont.
42	VD36	Blue Muffin Viburnum	<i>Viburnum dentatum 'Christom'</i>	36" Ht.	Cont.
PERENNIAL PLANT LIST:					
15	CA	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 Gal.	Cont.
30	HH	Happy Returns Daylily	<i>Hemerocallis 'Happy Returns'</i>	1 Gal.	Cont.

LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE

GENERAL SITE LANDSCAPE:
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL
2.05 AC.(89,298 SF) * 20% = .41 AC. (17,860 SF)

PROVIDED: 1.16 AC. (50,495 SF) OF SOFT-SCAPE
(44% LAWN AND PLANT BEDS PROVIDED)

PARKING LOT LANDSCAPE:
REQUIRED: 1 TREE / 8 PARKING SPACES
3' HT BERM OR SHRUB HEDGE WHEN PARKING IS ADJACENT TO A PUBLIC ROAD

141 PARKING SPACES / 8 = 18 TREES REQUIRED

PROVIDED: 18 TREES

GREENBELT ALONG THE PROPOSED SOUTH ENTRY ACCESS DRIVE AS REQUESTED BY THE CITY:
REQUIRED: A STRONG ENTRY CONNECTION BETWEEN ROAD AND HOTEL AS REQUESTED BY CITY.

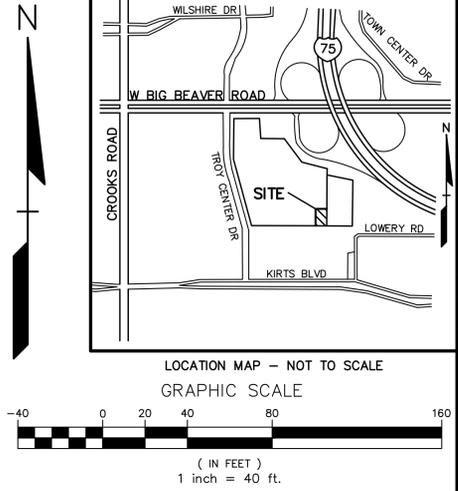
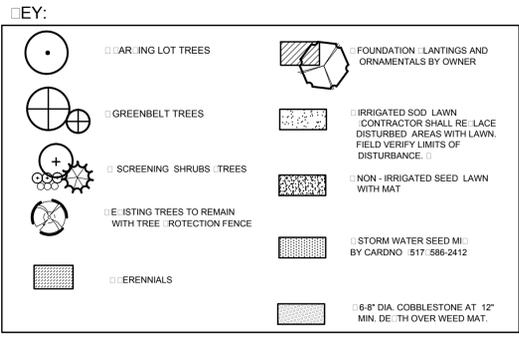
PROVIDED: 19 GREENBELT TREES, ALONG BOTH SIDES OF ENTRY ACCESS DRIVE, 14 ENTRY SHRUBS, 24 PERENNIALS, 6 ORNAMENTAL TREES, AND 12 EVERGREEN TREE BUFFER ALONG SE PROPERTY LINE

AT GRADE EQUIPMENT SCREENING:
REQUIRED: SCREEN EQUIPMENT WITH LANDSCAPE MATERIALS, HT. MINIMUM TO EQUAL EQUIPMENT HT.

PROVIDED: EVERGREEN AND DECIDUOUS SHRUB SCREEN

EXISTING RETENTION POND SCREENING:
REQUIRED: SCREEN EXISTING RETENTION BASIN WITH PLANTINGS AS REQUESTED BY CITY.

PROVIDED: 28 DECIDUOUS TREES, 31 EVERGREEN TREES, AROUND BASIN PERIMETER. PROVIDE 5 ORNAMENTAL TREES AND 44 SHRUBS ON WEST SIDE. REPLACE FENCE, WEST SIDE, WITH DECORATIVE FENCE APPROVED BY CITY. PROVIDE STORM WATER SEED WITHIN BASIN.



NO.	DATE	REVISIONS
1	08/23/15	ISSUE FOR PERMIT
2	08/23/15	REVISED PER CITY COMMENTS
3	08/23/15	REVISED PER CITY COMMENTS
4	08/23/15	REVISED PER CITY COMMENTS
5	08/23/15	REVISED PER CITY COMMENTS
6	08/23/15	REVISED PER CITY COMMENTS
7	08/23/15	REVISED PER CITY COMMENTS
8	08/23/15	REVISED PER CITY COMMENTS
9	08/23/15	REVISED PER CITY COMMENTS
10	08/23/15	REVISED PER CITY COMMENTS
11	08/23/15	REVISED PER CITY COMMENTS
12	08/23/15	REVISED PER CITY COMMENTS
13	08/23/15	REVISED PER CITY COMMENTS
14	08/23/15	REVISED PER CITY COMMENTS
15	08/23/15	REVISED PER CITY COMMENTS
16	08/23/15	REVISED PER CITY COMMENTS
17	08/23/15	REVISED PER CITY COMMENTS
18	08/23/15	REVISED PER CITY COMMENTS
19	08/23/15	REVISED PER CITY COMMENTS
20	08/23/15	REVISED PER CITY COMMENTS
21	08/23/15	REVISED PER CITY COMMENTS
22	08/23/15	REVISED PER CITY COMMENTS
23	08/23/15	REVISED PER CITY COMMENTS
24	08/23/15	REVISED PER CITY COMMENTS
25	08/23/15	REVISED PER CITY COMMENTS
26	08/23/15	REVISED PER CITY COMMENTS
27	08/23/15	REVISED PER CITY COMMENTS
28	08/23/15	REVISED PER CITY COMMENTS
29	08/23/15	REVISED PER CITY COMMENTS
30	08/23/15	REVISED PER CITY COMMENTS



CAUTION:
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY AS PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TROY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF EA, INC. AND ARE NOT TO BE REPRODUCED, COPIED, LOANED, RENTED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF EA, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHER RIGHTS ARE HEREBY EXPRESSLY RESERVED. © 2015 EA, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL AGREEMENT TO CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TROY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF TROY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION PRIOR TO CONSTRUCTION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

Now what's below
Call before you dig.
MISS Dig System, Inc.
1-800-482-7171 www.missdli.net



EA, Inc.
2430 Rochester Ct. Ste 100
Troy, MI 48063-1872
t: 248-689-9090
f: 248-689-1044
www.eainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE 525
FARMINGTON HILLS, MI 48334

PRELIMINARY LANDSCAPE PLAN
ALOFT AT PNC OFFICE CENTER
PART OF THE SE 1/4 OF SECTION 12, T. 2N, R. 11E.,
CITY OF TROY, ON LAND COUNTY, MICHIGAN

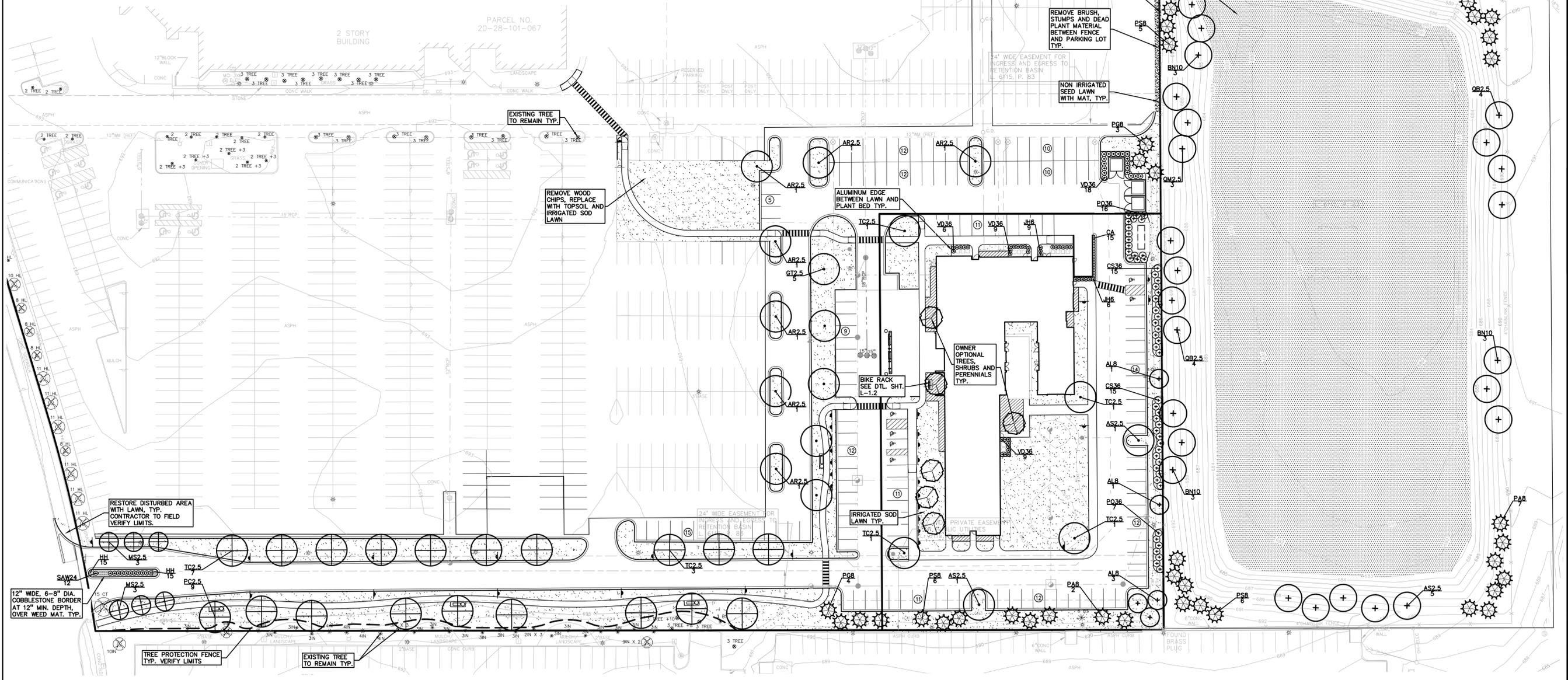
DES: LE DN LE SUR MS LM
S:\projects\2015\2015196\DWG\15196-TOPOBASE.DWG
S:\projects\2015\2015196\DWG\15196-TOPOBASE.DWG
S:\projects\2015\2015196\DWG\15196-TOPOBASE.DWG

ORIGINAL ISSUE DATE:
OCTOBER 23, 2015

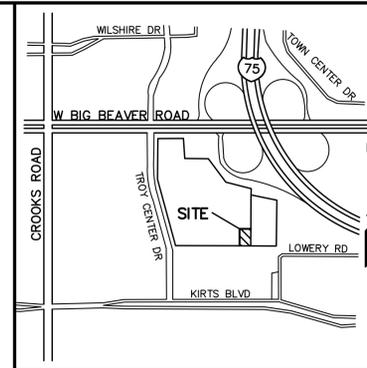
EA / OB NO. 2015-196

SCALE: 1" = 40'

DRAWING NUMBER:
L-1.1

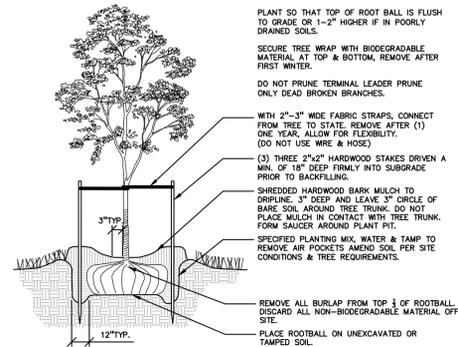


NOT FOR CONSTRUCTION

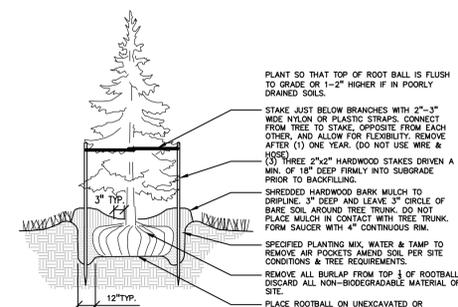


NO.	DATE	DESCRIPTION
1	10/23/15	ISSUED FOR PERMITS
2	10/23/15	REVISED PER STARTWOOD COMMENTS
3	10/23/15	REVISED PER STARTWOOD COMMENTS
4	10/23/15	REVISED PER STARTWOOD COMMENTS
5	10/23/15	REVISED PER STARTWOOD COMMENTS
6	10/23/15	REVISED PER STARTWOOD COMMENTS
7	10/23/15	REVISED PER STARTWOOD COMMENTS
8	10/23/15	REVISED PER STARTWOOD COMMENTS
9	10/23/15	REVISED PER STARTWOOD COMMENTS
10	10/23/15	REVISED PER STARTWOOD COMMENTS
11	10/23/15	REVISED PER STARTWOOD COMMENTS
12	10/23/15	REVISED PER STARTWOOD COMMENTS
13	10/23/15	REVISED PER STARTWOOD COMMENTS
14	10/23/15	REVISED PER STARTWOOD COMMENTS
15	10/23/15	REVISED PER STARTWOOD COMMENTS
16	10/23/15	REVISED PER STARTWOOD COMMENTS
17	10/23/15	REVISED PER STARTWOOD COMMENTS
18	10/23/15	REVISED PER STARTWOOD COMMENTS
19	10/23/15	REVISED PER STARTWOOD COMMENTS
20	10/23/15	REVISED PER STARTWOOD COMMENTS

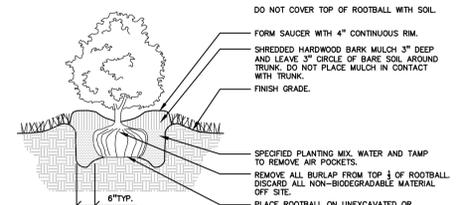
REVISIONS



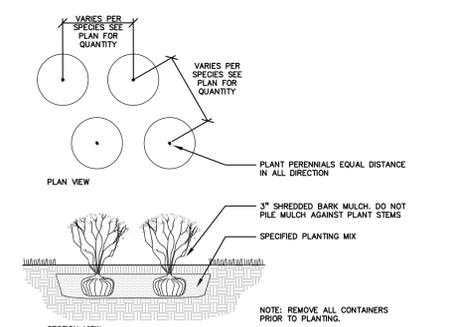
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



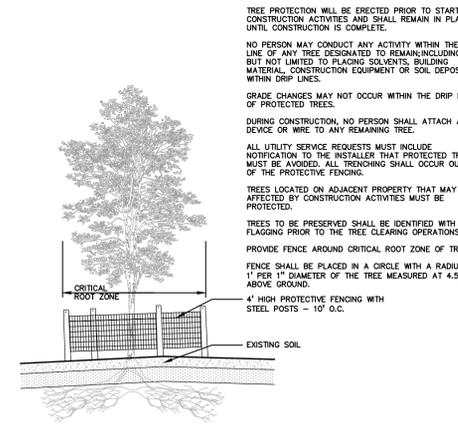
SHRUB PLANTING DETAIL
NOT TO SCALE



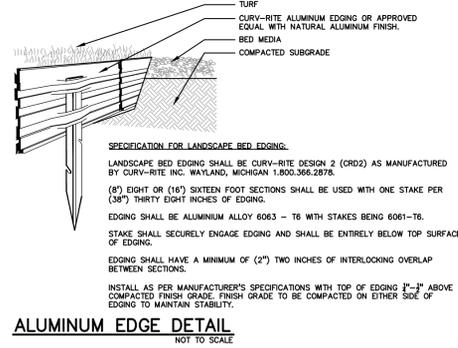
PERENNIAL PLANTING DETAIL
NOT TO SCALE



BIKE RACK DETAIL
NOT TO SCALE



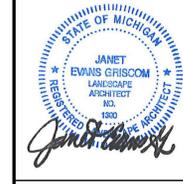
TREE PROTECTION DETAIL
NOT TO SCALE



ALUMINUM EDGE DETAIL
NOT TO SCALE

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, SEE SPECIFICATIONS. SHREDDED PALETTE AND DIED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.



CAUTION
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY A: NOT A GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF EA, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF EA, INC. ALL DIMENSIONS AND ELEVATIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.

CONTRACTOR CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL AGREES THAT IN CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND QUANTITY OF ALL PLANT MATERIAL TO BE USED ON THE JOB. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND QUANTITY OF ALL PLANT MATERIAL TO BE USED ON THE JOB. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND QUANTITY OF ALL PLANT MATERIAL TO BE USED ON THE JOB.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811
Call before you dig.
Miss Dig System, Inc.
1-800-482-7171 www.missdig.com



EA, Inc.
2430 Rochester Ct. Ste 100
Troy, MI 48063-1872
t: 248.689.9090
f: 248.689.1044
www.eainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE 525
FRAMINGHAM HILLS, MA 01464
PRELIMINARY LANDSCAPE DETAILS
ALOFT AT PNC OFFICE CENTER
PART OF THE SE 1/4 OF SECTION 12, T. 2N., R. 11E.,
CITY OF TROY, ON LAND COUNTY, MICHIGAN
DES. [] LE [] DN [] E [] SUR [] MS [] IM [] B []

ORIGINAL ISSUE DATE:
OCTOBER 23, 2015
EA / OB NO. 2015-196
SCALE: N = A
DRAWING NUMBER:

L-1.2

starwood
Hotels and
Resorts

aloftSM

HOTELS
Tro^o Michi^oan

title sheet 000

ro^osed floor ^oan - level 1 001

ro^osed floor ^oan - level 2 002

ro^osed floor ^oan - level 3 003

ro^osed floor ^oan - level 4 004

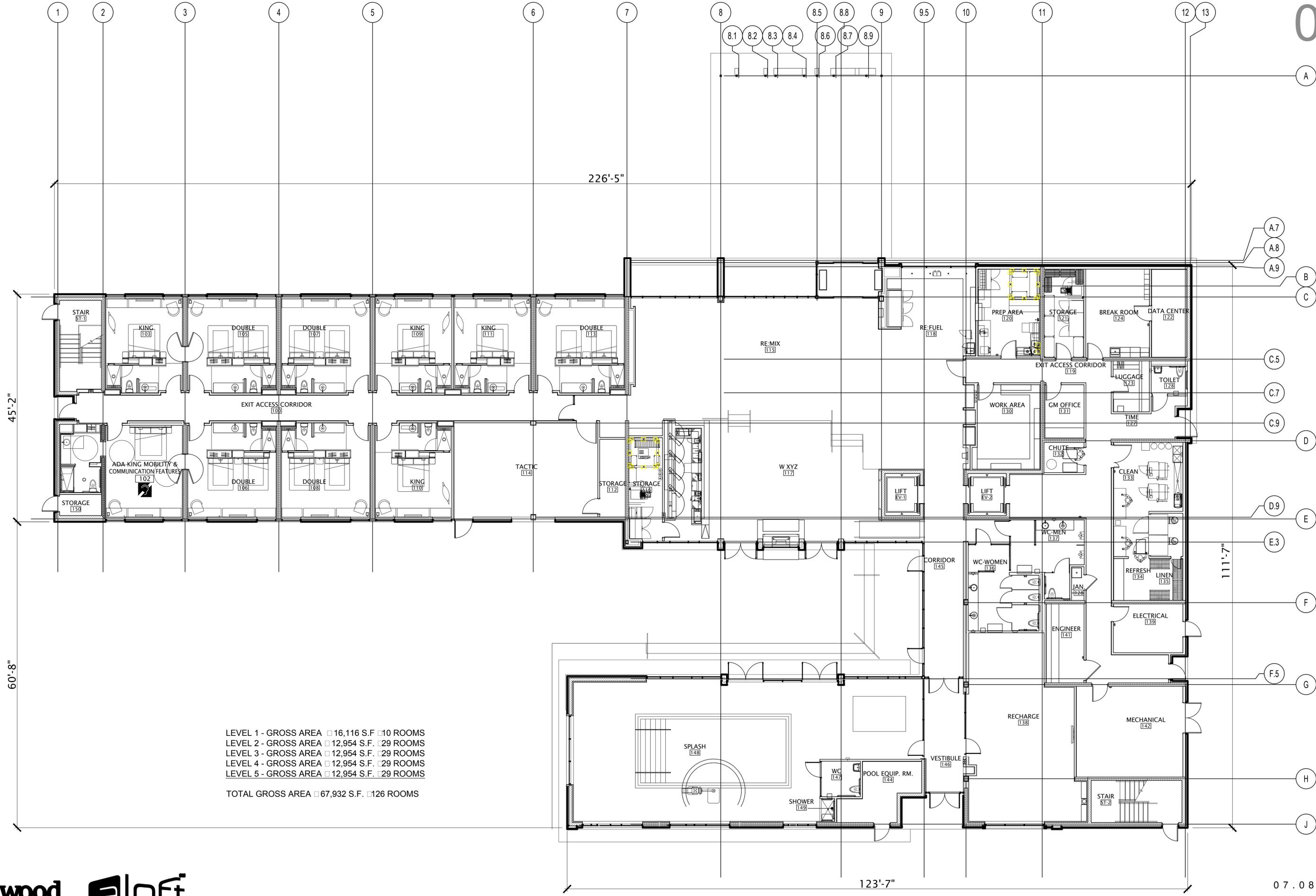
ro^osed floor ^oan - level 5 005

ro^osed roof ^oan 006

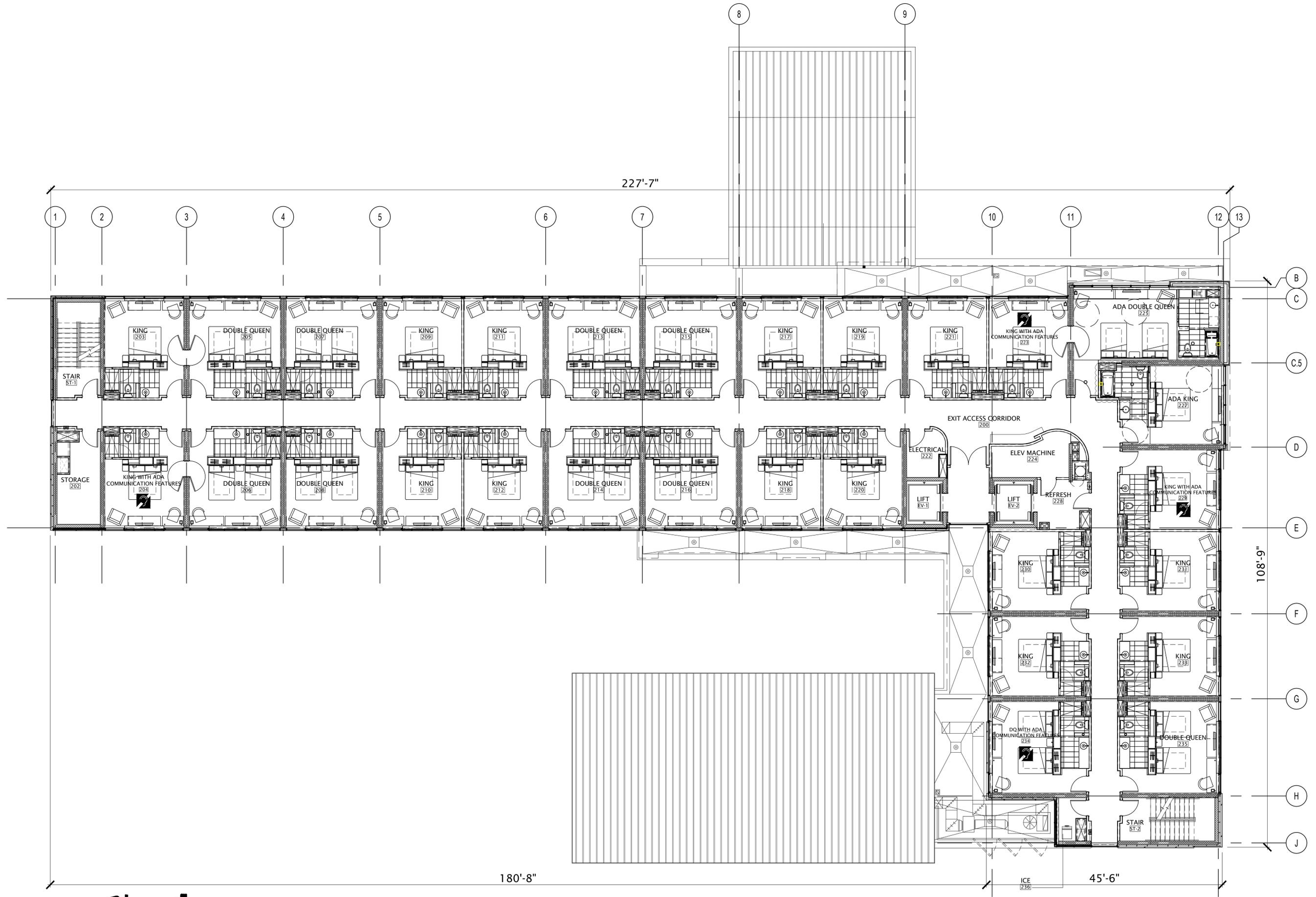
ro^osed e^oterior color elevations 007

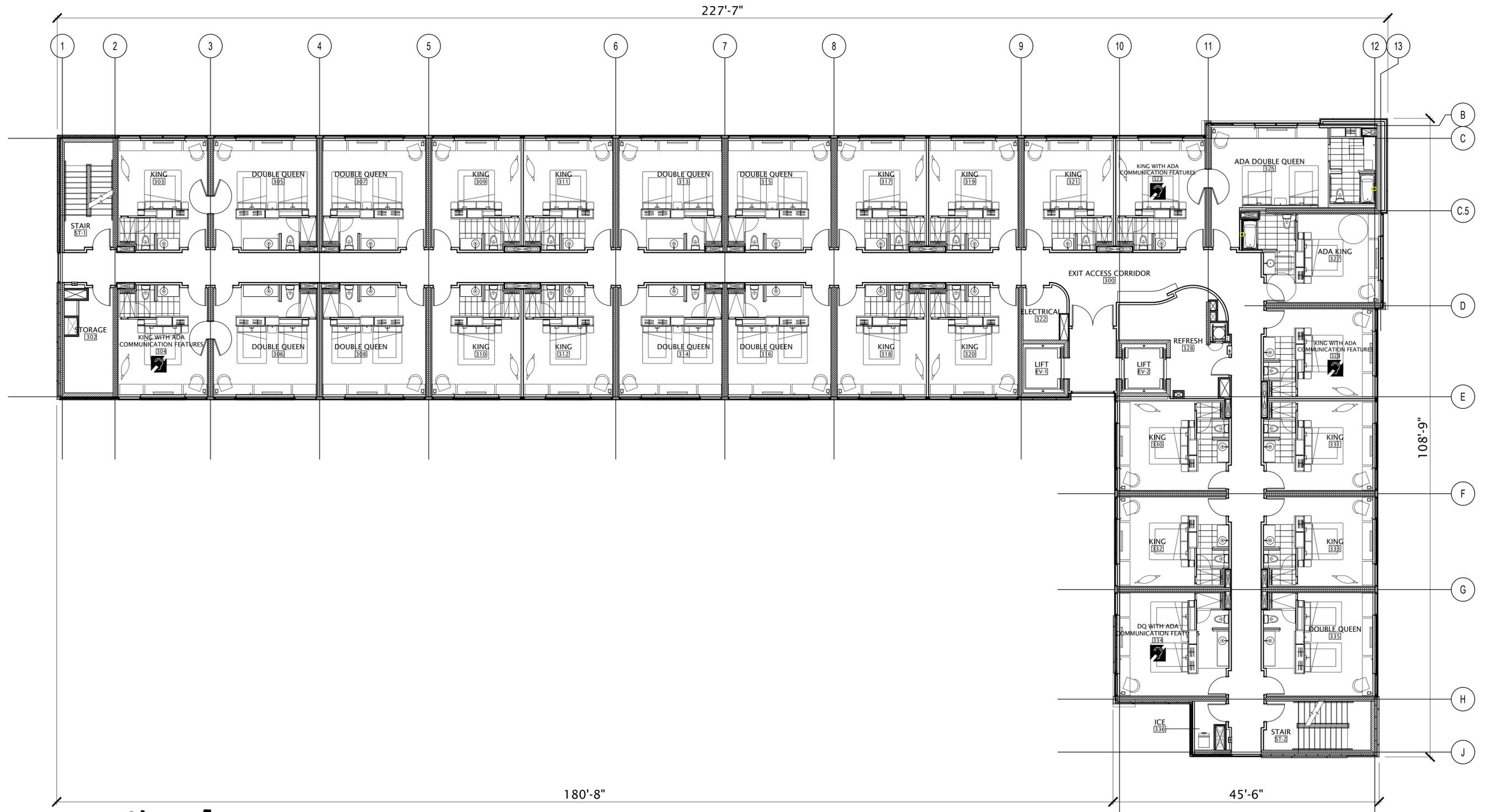
ro^osed e^oterior color elevations 008

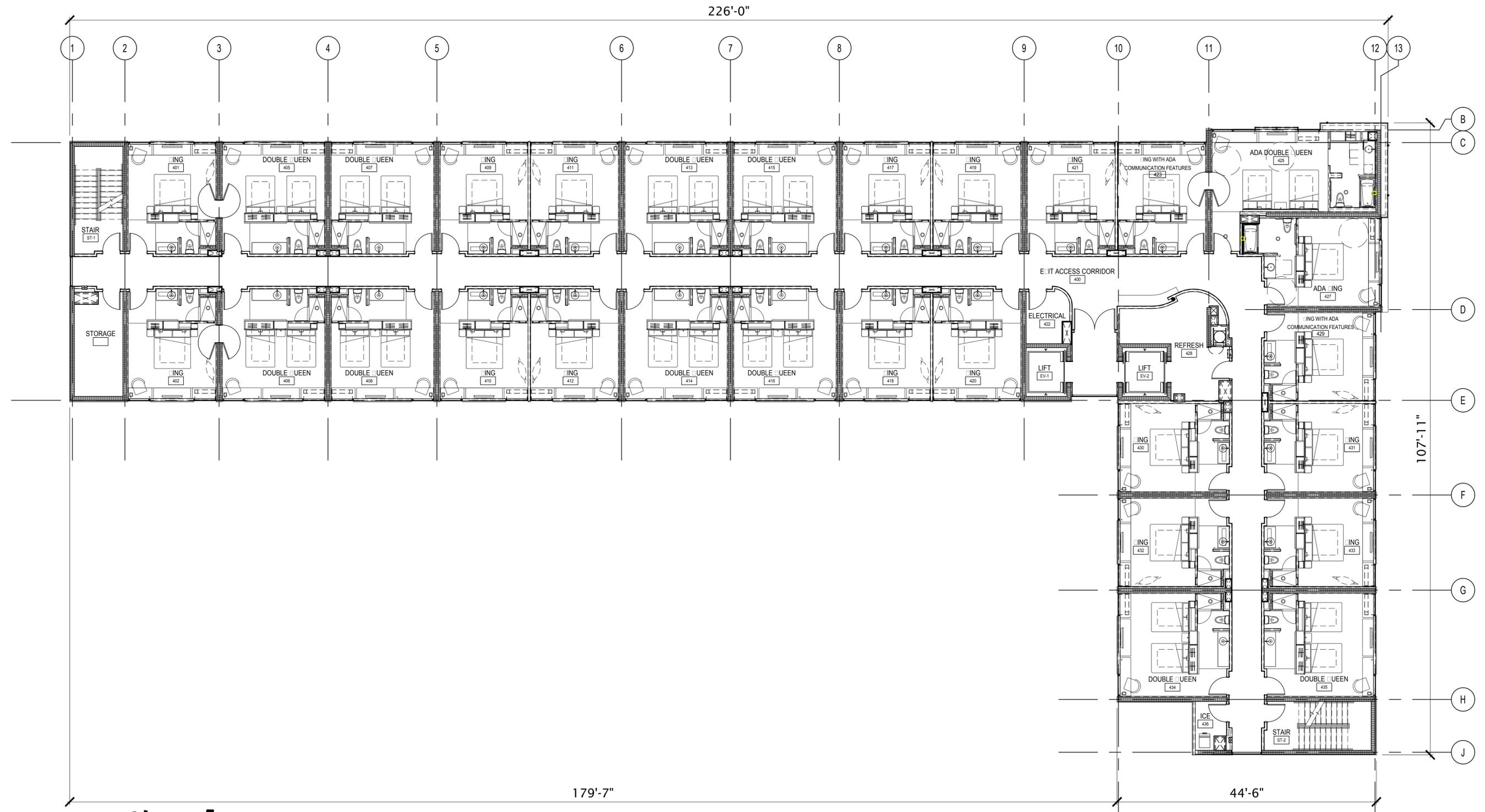




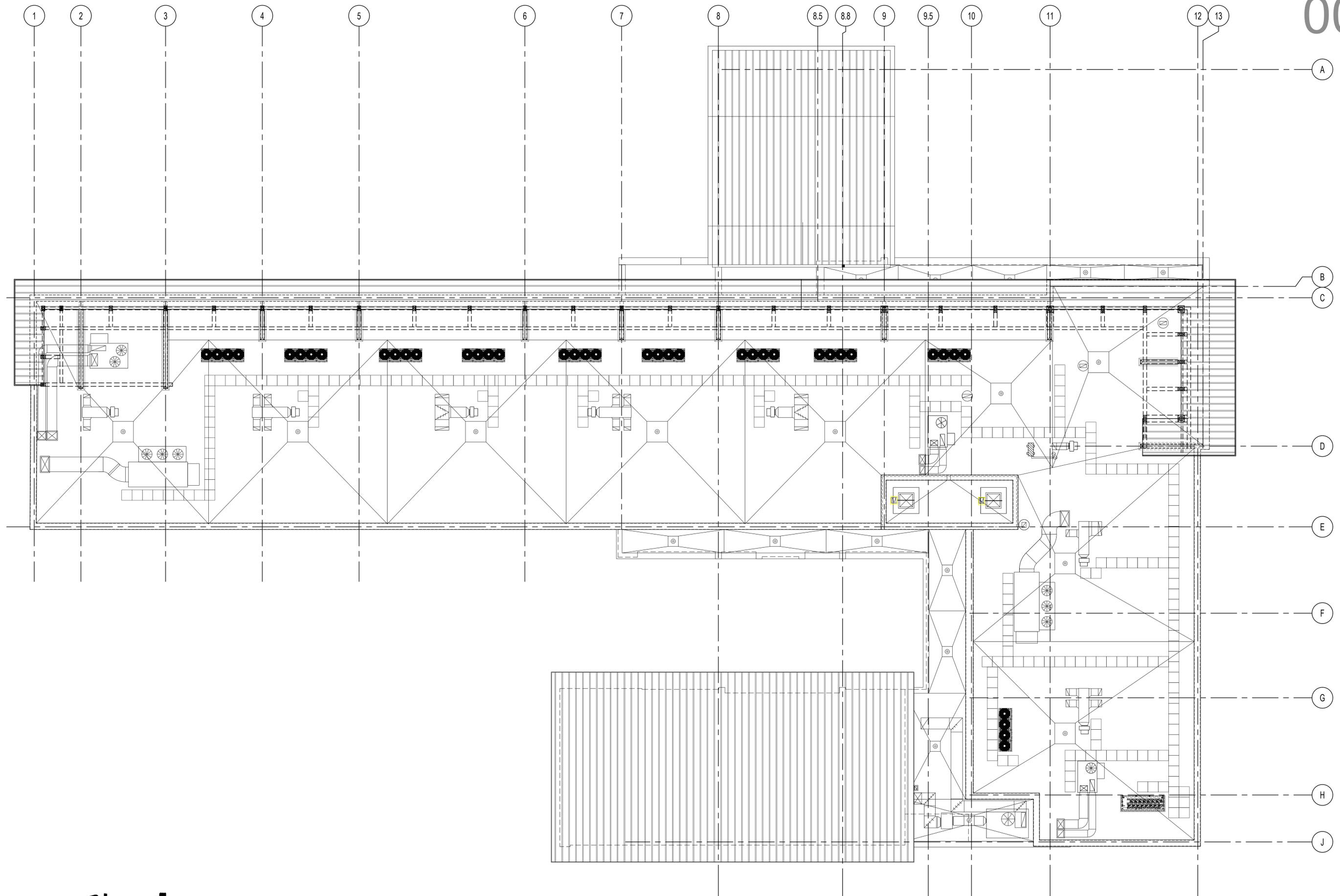
LEVEL 1 - GROSS AREA □ 16,116 S.F. □ 10 ROOMS
 LEVEL 2 - GROSS AREA □ 12,954 S.F. □ 29 ROOMS
 LEVEL 3 - GROSS AREA □ 12,954 S.F. □ 29 ROOMS
 LEVEL 4 - GROSS AREA □ 12,954 S.F. □ 29 ROOMS
 LEVEL 5 - GROSS AREA □ 12,954 S.F. □ 29 ROOMS
 TOTAL GROSS AREA □ 67,932 S.F. □ 126 ROOMS

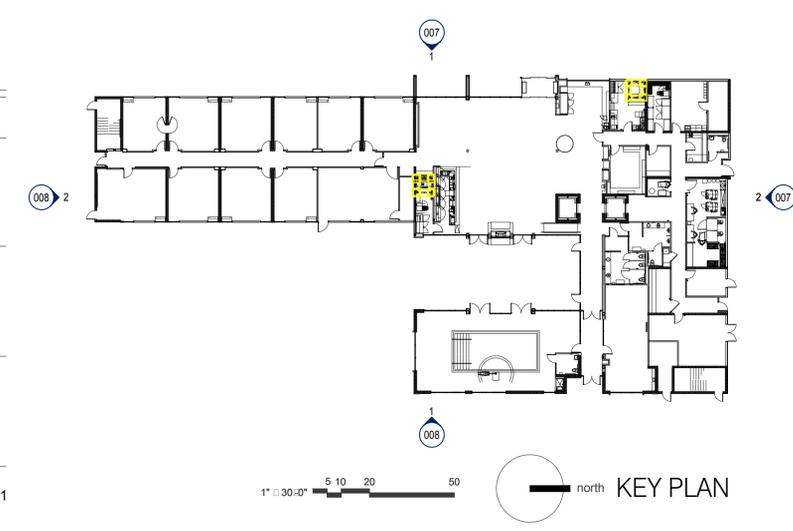










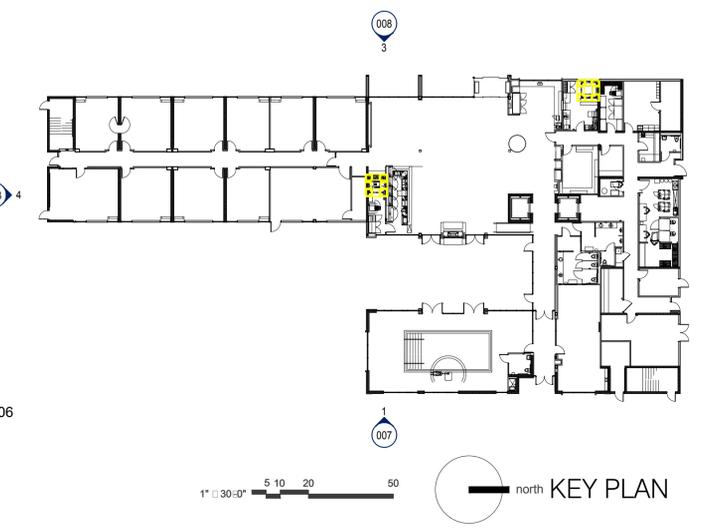
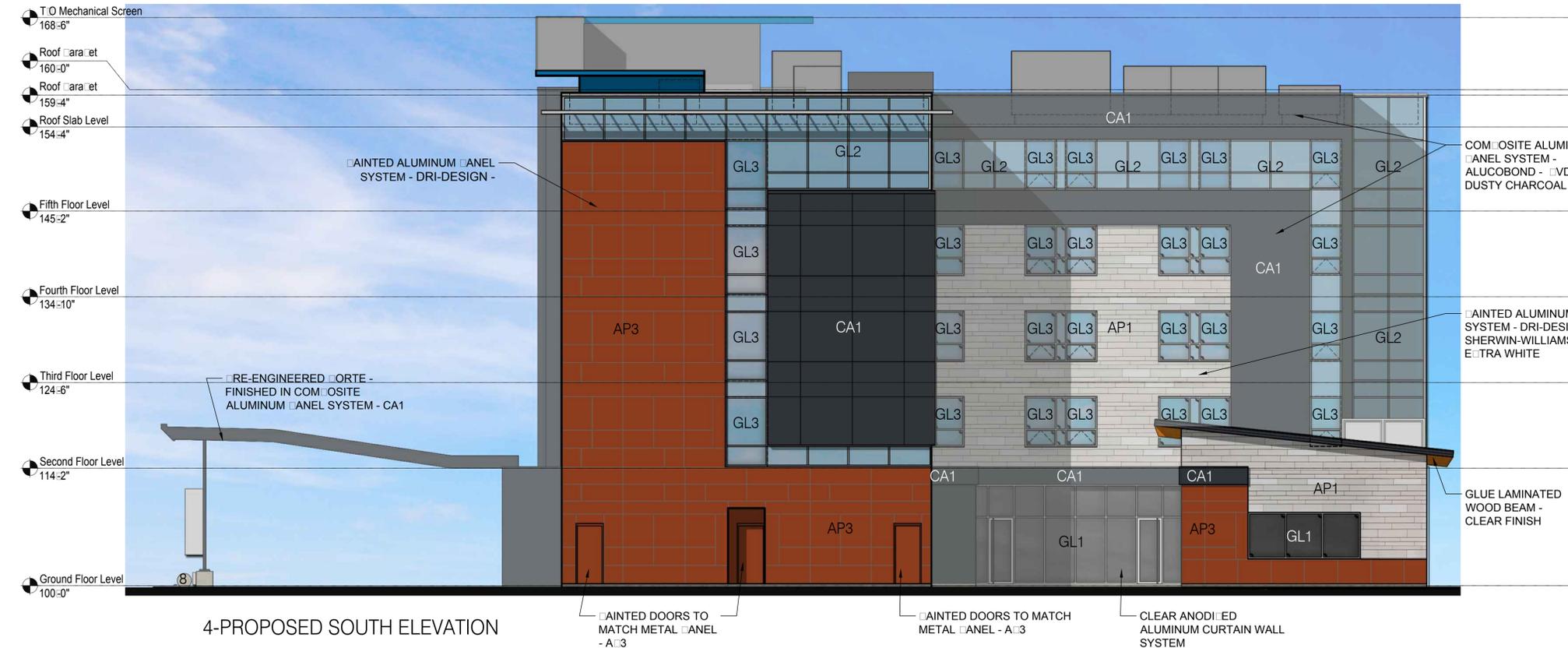


GLAZING CALCULATIONS

	LOCATION	AREA	WINDOW/DOOR	PERCENTAGE
WEST ELEVATION	1st	3,186.6 SF	1400.0 SF	43.9 %
	2 - 4	2,335.4 SF/FLR	900.8 SF	38.6 %
	5	3190.9 SF	2433.5 SF	76.2 %
NORTH ELEVATION	1st	1,395.3 SF	168.7 SF	12.1 %
	2 - 4	1,123.8 SF/FLR	362.4 SF	32.2 %
	5	1,534.1 SF	960.0 SF	62.6 %

- CA1 Composite Aluminum Panel System - Alucobond - VDF3 Dusty Charcoal
- AP1 Painted Aluminum Panel System - Dr-Design - Varies
- AP2 Painted Aluminum Panel System - Dr-Design - Sherwin-Williams - SW659 Blue Ch
- AP3 Painted Aluminum Panel System - Dr-Design - Sherwin-Williams - SW635 Fired Br
- WP1 Natural Wood Composite Panel System - Sherwin-Williams - Wood-Rod - Dar Wood
- WD1 Glue Laminated Wood Beam - Clear Finish
- CNC Cast in Place Concrete
- SF Design at Underside of Entrance and Ornamental Roof Structure
- AWF Window Frames - Clear Anodized Aluminum
- GL1 1st Floor Public Space Glazing
- GL2 Sandrel Glazing
- GL3 Room Glazing





GLAZING CALCULATIONS

	LOCATION	AREA	WINDOW/DOOR	PERCENTAGE
EAST ELEVATION	1st	3,303.7 SF	793.9 SF	24.0 %
	2 - 4	2,316.3 SF/FLR	777.7 SF	33.6 %
	5	3,175.6 SF	2,499.7 SF	78.7 %
SOUTH ELEVATION	1st	1,482.5 SF	861.2 SF	58.1 %
	2 - 4	1,085.0 SF/FLR	318.8 SF	29.4 %
	5	1,488.0 SF	449.9 SF	30.2 %

- CA1 Composite Aluminum Panel System - Alucobond - VDF3 Dusty Charcoal
- AP1 Painted Aluminum Panel System - Dri-Design - Varies
- AP2 Painted Aluminum Panel System - Sherwin-Williams - SW6959 Blue Chalk
- AP3 Painted Aluminum Panel System - Dri-Design - Sherwin-Williams - SW6335 Fired Brick
- WP1 Natural Wood Composite Panel System - Sherwin-Williams - SW6335 Fired Brick
- WD1 Glue Laminated Wood Beam - Clear Finish
- CNC Cast in Place Concrete
- SF Designated Underside of Entrance and Ornamental Roof Structure
- AWF Window Frames - Clear Anodized Aluminum
- GL1 1st Floor Public Space Glazing
- GL2 Standard Glazing
- GL3 Room Glazing

