

ZONING BOARD OF APPEALS

Zoning Board of Appeals is a group of seven of your neighbors appointed by City Council to decide on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty with the land that would warrant the granting of the variance.

PROCEDURE

The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairman and come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next door neighbor, live behind the property, etc.) and state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairman. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairman to speak at one time.

At the conclusion of public comments the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or postpone the request. In order for the request to pass a minimum of four votes are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

STATEMENT OF PRACTICAL DIFFICULTY

In order for a variance to be granted, a practical difficulty, as determined by the Board, must be present. On a separate sheet, please clearly identify and explain the practical difficulty justifying the variance request. The practical difficulty must be clearly related to as many of the 5 standards below as possible:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.



ZONING BOARD OF APPEALS MEETING AGENDA

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Glenn Clark, Chair, David Eisenbacher, Vice Chair
Thomas Desmond, Allen Kneale, David Lambert, Paul McCown, Philip Sanzica
Orestis Kaltsounis (Alternate)

October 18, 2016

7:30 P.M.

Council Chamber

1. ROLL CALL
2. APPROVAL OF MINUTES – September 20, 2016
3. APPROVAL OF AGENDA
4. HEARING OF CASES
 - A. VARIANCE REQUEST, KEITH N. LEE, 2116 BRINSTON – A variance to allow an addition to a nonconforming pool deck. The addition has already been constructed. The pool is nonconforming because it is located in a front yard.

ZONING ORDINANCE SECTION: 14.04 (A)
 - B. VARIANCE REQUEST, ERIC BRAKKE FOR MICHIGAN SUNROOMS, 5330 STANDISH – In order to construct an addition to the rear of the house, a 6.5 foot variance to the required 40 foot rear yard setback.

ZONING ORDINANCE SECTION: 4.06 (C), R-1C Zoning
 - C. VARIANCE REQUEST, GRANT DRYOVAGE FOR ATEX BUILDERS LLC, 633 BURTMAN – In order to rebuild a detached, nonconforming garage, a 4 foot variance from the required 6 foot side yard setback. The existing garage is nonconforming because it is set back less than 6 feet from the property line.

ZONING ORDINANCE SECTIONS: 7.03 (B) (2) (d), 14.04
 - D. VARIANCE REQUEST, DANIEL AND KIMBERLY ECKL, 5905 ENDICOTT – In order to build a roof over an existing uncovered front porch, a 5.5 foot variance to the required 30 foot front yard setback.

ZONING ORDINANCE SECTION: 4.06 (C), R-1C Zoning

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

- E. VARIANCE REQUEST, GARY ABITHEIRA, 1605 E LONG LAKE – In order to build two new houses, the property will be split and variances are requested for each of the proposed houses as follows: 1) for the proposed southerly parcel, a 3 foot variance from the required 30 foot front yard setback adjacent to Allison Drive; and 2) for the proposed northerly parcel, a 10 foot variance from the required 30 foot front yard setback adjacent to Allison Drive.

ZONING ORDINANCE SECTION: 4.06 (C), R-1C Zoning District

5. COMMUNICATIONS
6. MISCELLANEOUS BUSINESS
7. PUBLIC COMMENT
8. ADJOURNMENT

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On September 20, 2016, at 7:30 p.m., in the Council Chambers of Troy City Hall, Chairman Clark called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Glenn Clark
Thomas Desmond
David Eisenbacher
Orestis Kaltsounis
Allen Kneale
David Lambert
Philip Sanzica

Also Present:

Paul Evans, Zoning and Compliance Specialist
Allan Motzny, Assistant City Attorney

2. APPROVAL OF MINUTES – August 16, 2016

Moved by Lambert
Seconded by Eisenbacher

RESOLVED, to approve the August 16, 2016 meeting minutes.

Yes: All

MOTION PASSED

3. APPROVAL OF AGENDA

No changes.

4. HEARING OF CASES

A. VARIANCE REQUEST, THOMAS LEININGER OF ADVANCED BUILDERS, 1941 FRENCH CREEK – In order to construct a roofed patio enclosure without walls, a 6 foot variance to the required 45 foot rear yard setback.

Moved by Lambert
Seconded by Desmond

RESOLVED, to grant the request.

Yes: All

MOTION PASSED

- B. VARIANCE REQUEST, KEITH N. LEE, 2116 BRINSTON – A variance to allow an addition to a nonconforming pool deck. The addition has already been constructed. The pool is nonconforming because it is located in a front yard.

Moved by Sanzica
 Seconded by Desmond

RESOLVED, to postpone the item to the regularly scheduled October 18, 2016 ZBA meeting.

Yes: All

MOTION PASSED

- 5. COMMUNICATIONS – Mr. Evans advised that with the appointment of former Board Member Paul McCown to City Council, the ZBA had openings for one regular member and one alternate. Interested candidates should contact the City Clerk.
- 6. MISCELLANEOUS BUSINESS – None
- 7. PUBLIC COMMENT – None
- 8. ADJOURNMENT – The Zoning Board of Appeals meeting ADJOURNED at 8:49 p.m.

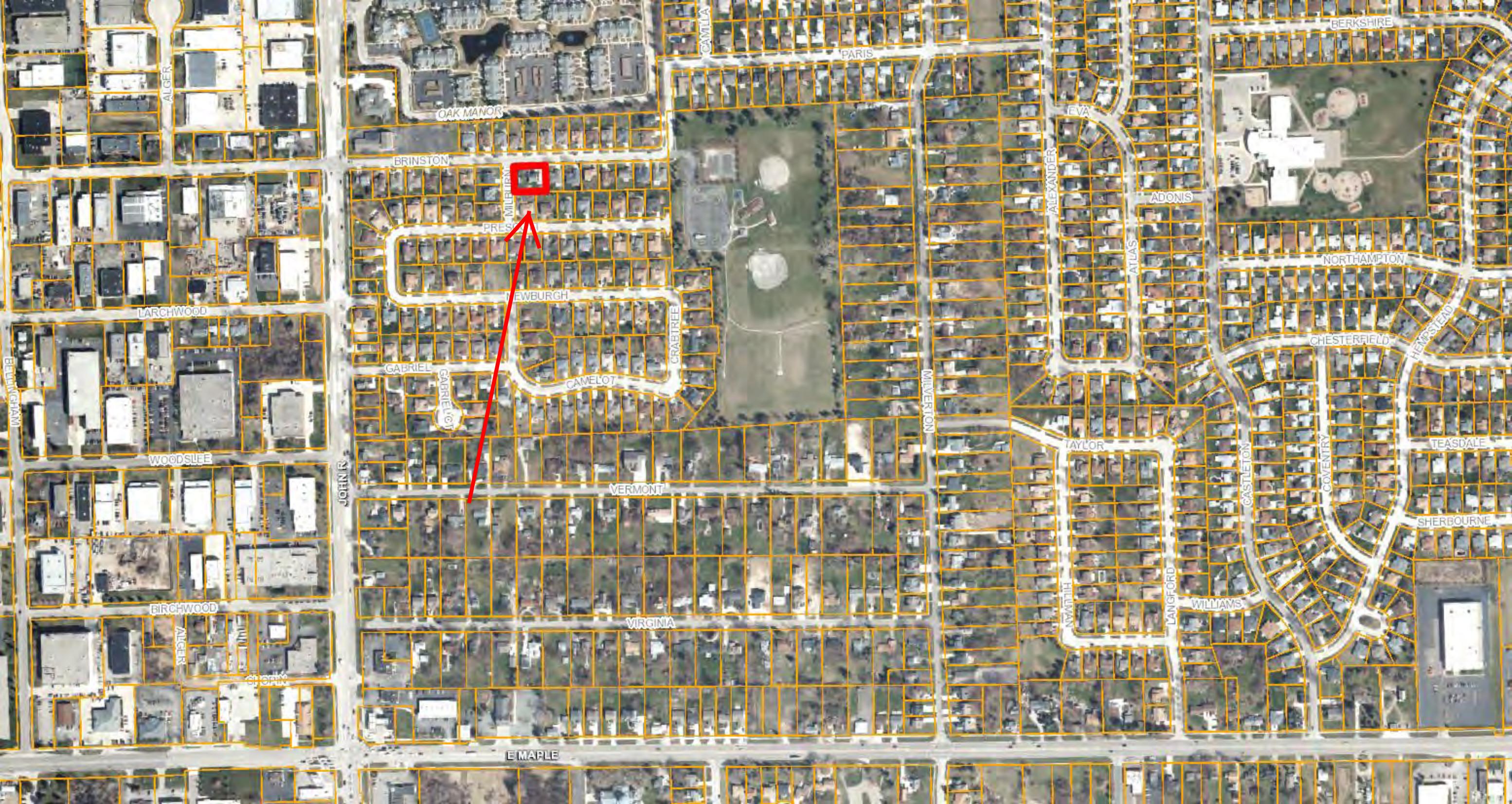
Respectfully submitted,

Glenn Clark, Chairman

Paul Evans, Zoning and Compliance Specialist

4. HEARING OF CASES

- A. VARIANCE REQUEST, KEITH N. LEE, 2116 BRINSTON – A variance to allow an addition to a nonconforming pool deck. The addition has already been constructed. The pool is nonconforming because it is located in a front yard.



E MAPLE

VIRGINIA

VERMONT

CAMELOT

NEWBURGH

PRESTON

BRINSTON

OAK MANOR

PARIS

CAMILLA

BERKSHIRE

EVA

ADONIS

NORTHAMPTON

CHESTERFIELD

HENNSTEAD

TEASDALE

SHERBOURNE

WILLIAMS

HILLMAN

LANGFORD

CASTLETON

COVENTRY

TAYLOR

MILVERTON

ALEXANDER

ATLAS

ALGER

LARCHWOOD

WOODSLEE

BIRCHWOOD

ALGER

JOHN R.

BIRMINGHAM



2287

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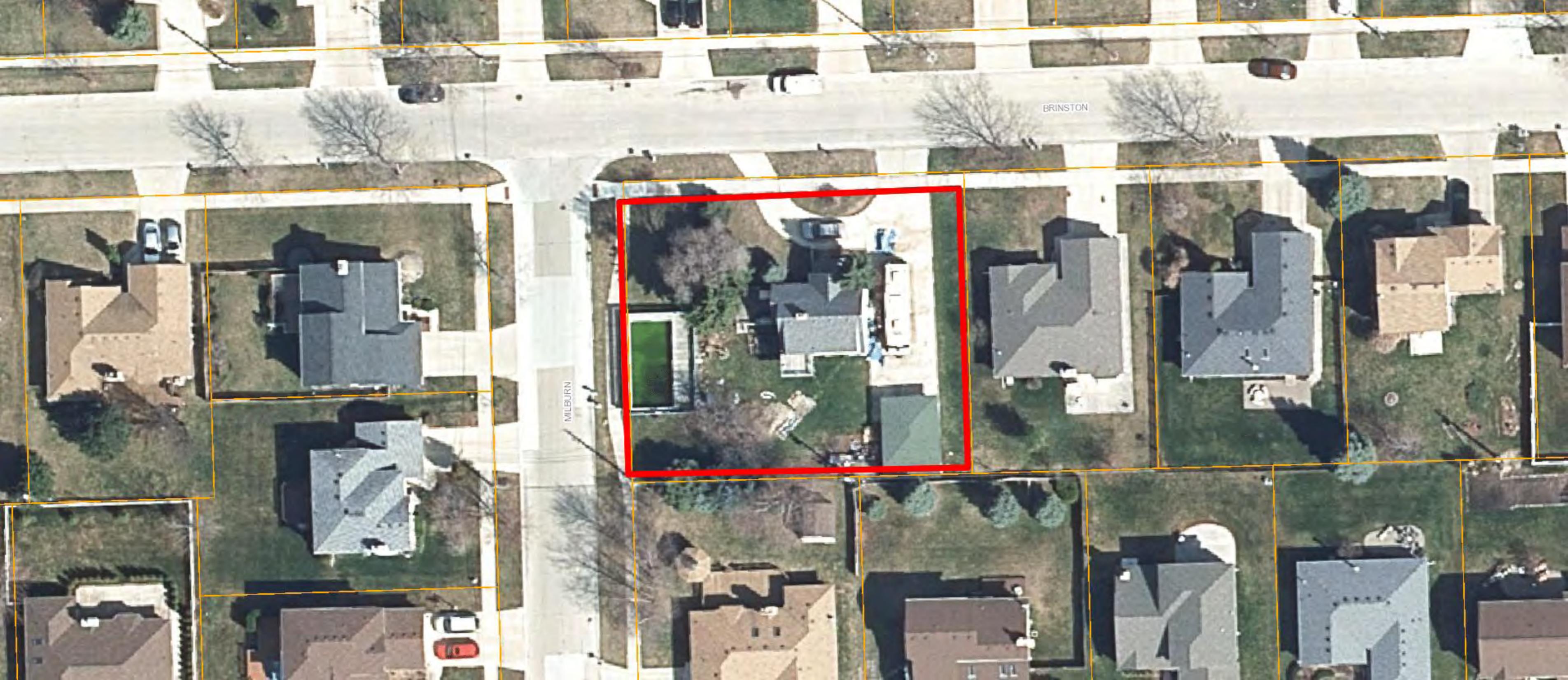
2082

2070

PRESCOTT

MILBURN

BRINSTON



BRINSTON

MILBURN

1990 AERIAL



2116 BRINSTON

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248-524-3364
planning@troymi.gov



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

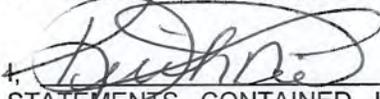
1. ADDRESS OF THE SUBJECT PROPERTY: 2116 Brinston
2. PROPERTY TAX IDENTIFICATION NUMBER(S): _____
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: _____
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NONE
5. APPLICANT:
NAME Keith N. Lee
COMPANY Home Owner
ADDRESS 2116 Brinston
CITY Troy STATE Michigan ZIP 48083
PHONE C# 313-410-3912 W. 248-855-1234
E-MAIL ALERTdrivingSchl@yahoo.com
AFFILIATION TO THE PROPERTY OWNER: Home Owner

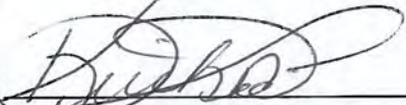
6. PROPERTY OWNER:

NAME Keith N. Lee
 COMPANY Home Owner
 ADDRESS 2116 Brinston
 CITY Troy STATE Michigan ZIP 48083
 TELEPHONE C# 313-410-3912 W. 248-855-1234
 E-MAIL ALERTdrivingSchl@ yahoo.com

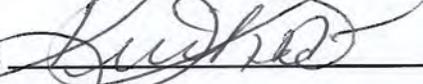
The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

 (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 8-22-2016

PRINT NAME: KEITH N. LEE

PROPERTY OWNER SIGNATURE  DATE 8-22-2016

PRINT NAME: KEITH N. LEE

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



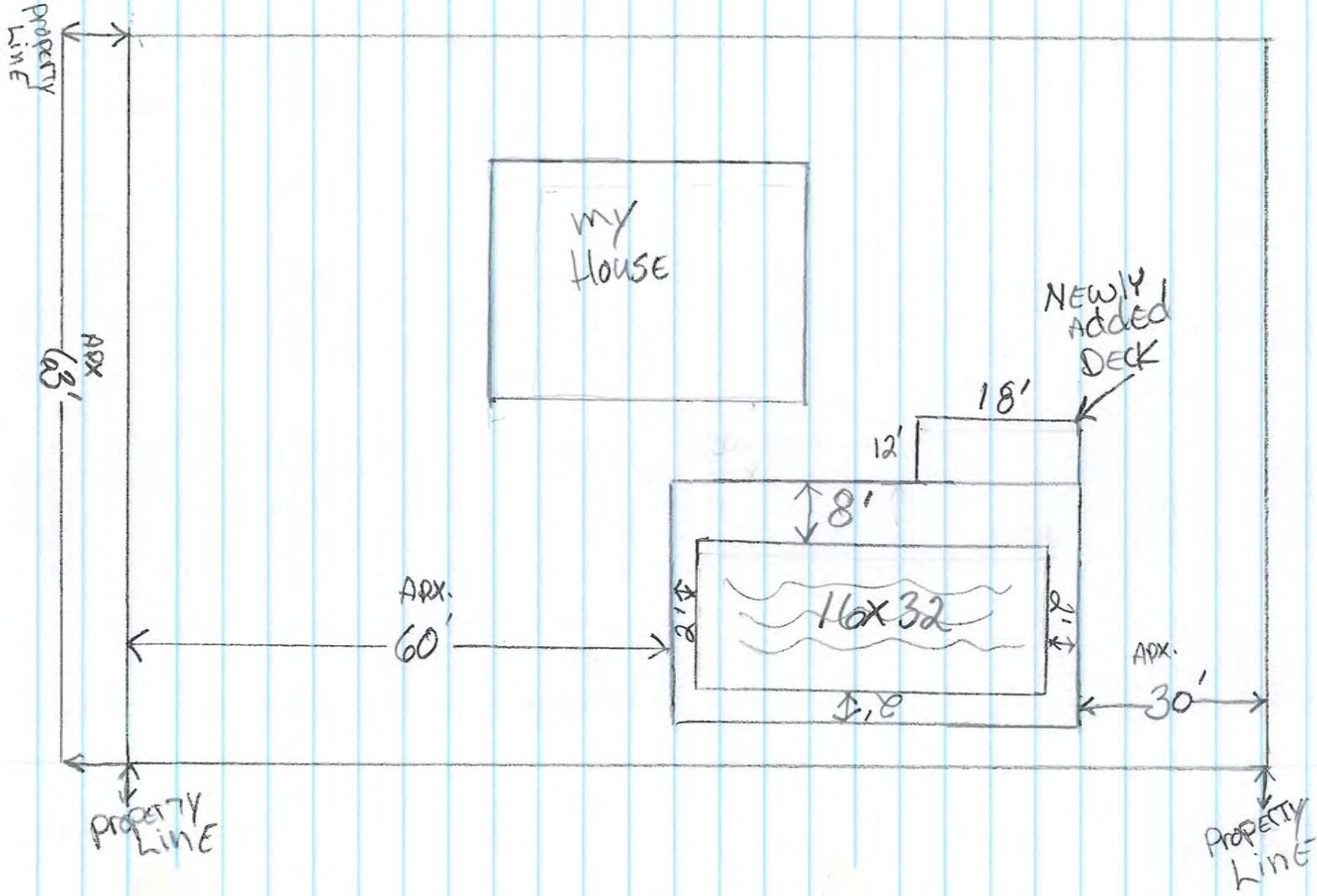
Google earth





Keith Lee
2116 Brinston
Troy mich.

VARIANCE REQUEST FOR NEWLY ADDED POOL DECK



(CHARACTERISTICS OF PROPERTY)

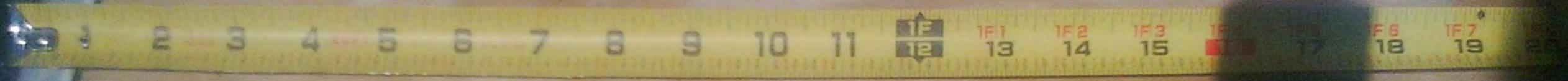
- A. The lot is larger than the other lots in the subdivision
- B. The property is a corner lot
- C. The added deck went toward my property only
- D. There is plenty of depth & width on the property
- E. Space is not limited

Proposed variance will only be harmful to a spot on my lawn of 12' x 18' it will not impair supply of light to any adjacent property or vegetation.

In the 25 years I have never done any alterations to the pool. I did this for safety reasons, the east decking is made up with 4x8 sheets of treated plywood when you put out the 6" lounge chairs this leaves approx. 22" of walkway width before falling into the pool, my 2 5 year old granddaughters have moved back to Royal Oak and I wanted to give them more room w/ their towels while walking around the pool and adults as well.















ADDITION

WHITE HAWK

JAYCO

















49251 Scheonherr
Shelby Twp., MI 48315

(586) 918-0051

PROPOSAL SUBMITTED TO: <i>Keith Lee</i>	PHONE	DATE <i>8-24-16</i>
STATE AND ZIP CODE	IF DEPOSIT RECEIVED BY: _____	
	SCHEDULE WORK FOR: _____ (WEATHER PERMITTING)	

DESCRIPTION OF MATERIAL USED LINERS ARE 20 MIL. 100% VIRGIN VINYL	MATERIAL	LABOR	TOTAL
<i>16 x 32 Henderson Pool Pool walls are 3/4" treated plywood in very good condition. The existing pool frame is also in very good condition. A+A Pools replaced the pool liner and re-trowed the sand bottom. This pool is in like new condition and will be around for a long time.</i>			
ADDITIONAL LABOR AND MATERIAL REQUIRED DUE TO HIGH WATER TABLE			
LABOR SOURCE: CITY - OTHER			
SPECIAL INSTRUCTIONS:	TOTAL MATERIAL		
	TOTAL LABOR		
	SALES TAX		
	TOTAL		

I propose to furnish material and labor - complete in accordance with above specification, for the amount of \$ _____

Deposit due upon acceptance of Proposal: \$ _____ Balance Due: \$ _____
Payment due upon substantial completion in Cash, Certified Check or Money Order.
Warranties expressed or implied cover only the materials and labor listed in this proposal.

Agreements, provisions and conditions on the reverse side hereof referred to and incorporated herein as part of this contract and this contract and any plans and specifications attached hereto constitute the entire agreement between the parties.

Authorized Signature: *Sub Scripture*

Material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation above specifications involving extra costs will be executed only upon written instructions, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents, weather or delays beyond our control.

Note: this proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

1990 AERIAL

HOUSE BUILT 1938



2116 BRINSTON

**Statement of Don and Nancy Johnson,
2199 Brinston Dr. to the members of
the City of Troy Zoning Board of
Appeals.**

**Re: Zoning Board of Appeals Public
Hearing on Tuesday, September 20,
2016 for 2116 Brinston Dr. Troy.**

Statement of Don and Nancy Johnson, 09-15-2016

Statement of Don and Nancy Johnson, 2199 Brinston Dr. to the members of the City of Troy Zoning Board of Appeals. Re: Zoning Board of Appeals Public Hearing for consideration of a variance to allow an addition to a nonconforming pool deck located at 2116 Brinston Dr. Troy.

We wish to thank the City of Troy Planning Department for providing us with notice of this Public Hearing and we thank the Zoning Board of Appeals for allowing us to make these comments. We have been living in this community since the spring of 2003. We moved to our home on Brinston Drive because we found here a diverse neighborhood where the majority of our neighbors take pride in the way that they maintain their homes and property.

Mr. Lee, residing at 2116 Brinston Drive, is before you today requesting a variance to a nonconforming structure which he enlarged by removing approximately 18 feet of the original metal and fiberglass deck retaining wall. He then built an adjacent deck of over 200 square feet in size. We were told that he did this without obtaining the City required variance and building permit.

We interpret the Zoning Ordinance, ARTICLE 14, as permitting nonconforming uses and structures to be allowed to continue to exist but **not to be expanded or enlarged**.

We also interpret that this ordinance is in place to cause, over time, the elimination of nonconforming structures.

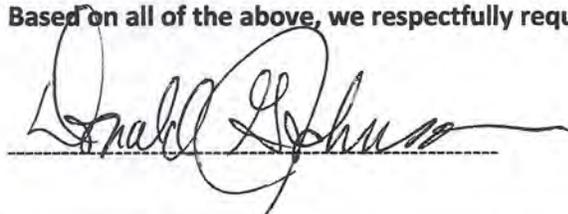
In addition, we have reviewed the City of Troy Swimming Pools Building Guide for Homeowners, dated 03/22/2011, as it further identifies the extent to which the pool at 2116 Brinston Drive is out of compliance with current standards. We have included a copy in the folder.

After reading the Troy Ordinance and the filing of Mr. Lee, we fail to see how the modification that he has made to the nonconforming structure does anything to bring it into conformance with the current requirements.

Mr. Lee has provided you with photos of the pool and addition, but those photos leave out other details which we believe show the way he maintains this property, and the disparity between the appearance of his property and the surrounding homes on Brinston Drive.

We submit to you photos (numbered 1-8) which show the property at 2116 Brinston as viewed by the neighbors. There is a note on the reverse of each photo briefly describing the scene. Additional photos (numbered 9-12) show the view of the neighborhood homes on Brinston and Milburn. Again, there is a note on the reverse describing the scene.

Based on all of the above, we respectfully request that you to deny the requested variance.



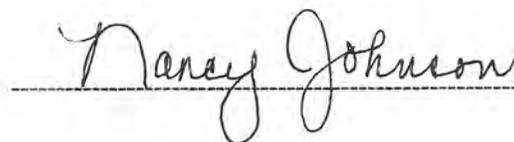




Photo 1 Front of 2116 Brinston
showing the driveway on the east side

024209 7+ (>) Johnson, Nancy
001 24209 2116 Brinston Johnson

Photo 2 Deck on west side of home
showing storage on and under deck

024209 29+ (>) Johnson, Nancy
003 24209 frontunderho Johnson

Photo 3 Showing front and partial
side view of 2116 Brinston from
across Brinston

024209 18+ (>) Johnson, Nancy
002 24209 2116cornerh Johnson



Photo 4 Showing east side of the front of the pool with items stored under pool deck

0224209 38+ (<) Johnson, Nancy
004 24209 frontunderpo Johnson

Photo 5 showing east side of property from across Milburn

0224209 109/122+ (<) Johnson, Nancy
011 24209 VIEWFRONMACRO Johnson

Photo 6 Showing closer view of south and east portion of property

0224209 87/122+ (<) Johnson, Nancy
009 24209 Secondviewof Johnson



Photo 7 Showing pool, new construction and house from southwest corner of the property

024209 115/122+ <> Johnson, Nancy
012 24209 Viewofbackof Johnson

Photo 8 Showing close up of pool, new construction and items stored below

024209 100/122+ <> Johnson, Nancy
010 24209 Underoldandn Johnson

Photo 9 Showing neighborhood across Milburn from 2116 Brinston

024209 80/122+ <> Johnson, Nancy
008 24209 neighborhood Johnson

10



11



12



Photo 10 Showing neighborhood on north side of Brinston heading east

024209 58+ (<) Johnson, Nancy
006 24209 neighborhood Johnson

Photo 11 Showing neighborhood on north side of Brinston going more east

024209 42+ (<) Johnson, Nancy
005 24209 neighborhood Johnson

Photo 12 showing property on south side of Brinston going west to 2116 Brinston

024209 68/122+ (<) Johnson, Nancy
007 24209 Neighborhood Johnson



500 W Big Beaver Rd.
Troy, MI 48084

(248) 524-3344

<http://www.troymi.gov>

Swimming Pools

Building Guide for Homeowners



DID YOU KNOW?

- The suction from a pool drain can be so powerful that it can hold an adult under water. Most drain related incidents involve children. Consider installing a Safety Vacuum Release System (SVRS), which detects when a drain is blocked and automatically shuts off the pool pump or interrupts the water circulation to prevent entrapment.
- Nearly 9 of 10 drowning related deaths happen while a child is under some form of supervision, according to a Safe Kids Worldwide study.
- Beyond the fun and fitness they provide, an in-ground pool raises the home's value nearly eight percent according to the National Association of Realtors! (Pool & Spa Living, May 2008)
- A building permit is required for all swimming pools with a depth of 24 inches or more.
- Along with a building permit, plumbing, electrical and heating permits may be required where applicable.

Why Do I Need a Permit?

There are many important reasons to obtain building permits and to have inspections performed for your construction project the following are just a few.

Protects property values

Your home is typically your largest investment. If your construction project does not comply with the building codes, your investment could lose value. If others in your neighborhood make unsafe or substandard changes to their homes, it could lower the resale values for the entire community.

Saves Money

Homeowners insurance policies may not pay for damages caused by work done without permits and inspections.

Makes Selling Property Easier

Listing associations require owners to disclose any home improvements or repairs and if permits were obtained. Many financial institutions will not finance a purchase without proof of a final inspection. If you decide to sell a home or building that has had modifications without a permit, you may be required to tear down the addition, leave it unoccupied or do costly repairs.

Improves safety

Your permit allows the building department to inspect for potential hazards and unsafe construction. By ensuring your project meets the minimum building code standards of safety, the building department can reduce the risk of fire, structural collapse and other issues that might result in costly repairs, injuries and even death. Inspections complement the contractor's experience and act as a system of checks and balances resulting in a safer project.

It's the Law

Permits are required by ordinance. Work without a permit may be subject to removal or other costly remedies.

The purpose of this guide is to assist you in the permitting process. This handout is intended to cover information for a basic plan submittal and typical project under the building codes. It is not intended to cover all circumstances. Depending on the scope and complexity of your project, additional information may be required. Discuss your project with City staff to determine if it is subject to additional requirements.

What do I need in order to apply for a building permit?

The following must be submitted:

<input type="checkbox"/>	Site Plan	Page 2
<input type="checkbox"/>	Plan Requirements	Page 2
<input type="checkbox"/>	Required Inspections	Page 3
<input type="checkbox"/>	Fence Detail	Page 4
<input type="checkbox"/>	Contact Information	Page 4
<input type="checkbox"/>	Permit Application	



What is a Site Plan?

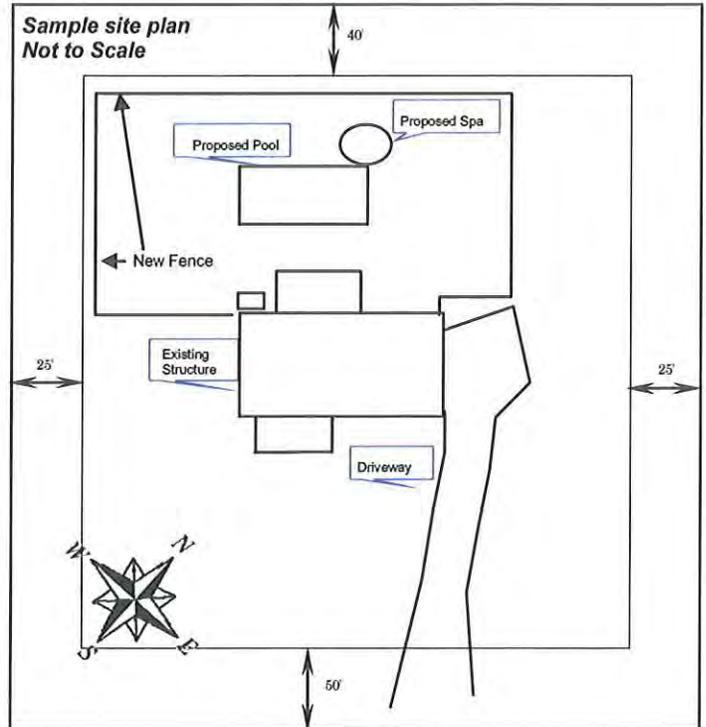
A site plan is a detailed drawing of your property, also known as a survey of your land. These are usually drawn by a land surveyor. The site plan will show the dimensions of your project and its relationship to existing setbacks, easements, utilities, other structures on the property, and distance to your property lines. If your project will require moving any utilities (gas, water, sewer/septic, electric, etc.), show where those meters will be relocated.

What is REQUIRED for a Permit?

- Provide copies of the SITE PLAN

Notes:

1. Swimming pools are considered accessory structures; therefore, their locations shall conform to the zoning ordinance. Pools are allowed in a rear yard only.
2. Setback distance requirements are 6' from rear and side lot lines, 10' from corner lot/outside lot line & recommended 10' from other buildings on property.
3. A survey from a registered land surveyor will be required if your project is located within the setbacks or in a protected area. A variance from the City of Troy may also be required.
4. If your property is on a slope, you may be required to install silt fence to keep the dirt on your property.
5. If you are on a septic tank, you may be required to have approval from the county health department prior to submitting your pool application.
6. If you do not know the location of your utilities, contact MISSDIG. (Remember to ask them about the cost of this service)
7. Certificate of elevation may be required on any lot of record that includes or abuts any portion of a flood plain.
8. Entry to your pool must be secured, and a fence or other barrier must be shown on the site plan.



Construction Plan Requirements

What is REQUIRED for a Permit?

- Provide copies of a POOL PLAN, drawn at a legible scale. Such plans shall include details, drawings, and notes that sufficiently describe the work to be done and clearly shows building code compliance: Include the following :
 - Address, lot number, owner's name & contact information, designer's name & contact information, list of plan pages in the set.
 - Dimensioned, detailed plans showing pool location, decking, fencing, equipment location, retaining walls, spas, pool house location, fire pits, etc.
 - Location of electric meters & panels, pool heater gas lines, overflow, backwash, pool fill, etc.

- Profile section of pool
- Entrapment protection provisions
- Heated pools require covers or other energy conservation measures per International Energy Code Section 504.7.3
- Any additional information needed to show ANSI/NSPI compliance
- Include any notes or statements on the plan that clarify what work is to be by the pool contractor and what work is to be completed by the property owner
- Notes and/or statements on the plans that clarify who will be responsible for alarm installation, fencing and landscape requirements.

NOTES

- Separate structures (Pool houses, outdoor fireplaces, etc.) all require a separate permit.
- For above ground pools purchased as a "do-it-yourself" kit, you must provide the pool manufacturer's printed product literature, installation instructions, and pool deck/stair construction details.

Tips For Hiring Contractors

- ◆ Hire only licensed contractors
- ◆ Get at least 3 bids—Get 3 references and ask to see a project
- ◆ Get it in writing - but before you sign the contract, make sure you completely understand
- ◆ Don't make final payment until you have a Certificate of Completion (CC) and you are satisfied
- ◆ Have the contractor apply for the required permits

What the inspector will look at: Required Inspections

1. Pool Structure.

IN GROUND POOLS (Basket)

- Made after the pool has been excavated and cleaned of all loose soils, debris, and organic matter all required forms are in place and properly supported
- All drain and circulation piping is in place and under required test.
- All reinforcement steel is in place, properly tied, and supported with concrete bricks or approved chairs to guarantee the required 3" minimum cover.
- All electrical conduits, lighting fixtures (or shells), etc are in place and properly supported.
- All supports or sockets for ladders, diving boards, etc are in place and properly supported.
- The Basket is completely ready for shotcrete.
- For in ground pools not constructed as above (vinyl liners, fiberglass shell), the manufacturer's installation instructions, NSPI Installation Standards, and/or structural installation plans sealed by a Michigan Registered Design Professional must be on site at all times during construction.

ABOVE GROUND POOLS

Made after erection of the pool structure and before any structural members and connections are covered. The installer must provide safe access to all areas of the pool, have the Manufacturer's installation instructions on site at all times, and be ready to perform any tests of connections required by the inspector.

- 2. Circulation/Drain Piping Test.** To be made with a basket inspection listed above. A water pressure test of 1½ times (150%) the maximum operating pressure is required. Bypass the pool equipment and do not exceed the piping maximum test pressure for the piping.

Exceptions

 - Air pressure test of not less than 35 psi (if allowed by the piping manufacturer)
 - Listed pre-fabricated package pool assemblies do not require pressure tests.
- 3. Electrical Bonding.** Made when all metal parts of a pool structure, deck bonding grid, and equipment is properly bonded together and ready to be covered. **Note:** Depending on pool design and site conditions, this inspection may require several trips to be completed and shall be at the inspector's discretion.
- 4. Back Flow.** Made prior to or with the final pool inspection. State law requires backflow prevention for all pools connected to a potable water supply. If the pool fill has an indirect connection, protection is usually not required. **Note:** Building inspectors do not make backflow inspections, but will check pool fills for compliance. Only Certified Backflow Testers can perform and Certify backflow tests. Written certification of passing the test must be provided to the building department before a Certificate of Completion is issued.
- 5. Gas Piping.** Made at any time during construction but before Final inspection. A gas pressure test of at least 1½ times (150%) the gas system operating pressure, but not less than 3 psi, is required. Piping must be under pressure with a working gauge for inspection. **Note:** Gas piping may not be covered or concealed without passing this inspection. In most applications, a separate gas line is required to be installed from the gas meter.
- 6. Electrical System.** Made at any time during construction but before Final. All of the electrical system, including low voltage systems, must be in place and ready for electrical rough-in inspection. The system must meet the requirements of 2006 Michigan Residential Code, Chapter 41 for locations, GFCI protection, bonding, etc. Additional wiring information is available upon request. **Note:** Underground electrical may not be covered or concealed without passing this inspection.
- 7. Permanent Fence.** Must be complete, with entry warning alarms working, prior to filling the pool with water. May be done at anytime during construction. **Note:** Construction safety barriers must remain in place until permanent fencing is 100%.

Continued on next page...

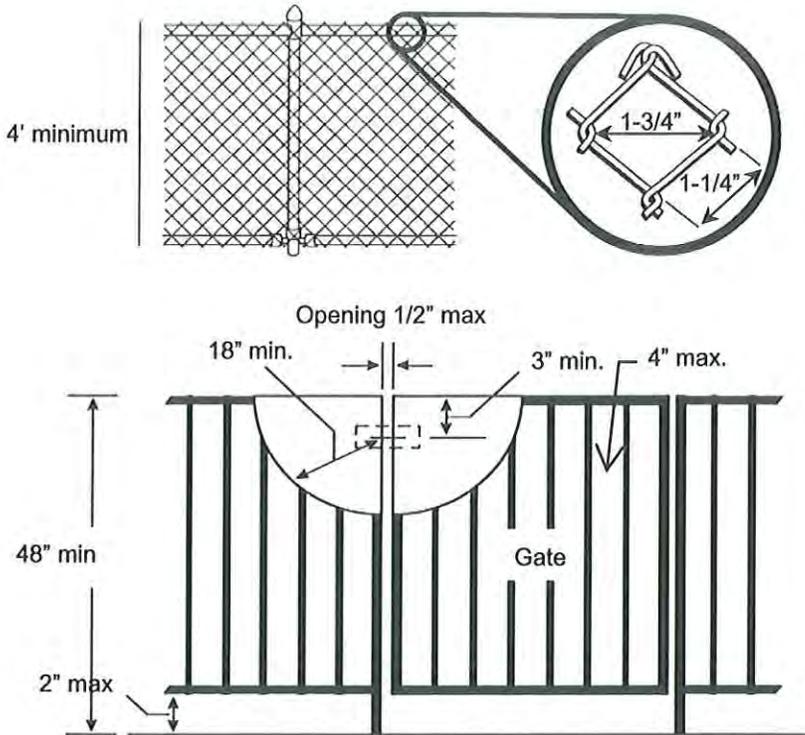


REMINDER:

Permits are only issued after plan review. The time required to conduct this review will depend on the completeness of the information we receive in the application and plans.

Construction Details

Fence and Gate Barriers



- A fence or other permanent barrier, such as a wall, is required to be completely around the pool. If the house is part of the barrier, the doors leading from the house to the pool must be protected with an alarm.
- The fence or other barrier must meet the height requirements in City code (4' minimum).
- Details for a chain link fence barrier is shown. A 1-3/4 x 1-1/3" maximum opening allowed.
- Details for a vertical fence barrier is shown. A 4" maximum opening allowed.
- Gate must swing outwards away from pool and be equipped with a self-closing, self-latching device able to accommodate a locking device.

Required Inspections (cont.)

8. Pool Final. Made after the pool and all associated construction is complete and ready for use.

- The pool must be full of water and all equipment, lights, ladders, steps, and other pool accessories in place, connected, and working as designed for a completed ready for use pool.
- All permanent fences, gates, and entry warning alarms must be in place and working.
- All life safety equipment must be in place.
- All site work, walks, drives, paved areas, and landscaping included in the plans submitted at permitting must have final inspections, and sign-off's by the various departments and authorities as required.

Note for commercial pools: In addition to the City's inspection, County Health Department Inspectors must perform their inspections before the City issues a Certificate of Completion for the pool. Pool permit holders must provide the city written proof of passing required health inspections.

How do I schedule a required inspection?

Please call the inspection line and leave all information requested in the message. Inspection requests received before 6:00am will be performed the same day.

Want to know more? Need more help?

We hope you found the information in this guide useful. If you have any questions, please feel free to contact us.

Please contact MISS DIG prior to digging on your lot at: 1-800-482-7171

From: macie1and2@aol.com
Sent: Thursday, September 08, 2016 4:12 PM
To: Planning
Subject: Zoning Board of Appeals Public Hearing

Location: 2116 Brinston

Zoning Ordinance Section: 14.04 (A)

Comments to the Planning Department

Planning Department:

In regards to the variance notice regarding the addition to a nonconformance pool deck, we do not understand why the variance may be allowed for a nonconforming pool in the first place.

This pool has been a neighborhood eye sore for years. The fact that the addition was added on before any approval was given shows a total disregard for the city's rules and regulations.

Why the pool was constructed where it is **looks ridiculous!**

Sincerely,

Chester and Carolyn Maciejewski

From: m.cynthia <m.cynthia@sbcglobal.net>
Sent: Thursday, September 15, 2016 10:58 AM
To: Planning
Subject: 2116 Brinston Keith Lee

In regards to zoning ordinance
section :14.04 (A)

2116 Brinston
Keith Lee

In regards to Mr. Lee altering his pool deck the following is why I object:

In the 18 plus years I have lived on Brinston Mr. Lee has always failed to maintain his property according to city ordinance guidelines.(reference previous city issued violations)

The alteration of his pool deck will be just one more item Mr. Lee will fail to maintain. Because his recreation area (i.e. pool that requires no fencing) and deck attached to his house are in the front yard they should be maintained to a standard that does not affect the property value of the neighborhood.

Currently the deck attached to the house and the pool which face the street have items stored under them which are visible to Brinston (i.e. tow trailer, ladder, lawn chairs and other miscellaneous items).

The pool in its current state with discolored non matching fibreglass panels, a plywood partial debris littered enclosure around the bottom (breeding ground for rodents and small animals) and recently added 2x4 wood between fibreglass panels and pool structure are all items that take away from esthetics and value of the neighborhood and evidence of the lack of maintenance of his property.

Herman and Cynthia Morgan
2206 Brinston

Sent from my Verizon 4G LTE smartphone

4. HEARING OF CASES

- B. VARIANCE REQUEST, ERIC BRAKKE FOR MICHIGAN SUNROOMS, 5330 STANDISH – In order to construct an addition to the rear of the house, a 6.5 foot variance to the required 40 foot rear yard setback.



2201

5377

5372

5369

5362

5356

5363

5358

5355

CLOISTER CT

5340

5349

5344

5341

5334

2237

5335

5330

5327

2

5321

5320

5316

5313

STANDISH

CLOISTER

5299

2325

233

DRAKE

5302

5324

5297

5298

5285

PALMETTO

2238

REXDALE



2201

5377

5372

5369

5362

5356

5363

5358

5355

(R-1C)

5349

5344

5341

5334

5340

5335

5330

5327

2237

5321

5316

5313

5320

REXDALE

DRAKE

STANDISH

CLOISTER

5340

5299

2325

233

5324

2238

5297

5302

5298

5285

PALMETTO

5344

5330

5

A

STANDISH

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
planning@troymi.gov



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE AT LEAST **29 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 5330 Standish Dr
2. PROPERTY TAX IDENTIFICATION NUMBER(S): _____
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: Section 4.06 C Dimensional Requirements (R1-C)
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
5. APPLICANT:
NAME Eric Brakke
COMPANY Michigan Sunrooms
ADDRESS 32823 Woodward
CITY Royal Oak STATE MI ZIP 48073
PHONE 248-880-7896
E-MAIL design@michigansunrooms.com
AFFILIATION TO THE PROPERTY OWNER: Contractor

6. PROPERTY OWNER:

NAME Stephen and Preethy Samuel
COMPANY _____
ADDRESS 5330 Standish Dr
CITY Troy STATE MI ZIP 48085
TELEPHONE 248-494-2181
E-MAIL svsamuel@yahoo.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Eric Brakke (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 9-16-16
PRINT NAME: Eric Brakke

PROPERTY OWNER SIGNATURE  DATE Sept. 15, 16
PRINT NAME: Stephen & Preethy Samuel

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



Zoning Board of Appeals Application

September 15, 2016

For the Samuel Sunroom Project
5330 Standish, Troy, MI 48085

We are requesting a 6.20 foot variance from the 40 foot rear yard setback requirement described in Zoning Ordinance Section 4.06 C for properties zoned R1-C.

The lot at 5330 Standish is smaller than the minimum dimensions and minimum square footage described for a lot to be zoned R1-C, and this presents significant constraints on the size of the house despite the minimal lot cover percentage. The constraints make room additions practically impossible at this address. If the lot met R1-C requirements and contained 10,500sqft, the increased lot depth would have allowed this addition to abide by the 40 foot rear yard setback without a variance.

If this variance is granted, the proposed sunroom addition would be sited entirely within the area of the existing wood deck on the back of the house – it would not approach the rear setback any further than the existing deck. The proposed sunroom would enclose an area of 12’ wide by 14’ deep – matching the width of the existing 1.10 overhang on the house. It would also be the same color as the siding on the house. It would go along with the existing appearance of the house. The proposed sunroom would not be a hazard, and it would not alter the character of the neighborhood.



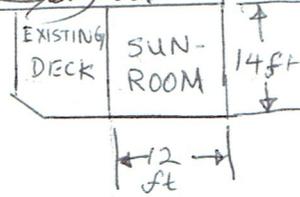


I understand that a 6.17 foot variance is requested for the construction of the sunroom (14ft x 12ft) on 5330 Standish Dr., Troy MI. I do not believe the construction of this sunroom will alter the character of the neighborhood and it will not cause me any inconvenience or botheration.

Surendra Sukhtankar
5316 Standish Dr.
Surendra Sukhtankar

Stephen Samuel
5330 Standish Dr.
Troy MI

Stephen Samuel



Elizabeth Taylor-Nale
5344 Standish Dr.
Elizabeth Taylor-Nale

Robert Eames

5313 Cloister Dr.
Kathryn Eames

EDWARD J. MASTERS

5327 Cloister Dr.
Edward Masters

CHERYL STYCZYNSKI

5341 Cloister Dr.
Cheryl Styczynski



PROJECT FOR:
SAMUEL

5330 Standish, Troy, MI 48085
248-494-2181



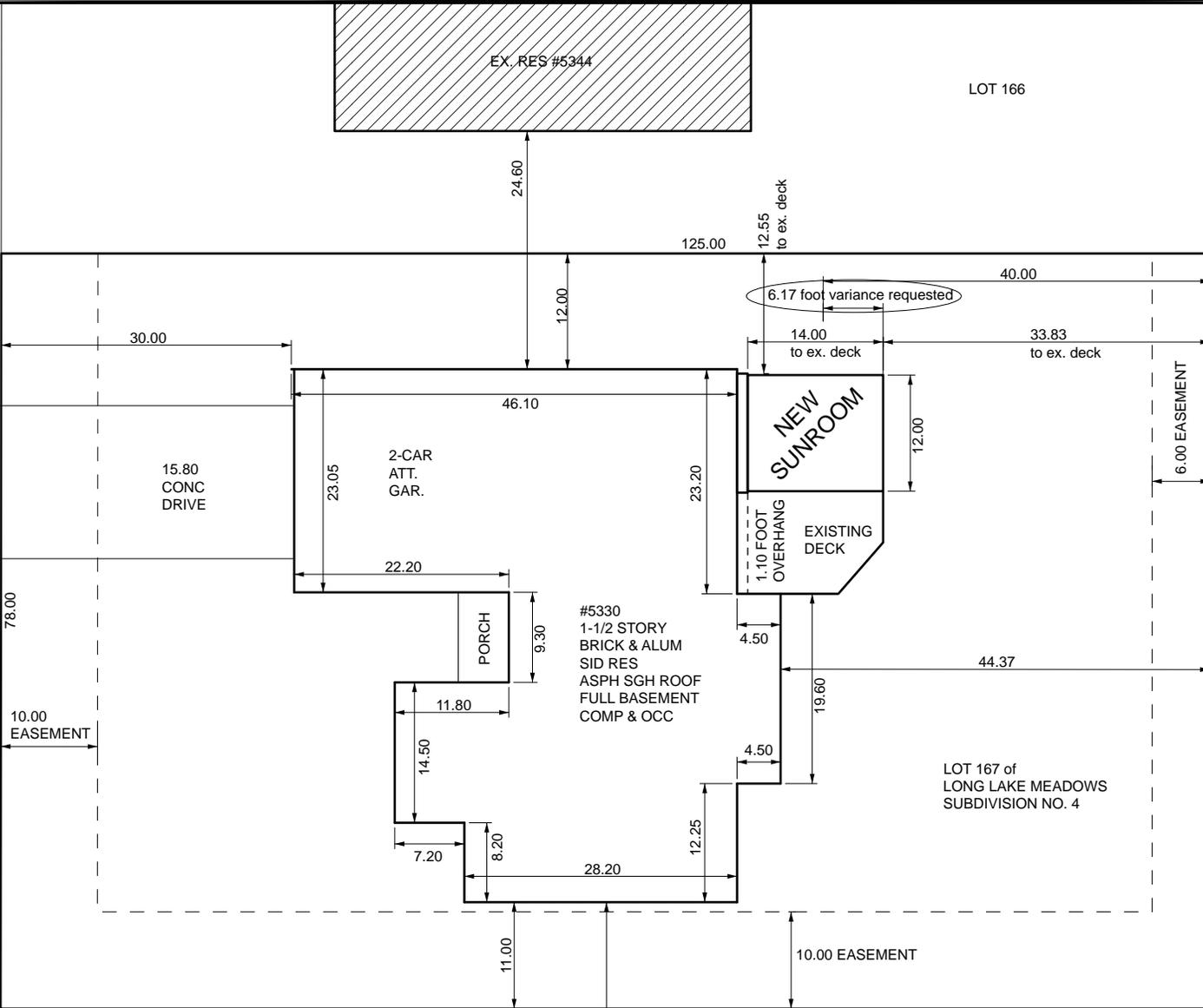
SUNROOM SPECIFICATIONS

CROWN COMPOSITE ROOM
GLASS TRAPEZOIDS
SOLID TRANSOMS AND KICKPANELS
COLOR: BEIGE
ROOM SIZE: 12'0" x 14'0"
GLASS TYPE: INSULATED LOW-E ARGON
WINDOWS: SINGLE SLIDERS
(1) 72" SLIDING PATIO DOOR

STANDISH DR 60' WD

CURB

5' CONCRETE WALK



EX. RES #5344

LOT 166

EX. RES #5316

LOT 166

General Notes

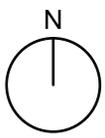
PLOT PLAN

No.	Revision/Issue	Date

Firm Name and Address
 MICHIGAN SUNROOMS
 32823 WOODWARD AVE
 248-880-7896

Project Name and Address
 SAMUEL
 5330 Standish Dr
 Troy, MI 48085
 248-494-2181

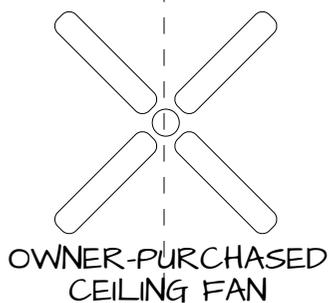
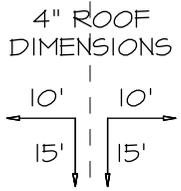
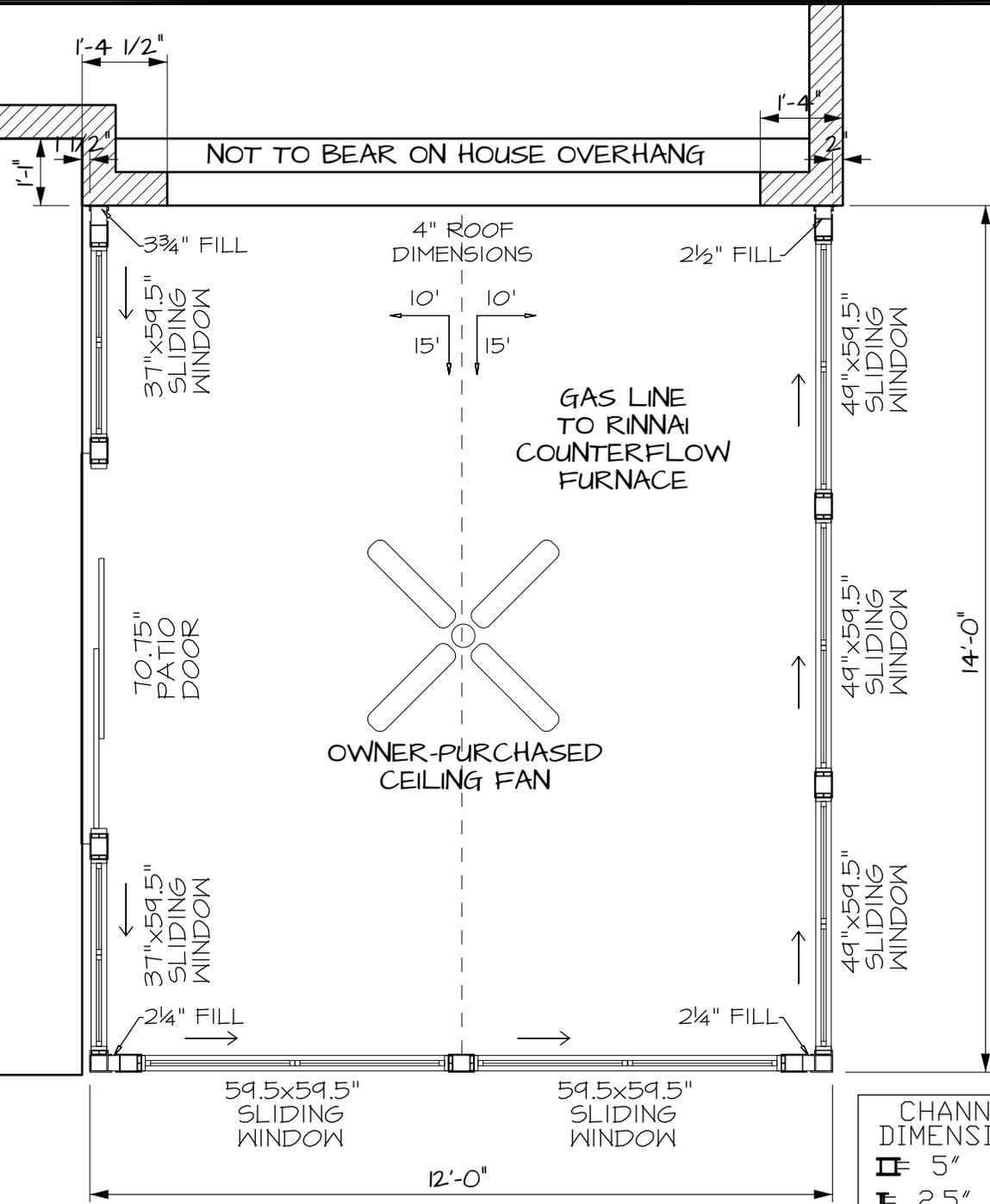
Project	Sheet
Date: 8/25/16	



NOTES:

- ALMOND 4-SEASON GABLE ENCLOSURE
- LOW-E / ARGON GLASS
- SINGLE SLIDERS
- SOLID KICKS
- SOLID TRANS
- GLASS TRAPS
- ELECTRICAL H-CHANNELS
- (1)-6' PATIO DOOR
- 4" ROOF
- 6" POLY DECK

EXISTING DECK



GAS LINE TO RINNAI COUNTERFLOW FURNACE

WALLS HEIGHTS



FILL MEASUREMENTS ARE TOTAL FILL NOT VISIBLE FILL

CHANNEL DIMENSIONS

- 5"
- ▬ 2.5"
- ▬ 1.75"
- 4.25" x 4.25"
- ▬ 1"

General Notes

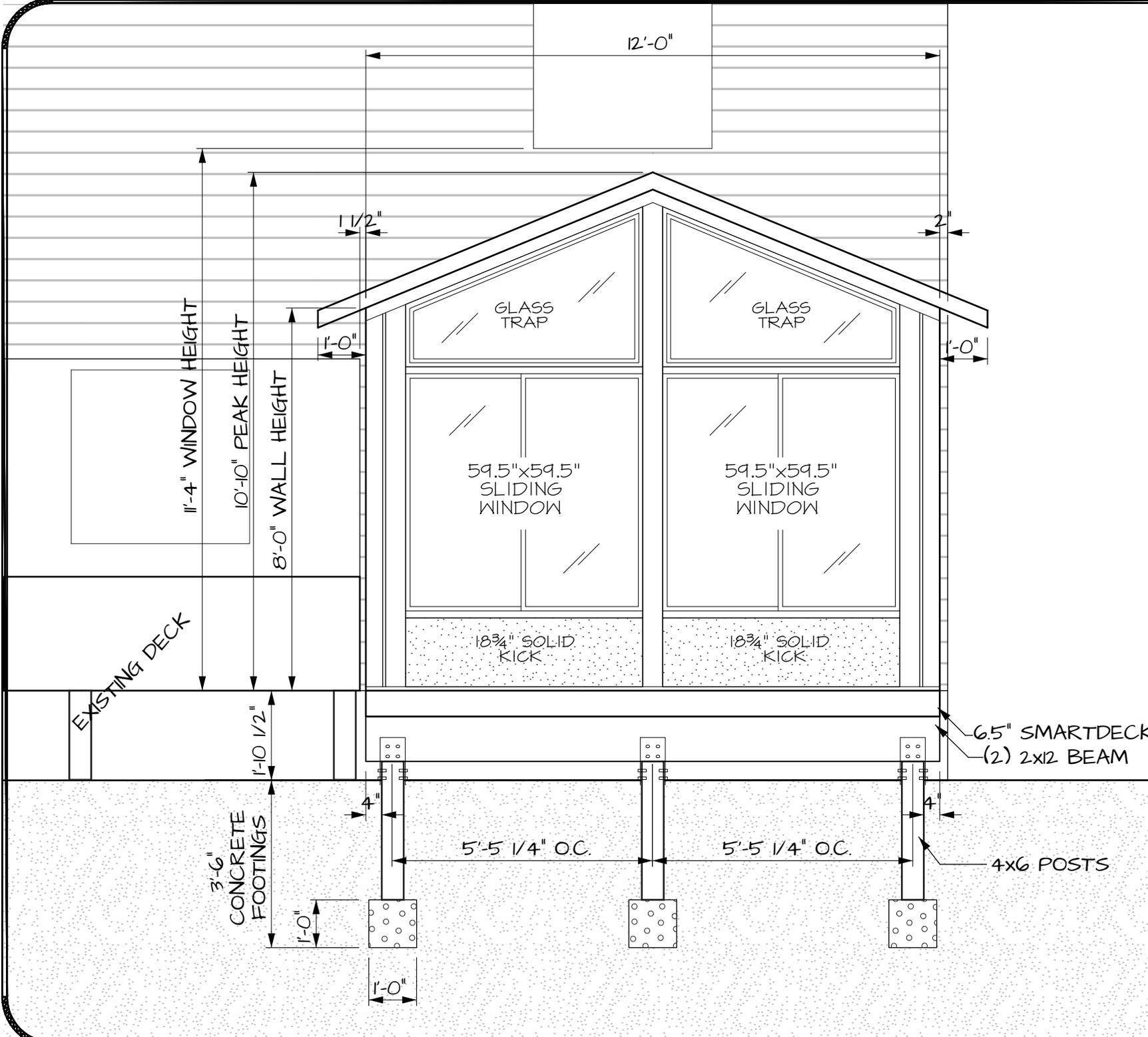
INSTALLERS LAYOUT

No.	Revision/Issue	Date

From Name and Address
 MICHIGAN SUNROOMS
 32823 WOODWARD AVE
 248-880-7896

Project Name and Address
 SAMUEL
 5330 Standish Dr
 Troy, MI 48085
 248-494-2181

Project	Sheet
Date 8/25/16	



General Notes

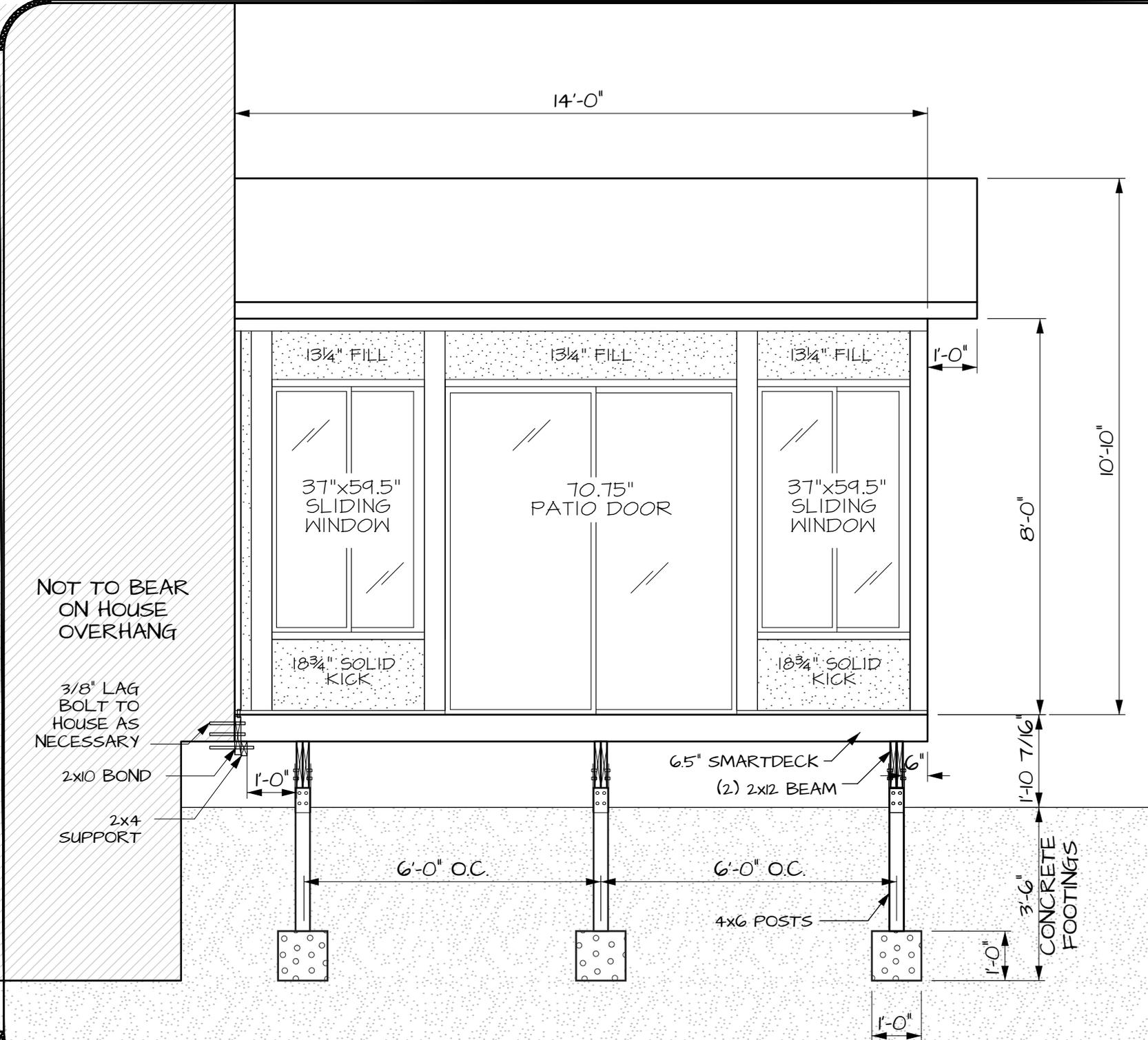
FRONT ELEVATION

No.	Revision/Issue	Date

Firm Name and Address
 MICHIGAN SUNROOMS
 32823 WOODWARD AVE
 248-880-7896

Project Name and Address
 SAMUEL
 5330 Standish Dr
 Troy, MI 48085
 248-494-2181

Project Date Date	Sheet 8/25/16
-------------------------	------------------



General Notes

LEFT ELEVATION

No.	Revision/Issue	Date

Firm Name and Address
 MICHIGAN SUNROOMS
 32823 WOODWARD AVE
 248-880-7896

Project Name and Address
 SAMUEL
 5330 Standish Dr
 Troy, MI 48085
 248-494-2181

Project	Sheet
Date 8/25/16	

General Notes

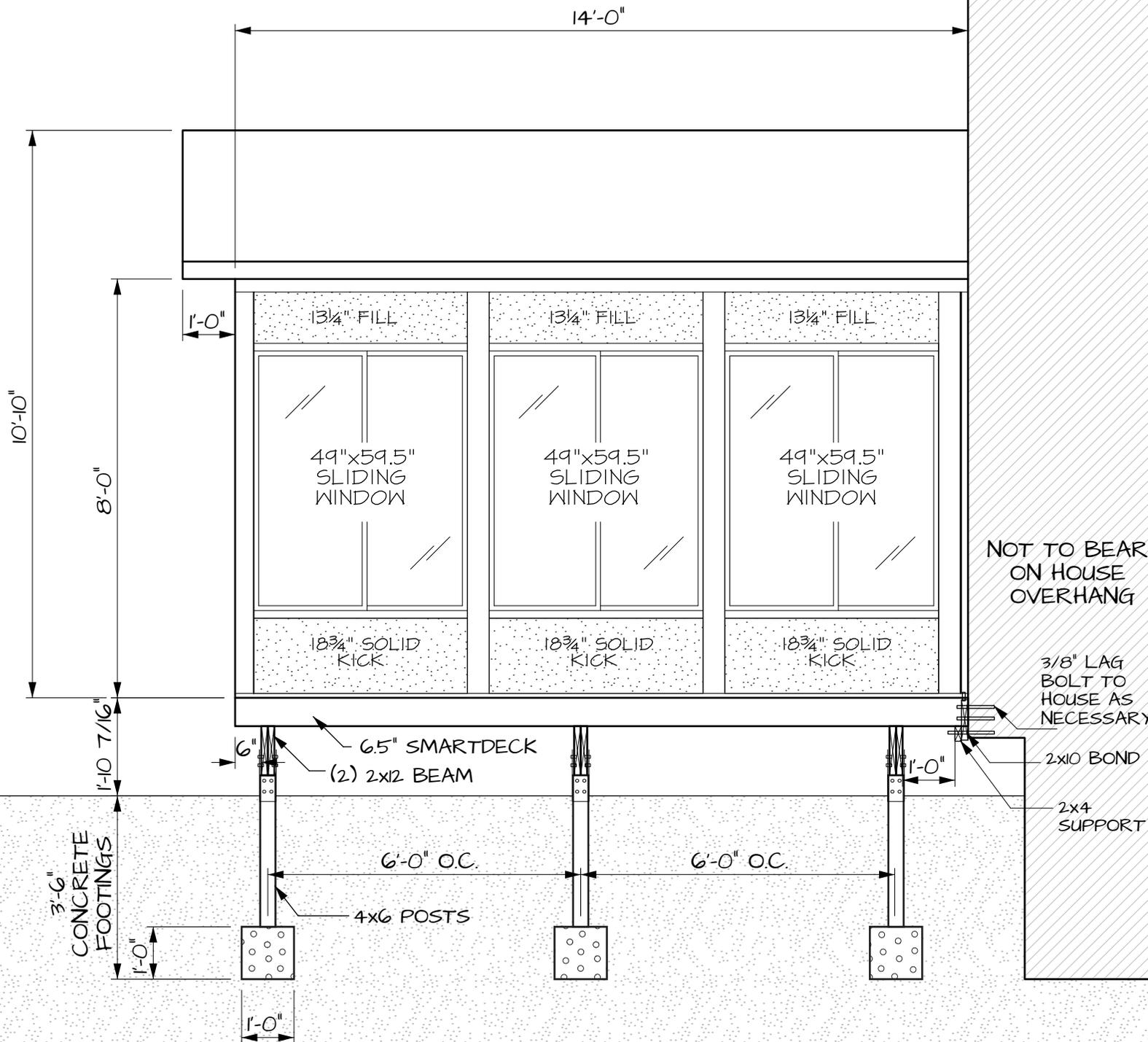
RIGHT ELEVATION

No.	Revision/Issue	Date

From Name and Address
 MICHIGAN SUNROOMS
 32823 WOODWARD AVE
 248-880-7896

Project Name and Address
 SAMUEL
 5330 Standish Dr
 Troy, MI 48085
 248-494-2181

Project	Sheet
Date	8/25/16
Scale	



NOT TO BEAR
 ON HOUSE
 OVERHANG

3/8" LAG
 BOLT TO
 HOUSE AS
 NECESSARY

2x10 BOND

2x4
 SUPPORT

6.5" SMARTDECK
 (2) 2x12 BEAM

4x6 POSTS

3'-6"
 CONCRETE
 FOOTINGS

6'-0" O.C.

6'-0" O.C.

18 3/4" SOLID
 KICK

18 3/4" SOLID
 KICK

18 3/4" SOLID
 KICK

49"x59.5"
 SLIDING
 WINDOW

49"x59.5"
 SLIDING
 WINDOW

49"x59.5"
 SLIDING
 WINDOW

13 1/4" FILL

13 1/4" FILL

13 1/4" FILL

14'-0"

8'-0"

10'-10"

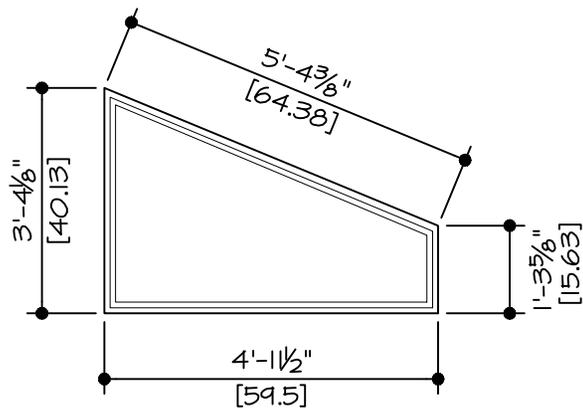
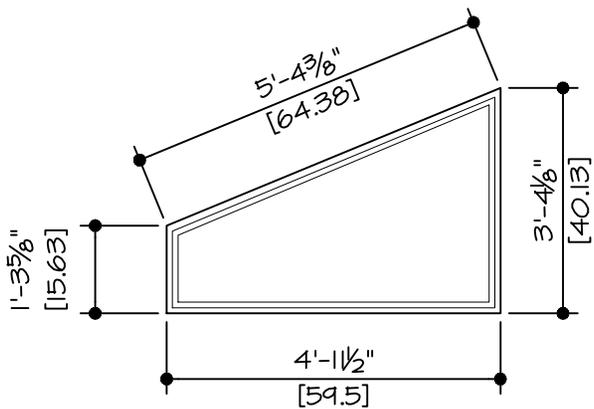
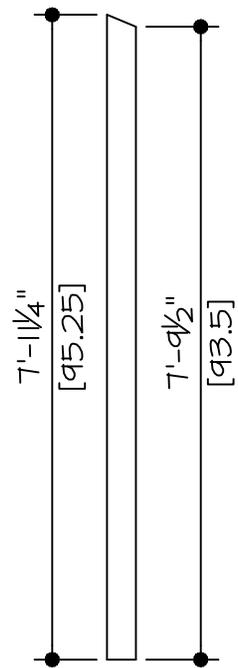
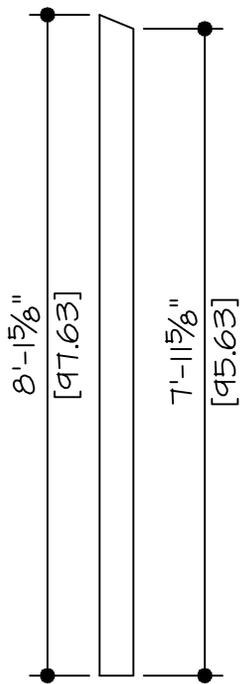
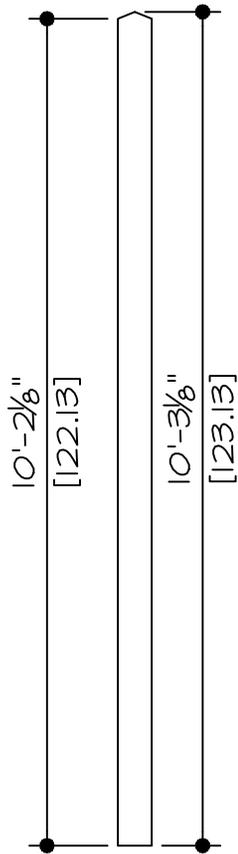
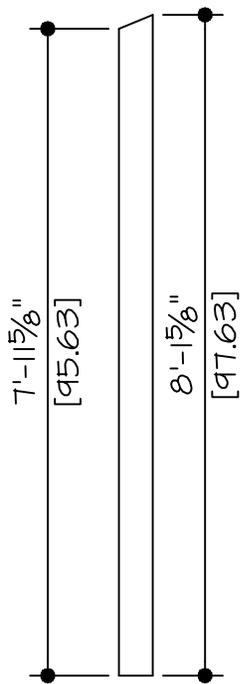
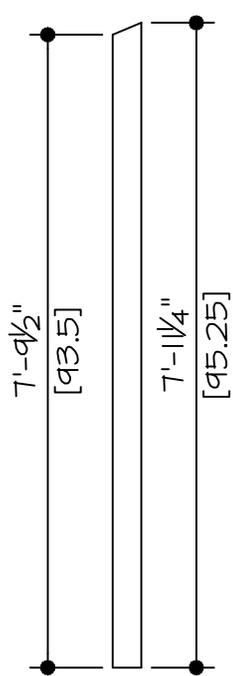
1'-0"

1'-10 7/16"

1'-0"

1'-0"

1'-0"



General Notes

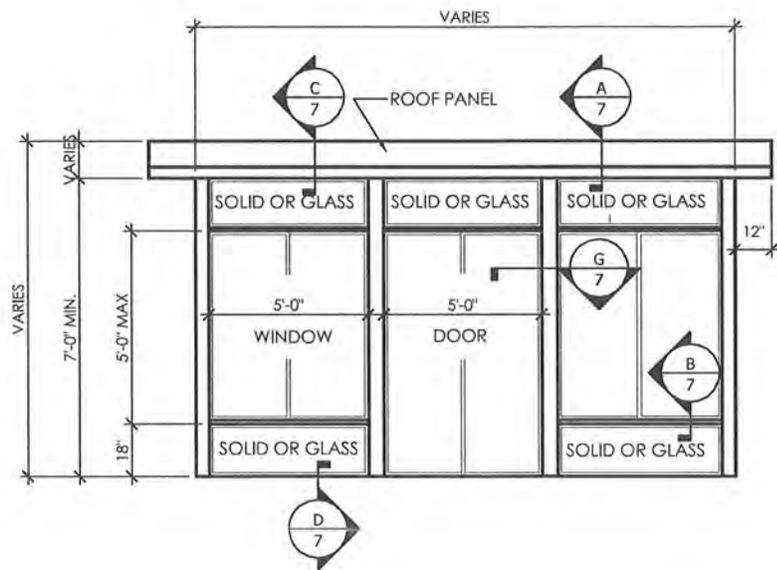
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No.	Revision/Issue	Date

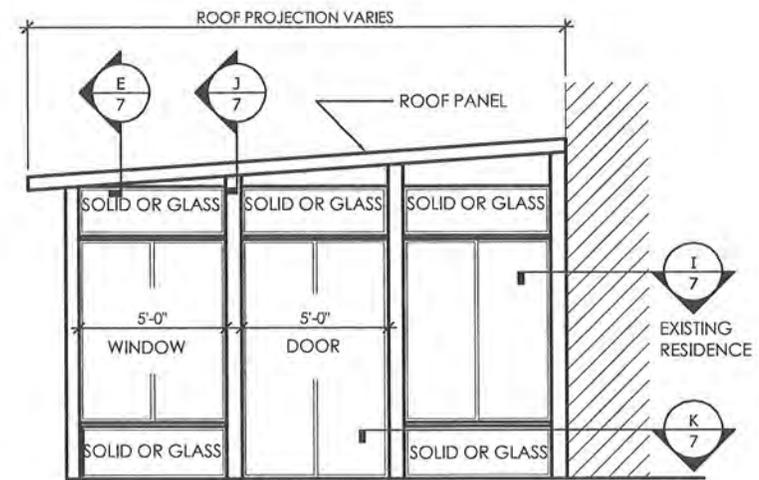
Per Name and Address
 MICHIGAN SUNROOMS
 32823 WOODWARD AVE
 248-880-7896

Project Name and Address
 SAMUEL
 5330 Standish Dr
 Troy, MI 48085
 248-494-2181

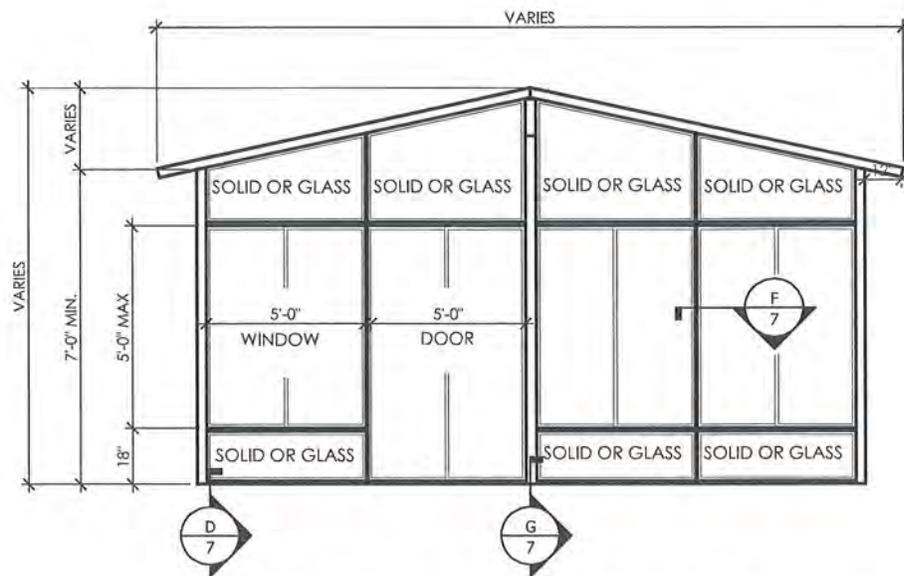
Project	Sheet
Date 8/25/16	



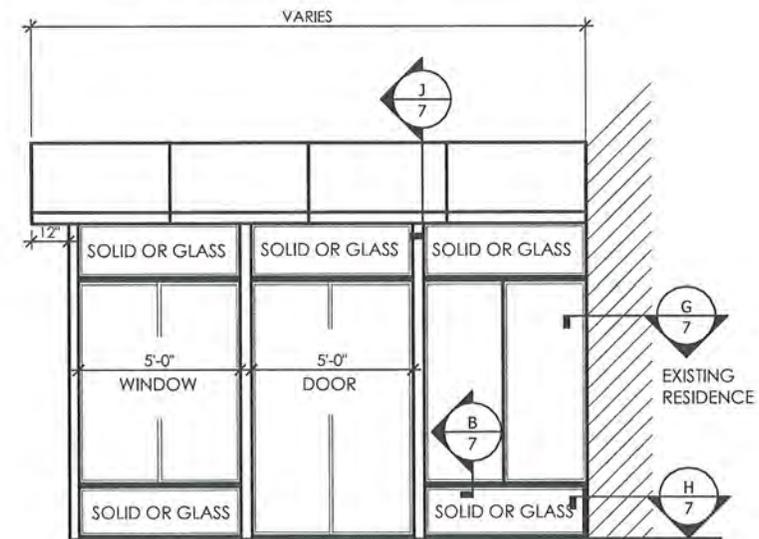
TYPICAL STUDIO FRONT ELEVATION



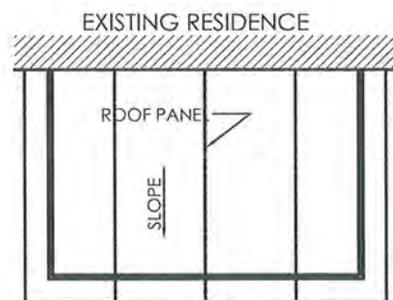
TYPICAL STUDIO SIDE ELEVATION



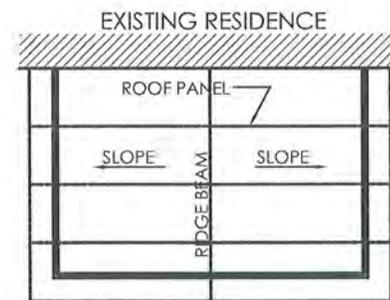
TYPICAL GABLE FRONT ELEVATION



TYPICAL GABLE SIDE ELEVATION



TYPICAL STUDIO ROOF LAYOUT



TYPICAL GABLE ROOF LAYOUT

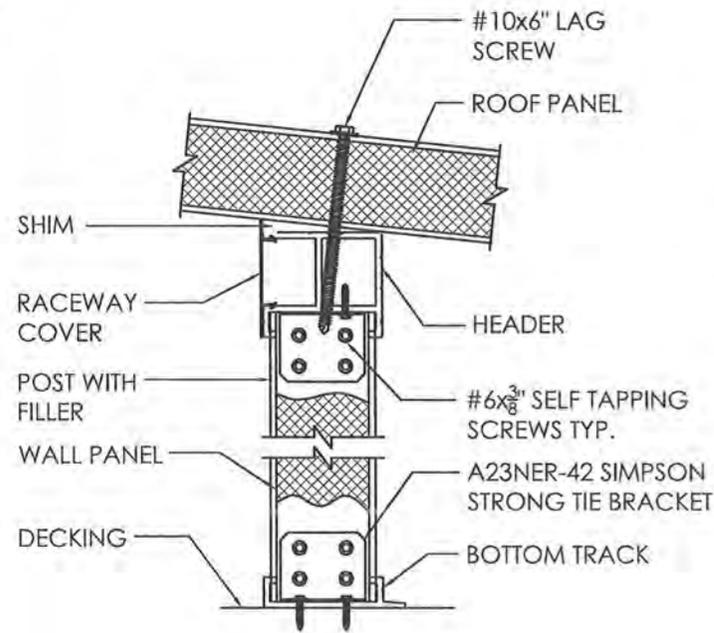
ELEVATIONS

No.	Revision/Issue	Date

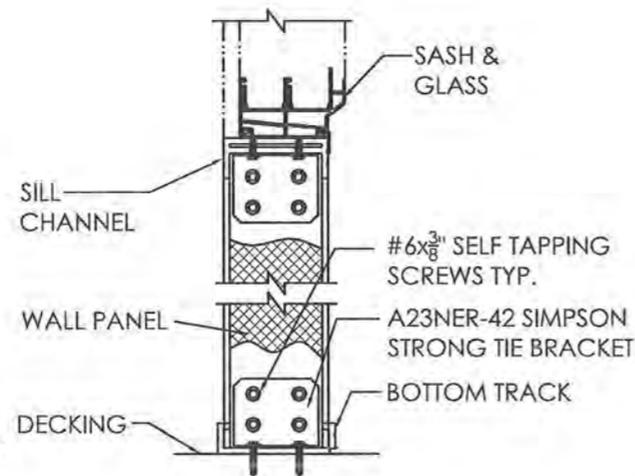
MICHIGAN SUNROOMS
32823 WOODWARD AVE
248-880-7896

Seal

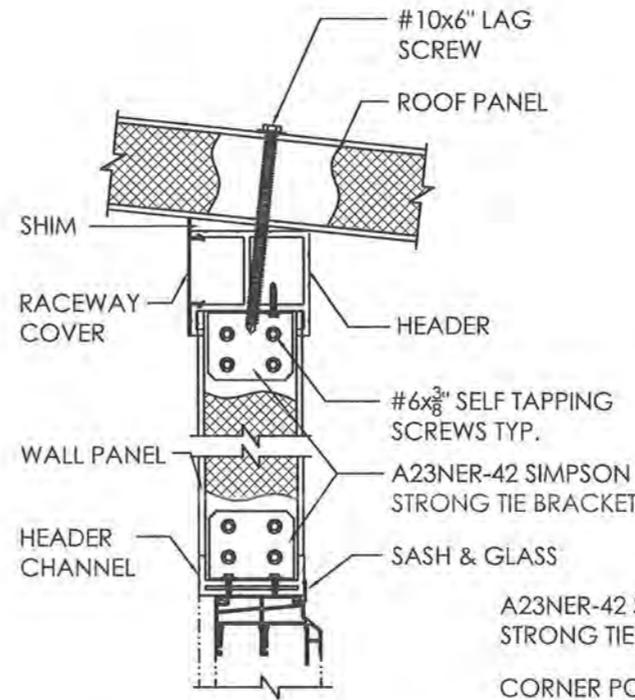
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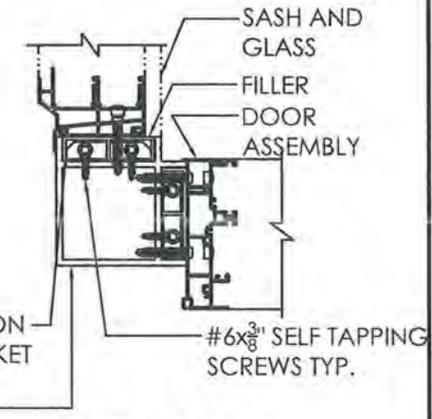
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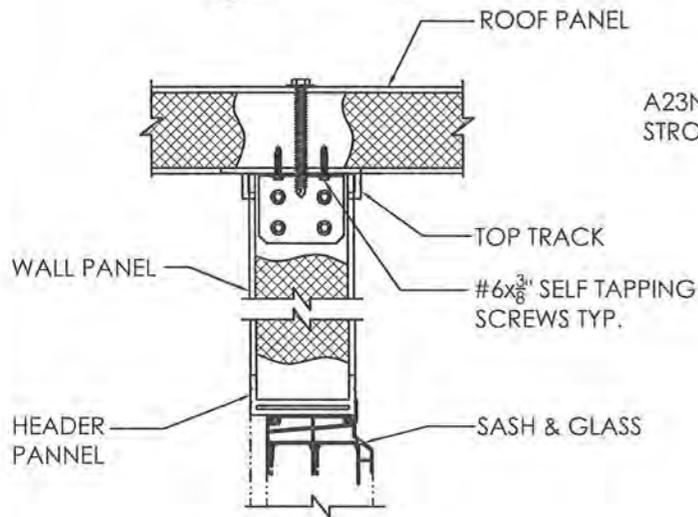
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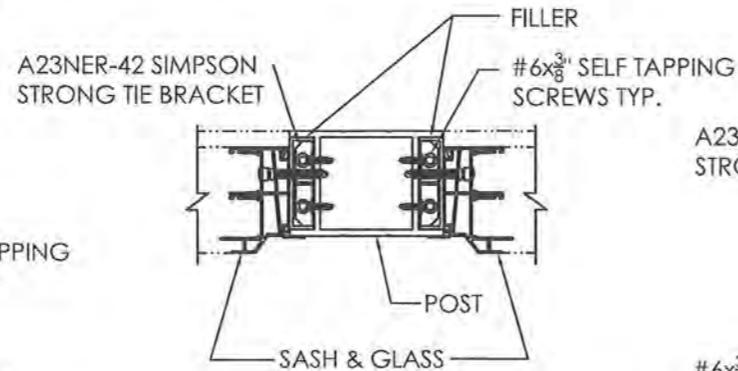
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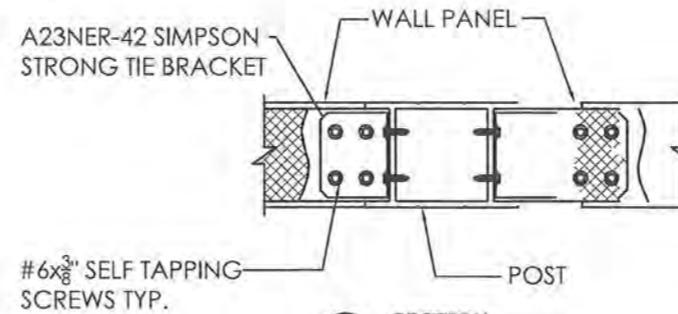
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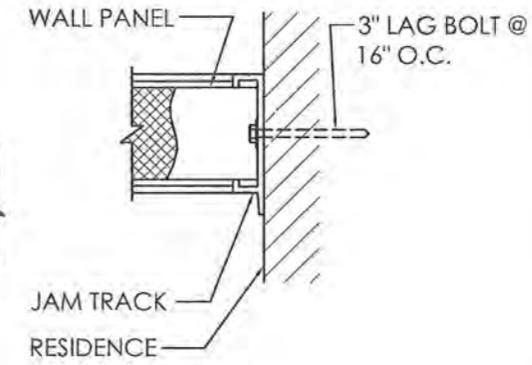
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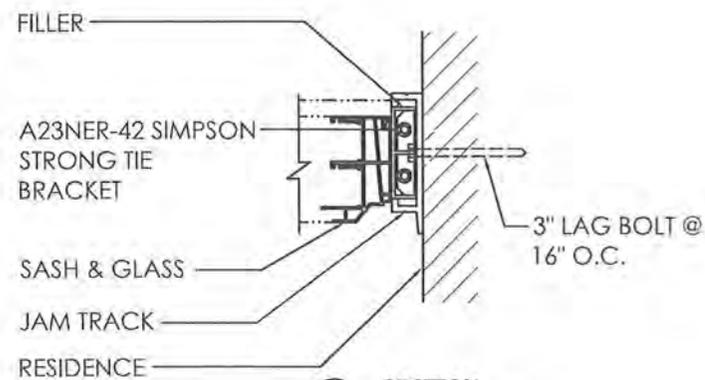
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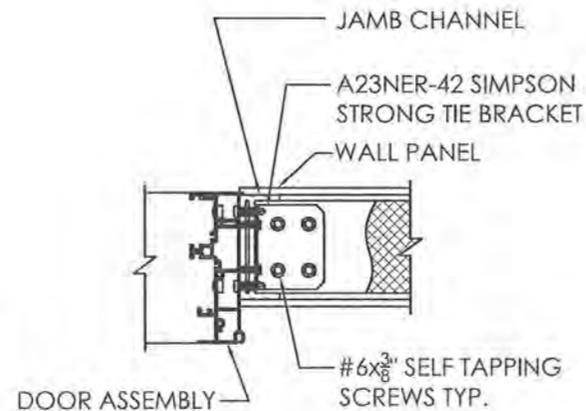
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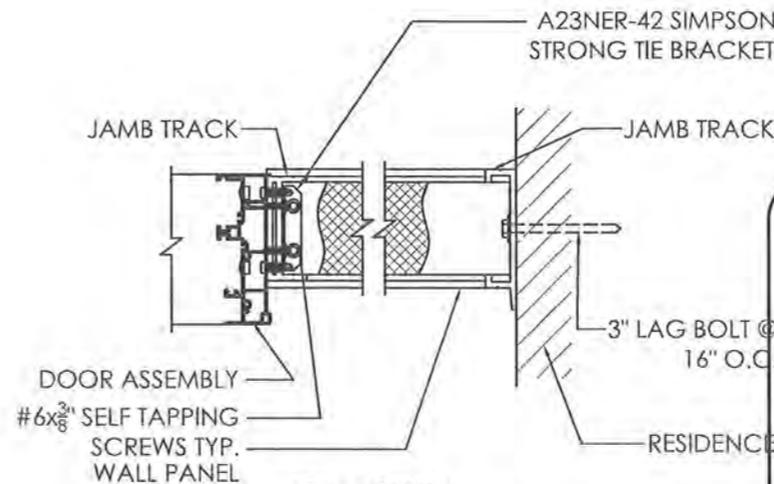
H SECTION
SCALE: NTS



I SECTION
SCALE: NTS



J SECTION
SCALE: NTS

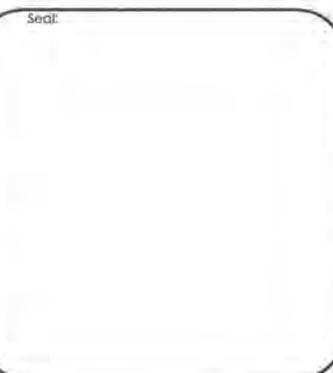


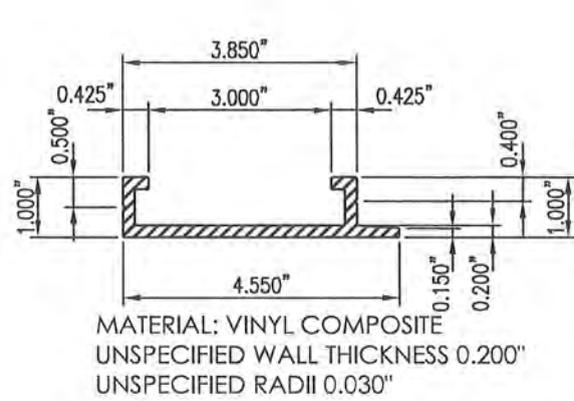
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DETAILS

No.	Revision/Issue	Date

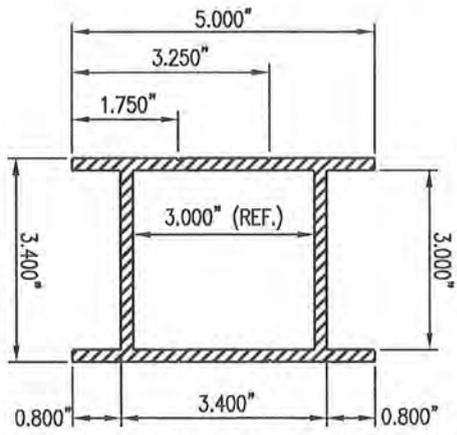
MICHIGAN SUNROOMS
32823 WOODWARD AVE
248-880-7896





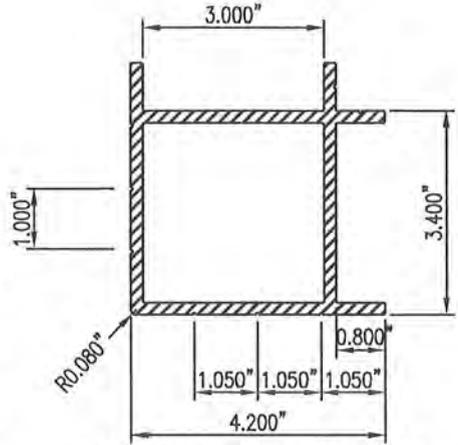
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UNSPECIFIED RADII 0.030"



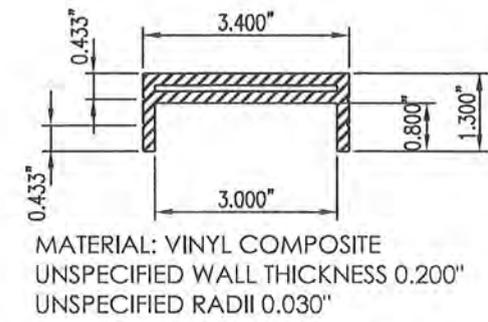
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N.T.S. PART No.2

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UNSPECIFIED RADII 0.030"



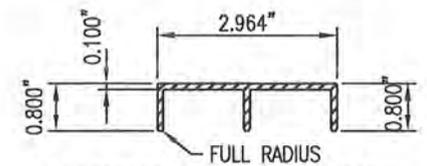
SECTION THROUGH CORNER POST
N.T.S. PART No.3

MATERIAL: VINYL COMPOSITE
UNSPECIFIED WALL THICKNESS 0.200"
UNSPECIFIED RADII 0.030"



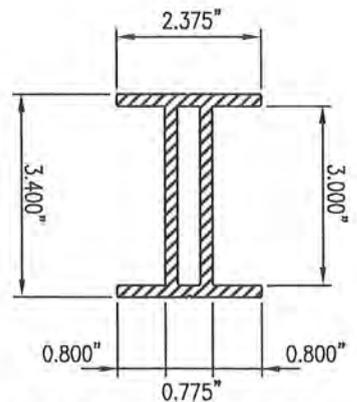
SECTION THROUGH SILL/JAM CHANNEL
N.T.S. PART No.4

MATERIAL: VINYL COMPOSITE
UNSPECIFIED WALL THICKNESS 0.200"
UNSPECIFIED RADII 0.030"



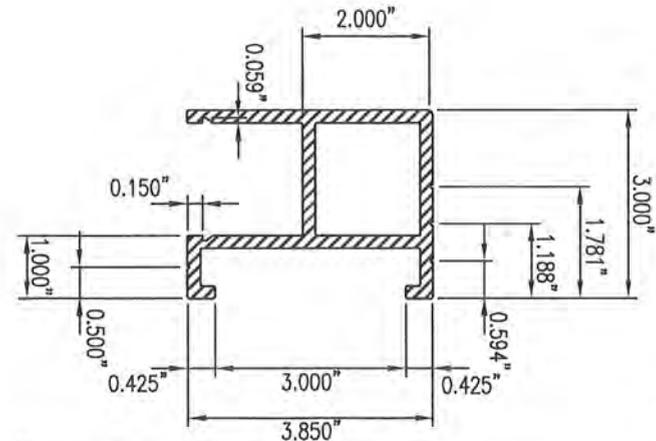
SECTION THROUGH FILLER
N.T.S. PART No.5

MATERIAL: VINYL COMPOSITE
UNSPECIFIED WALL THICKNESS 0.100"
UNSPECIFIED RADII 0.030"



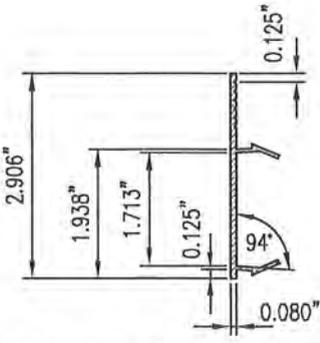
MATERIAL: VINYL COMPOSITE
UNSPECIFIED WALL THICKNESS 0.200"
UNSPECIFIED RADII 0.030"

SECTION REG. POST
N.T.S. PART No.6



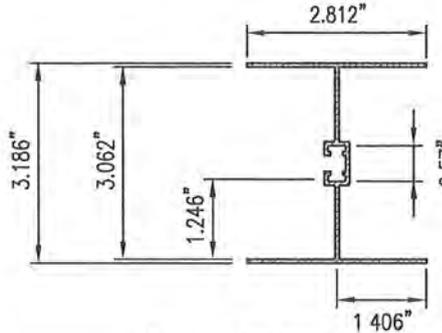
MATERIAL: VINYL COMPOSITE
UNSPECIFIED WALL THICKNESS 0.200"
UNSPECIFIED RADII 0.030"

SECTION THROUGH HEADER
N.T.S. PART No.7



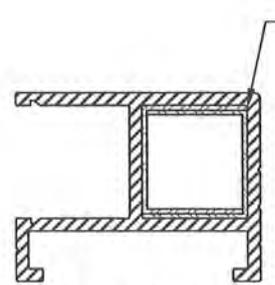
MATERIAL: VINYL COMPOSITE
UNSPECIFIED RADII 0.030"

SECTION THROUGH COVER
N.T.S. PART No.8



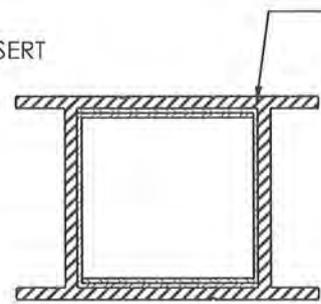
MATERIAL: VINYL COMPOSITE
UNSPECIFIED WALL THICKNESS 0.200"
UNSPECIFIED RADII 0.030"

SECTION THROUGH ROOF H-BAR
N.T.S. PART No.9



130 MPH OPTION STEEL INSERT HEADER
N.T.S.

1.72" x 1.53" x 1.72"
GALVANIZED STEEL INSERT
(0.038") 2-REQUIRED



130 MPH OPTION STEEL INSERT / ELECTRICAL POST
N.T.S.

2.93" x 2.93" x 2.93"
GALVANIZED STEEL INSERT
(0.038") 2-REQUIRED

COMPONENT DETAILS

No.	Revision/Issue	Date

MICHIGAN SUNROOMS
32823 WOODWARD AVE
248-880-7896

Seal:

LOAD DESIGN CHART
Unreinforced Panel

PORTER SIPS STRUCTURAL INSULATED PANELS																				
7/16" OSB THICKNESS																				
Panel Thickness																				
PANEL SPAN	4 5/8"				6 1/2"				8 1/4"				10 1/4"				12 1/4"			
	EPS CORE THICKNESS																			
3 3/4" CORE				5 5/8" CORE				7 3/8" CORE				9 3/8" CORE				11 3/8" CORE				
DEFLECTION	L/360	L/240	L/180	L/360	L/240	L/180	L/360	L/240	L/180	L/360	L/240	L/180	L/360	L/240	L/180					
8'-0"	69	52	34	81	61	39	89	69	42	97	77	46	106	81	48					
10'-0"	45	34	23	62	45	27	67	50	33	73	53	31	79	57	35					
12'-0"	31	23	15	50	41	27	54	40	26	59	43	28	63	46	30					
14'-0"	22	16	-	40	30	20	46	34	23	49	36	24	52	38	26					
16'-0"	-	-	-	29	22	15	39	33	22	42	32	22	44	33	23					
18'-0"	-	-	-	22	17	11	34	26	17	37	27	18	39	28	19					
20'-0"	-	-	-	-	-	-	27	20	13	33	24	16	34	25	17					

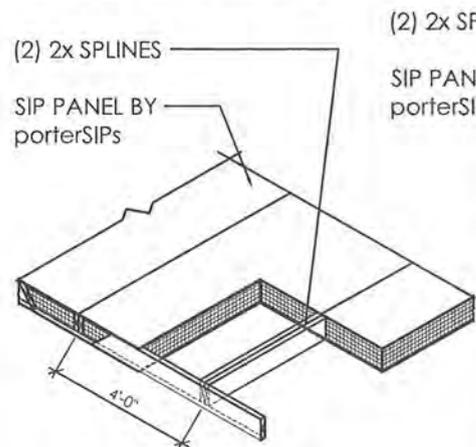
LOAD DESIGN CHART
(SEE DOUBLE 2X SPLINE DETAIL)

PORTER SIPS STRUCTURAL INSULATED PANELS												
7/16" OSB THICKNESS												
Panel Thickness												
PANEL SPAN	6 3/8"			8 1/8"			10 1/8"			12 1/8"		
	EPS CORE THICKNESS											
5 1/2" CORE			7 1/4" CORE			9 1/4" CORE			11 1/4" CORE			
DEFLECTION	L/360	L/240	L/180	L/360	L/240	L/180	L/360	L/240	L/180	L/360	L/240	L/180
10'-0"	72	100	100	100	100	100	100	100	100	100	100	100
12'-0"	41	62	83	77	100	100	100	100	100	100	100	100
14'-0"	26	39	52	49	73	97	86	100	100	100	100	100
16'-0"	17	26	35	33	49	65	58	86	115	92	100	100
18'-0"	12	18	25	23	34	46	40	61	81	65	97	100
20'-0"	9	13	18	17	25	33	29	44	59	47	71	95
22'-0"	-	-	-	-	-	-	22	33	44	36	53	71
24'-0"	-	-	-	-	-	-	17	26	34	27	41	55

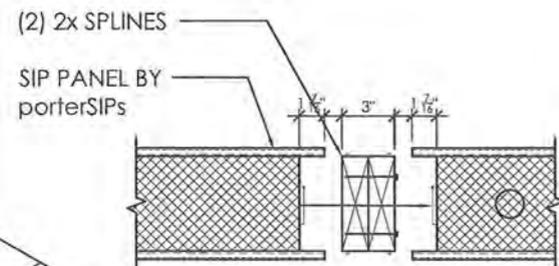
Diaphragm Load Chart:

PORTER SIPS STRUCTURAL INSULATED PANELS							Allowable Shear (PLF)
7/16" OSB THICKNESS							
Fastening of Panel		Fastened to Steel		Fastened to Wood		Allowable Shear (PLF)	
Fastener Type	Spacing (in.)	Fastener Type	Spacing (in.)	Fastener Type	Spacing (in.)		
8d nails	6	SIP-D	12	SIP-LD	12	195	
8d nails	6	SIP-D	7	SIP-LD	7	335	
8d nails	4	SIP-D	4	SIP-LD	4	490	
8d nails	3	SIP-D	3	SIP-LD	3	630	
8d nails	2	SIP-D	2	SIP-LD	2	820	

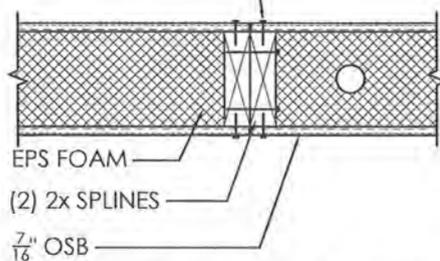
* Minimum specific gravity of wood frame to be 0.45.
* Maximum aspect ratio of diaphragm to be 4:1
* Panel fasteners to be TRUFAST SIP Fastener or equivalent.



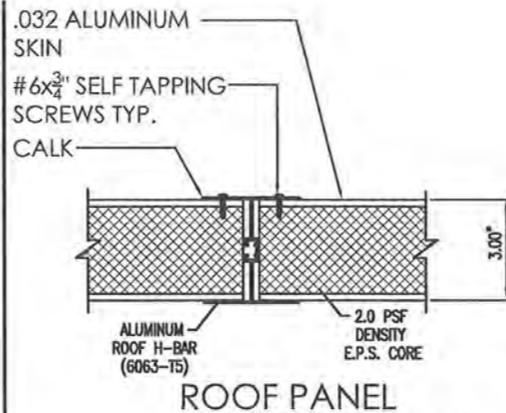
**TYPICAL SIP FLOOR
DETAIL**



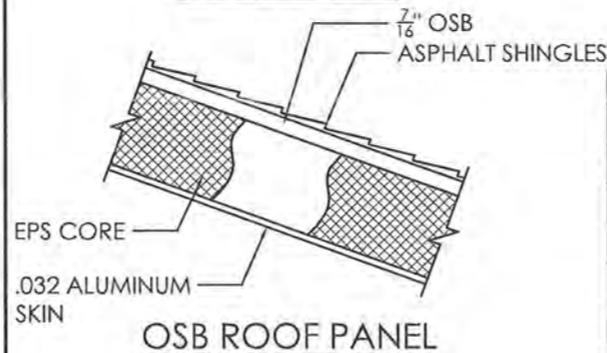
8d NAILS @ 6" O.C.



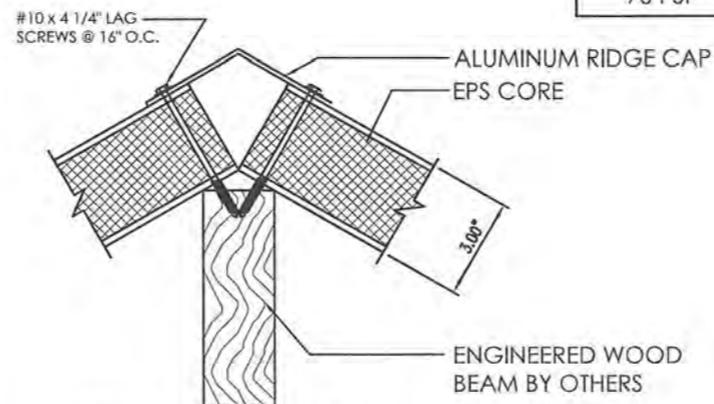
**TYPICAL 2x SPLINE
DETAIL**



ROOF PANEL



OSB ROOF PANEL



GABLE RIDGE DETAIL

NOTES:

1. ROOF PANELS TO BE 4' WIDE AND AVAILABLE IN LENGTHS OF 9 FT., 11 FT, 13 FT, AND 16 FT.
2. 3" ROOF PANELS TO BE EPS FOAM WITH A 2.0 PSF DENSITY AND CONSIST OF .032 (0.81MM) ALUMINUM SKIN THICKNESS EACH SIDE.
3. REFER TO SPAN TABLES TO DETERMINE MAX. SPANS BASED ON CALCULATED DESIGN LOADS.

3" ROOF SPAN TABLE	
DESIGN LOAD	MAX SPAN
10 PSF	18'-4"
20 PSF	15'-10"
25 PSF	14'-3"
30 PSF	13'-1"
40 PSF	11'-5"
50 PSF	10'-3"
60 PSF	9'-5"
70 PSF	8'-9"

PANEL INFORMATION

No. Revision/Issue Date

MICHIGAN SUNROOMS
32823 WOODWARD AVE
248-880-7896

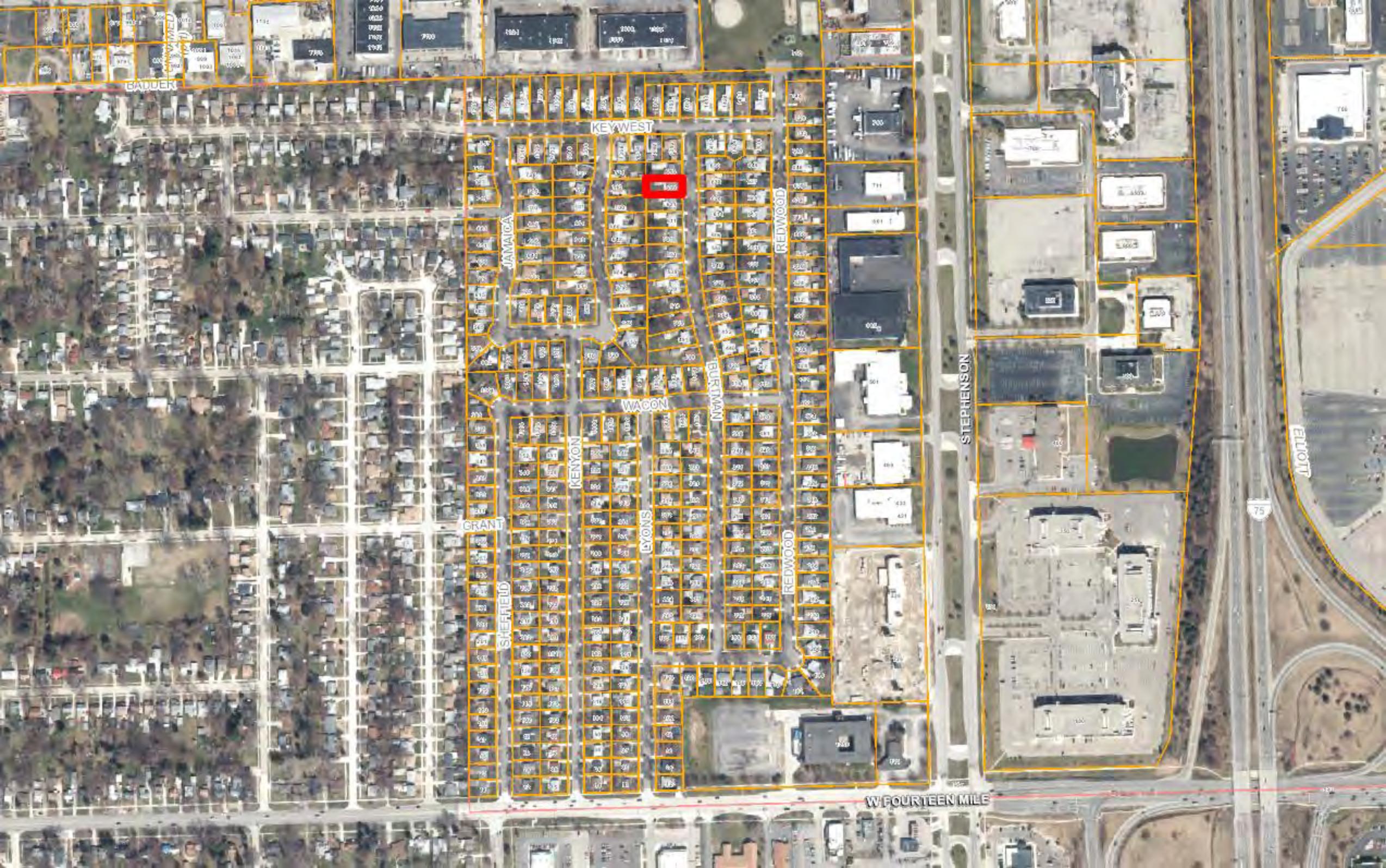
Seal:

From: Gerry Seip <justgerrya@yahoo.com>
Sent: Thursday, October 06, 2016 10:52 AM
To: Planning
Subject: Stephen and Preethy Samuel

We are residents at 5297 Standish Dr, Troy and want it to be noted that we have no objection to allowing the above mentioned residing at 5330 Standish to proceed with the construction of a sunroom on their property.
Charles & Geraldine Seip

4. HEARING OF CASES

- C. VARIANCE REQUEST, GRANT DRYOVAGE FOR ATEX BUILDERS LLC, 633 BURTMAN – In order to rebuild a detached, nonconforming garage, a 4 foot variance from the required 6 foot side yard setback. The existing garage is nonconforming because it is set back less than 6 feet from the property line.



BADDER

KEY WEST

JAMAICA

REDWOOD

WAGON

KENYON

GRANT

SHEFFIELD

BYRON

NAURINE

REDWOOD

STEPHENSON

W FOURTEEN MILE

ELLIOTT

75

1000



KEY WEST

KENYON

BURTMAN

REDWOOD

1350

1366

1374

1382

1392

1412

1424

1436

700

724

645

650

649

648

712

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624

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611

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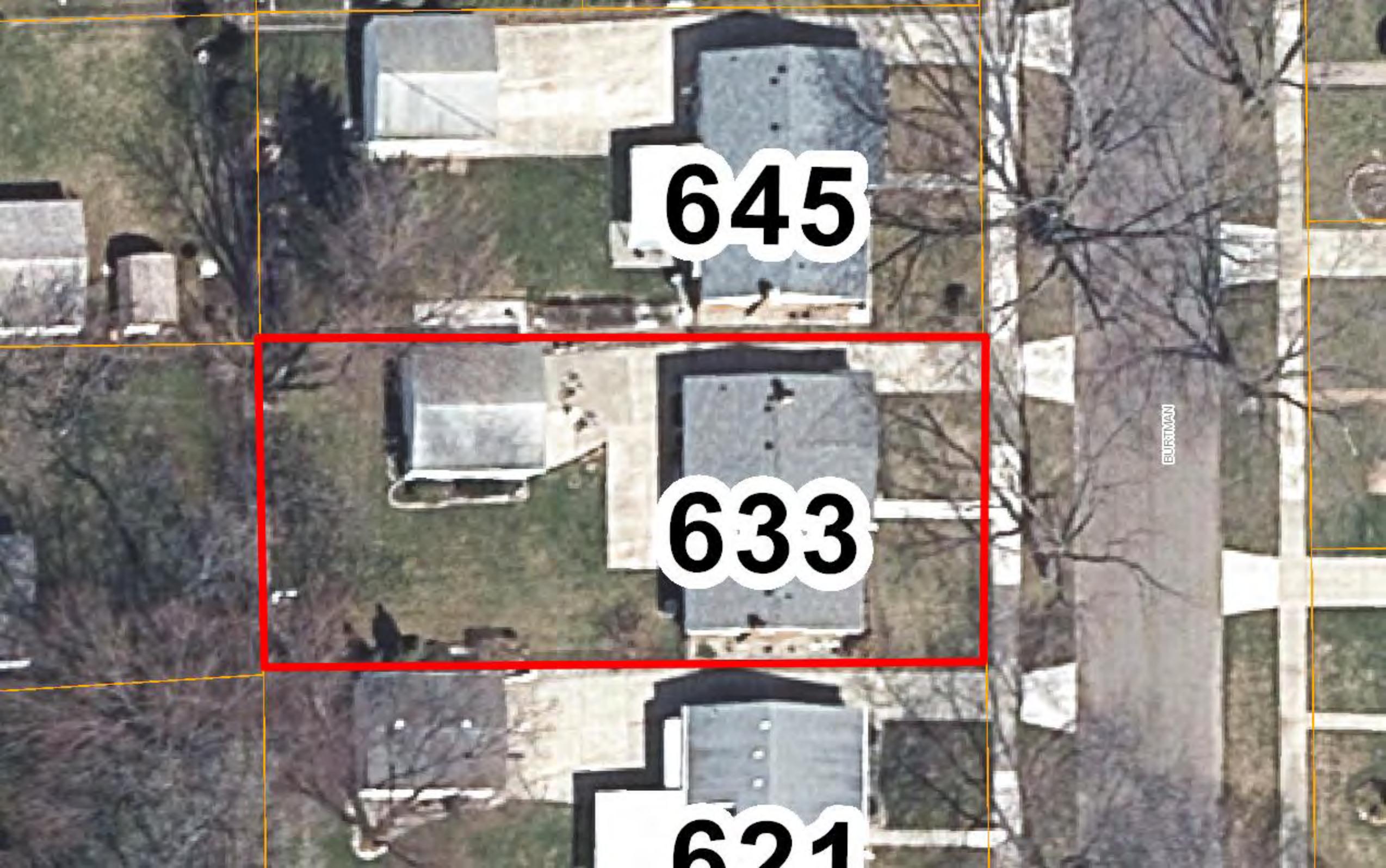
636

551

552

551

5



645

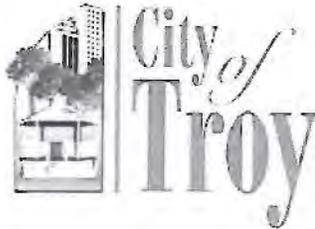
633

621

BURTMAN

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248-524-3364



RECEIVED
FEE \$150.00
SEP 16 2016
PLANNING

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE AT LEAST 29 DAYS BEFORE THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 633 Burtman Troy MI 48083
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-35-305-023
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: Non-Conforming
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
5. APPLICANT:
NAME Grant Dryorage
COMPANY Atex Builders LLC
ADDRESS P.O. Box 824
CITY Royal Oak STATE MI ZIP 48068
PHONE 734 536 6030
E-MAIL gdryorage@atexbuilders.com
AFFILIATION TO THE PROPERTY OWNER: Contractor to property owner

6. PROPERTY OWNER:

NAME LISA STANKOV
COMPANY _____
ADDRESS 1033 Burtman dr.
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-259-0881
E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Grant Drygorage (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 9/9/16

PRINT NAME: Grant Drygorage

PROPERTY OWNER SIGNATURE  DATE 9-9-16

PRINT NAME: Lisa Stankov

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.



1-800-916-4112

P.O. Box 824

ROYAL OAK MI 48068

GRANT DRYOVAGE

ATEX BUILDERS LLC

Dear Zoning Commission,

Please see Our Attached request for an application for variance request. We are applying to get a variance for a non-conforming structure to allow us to put a new garage on the existing slab in the exact same location as it is currently. We are hoping you that you grant the variance as we feel that it brings a dated structure up to code and removes/replaces a structure that may be deemed unsafe. We also feel the structure cannot be reconfigured or laid out another way to allow ease of entry to garage due to it conforming codes and design of the structure when it was built. We have found the existing slab and footing to be in good salvageable condition. We think that it meets all of the variance requirements as listed below.

Please review following reasons associated with Statement of Difficulty

- a. *Exception characteristics of property which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.*
 1. With the way the property is set up it is very hard to get into south side parking side of garage if garage was to be moved to meet existing zoning ordinance. House and garage were designed to be placed onsite as they are now.
 2. Moving garage will damage and destroy existing landscaping and certain species of plants will not survive a transplant.

- b. *The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not for some other location.*
 1. Yes, it is the dimensional requirements of 633 Burtman

- c. *The characteristics which make compliance with the dimensional requirements shall not be of personal nature.*
 1. No, the dimensional requirements are not of personal nature.

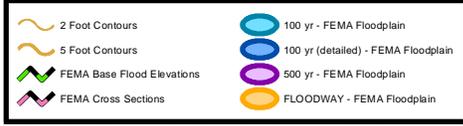
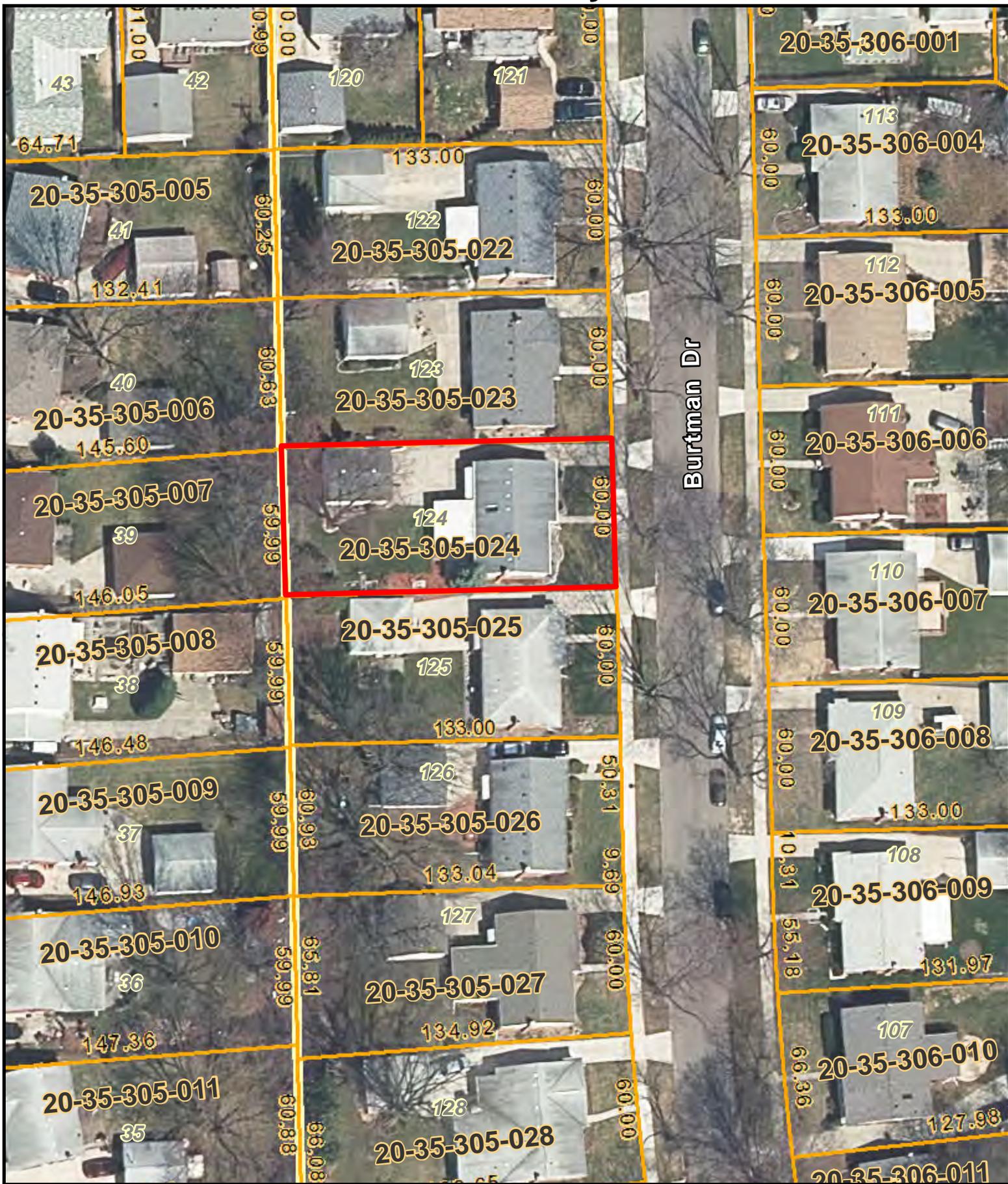
- d. *The characteristics which make compliance difficult must not be created by the current or previous owner.*
1. No, the difficulties were not created by previous owner
- e. *The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair and adequate, supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, or morals welfare of the inhabitants of the City.*
1. No, it will not violate any of the following. In fact it will increase value in the neighborhood due to having a newer look. Also from a safety standpoint it will increase safety as current garage structure does not conform to newly adopted codes and the safety of the structure is questionable at best (excluding the foundation).

Sincerely,

Grant Dryovage

Atex Builders LLC

633 Burtman Dr Troy Mi 48083

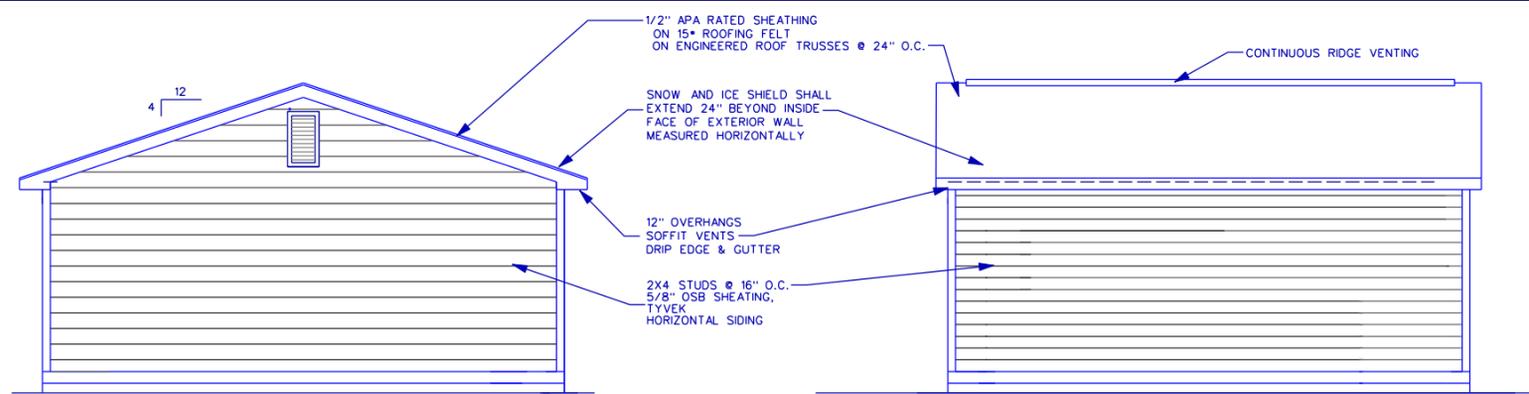


Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.

OAKLAND
 COUNTY OF MICHIGAN
 L. Brooks Patterson
 Oakland County Executive

Date Created: 9/15/2016

 NORTH
 1 inch = 50 feet

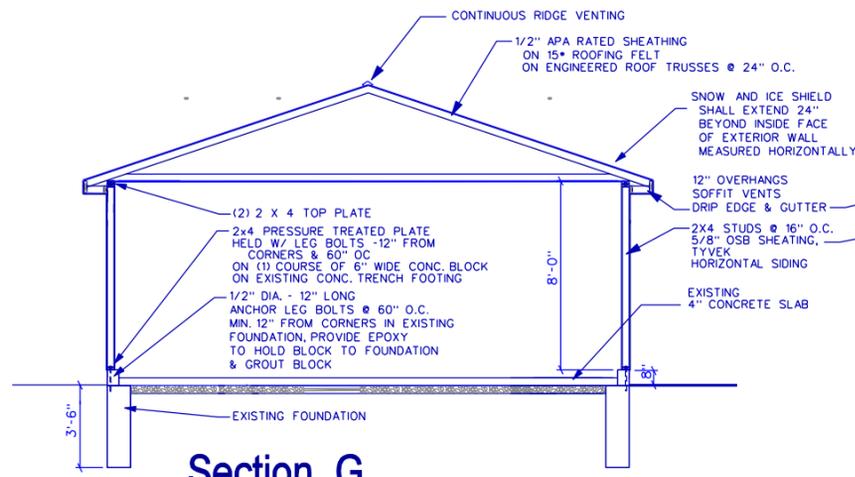


Garage Elevation- west

1/4" = 1'-0"

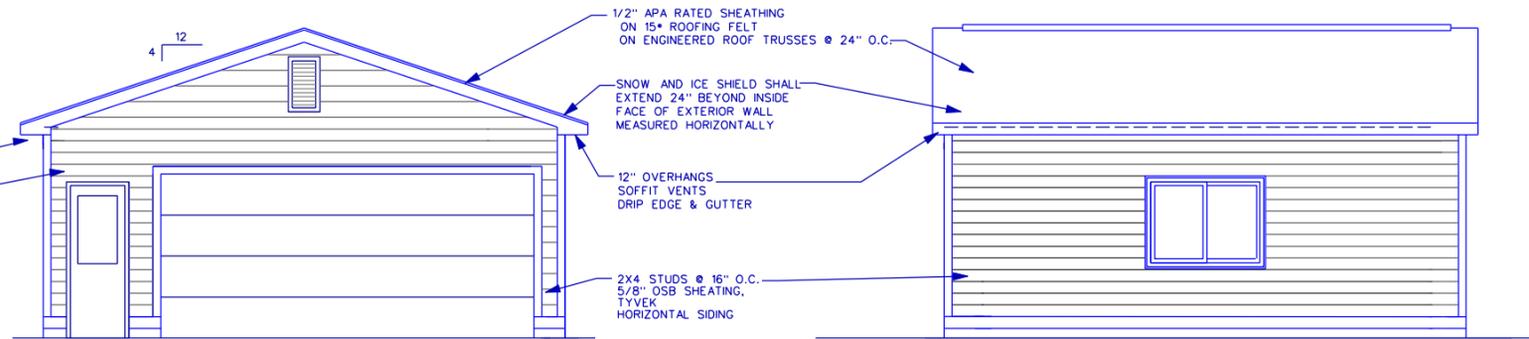
Garage Elevation- north

1/4" = 1'-0"



Section G

1/4" = 1'-0"

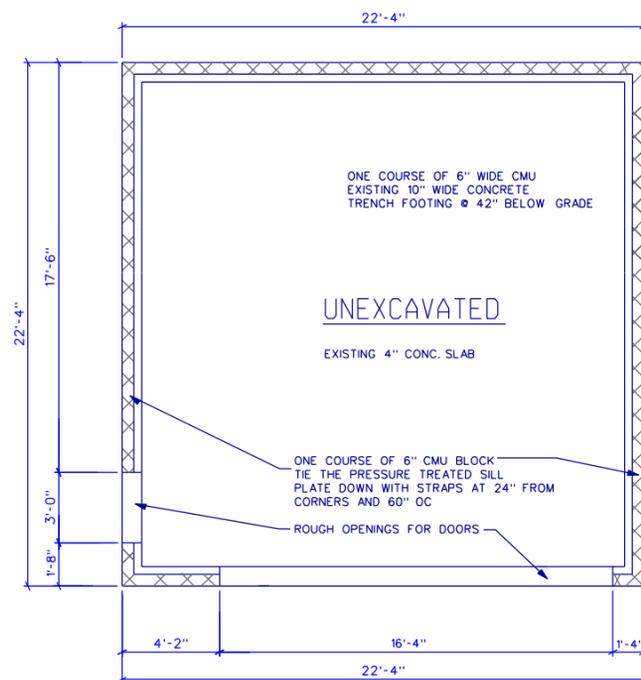


Garage Elevation- east

1/4" = 1'-0"

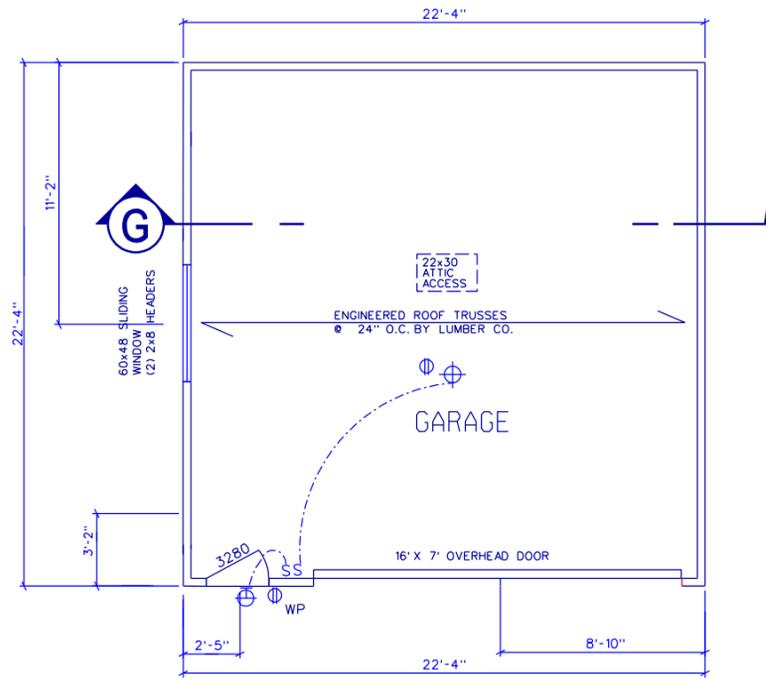
Garage Elevation- south

1/4" = 1'-0"



Foundation Plan - Garage

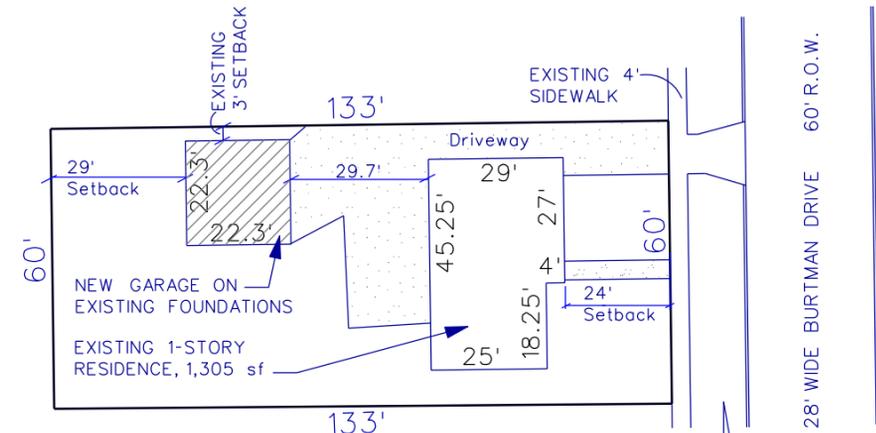
1/4" = 1'-0"



Floor Plan - Garage

1/4" = 1'-0"

PIN: 20-35-305-023
Living Area: 1305



Site Plan

SCALE: 1" = 20'-0"



Electrical Symbols

- ⊕_{WP} WATER PROOF OUTLET
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE

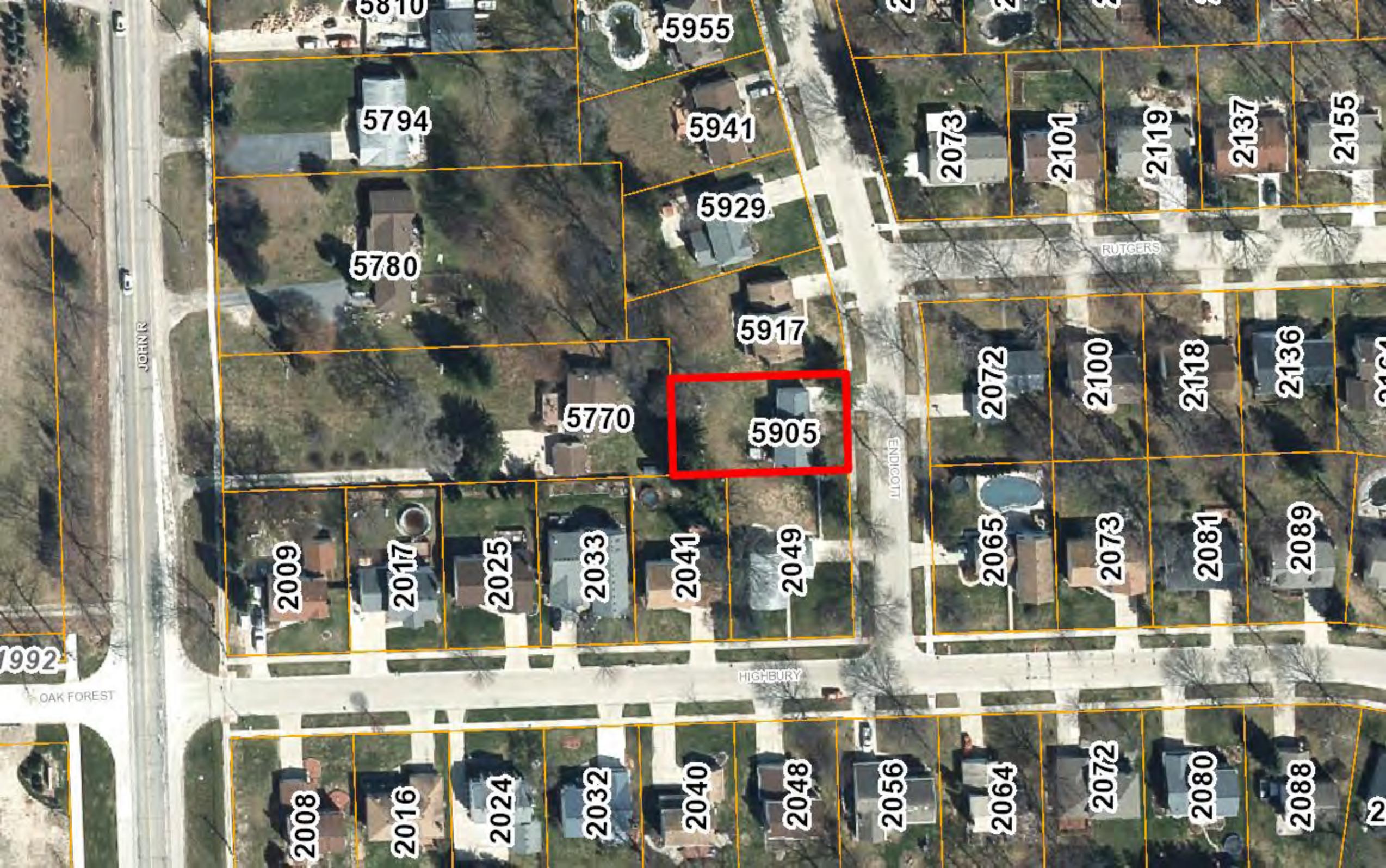






4. HEARING OF CASES

- D. VARIANCE REQUEST, DANIEL AND KIMBERLY ECKL, 5905 ENDICOTT – In order to build a roof over an existing uncovered front porch, a 5.5 foot variance to the required 30 foot front yard setback.



JOHNIR

1992

OAK FOREST

HIGBURY

ENDICOTT

RUTGERS

2008

2016

2024

2032

2040

2048

2056

2064

2072

2080

2088

2009

2017

2025

2033

2041

2049

2065

2073

2081

2089

5770

5905

5917

5780

5794

5955

5941

5929

2073

2101

2119

2137

2155

2072

2100

2118

2136

5917

770

5905

ENDICOTT



5810

5955

5794

5941

2073

2101

2119

2137

2155

5780

5929

RUTGERS

(R-1C)

5917

2072

2100

2118

2136

2164

JOHNIR

5770

5905

ENDICOTT

2009

2017

2025

2033

2041

2049

2065

2073

2081

2089

1992

OAK FOREST

HIGHBURY

2008

2016

2024

2032

2040

2048

2056

2064

2072

2080

2088

2

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
planning@troymi.gov



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE AT LEAST **29 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 5905 ENDICOTT, TROY, MI 48085
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-12-101-008
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R-1C
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: No
5. APPLICANT:
NAME DANIEL & KIMBERLY ECKL
COMPANY _____
ADDRESS 5905 ENDICOTT
CITY TROY STATE MI ZIP 48085
PHONE 248-877-1247
E-MAIL de1@firedefense.com
AFFILIATION TO THE PROPERTY OWNER: _____

6. PROPERTY OWNER:

NAME Daniel E Kimberly Eckel
 COMPANY _____
 ADDRESS 5905 ENDICOTT
 CITY Troy STATE MI ZIP 48065
 TELEPHONE 248-879-1247
 E-MAIL de1efiredefense.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Daniel Eckel (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 9-16-16

PRINT NAME: Daniel Eckel

PROPERTY OWNER SIGNATURE  DATE 9-16-16

PRINT NAME: Daniel Eckel

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

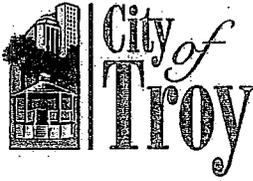
5905 Endicott - Front Yard Setback Variance Request

We want to build a small roof over the existing brick porch for the following reasons:

- This would provide a 2nd floor egress in case of an emergency such as a fire by stepping out of the window onto the porch roof. We can then be able to lower ourselves safely down to the mulch bed below.
- This would also keep rain and ice from forming at the front entry door to prevent slip and falls.
- This would prevent water structural damage as shown on the attached photos.

Thank you for your consideration,

Daniel & Kimberly Eckl



BUILDING PERMIT APPLICATION
CITY OF TROY
 DEPARTMENT OF BUILDING INSPECTIONS
 500 W. BIG BEAVER ROAD
 TROY, MICHIGAN 48084
 248-524-3344

RECEIVED

MAR 30 2015

CITY OF TROY
 BUILDING DEPT.

BUILDING

Date: 3-30-15

PB2015 - 0329

Project Information

Job Address: 5905 ENDICOTT, TROY, MI Suite # _____
 Lot: 456 Subdivision: Stoneridge / Highbury woods Sidwell # 08-00-12-101-008

Building Type

Industrial Office Commercial
 Residential Duplex Condo Multiple Other _____

Request For Building Permit To:

POACH ROOF OVER FRONT DOOR
 Construct Complete Add to Alter Repair Demolish Other _____
 New Building Existing Structure Tenant Space
 Garage/Accessory Building Deck Patio Pool Spa Other _____

Additional Information on location of Construction (Floor/area of bldg.) ADD POACH ROOF OVER FRONT DOOR

Size of Bldg./Addition/Tenant Space/Garage/Deck/etc.: _____

ZONING: R-1C USE GROUP: R-3 CONST. TYPE: SB

ESTIMATED COST OF CONSTRUCTION \$ 1,350.⁰⁰ By Contractor OWNER \$ 1350 By Department

Applicant Information

Name: DANIEL ECKL Phone: 248-879-1247 Fax: _____
 Address: 5905 ENDICOTT City: TROY State: MI Zip: 48085
 License # _____ Federal ID # _____ MESC # _____ Comp. Carrier _____
 Email: kimeckl@sbglobal.net Preferred Contact # /Name _____

Check if you would like email notification of any violations

Owner Information

Name: DANIEL ECKL Phone: 248-879-1247 Fax: _____
 Address: 5905 ENDICOTT City: TROY State: MI Zip: 48085

PLOT PLANS SHALL BE Submitted on Separate Sheets and shall show all easements and measurements (must be correct and in detail). Show all streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines.

I, CERTIFY THAT THE INFORMATION ON THIS APPLICATION IS TRUE AND CORRECT AND THAT I HAVE REVIEWED ALL DEED RESTRICTIONS WHICH MAY APPLY TO THIS CONSTRUCTION AND AM AWARE OF MY RESPONSIBILITY THEREUNDER.

Homeowner Affidavit
 I hereby certify that the work described on this permit application shall be installed by myself in my own home in which I am living or about to occupy. All work shall be installed in accordance with the State of Michigan Building Code and shall not be enclosed, covered up or occupied until it has been inspected and approved. I will cooperate with the Building Inspector and assume all responsibility to arrange for necessary inspections.

Section 23a of the state construction code act of 1972, 1972PA 230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines.

Signature & Print Name: [Signature] Date: 3-30-15
 (owner's signature indicates compliance with homeowner's affidavit)

Subscribed and sworn to before me this 30 day of March Notary Public, Oakland County, Michigan

[Signature] My commission expires _____

A SOIL EROSION PERMIT MAY BE NECESSARY FOR YOUR BUILDING PERMIT TO BE PROCESSED
 PLEASE SEE THE ENGINEERING DEPARTMENT

GERALD D. RICE
 NOTARY PUBLIC, STATE OF MI
 COUNTY OF OAKLAND
 MY COMMISSION EXPIRES Dec 28, 2016
 ACTING IN COUNTY OF Oakland

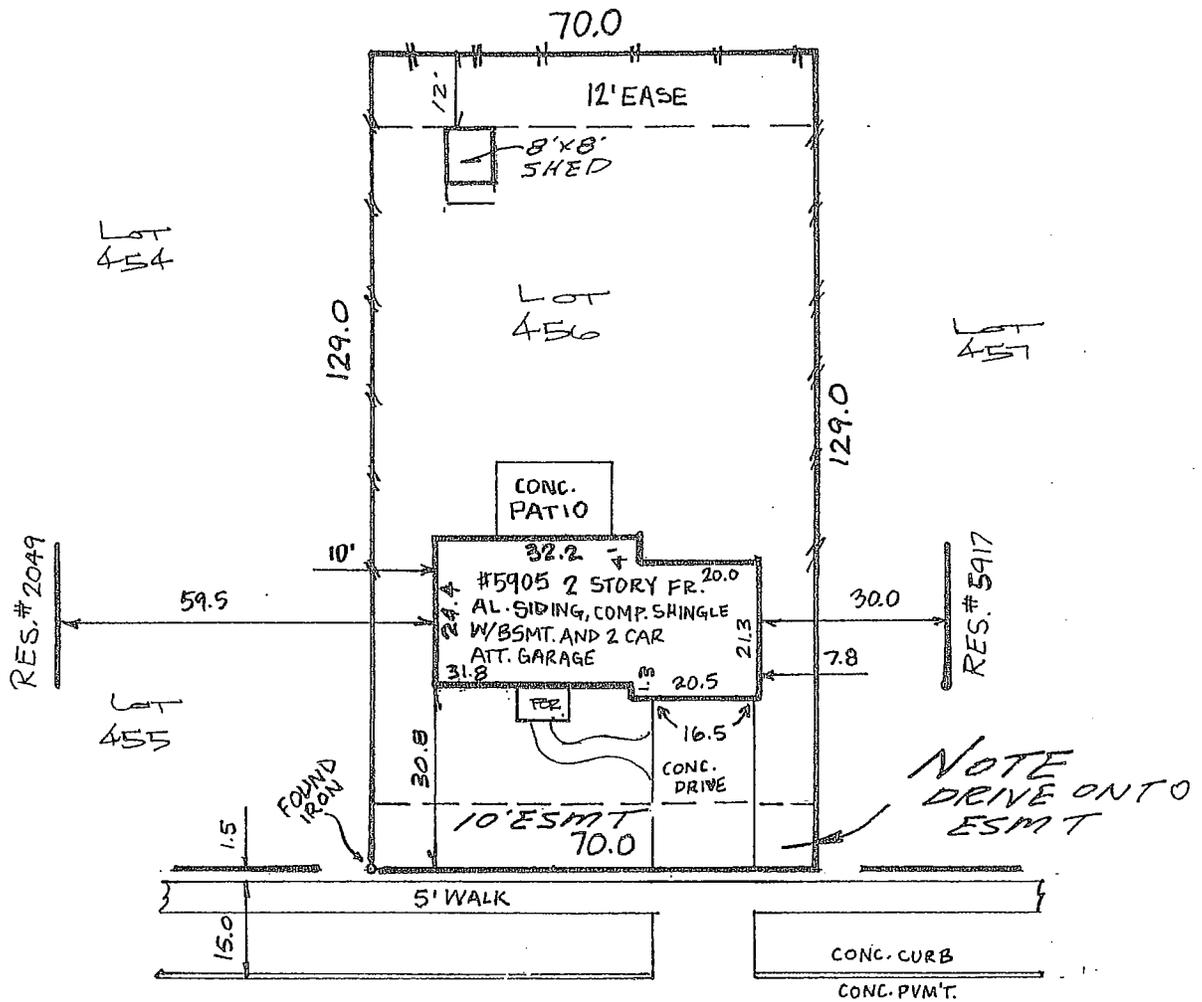
MORTGAGE CERTIFICATE

CERTIFIED TO ALL TITLE COMPANIES AND TO ABN AMRO MORTGAGE GROUP

Applicant: DANIEL J. AND KIMBERLY L. ECKL

Property Description:

Lot 456 of STONERIDGE SUB. NO. 2, City of Troy, Oakland County, Michigan, as recorded in Liber 139 of Plats, Pages 10-15, both inclusive, of Oakland County Records.



ENDICOTT DR. 60' WD.

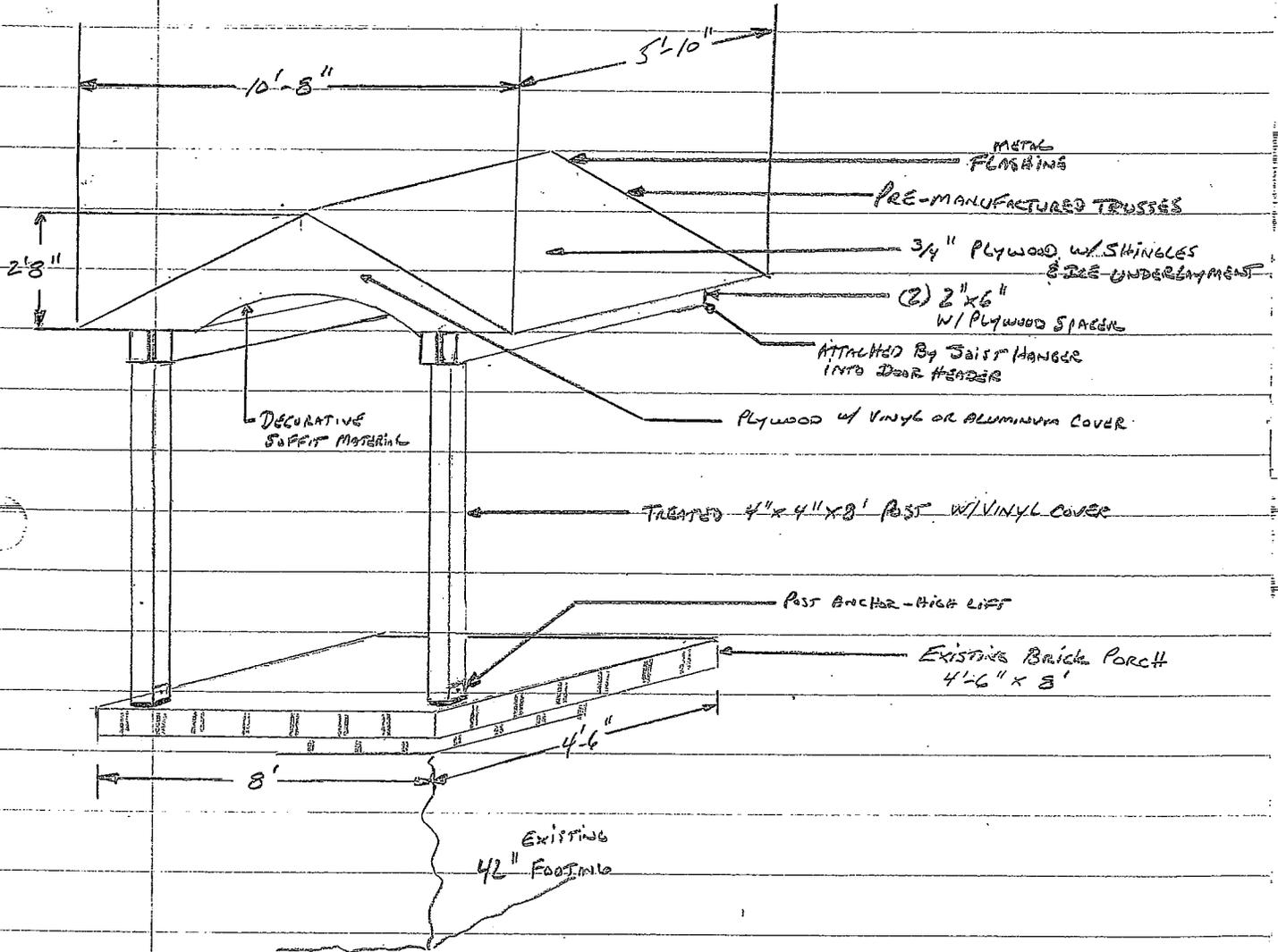


DANIEL ECKL
5905 ENDICOTT
TROY MI

RECEIVED

MAR 30 2015

CITY OF TROY
BUILDING DEPT.

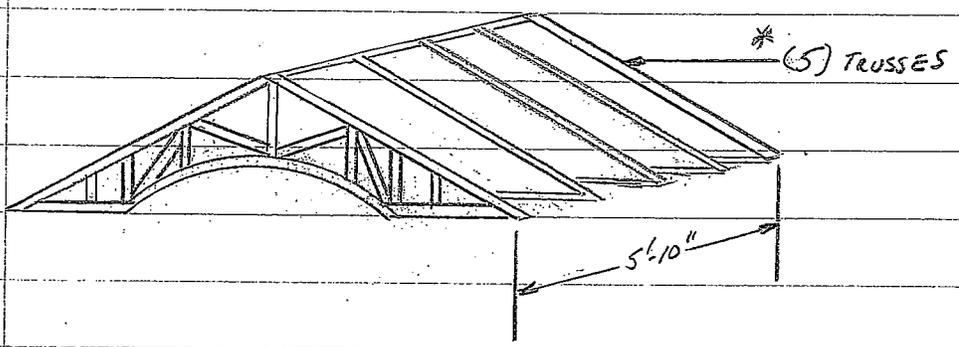


RECEIVED

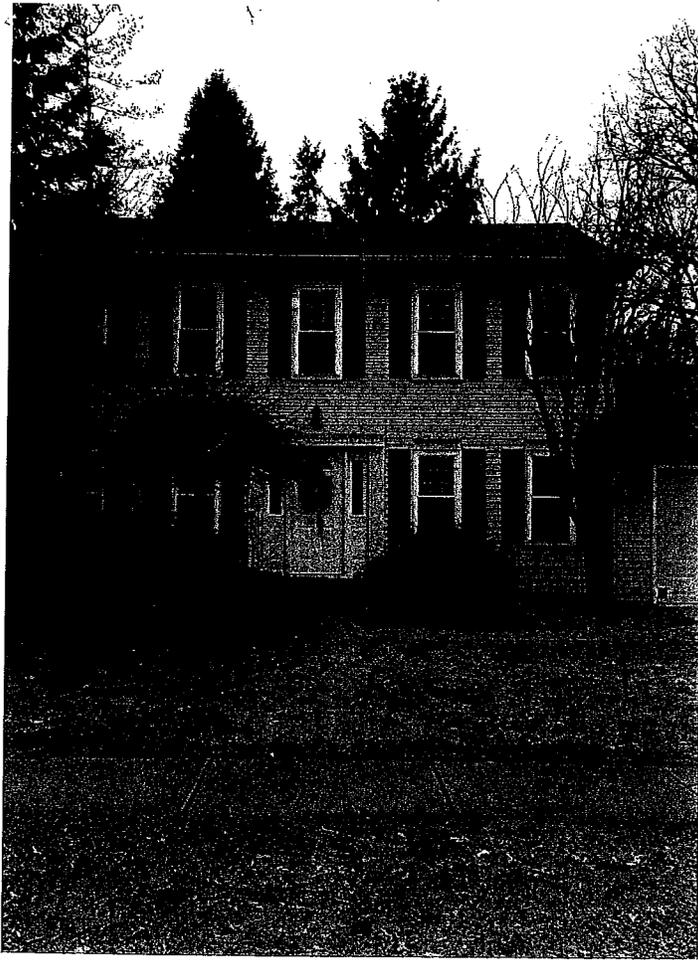
MAR 30 2015

CITY OF TROY
BUILDING DEPT.

DANIEL ECKL
5905 ENDICOTT
TROY MI



* WILL HAVE TRUSS PLANS & DRAWINGS FROM
TRUSS MANUFACTURER UPON PURCHASE



DANIEL ECK
5905 ENDICOTT
Troy, ME

RECEIVED

MAR 30 2015

CITY OF TROY
BUILDING DEPT.





5905





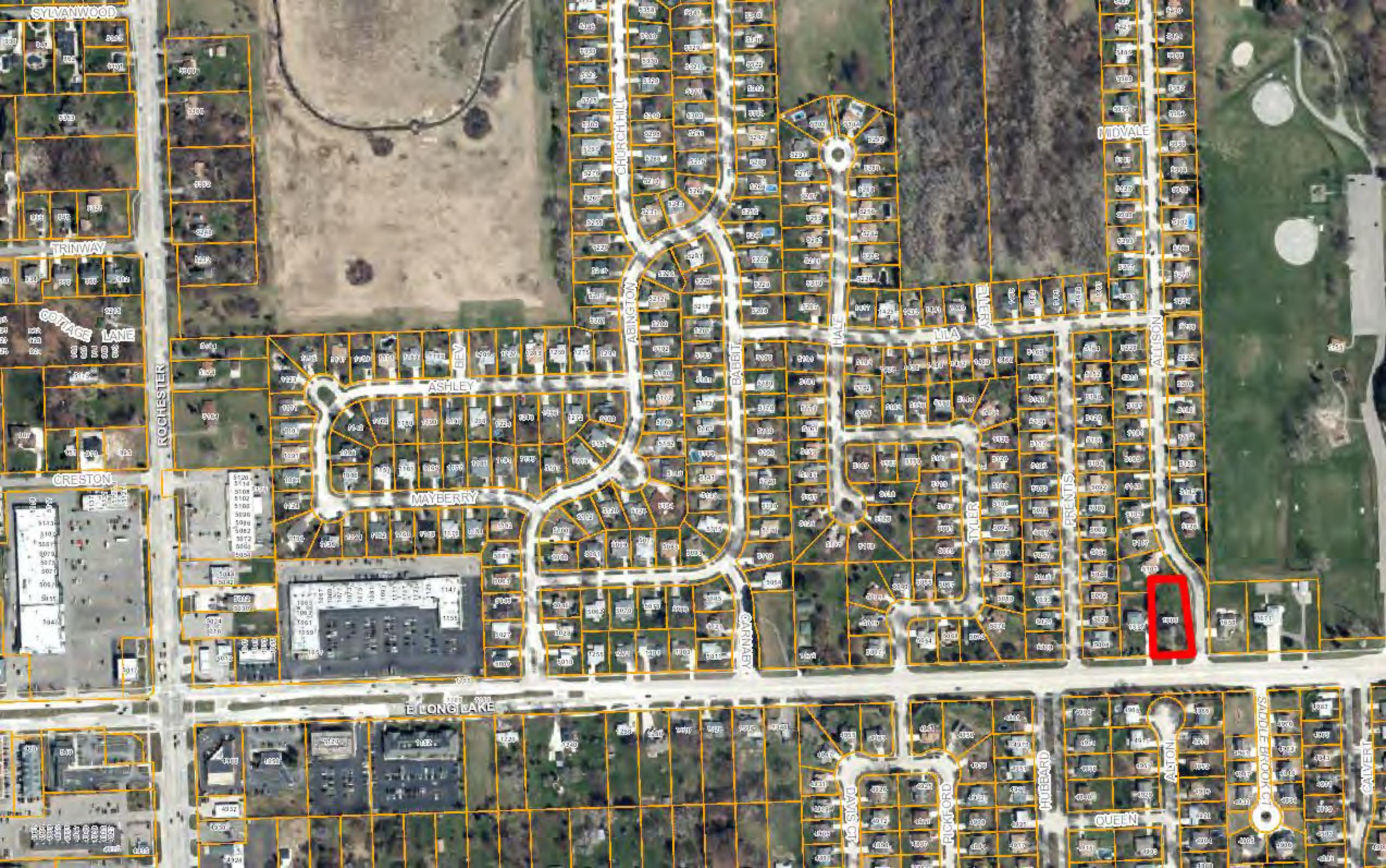






4. HEARING OF CASES

- E. VARIANCE REQUEST, GARY ABITHEIRA, 1605 E LONG LAKE – In order to build two new houses, the property will be split and variances are requested for each of the proposed houses as follows: 1) for the proposed southerly parcel, a 3 foot variance from the required 30 foot front yard setback adjacent to Allison Drive; and 2) for the proposed northerly parcel, a 10 foot variance from the required 30 foot front yard setback adjacent to Allison Drive.



SYLVANWOOD

TRINWAY

COTTAGE LANE

CRESTON

ROCHESTER

MAYBERRY

ASHLEY

CHURCH HILL

ABINGTON

BABBITT

GANNABY

HALE

MIA

TYLER

PRENTISS

MIDVALE

ALISON

E LONG LAKE

10 SWAY

PICKFORD

HUBARD

QUEEN

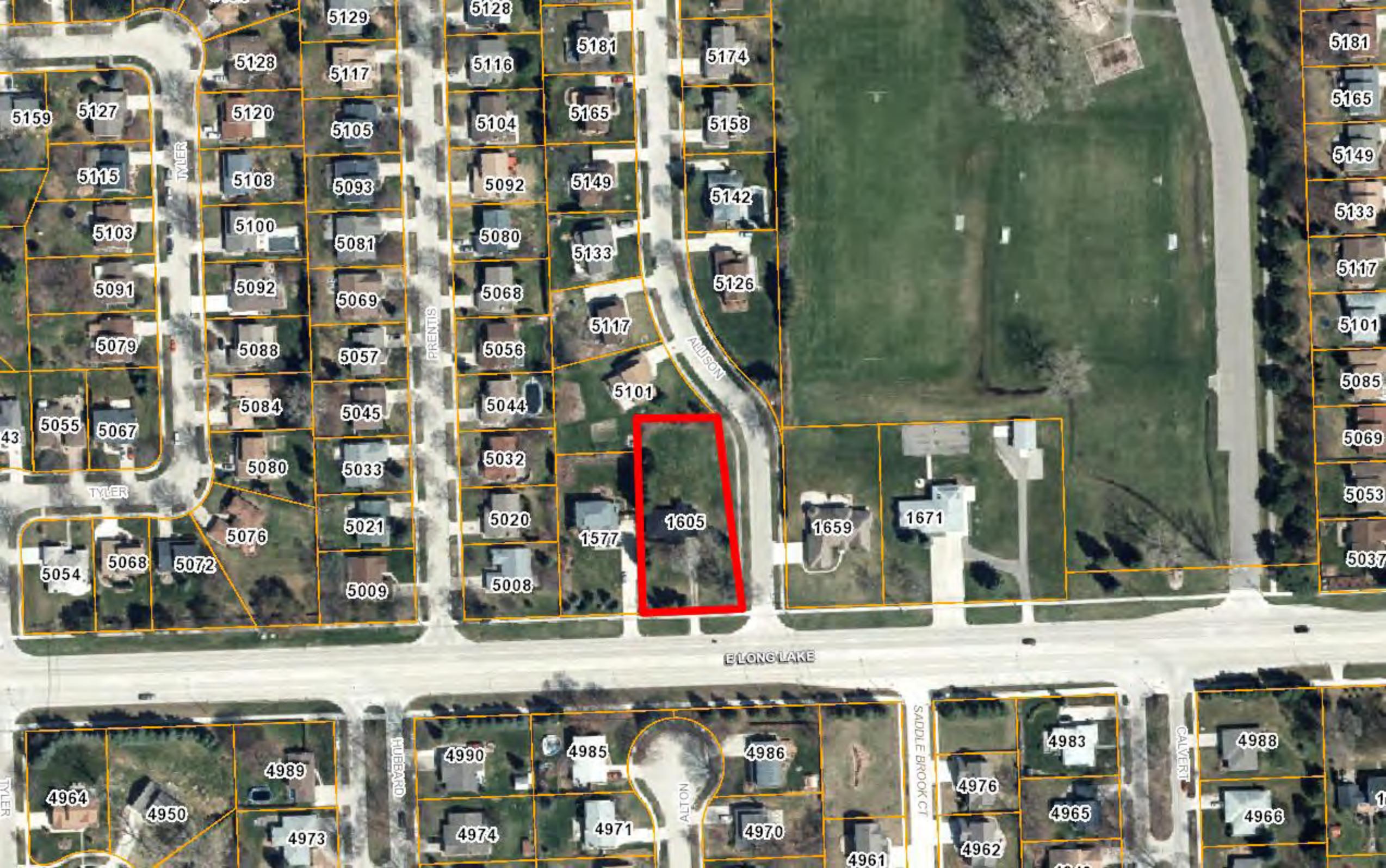
ALISON

SADDLEBROOK OF

CAWERT



9100



1605

TYLER

PRENTISS

ADDISON

ELONG LAKE

HUBBARD

ALTON

SADDLE BROOK CT

CALVERT

5159

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5088 (R-1C)
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ELONG LAKE

TYLER

PRENTISS

ALLISON

TYLER

HUBBARD

ALTON

SADDLE BROOK CT

CALVERT

5056

5044

5101

5032

5020

5008

1577

1605

1659

1671

PRENTIS

ALLISON

ELONG LAKE

SADDLE BROOK CT

HUBBARD



ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
planning@troymi.gov



FEE \$150.00

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE AT LEAST **29 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 1605 E Long Lake
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-11-453-025
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: _____
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
5. APPLICANT:
NAME Gary Abitheira
COMPANY _____
ADDRESS 3301 Mirage
CITY Troy MI STATE MI ZIP 48083
PHONE 248-840-2828
E-MAIL Gabitheira@wideopenwest.com
AFFILIATION TO THE PROPERTY OWNER: Same

6. PROPERTY OWNER:

NAME Gary Abithoira
COMPANY _____
ADDRESS _____
CITY _____ STATE _____ ZIP _____
TELEPHONE _____
E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Gary Abithoira (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE  DATE 9-16-16

PRINT NAME: Gary Abithoira

PROPERTY OWNER SIGNATURE  DATE 9-16-16

PRINT NAME: _____

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. The applicant will be notified of the time and date of the hearing by mail. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

Approved variances are good for a one year period.

The 2 lots in question come from a home at 1605 East Long Lake. The new homes will front on Allison Dr. The property is from a meets & bounds description which was there before the Canterbury Lane Subdivision was built in the 1970's. The property is long and narrow approximately(240' x 100'). When the developer built the Canterbury Lane Subdivision there was excess property for the Allison Rd. "right of way". The developer built the road for Allison as if it was a 60' "right of way" per Troy standards. These were: 28' road, 10' green belt, 5' side walk and 1' past side walk for the property line. The extra property that exists from the "right of way" ranges from 1' at the corners to 16' maximum at the middle.

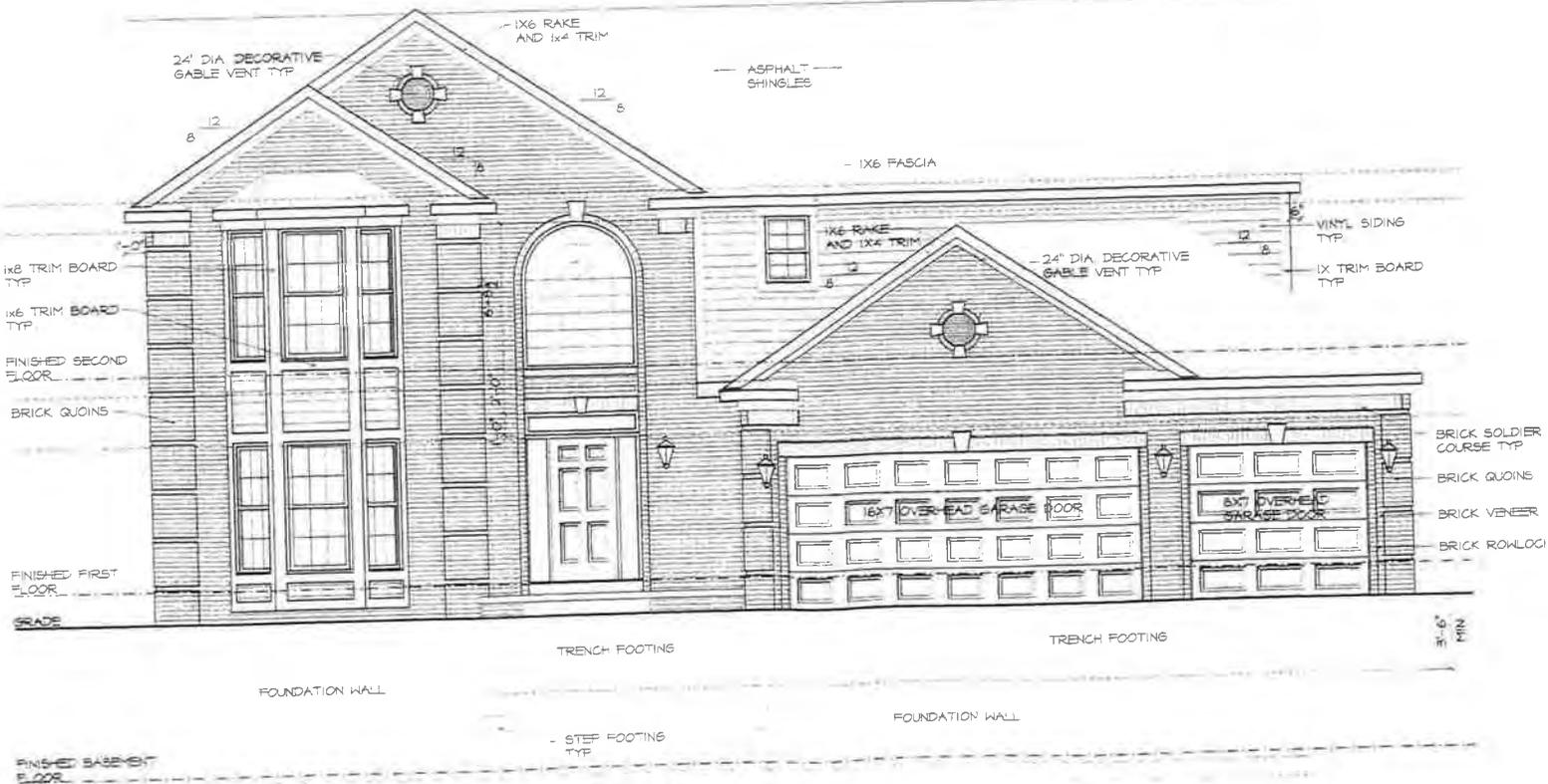
As it is today the property can be split into 2 lots and built on. Because of the narrow lot the homes will not be architecturally appealing. The homes would be approximately 60' long without covered porches, bay windows and the garage would be flat with the house. This type of home would meet the current property setback requirements for the front, sides and back. With additional footage from a variance in the front the homes would be architecturally more appealing. The addition of covered porches and bay windows present a much nicer looking home, aesthetically. The square footage of the home would not change.

It would not be obvious that a variance was obtained because of the extra room there now. In fact it would look out of place with the rest of the houses on the street as they have a 30' setback.

By providing a variance the new homes would keep up the value of the homes in the existing subdivision and not alter the essential character of the area.



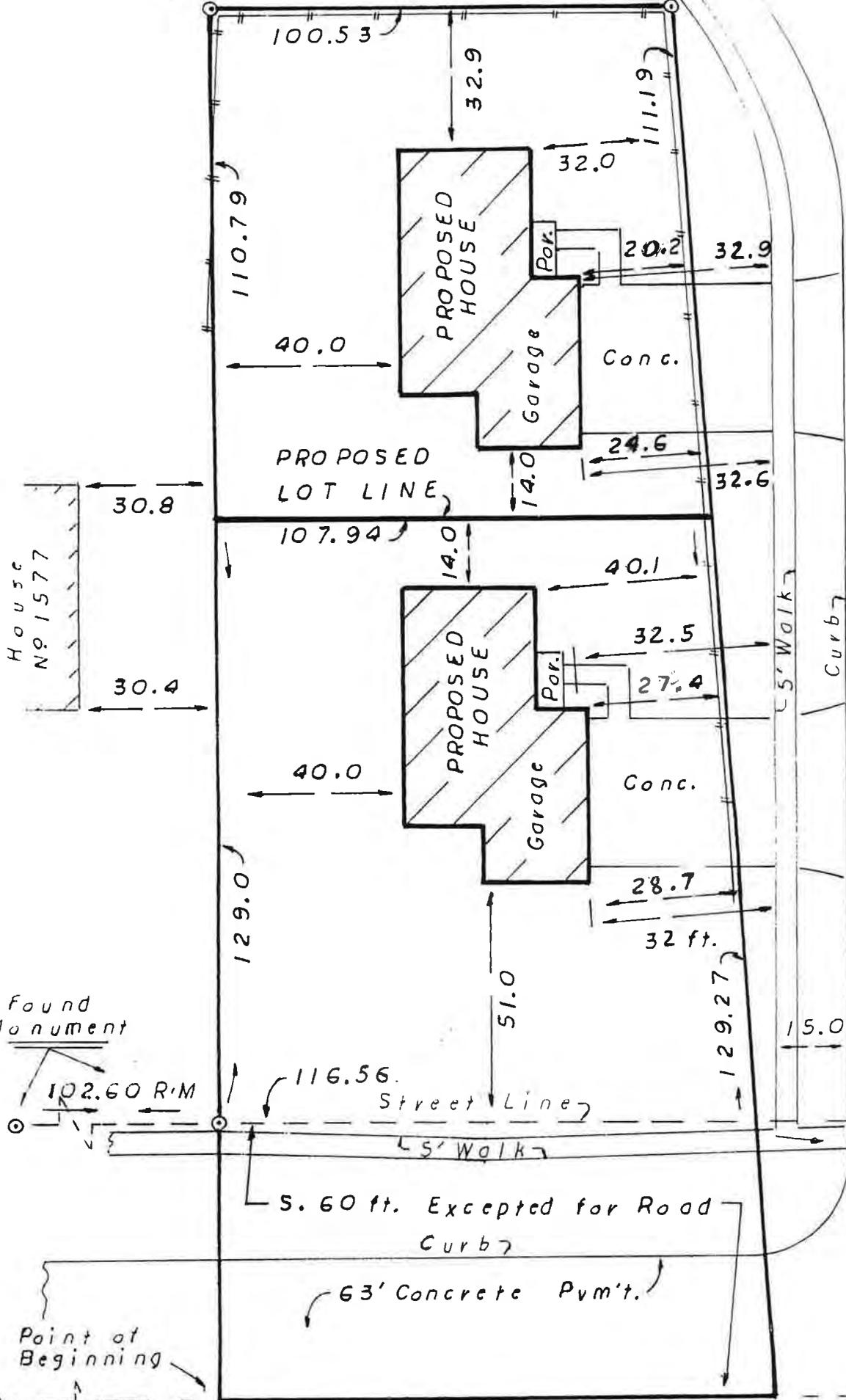
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Found Monument
 House No 5101
 18.5

Scale 1" = 30'

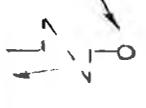


ALLISON DR. 60' WD.

Found Capped Stake

Found Monument
 102.60 R.M.

Point of Beginning
 N. 89° 53' 19" E.
 473.00



1/2 E. LONG LAKE RD. 60' WD.

2642.48

S. 1/4 Corner
 Section 11
 T. 2 N. R. 11 E.

S. E. Corner
 Section 11
 T. 2 N. R. 11 E.