



PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
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planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

January 8, 2013

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – December 11, 2012 Regular Meeting
4. PUBLIC COMMENTS – For Items Not on the Current Agenda

CONDITIONAL REZONING REQUEST

5. PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 008) – Proposed Tim Horton’s Café, Northwest Corner Square Lake and Dequindre, Section 1, From NN (Neighborhood Node “N”) to CB (Community Business) District

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

6. PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 398) – Proposed Fifth Third Bank, North Side of Big Beaver between Lakeview and Alpine (2282 W Big Beaver), Section 20, Currently Zoned BB (Big Beaver) District

ZONING ORDINANCE TEXT AMENDMENT

7. PUBLIC HEARING – ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 244) – Miscellaneous Zoning Ordinance Revisions

SITE CONDOMINIUM DEVELOPMENT

8. PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 1000’ South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

OTHER BUSINESS

9. **ELECTION OF OFFICERS FOR 2013**
10. **PUBLIC COMMENTS** – For Items on Current Agenda
11. **PLANNING COMMISSION COMMENTS**

ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymt.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Tagle called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on December 11, 2012 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Michael W. Hutson
Edward Kempen
Tom Krent
Philip Sanzica
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Also Present:

R. Brent Savidant, Planning Director
Susan Lancaster, Assistant City Attorney
Ben Carlisle, Carlisle/Wortman Associates, Inc.
Eric Huang, Student Representative
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2012-12-077

Moved by: Schultz
Seconded by: Schepke

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2012-12-078

Moved by: Edmunds
Seconded by: Krent

RESOLVED, To approve the minutes of the November 27, 2012 Special/Study meeting as published.

Yes: All present (8)

MOTION CARRIED

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

REZONING REQUEST

5. PUBLIC HEARING – REZONING APPLICATION (File Number Z 741) – Proposed 1170 Woodslee, North of Maple Road between Rochester and Stephenson Highway, Section 27, From IB (Integrated Industrial and Business) District to RT (One-Family Attached Residential) District

Mr. Carlisle gave a brief report on the proposed rezoning application and recommended that the Planning Commission recommend to the City Council approval of the proposed rezoning.

The petitioner, Alvin Ballard, was present. Mr. Ballard provided interesting historical facts on the property.

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED

Resolution # PC-2012-12-079

Moved by: Sanzica
Seconded by: Schultz

RESOLVED, That the Planning Commission hereby recommends to the City Council that the IB to RT rezoning request, located north of Maple Road between Rochester and Stephenson Highway (1170 Woodslee), in Section 27, being approximately 1.02 acres in size, be approved.

Yes: All present (9)

MOTION CARRIED

SITE CONDOMINIUM DEVELOPMENT

6. PRELIMINARY SITE PLAN REVIEW – Proposed Bridgewater Estates Site Condominium, 27 units/lots, East side of John R between Long Lake and Square Lake (5470 John R), Section 12, Currently Zoned R-1C (One Family Residential) District

Mr. Savidant informed the Board that the petitioner held an informational meeting with residents in the area of the proposed development with the intent to get input and address concerns. As a result of the meeting, the petitioner revised the site plan to show a preservation strip of 15 feet along the northern property line. Mr. Savidant announced the department received a petition signed by 17 residents from the Stoneridge II and Long Lake Meadows subdivisions asking for a 20 foot greenbelt. In addition, Mr. Savidant gave an explanation of a “site condominium” development.

Mr. Carlisle said his initial review of the proposed development, dated December 5, addressed a few items. Since that time, the petitioner submitted revised plans of which a subsequent review was prepared and is dated December 10. Mr. Carlisle reported the revised site plan submission is in conformance with all Zoning Ordinance requirements. He recommends approval of the application with the conditions that the 15 foot buffer and treatment of the southern road stub are noted on the final site plan.

The petitioner, Gary Tadian, Andy Milia of Franklin Property Corporation and James Butler of Professional Engineering Associates were present.

Mr. Milia addressed stormwater drainage and rear yard dimensions, both of which were considered in the determination to provide a 15 foot buffer for the adjacent neighbors. He indicated the 15 foot buffer would be maintained by the homeowners and governed by the subdivision Bylaws and Master Deed. Mr. Milia said the full brick single family homes would be in the mid to high \$300,000-\$400,000 price range.

Mr. Butler noted the stormwater on this property flows east to west, toward the storm/sewer system on John R.

There was discussion on the following:

- 15 foot buffer -vs- 20 feet as requested by adjacent neighbors.
 - Stormwater drainage.
 - Marketability of home as relates to size of back yard.
 - Trees within 15 foot buffer to remain; trees outside buffer to be removed.
 - Estimation of 100-150 trees within 15 foot buffer.
 - Petitioner willingness to work with residents’ on reasonable, feasible solution.
 - Depths of lots going east; petitioner will consider to modify depth of buffer where/if possible.
- Retention basin; more creativity, aesthetically pleasing.
- Sweet Street treatment; i.e., landscaping, walkway, tie into John R.
- Potential future development to south; negotiation stage only at this time.
- Internal parks.

Chair Tagle opened the floor for public comment.

Rachelle Jenneker of 2172 Michele was present. Ms. Jenneker addressed concerns with the loss of trees, aesthetic beauty, wildlife and homes values. She encouraged the City to adopt a tree preservation plan. Ms. Jenneker asked that the buffer be extended to 20 feet and consideration be given to a park area.

Ann Bieke of 2140 Michele was present. Ms. Bieke asked for consideration of an 18 foot buffer from her property.

Chair Tagle said he appreciated the comments made and is sympathetic to the neighbors' concerns. He stated the Board has no legal standing to force a property owner to save trees. Chair Tagle said neighbors have had the enjoyment of that environment for years and the petitioner is willing to compromise.

Chair Tagle closed the floor for public comment.

Mr. Milia said they would continue to work with the neighbors. He indicated they would look at lots 13, 14, 15 and 16 to see if it is viable to increase the buffer to 20 feet, and in good faith, would save as many trees as possible; i.e., look at trees case by case.

Mr. Schultz noted the City took steps to adopt a wetlands/tree preservation in the past, and Troy residents voiced opposition at that time. Mr. Schultz said a property owner has the right to cut down trees on his property; and the Board has no power to request a buffer, and yet this developer has offered to compromise and provide one.

Mr. Hutson commended the petitioner on his offer to provide a buffer.

Resolution # PC-2012-12-080

Moved by: Schultz
 Seconded by: Schepke

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Bridgewater Estates Site Condominium, 27 units/lots, east of John R, between Long Lake and Square Lake, Section 12, within the R-1C (One Family Residential) District, be granted.

Yes: All present (9)

MOTION CARRIED

PRELIMINARY SITE PLAN REVIEW

7. PRELIMINARY SITE PLAN REVIEW (File Number SP 979) – Proposed Galleria of Troy, North side of Big Beaver between Wilshire and I-75, Section 21, Currently Zoned BB (Big Beaver) District

Mr. Carlisle reported that the site plans were not submitted in time to provide a full site plan review. The petitioner is here this evening to get preliminary comments from the Board. Mr. Carlisle gave a brief background of the proposed development.

James Butler of Professional Engineering Associates and Elizabeth Abernethy of Bloomin’ Brands, Tampa, Florida, were present.

The following was discussed:

- Phase 1 (3 restaurants), Phase 2 (hotel).
- Building design/architecture, aesthetics, cohesiveness.
- Urban feel.
- Crucial location; gateway to Troy.
- Plaza, common ties with lighting and hardface.
- Eye catching features.
- Patio elements.
- Center pad; greater height and mass; an anchor; a draw.
- Outdoor features; fountain, water, art, public display.
- Parking lot; provide landscaping, other elements to break up asphalt.
- Dumpster locations.
- ‘Sound’ studies; buffer traffic noise.
- Stormwater mitigation.
- Hotel layout.
- Future submission:
 - Examples/photographs of both restaurant brands at an existing site.
 - Complete photographs/display boards of whole project, not individual restaurants.

OTHER BUSINESS

8. PUBLIC COMMENTS – Items on Current Agenda

There was no one present who wished to speak.

9. PLANNING COMMISSION COMMENTS

Brief discussion followed on:

- Transit Center groundbreaking.
- Rochester Hills proposed Master Plan amendments.

Holiday wishes wished by all.

The Regular meeting of the Planning Commission adjourned at 8:36 p.m.

Respectfully submitted,

John J. Tagle, Chair

Kathy L. Czarnecki, Recording Secretary

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DATE: January 4, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 008) – Proposed Tim Horton’s Café, Northwest Corner Square Lake and Dequindre, Section 1, From NN (Neighborhood Node “N”) to CB (Community Business) District

The applicant, Troy-Dequindre Properties, LLC, seeks a conditional rezoning of the subject parcel from NN (Neighborhood Node) to CB (Community Business) District. The parcel is approximately 0.68 acres in area. The applicant proposes a Tim Horton’s Restaurant and Café (with drive-through) on the site.

The Master Plan classifies this area as Neighborhood Node (Node “N”). A description of this classification is attached.

The Planning Commission discussed this item informally at the May 22, 2012 Special/Study meeting.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City’s Planning Consultant, summarizes the conditional rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

Please be prepared to discuss this item at the January 8, 2013 Planning Commission Regular meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Report prepared by Carlisle/Wortman Associates, Inc., dated January 2, 2013
4. Report prepared by Carlisle/Wortman Associates, Inc., dated May 10, 2012
5. Letter to Burt Kassab, subject “Modification of Regulating Plan”, dated April 10, 2012
6. Minutes from Planning Commission meeting of May 22, 2012
7. Letters of opposition (2)

PROPOSED RESOLUTION

PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 008)
– Proposed Tim Horton’s Café, Northwest Corner Square Lake and Dequindre, Section 1, From NN (Neighborhood Node “N”) to CB (Community Business) District

Proposed Resolution # PC-2013-01-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the NN to CB conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the northwest corner of Square Lake and Dequindre, within Section 1, being approximately 0.68 acres in size, be granted, for the following reasons:

_____) or

(denied, for the following reasons: _____) or

1. The proposed rezoning is inconsistent with the City of Troy Master Plan.
2. The proposed use does not meet the Special Use standards of Section 9.03 of the Zoning Ordinance.
3. The proposed use does not meet the Drive-Through use standards of Section 6.10 of the Zoning Ordinance.
4. The small property area, coupled with the proposed drive-through use and corner lot location, creates a number of site design issues.
5. The site does not meet minimum parking requirements, and the applicant has not provided sufficient reasons for granting a parking space reduction.

(postponed, for the following reasons: _____)

Yes:

No:

MOTION PASSED / FAILED



Legend

Road Centerline

-  Major Road
-  Industrial Road
-  Local Road

Ponds and Basins

Streams and Creeks

Parcels

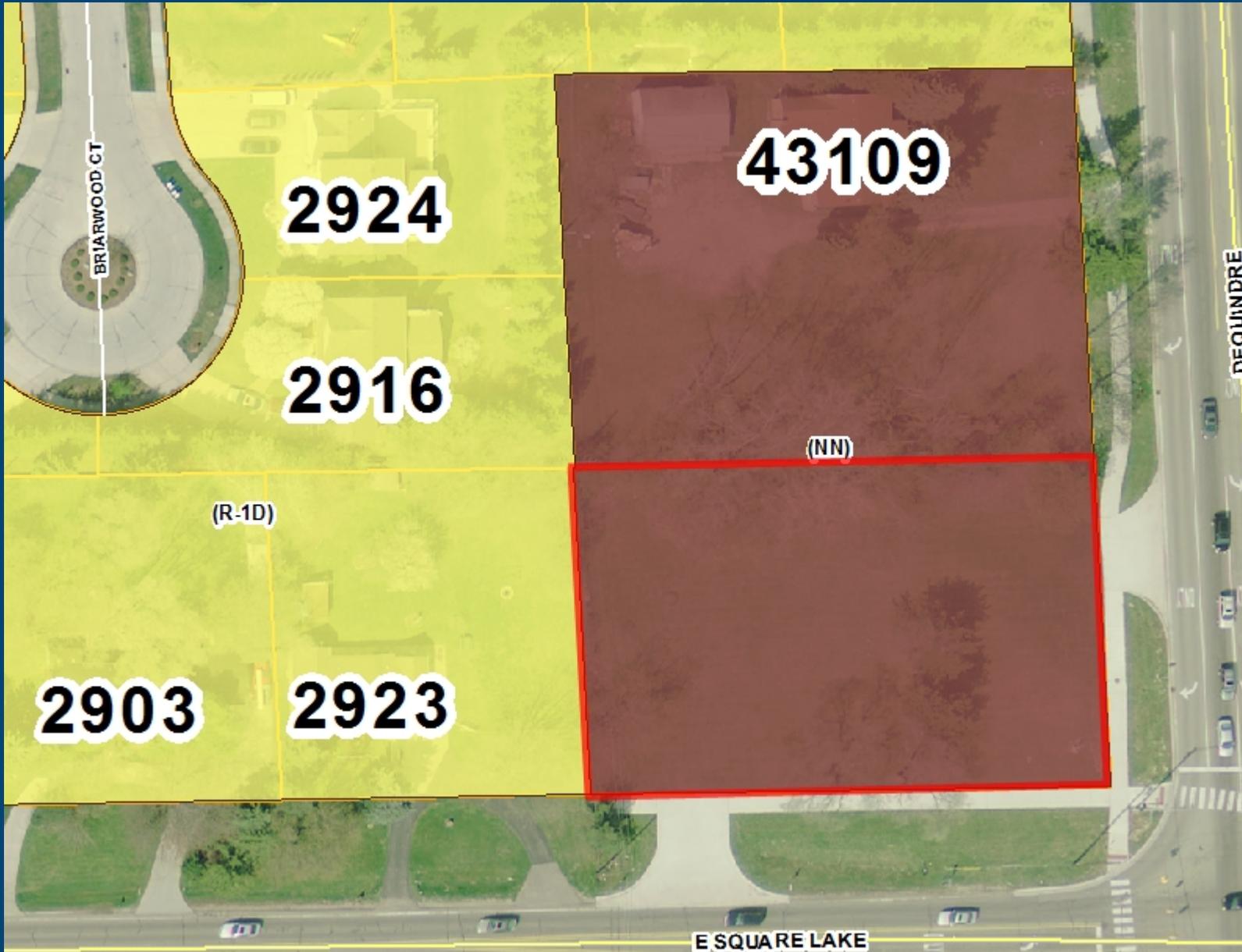
Aerial Photos - 2010

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3

125 0 62 125Feet

Scale 1: 749





Legend

Road Centerline

-  Major Road
-  Industrial Road
-  Local Road

Current Zoning Ordinance

-  (PUD) Planned Unit Development
-  (CF) Community Facilities District
-  (EP) Environmental Protection District
-  (BB) Big Beaver Road (Form Based)
-  (MRF) Maple Road (Form Based)
-  (NN) Neighborhood Nodes (A-U)
-  (CB) Community Business
-  (GB) General Business
-  (IB) Integrated Industrial Business District
-  (O) Office Building District
-  (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MR) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Ponds and Basins

Streams and Creeks

Parcels

Aerial Photos - 2010

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3

125 0 62 125Feet

Scale 1: 749

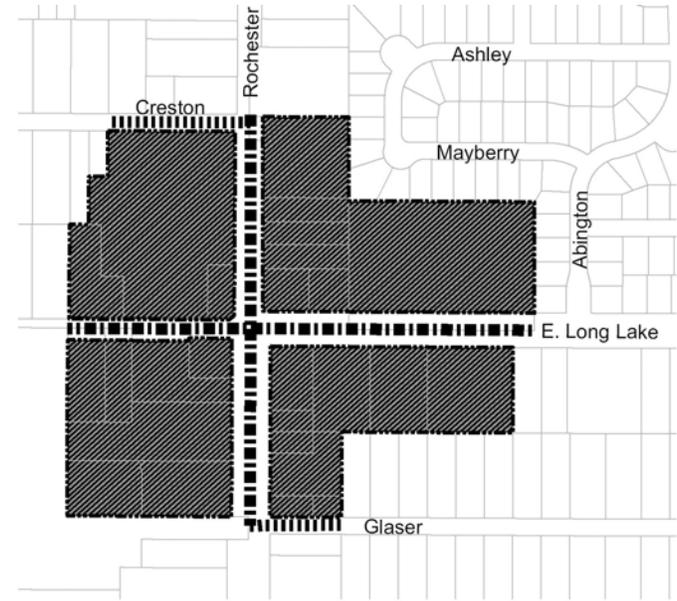


Map 5.06.1: Neighborhood Node District Regulating Plan (Continued)

Node K



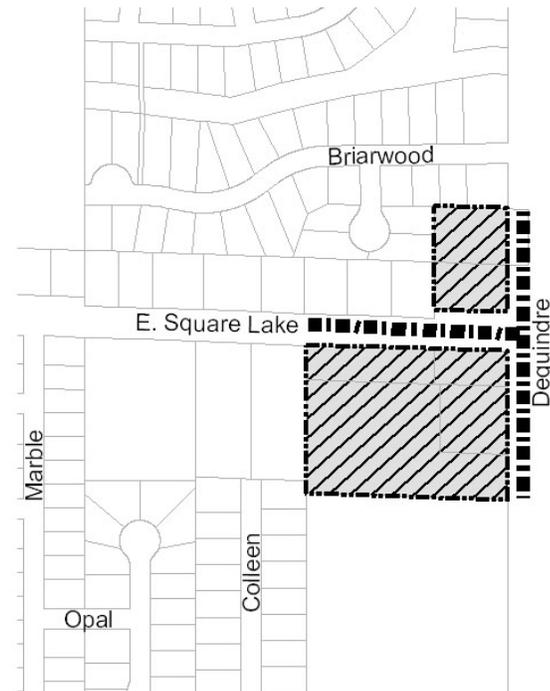
Node L



Node M



Node N



Authority and Administration

Development Regulations

Processes and Procedures

Supplemental Design Regulations

Nonconformity, Appeals, Amendments

Authority and Administration

Development Regulations

Processes and Procedures

Supplemental Design Regulations

Nonconformity, Appeals, Amendments

Table 5.06.C-1 Use Groups Permitted				
Use Group (Table 5.03-1)	Site Type NN:A		Site Type NN:B	
	Street Type NN:A Arterials	Street Type NN:B Local and Connectors	Street Type NN:A Arterials	Street Type NN:B Local and Connectors
1 Residential	NP	NP	NP	NP
2 Residential/Lodging	P ¹	P ¹	P	P
3 Office/Institution	P	P	P	P
4 Auto/Transportation	S	S	NP	NP
5 Retail/Entertainment/ Service	P	P	P	P
6 Misc. Commercial	S	S	NP	NP
7 Industrial	NP	NP	NP	NP

¹ Permitted on upper floors only.
P - Permitted Use Groups
S - Special Use Approval Groups
NP - Prohibited Use Groups

Table 5.06.C-2 Building Forms Permitted				
Building Forms	Site Type NN:A		Site Type NN:B	
	Street Type NN:A Arterials	Street Type NN:B Local and Connectors	Street Type NN:A Arterials	Street Type NN:B Local and Connectors
A: Small, single-purpose, out buildings	P	P	P	P
B: Small, multi-tenant commercial with mixed use	P	P	P	P
C: Attached residential or live/work	S	S	P	P
D: Multi-story mixed use, medium density	P	P	S	S
E: Large format com- mercial	P	S	NP	NP
F: Large format mixed- use	P	S	NP	NP

P - Permitted Building Form
S - Special Approval Building Form
NP - Prohibited Building Form

Planning Commission as to whether or not the proposed use is similar to a use permitted as of right, permitted in upper stories only, or permitted as a special use.

- g. If a site is adjacent to two (2) different street types, the more intense street type shall control for the purpose of determining allowable use groups.

TABLE 5.03-A-1 USE GROUPS BY CATEGORY	
PRINCIPAL USE	
Use Group 1	Residential Uses:
	One-Family dwellings
	Two-Family dwellings
Use Group 2	Residential/Lodging Uses:
	One-Family attached dwellings
	Multiple-Family dwellings
	Live/Work units
	Senior assisted/independent living
	Child care centers
Use Group 3	Office/Institution:
	General office
	Professional and medical office
	Hospitals
	Medical office
	Primary/secondary schools (private)
	Post-secondary schools
	Places of worship
	Data centers
	Technology centers / Office research
	Publicly owned/operated office and service facilities
	Funeral homes
	Veterinary clinics or hospitals
Use Group 4	Auto/Transportation Uses:
	Vehicle sales
	Vehicle service station
	Vehicle repair station
	Vehicle body repair
	Vehicle wash

Authority and Administration

Development Regulations

Processes and Procedures

Supplemental Design Regulations

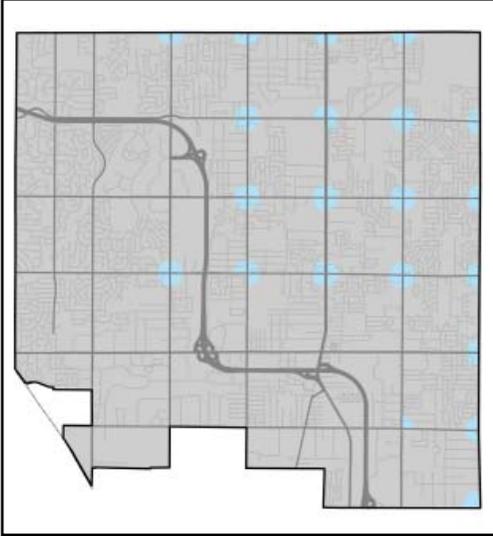
Nonconformity, Appeals, Amendments

Use Group 5
Retail, Entertainment, and Service Uses:
Financial institutions
General retail
Retail, large-format
Shopping centers
Fitness, gymnastics, and exercise centers
Theatres and places of assembly
Indoor commercial recreation establishments
Restaurant
Personal services
Business services
Use Group 6
Miscellaneous Commercial Uses:
Building & lumber supply
Garden centers, nurseries
Outdoor commercial recreation
Indoor commercial recreation
Self-Storage
Commercial kennels / pet day care
Drive-through facilities
Use Group 7
Industrial Uses:
Contractor's equipment storage
Food products
Commercial outdoor storage
Manufacturing, processing, etc.
Metal plating
Plastics
Printing
Tool & die, gauge & machine shops
Truck/trailer rental
Warehousing/wholesale
Experimental research & testing labs

B. Building Form Standards.

1. The [form-based districts](#) permit a series of potential building forms, dependant on the site's location. The six building forms, set forth in Tables 5.03.B.1 through 6, are established in this section as follows:
 - a. [Building Form A](#). Small, generally single purpose buildings for retail, office, restaurant, or service uses. Typically situated in an out lot of a larger

Neighborhood Nodes: The Economic Neighborhood



- *Located at intersections of the City's main roads.*
- *Work together with Social Neighborhoods to create a more livable community.*
- *Mixed use.*
- *Provide neighborhood gathering places.*
- *Accommodate the daily needs of residents.*

Neighborhood Nodes are the concentrated, commercial and mixed-use centers situated at major intersections of Troy thoroughfares that serve as the center of the City's Economic Neighborhoods. The nodes are specifically identified on pages 95 and 96. Economic Neighborhoods are destinations created as "go to" places that take on a social role, serving both as a place to meet basic needs of the community and as 21st century village centers. The attributes of Economic Neighborhoods are described in more detail in the final section of this Chapter, and the urban design characteristics of Neighborhood Nodes will be described in depth in Chapter 10. The nodes will typically permit a mix of commercial, office, and high-density residential, although the predominant uses in any Neighborhood Node development must be in keeping with the node characteristics described on pages 95 and

96. Industrial uses will not be permitted in the Neighborhood Nodes.

The Economic Neighborhoods of Troy also center on the square mile grid system. Unlike the social neighborhood, the **Economic Neighborhoods are centered on major road intersections where commercial and office development occurs.** When destinations are created, these nodes become a "go to" place and take on a social role. Each of these nodes serves four quadrants of the overlapping social neighborhoods and has the ability to bring residents of four neighborhoods together.

These Economic Neighborhood nodes are destinations that draw people, visually distinguished from the balance of corridor strips through greater density and scale. Variation in building height will often be used to separate the node from the surrounding area, but will not be so extreme as to visually overpower abutting neighborhoods. The separation of building heights at intersections with the "between" segments of corridors stimulates the visual concept of "pulsing" development and sets up a system of visual anchors.

Moderately dense residential environments may be encouraged within some nodes to provide steady activity for longer periods of the day. In these cases, residences may be mixed with offices on upper floors or be developed immediately adjacent to the commercial areas. Connections between the commercial activity and residences must be directly and seamlessly integrated.

During the course of the planning process, the Planning Commission closely analyzed the need for additional neighborhood nodes throughout the City. The City will continue to consider the demand for additional nodes as part of subsequent plan revisions.

DESIGN CONCEPT

- These nodes are within a fifteen minute walking distance of residential neighborhoods to permit alternative modes of transportation.
- Development will be denser and taller than the surrounding area, encouraging visual prominence to signal a gathering space.
- Nodes should be generally confined to a 1,000 foot radius from a major intersection.
- The nodes provide uses and spaces that attract and welcome neighborhood residents.

SITE DESIGN ATTRIBUTES

- Buildings should be separated from the right-of-way line by a landscaped greenbelt, one lane of off-street parking or a pedestrian walk, or a combination of these.
- Primary parking areas will be located within rear or interior side yards.
- Off-street parking should be screened from the public right-of-way by a knee wall or low decorative fence with a hedge of plantings.
- Walks will connect adjacent developments and the public sidewalks.
- Well-defined crosswalks with timed signalization will permit safe crossings.
- Flexible use of space allowing modest outdoor gathering spaces, such as plazas, will be encouraged.

BUILDING DESIGN ATTRIBUTES

- Buildings should be between two and three stories, although one-story structures accommodating gas stations or other special situations may be permitted.
- One-story buildings should have a minimum exterior height of sixteen feet.
- A ground level story should have a

minimum height of twelve feet from finished floor to finished ceiling.

- Facades facing major thoroughfares will be treated as fronts and should have a minimum of half transparent glass and special architectural design treatments.
- Fenestration (the arrangement of windows and doors) should be highlighted through the use of awnings, overhangs or trim detailing.
- Lighting will be carefully managed so as not to encroach on adjacent residential areas.

The following pages contain a table describing the primary intended uses and character of the Neighborhood Nodes designated on the Future Land Use Map. Individual Nodes are numbered and identified on the Economic Nodes Map following the table.

	Node/Intersection	Primary Uses and Character
A	14 Mile and Dequindre Road	Non-residential uses catering to the day-to-day needs of the workforce in the surrounding industrial area. Restaurants and convenience needs integrated with banks and other service uses in compact developments would suit the needs of this area.
B	Maple Road and Dequindre Road	The unique neighborhood node is home to a collection of uses serving the local Polish population. Uses complementary to the cultural center and bank which help this area serve as a gathering place and focus area for the neighborhood could include limited housing, service uses, or specialty retail and dining.
C	John R. Road and Maple Road	The node would best serve the area with a predominantly commercial mix of uses catering to the immediate residential area coming and going from their homes. The node should serve as a transition to the more intense commercial development to the south.
D	Big Beaver Road and Dequindre Road	This area should be a high-intensity, high-density, compact area that serves as a notable entry point to the community. Development may include residential, retail, office, and service-oriented uses, but should be designed to create a very noticeable "gateway" into Troy with its complex, high-density, mixed-use character.
E	Wattles Road and Dequindre Road	The predominant use in this node should be offices, both medical and professional. Limited commercial service uses designed to complement the main focus of the area as an office node serving this area of the City may also be permissible, if clearly secondary to the primary office character of the area.
F	John R Road and Wattles Road	This node may include all uses from high-density residential in combination with restaurants, limited office, and retail. Development at this intersection should include at least two of these uses in any one development, in order to better complement and strengthen the already mixed-use character of the node.
G	Rochester Road and Wattles Road	A careful blend of commercial uses and office uses, effectively transitioned into the adjoining residential neighborhoods, should be the main uses at this intersection. Recent residential development in the area has taken pedestrian access to the intersection into consideration with effective pathways and sidewalks, and any new development at the intersection must continue this positive trend.
H	Livernois Road and Wattles Road	This lower-intensity area is characterized by single-family residential directly abutting the southwest corner of the intersection, and uses which generate only sporadic activity, such as churches and day care. This node contains the Troy Museum and Historic Village. New development or redevelopment at this node must be especially considerate of the adjoining residential and low-intensity uses and should not include any retail or restaurant uses. Office and other uses similar to the existing uses would likely provide the best combination here.
I	Crooks Road and Wattles Road	Development at this location should be low-impact and provide a high benefit to the neighborhood using the least amount of land. Compact, walkable mixed use development with a combination of uses serving the immediate surroundings would be an ideal fit. Integrated compact development which would allow a user to park once and meet several daily needs would be a positive contribution to the node. The City also recognizes that expansion of the White Chapel Cemetery into the northeast corner of this node would be appropriate.
J	Dequindre Road and Long Lake Road	Predominantly commercial, catering to both local needs and regional traffic, new development and redevelopment should be mostly commercial, identifying opportunities for small office mixed-use and variations in floor area to allow for a wide range of commercial types. Pedestrian access to the adjoining area and effective screening should be primary areas of focus during the site design process.

	Node/Intersection	Primary Uses and Character
K	John R Road and Long Lake Road	Like Crooks Road and Wattles Road, compact, walkable mixed use development with a combination of uses serving the immediate surroundings would be an ideal fit. Integrated compact development which would allow a user to park once and meet several daily needs would be a positive contribution to the node.
L	Rochester Road and Long Lake Road	Intersections L, M, and U and should remain, predominantly commercial, catering to local needs and regional traffic, new development and redevelopment should be mostly commercial and should serve to further enhance this successful commercial area. Opportunities for integrated residential or office development should be considered only when clearly secondary to commercial development.
M	Livernois Road and Long Lake Road	Intersections L, M, and U and should remain, predominantly commercial, catering to local needs and regional traffic, new development and redevelopment should be mostly commercial and should serve to further enhance this successful commercial area. Opportunities for integrated residential or office development should be considered only when clearly secondary to commercial development.
N	Dequindre Road and Square Lake Road	Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office. Service-oriented use development in combination with new residential development would provide a unique setting here.
O	John R Road and Square Lake Road	Near a known heron rookery, this node must be careful to respect this important natural resource. New development or redevelopment should complement the churches and limited commercial uses in the area, and should incorporate above-average landscaping, natural buffers, and conscientious site design to enhance the known natural features in the area.
P	Rochester Road and Square Lake Road	Major commercial uses dominate and should continue to provide a foundation for this neighborhood node. While uses in the area may cater to regional traffic, service uses, retail, and limited office uses designed to provide service to the immediate residential neighborhood should be incorporated into any new development or redevelopment plans.
Q	Livernois Road and Square Lake Road	Development in this area should be especially considerate of the remaining historic asset of the neighborhood. Adaptive use of existing historic structures must be considered before demolition or relocation of these resources. Low-intensity uses working in conjunction with one another to form a central neighborhood village, walkable and accessible, would create an ideal complement to the predominantly residential surroundings.
R	John R Road and South Boulevard	Small local commercial uses and office uses should be the focus of this node, to complement the large scale office development across the City's boundary to the north, within the City of Rochester Hills.
S	Rochester Road and South Boulevard	This neighborhood node provides a suitable mix of uses to cater to the daily needs of the immediate residential area, while also providing a unique opportunity for specialty retailers, compact walkable residential development, and small-scale office development in an integrated, mixed-use setting.
T	Livernois Road and South Boulevard	Limited local commercial and housing for seniors in a dense development pattern should remain the primary focus of this neighborhood node.
U	Crooks Road and South Boulevard	Intersections L, M, and U and should remain, predominantly commercial, catering to local needs and regional traffic, new development and redevelopment should be mostly commercial and should serve to further enhance this successful commercial area. Opportunities for integrated residential or office development should be considered only when clearly secondary to commercial development.



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Date: January 2, 2013

Conditional Rezoning, Special Use Permit and Preliminary Site Plan Review For City of Troy, Michigan

GENERAL INFORMATION

Applicant	Burt Kassab
Project Name:	Dequindre- Tim Hortons Cafe
Plan Date:	November 14, 2012
Location:	Northwest corner of Square Lake and Dequindre
Zoning:	Neighborhood Node N
Action Requested:	Planning Commission review and recommendation to the City Council for Conditional Rezoning, Special Use Permit, and Preliminary Site Plan.
Required Information:	Deficiencies noted.

SUMMARY OF DEVELOPMENT AND PROCEDURE

The 0.68 acre parcel is located in form-based district Neighborhood Node N and regulated as a Site Type B. The proposed restaurant/café is permitted in Site Type B; however a drive-through use is not permitted. In early April, Mr. Kassab requested a site reclassification to Site Type A, which does allow a drive-through in a neighborhood node through a Special Use. The reclassification of Site Types can be considered by the Zoning Administrator as outlined in Section 5.02.G. In considering the requested reclassification, the Zoning Administrator found that the application did not meet the reclassification standards outlined in Section 5.02.G.1-5. It appears that the only limitation to the applicant of the Neighborhood Node zoning is the prohibition of the drive-through.

Subsequent to the reclassification denial, the applicant has requested to conditionally rezone the property to CB, Community Business in order to construct a Tim Hortons Café and Bake Shop with a drive-through. Drive-through uses are permitted by Special Use in the CB District. The requested

conditional rezoning was informally and conceptually considered by the Planning Commission on May 22, 2012. Please see the attached minutes for more details.

While we support the development of the site as a commercial use, find that a drive-thru use predicated on a conditional rezoning would not advance the Master Plan intent of Neighborhood Node N at this location. Most importantly, there are numerous site planning issues created by the limited size of the property.

There is an appropriate relationship between the safety and impact of drive-throughs and the size and configuration of a site. A minimum lot size is necessary to ensure safe ingress/egress, sufficient space for on-site for circulation, reduction of conflict between vehicular and pedestrians, and provision of buffering to reduce potential impact upon adjacent properties. Current ordinance standards require each site must be considered on a site- by-site basis when a drive-through is proposed.

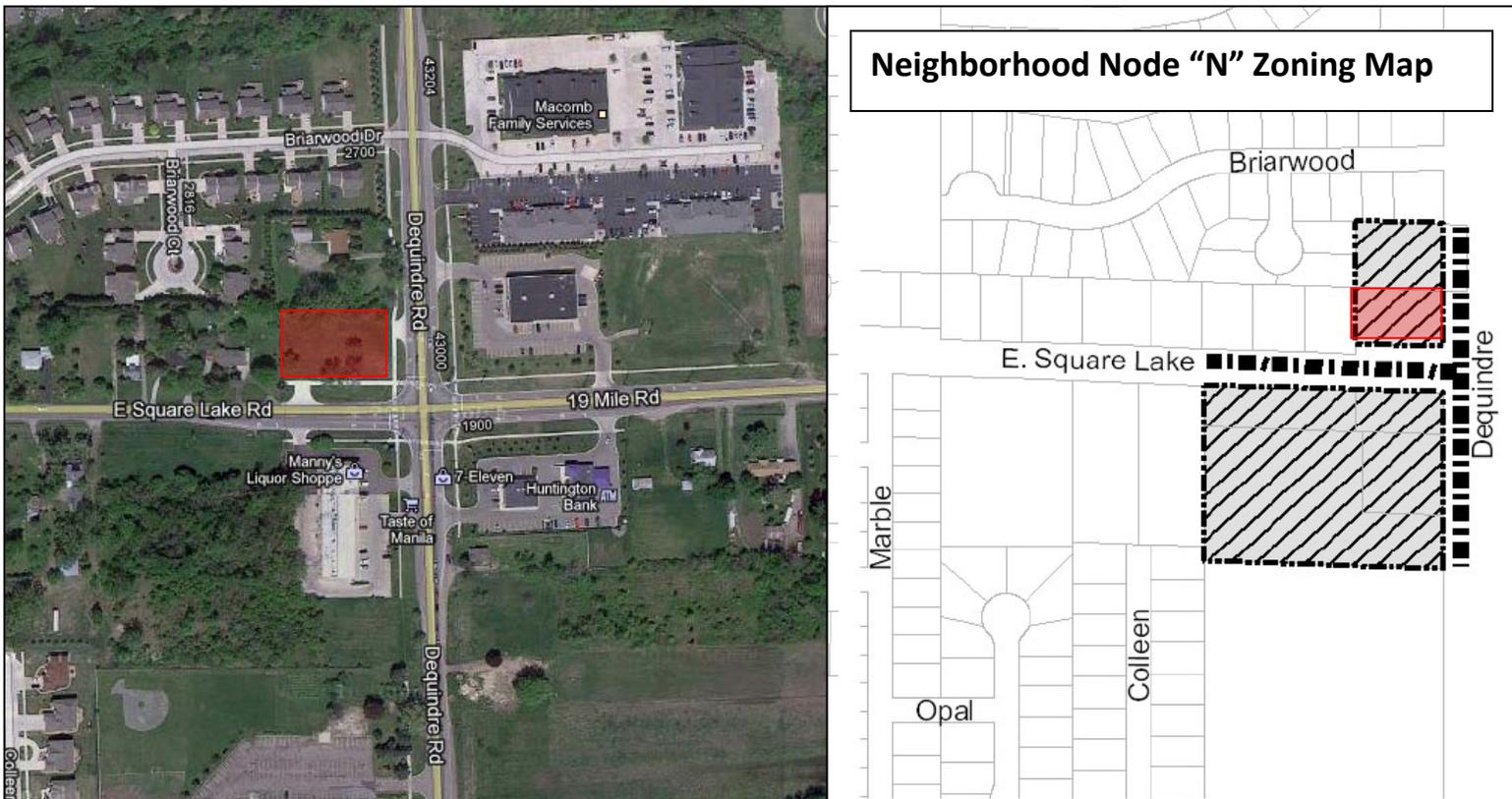
The subject parcel is approximately 0.678 acres in area and a relatively small site for a drive-through restaurant. As a comparison, the existing Tim Horton's (with drive-through) on Rochester Road is approximately 0.961 acres, and has only one curb cut. The Tim Horton's (with drive-through) recently approved on Maple Road is approximately 0.746 acres, and has only one curb cut. These parcels are both larger than the subject parcel and have only one point of ingress/egress, and therefore fewer potential traffic conflicts. The small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area. In addition to the relatively small size of this site, a proposed restaurant use in combination with the corner location also present hindrances for a drive-through. Quick serve restaurants and cafes are the largest parking generator on a square foot basis. Thus even a small restaurant requires a significant amount of parking. Secondly, a corner lot location allows for two points of ingress/egress, which adds additional access and circulation conflict points.

The small property square footage, coupled with the proposed restaurant use and corner lot location creates the following specific site planning issues:

- Deficiency of eight (8) required parking spaces;
- At least one (1) drive-through stacking space protrudes into the drive-aisle;
- Disjointed parking area;
- Potential deficiency in overall landscaped area;
- Impact on the residential property to the west;
- Access and internal traffic circulation at peak period times;
- Internal pedestrian circulation from the parking lot located behind the drive-through to the building;
- Internal pedestrian circulation due to location of the preview menu and menu and speaker;
- Lack of a snow storage location;
- High visibility on Square Lake Road of the proposed dumpster enclosure;
- Significant traffic movements and conflict points on a small site; and
- Unknown findings of a future traffic study.

See the site plan review section for more detail. The applicant is seeking a conditional rezoning with a condition being the submitted site plan. Because of the site planning issues we encourage the applicant to either:

1. Add the entire parcel or portions of the parcel to the north. By adding additional area to the site, a drive-thru use might be feasible because issues of pedestrian and automobile conflict, tight circulation, and encroachment and impact upon adjacent properties can be mitigated. Adding the parcel to the north would allow the zoning administrator to potentially reclassify the site to Site Type A which permits drive-through as a special use.
2. Maintain the retail use but eliminate the drive-through. By eliminating the drive-through the proposed use is by-right within the underlying NN district, and the applicant would be only required to go through a site plan review. This could be approved by the Planning Commission at one meeting.
3. Consider an alternative use of the site.



The proposed development requires the following:

1. Conditional rezoning from Neighborhood Node N to CB. Conditions of approval include the submitted site plan including:
 - o The site will be used a restaurant/coffee shop;
 - o The configuration of the drive thru lane will be as shown on the Site Plan;
 - o The location of the building will be the front corner of the site, as shown on the Site Plan;
 - o The patio area layout will be as shown on the attached Site Plan (i.e. continuously connected with and accessible from the sidewalks/plaza like area in the front corner of the site);
 - o The type/location of the bicycle rack will be as shown on the Site Plan; and
 - o The façade of the building will be as shown on the enclosed elevations.
2. Preliminary Site Plan approval.

3. Special Use for drive-thru.

PART 1: CONDITIONAL REZONING

Master Plan

Neighborhood nodes are the concentrated, commercial and mixed-use centers situated at major intersections. The Master Plan for this node calls for:

Neighborhood Node N: Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office. Service-oriented development in combination with new residential development would provide a unique setting here.

The proposed use as commercial (without a drive-through) is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues (most specifically the small size of the parcel), the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

Zoning Background

Site Type B in neighborhood nodes permits a number of uses including attached and multiple family residential, office/institution, service, and retail uses such as a Tim Hortons. However, a drive-thru within Site Type B in any neighborhood node is not permitted. In early April, Mr. Kassab requested a site reclassification to Site Type A, which does allow a drive-thru in a neighborhood node through a Special Use. In considering the requested reclassification, the Zoning Administrator applies the standards outlined in Section 5.02.G.1-5. It was the Zoning Administrator’s finding and our concurrence that the application did not meet the standards for reclassification, and thus the reclassification was denied. Please see attached letter from the Zoning Administrator for more details.

Considerations for Rezoning from Neighborhood Node N to CB, Community Business

Neighborhood nodes are located at major intersections adjacent to residential neighborhoods. These nodes are intended to serve as commercial and mixed use centers serving as places to meet the basic needs of the neighborhoods, as well as the community as a whole. The key parcels within the neighborhood nodes are the corner parcels at these major intersections. Because the parcel in question is a corner parcel, its importance to develop under the regulations of Site Type B and the design standards outlined in the Neighborhood Node is a key to the future development and the implementation of Neighborhood Node N. A potential rezoning of this parcel to CB, especially in consideration of a drive-through, could limit the remaining parcels in the node to develop under the Neighborhood Node N - Site Type B regulations. This is especially true for the parcel to the north, which would be an isolated Neighborhood Node N parcel surrounded by differentiating zoning districts.

The applicant has done a nice job of attempting to adhere to the building placement requirements of the Neighborhood Node. However, due to site planning restrictions, a rezoning of this parcel with a

drive-through use would greatly limit the implementation of the Neighborhood Node N as envisioned in the Master Plan.

SECTION 16.04.C.3

The Zoning Ordinance identifies five (5) findings that the Plan Commission should evaluate when considering a Conditional Rezoning petition (Section 16.04.C). A Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a) The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

The site is only 0.68 acres in area. The site appears too tight for adequate circulation for a drive-through use and creates the potential for both automobile and pedestrian conflicts. Furthermore, the size limitation of the site does not allow for adequate buffering from adjacent residential uses.

- b) The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
 - I. A change in City policy since the Master Plan was adopted.
 - II. A change in conditions since the Master Plan was adopted.
 - III. An error in the Master Plan.

The form-based district permits a wide range of uses with site type B. Use groups 2 (residential/lodging), 3 (office/institution) and 5 (retail/entertainment/service) are all permitted by right within site type B (see Table 5.06.C-1). There do not appear to be any reasons that would preclude the site being used for any of these purposes, nor does your application mention any.

A drive-through use on this site would be a significant deviation from the Master Plan, which calls for the following in Node N: "Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office.

Service-oriented use development in combination with new residential development would provide a unique setting here". The drive-through component is more intense and less compact than what is planned for this particular node.

The proposed use as commercial (without a drive-through) is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues (most specifically the small size of the parcel), the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

- c) The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

If the applicant were able to address the identified site planning issues, the proposed conditions are in accordance with all terms of the CB zoning districts.

- d) Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

In regards to utilities, the site is adequately served. However, the Engineering Department has asked for a traffic study to determine any necessary on-site and/or public road improvements. The applicant has requested that a traffic study be provided at a later date (see Traffic section, below)

- e) The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

While a restaurant/café use would serve the adjacent neighborhood, the size limitation of the site does not allow for adequate buffering of the drive-through from adjacent residential uses.

PART 2: SITE PLAN

Traffic, Access, and Circulation

Traffic

Parking, traffic, and circulation for this site must be carefully examined. The Engineering Department has requested a traffic study to review the need for a deceleration lane on Square Lake, internal circulation, and potential for restricting left turns in and out of the site. The other Tim Horton locations that have been built in Troy have been on higher volume roads including Big Beaver and Rochester (both 6-lane boulevards) and Maple (5-lane road which required that they provide a right turn lane or at least infill the one that stopped short of the existing site). In addition, Dequindre is a County border road, so any work in the Dequindre ROW or impact from the development on Dequindre may need input/permits from Sterling Heights/Macomb County/Oakland County.

The applicant has noted that they do not want to incur the expense of conducting a traffic study without some assurance from the City that the project will be approved. However, because this is a Conditional Rezoning where a condition is the submitted site plan, findings of the traffic study may affect site layout. If the Planning Commission is inclined to approve the project we recommend that applicant provide a traffic study prior to a recommendation of the conditional rezoning and preliminary site plan approval. If the Planning Commission was to recommend approval and the traffic study requires site plan changes, the applicant would be required to revise the conditional rezoning request.

Access:

Access to the site will be via a curb cut off Square Lake and a curb cut off Dequindre. The Engineering Department notes that both approaches are irregularly shaped. The applicant should try to reconfigure the approaches so that they enter the property perpendicular to the property line and then provide the necessary radii to match up to the parking lot. This would result in a more typical parking lot layout.

Circulation:

The proposed building would be located at the corner of the site, with all parking spaces located to the side and rear. A proposed drive-through lane is located within the parking lot to the rear of the building. The small size of the lot does not allow for an escape lane. The width of the stacking lane is 13 feet; however the width may be reduced to 10 feet. As noted, the tenth car stacking space protrudes into the drive-aisle creating a circulation issue.

While the site will be provided with sidewalks along Square Lake and Dequindre, internal pedestrian circulation is difficult. Access to the building from the parking lot behind the drive-through will require pedestrians to cross the drive-through lane. In addition, the applicant will need to move the location of the preview menu and menu board and speakers as they are located in the middle of the pedestrian sidewalk. There must be at least a clear 5-foot wide walkway. The applicant should address pedestrian conflict issues.

There is a significant amount of traffic movements and conflict points.

Items to be Addressed: 1). Provide traffic study prior to Planning Commission recommendation of Conditional Rezoning and Preliminary Site Plan approval; 2). Reconfigure the approaches so that they enter the property perpendicular to the property line; 3). Reduce drive-through width to 10 feet; and 4). Reconfigure layout so that the tenth required stacking space does not protrude into drive-aisle.

Parking

Section 13.06 provides the following parking requirements:

	Required	Provided	Compliance
Tim Hortons: 1 space per 70 net sq/ft	28 spaces	20 spaces	Non-Compliant
Stacking Spaces	10	9	Non-Compliant
Barrier Free	1	2	Compliant
Bicycle Parking	2	2	Complaint
Loading	0	0	Compliant

The applicant is deficient by eight (8) parking spaces. The Planning Commission may reduce the required parking provided that the applicant provide evidence that such parking is not necessary. The approved Maple Road Tim Hortons was exactly the same square footage and provided 22 spaces.

Items to be Addressed: Provide 8 additional spaces, or provide evidence that providing only 18 spaces is sufficient to address site parking needs.

Area, Width, Height, and Setbacks

Section 4.13 establishes the dimensional requirements for the CB District. Though rezoned to CB to allow for the drive-through, the applicant has attempted to construct the site plan in accordance to site orientation requirements of the Neighborhood Node Form-Based District. We have included Neighborhood Node Form Based Requirements for information only. The requirements and the proposed dimensions are as follows:

	<u>CB Required:</u>	<u>Neighborhood Node Required:</u>	<u>Provided:</u>	<u>Compliance to CB</u>
Front (Square Lake)	10' minimum setback	0' build-to-line	10 feet	Complies
Front (Dequindre)	10' minimum setback	0' build-to-line (may be increased by the Planning Commission to 30 foot with inclusion of plaza)	23.6 feet	Complies
Side (West)	20' minimum setback	0'	160 feet	Complies
Side (North)	20' minimum setback	0'	35.5 feet	Complies
Building Height	Maximum 2 stories, 30'	Maximum 3 stores, 45 feet.	20 feet	Complies
Minimum Distance from a residential building	75'	Not Applicable	Over 160'	Complies
Lot Coverage	Not Applicable	30 percent	21.1%	Not applicable for CB district
Landscape Open Space	20 percent	20 percent	Information Not Provided	Information Not Provided

Applicant shall confirm that they have provided the necessary landscaped area.

Items to be Addressed: Provide landscape area information.

Photometric Plan

The applicant did not provide a Photometric Plan, as required.

Items to be Addressed: Provide a Photometric Plan in compliance with Article 13.

Landscaping Plan

The application includes a landscape plan.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Greenbelt:</u> 10 feet in width along Square Lake Road and Dequindre Road	10 feet	10 feet	Compliant
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	Square Lake: 8 deciduous Dequindre: 5 deciduous	Square Lake: 5 deciduous and 3 ornamental Dequindre: 5 street trees	Replace ornamental trees with deciduous
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	20%	Information not provided	Provide required information
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	4 trees	3 trees	Provide one additional tree
<u>Screening Between Land Uses:</u> 80% opacity	80% opacity with one of three options	Alternative 3: mix of large and narrow evergreen trees	Compliant

Based on a 0.68 acre site, the applicant is required to provide 592 sq/ft of landscaped area. The applicant should confirm if they have met this requirement. The applicant should indicate on site plan where snow storage is proposed. Lastly, the applicant should provide trash enclosure details; the applicant is encouraged to match the enclosure materials with the masonry of the building.

Items to be Addressed: 1.) Provide overall landscaping calculation; 2.) Replace ornamental trees with deciduous ones along Square Lake; and 3.) Provide one (1) additional parking lot tree; 4.) Indicate on-site snow storage; and 5.) Provide trash enclosure detail.

DESIGN STANDARDS

A condition of the Conditional Rezoning is the compliance of the facades to the Neighborhood Nodes Form Based design standards.

Building Orientation and Entrance

- a. *Primary Entrance:* The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **Complies**

- b. *Recessed Doorways. Where the building entrance is located on or within five (5) feet of a lot line, doorways shall be recessed into the face of the building. **Not applicable***
- c. *Residential Dwellings. Entrances for all residential dwellings shall be clearly defined by at least one (1) of the following:*
 - I. *Projecting or recessed entrance. A recessed entrance is required if the building entrance is located on or within five (5) feet of the lot line.*
 - II. *Stoop or enclosed or covered porch.*
 - III. *Transom and/or side light window panels framing the door opening.*
 - IV. *Architectural trim or unique color treatments framing the door opening*

Not Applicable

Ground Story Activation

- a. *The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.*

It appears that the applicant is deficient in meeting the fifty (50) percent transparency requirements along Square Lake and Dequindre and the 30% facing the parking area.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Through the use of setbacks, and landscaping, the applicant has met this requirement.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.*

The applicant has not provided the necessary parking. See parking section.

- b. *Location.*
 - I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

Not Applicable

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Complies

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.*

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

The applicant has screened their parking lot in compliance with section 13.0.2.C.

Items to be Addressed: None

STANDARDS

Special Use Standards of Approval

In the OM District, restaurants with drive-through service are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.” Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

The site is only 0.68 acres in area. The site appears too tight for adequate circulation for a drive-through use and creates the potential for both automobile and pedestrian conflicts. Furthermore, the size limitation of the site does not allow for adequate buffering from adjacent residential uses. The special use as designed and constructed is not harmonious with the character of adjacent property and the surrounding area.

2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

The proposed use as commercial (without a drive-through) is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues (most specifically the small size of the parcel), the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

The subject parcel is a relatively small site for a drive-through restaurant, at a corner location with two points of access. This small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

4. *Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

The proposed use should not produce any additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district. However, based on findings of the traffic study, additional site plan changes and public street improvements may be necessary.

5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

The applicant is deficient, or potentially deficient in several zoning ordinance standards. The applicant should either seek the required relief or amend site plan as noted.

The Planning Commission is also required to generally consider the following for any special use application:

1. The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.

The small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

2. Vehicular circulation and parking areas.

The proposed site plan presents circulation and parking area issues.

3. Outdoor activity, storage and work areas.

The proposed use does not include any outdoor activity, storage, or work areas, thus this standard is not applicable.

4. Hours of operation.

While, the proposed use is in an area where similar uses provide service to neighborhood from early morning to evening, the use is proposed for 24-hours. A 24-hour drive-through use may impact the adjacently western property, specifically queuing cars and the noise of the menu board speaker.

5. Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.

A 24-hour drive-through use may impact the adjacently western property, specifically noise of the menu board speaker and noise, and fumes from queuing cars.

Drive-Through

Use Standards

Section 6.10 provides specific use requirements for drive-through facilities.

- A. Ingress and egress to drive-through facilities shall be part of the internal circulation of the site and integrated with the overall site design. Clear identification and delineation between the drive-through facility and the parking lot shall be provided. Drive-through facilities shall be designed in a manner which promotes pedestrian and vehicular safety.

The subject parcel is approximately 0.678 acres in area. This is a relatively small site for a drive-through restaurant, particularly one on a corner, with two curb cuts. This small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

- B. Single-lane drive-throughs may be located at the side of a building. Multiple-lane drive-throughs shall be located in a manner that will be the least visible from a public thoroughfare. Canopy design shall be compatible with the design of the principal building and incorporate similar materials and architectural elements.

Compliant

- C. Each drive-through facility shall provide stacking space meeting the following standards:
 - 1. Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of ten (10) feet in width and twenty (20) feet in length.
 - 2. If proposed, an escape lane shall be a minimum of twelve (12) feet in width to allow other vehicles to pass those waiting to be served.
 - 3. The number of stacking spaces per service lane shall be provided for the uses listed below. When a use is not specifically mentioned, the requirements for off-street stacking space for the use with similar needs, as determined at the discretion of the Zoning Administration, shall apply.

	Table 6.10
Use	Stacking Space Per Service Lane
Banks, Pharmacy, Photo Service, and Dry Cleaning	4
Restaurants with Drive-Through	10
Auto Washes (Self-Service)	
Entry	2
Exit	1
Auto Washes (Automatic)	
Entry	8
Exit	2

The applicant has not provided adequate stacking area. The tenth car stacking space protrudes into the drive-aisle creating a circulation issue.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



CARLISLE

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MEMORANDUM

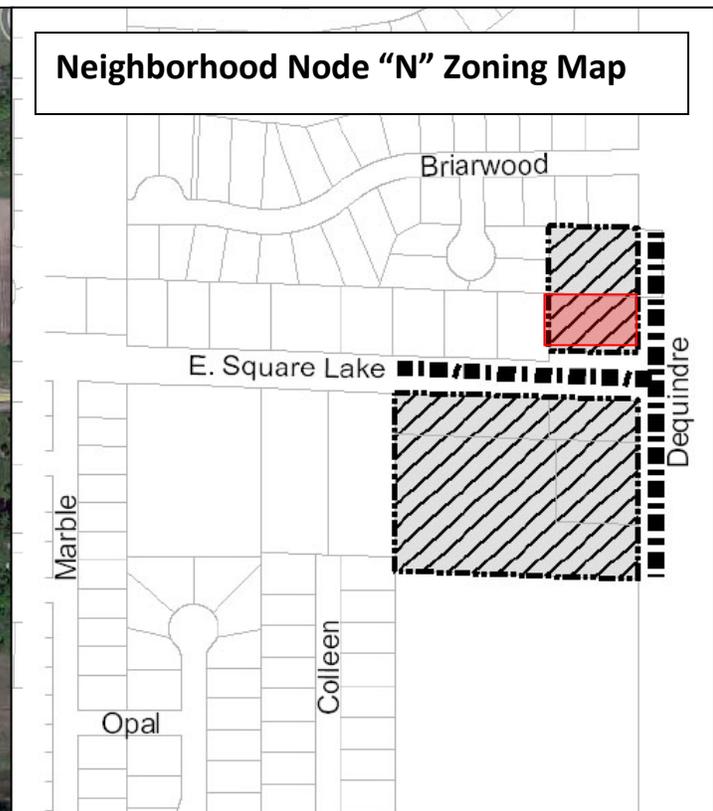
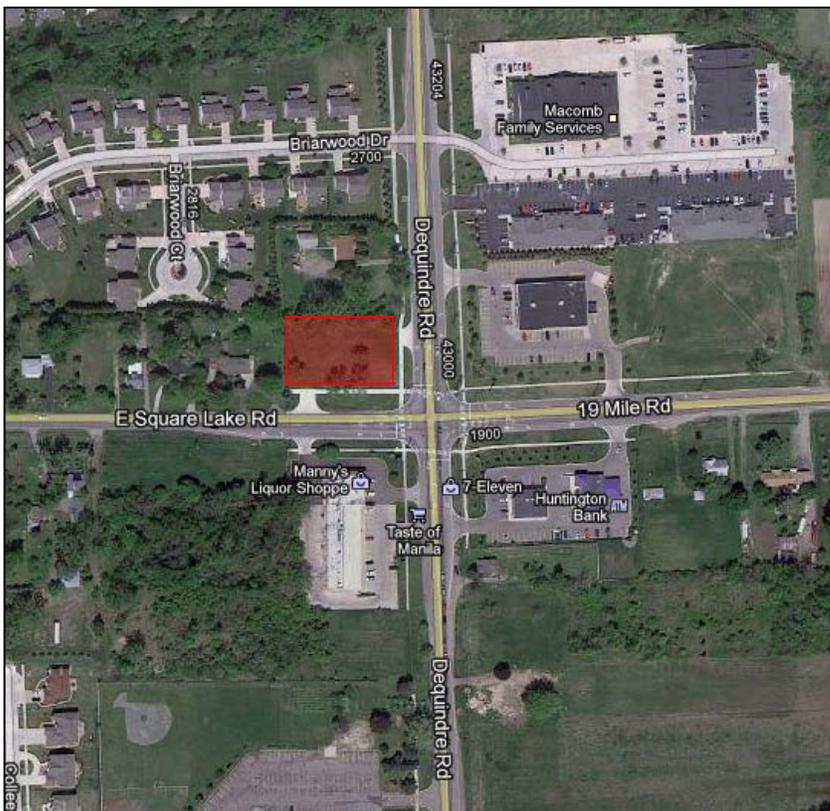
TO: Brent Savidant, Planning Director
City of Troy Planning Commission

FROM: Ben Carlisle, AICP

DATE: May 10, 2012

RE: Neighborhood Node N –Requested Conditional Rezoning

Burt Kassab, owner of a 0.68 acre vacant parcel at the northwest corner of Square Lake Road and Dequindre Road, has requested the Planning Commission consideration of a conditional rezoning. The parcel is located in form-based district Neighborhood Node N and regulated as a Site Type B. The conditional rezoning process is outlined in Section 16.04 of the Zoning Ordinance. The applicant is requesting to conditional rezone the property to CB, Community Business in order to construct a Tim Hortons Café and Bake Shop with a drive-through. A drive-through use is not permitted in Site Type B in any neighborhood node. Drive-through uses are permitted by Special Use in the CB District.



Master Plan

Neighborhood nodes are the concentrated, commercial and mixed-use centers situated at major intersections. The Master Plan for this node calls for:

Neighborhood Node N: Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office. Service-oriented development in combination with new residential development would provide a unique setting here.

The proposed use as commercial is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues, the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

Zoning Background

Site Type B in neighborhood nodes permits a number of uses including attached and multiple family residential, office/institution, service, and retail uses such as a Tim Hortons. However, a drive-thru within Site Type B in any neighborhood node is not permitted. There is a rational relationship as to why drive-throughs are not permitted in Site Type B in neighborhood nodes including 1). the proximity of single-family residential lots can create negative impacts (lighting, noise, emissions, etc); 2). the importance of maintaining neighborhood character; and 3). size limitations of parcels can impede safe traffic circulation and create pedestrian and automobile conflicts.

In early April, Mr. Kassab requested a site reclassification to Site Type A, which does allow a drive-thru in a neighborhood node through a Special Use. The reclassification of Site Types can be considered by the Zoning Administrator as outlined in Section 5.02.G. In considering the requested reclassification, the Zoning Administrator applies the standards outlined in Section 5.02.G.1-5. In a letter April 10, 2012, Mr. Savidant outlined his findings of the standards as follows:

5.02.G.1: The applicant's property cannot be used for the purpose permitted in the form-based district.

The form-based district permits a wide range of uses with site type B. Use groups 2 (residential/lodging), 3 (office/institution) and 5 (retail/entertainment/service) are all permitted by right within site type B (see Table 5.06.C-1). There do not appear to be any reasons that would preclude the site being used for any of these purposes, nor does your application mention any.

5.02.G.2: Area has been added to or deleted from the subject property in question, requiring the modification

Area has not been added or deleted from this property.

5.02.G.3: The proposed modification and resulting development will not alter the essential character of the area.

The other three corners are commercial in nature. Commercial development on the subject site would not alter the essential character of the area. However a drive-through could potentially negatively alter the character of the area, based on the relatively small parcel size.

The subject parcel is approximately 0.678 acres in area. This is a relatively small site for a drive-through restaurant, particularly one on a corner, with two curb cuts. This small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

As a comparison, the existing Tim Horton's (with drive-through window) on Rochester Road is approximately 0.961 acres, and has only one curb cut. The Tim Horton's (with drive-through) recently approved on Maple Road is approximately 0.746 acres, and has only one curb cut. These parcels are both larger than the subject parcel and have only one point of ingress/egress, and therefore fewer potential traffic conflicts.

5.02.G.4: The proposed modification meets the intent of the district

A drive-through use on this site would be a significant deviation from the Master Plan, which calls for the following in Node N: "Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office.

Service-oriented use development in combination with new residential development would provide a unique setting here". The drive-through component is more intense and less compact than what is planned for this particular node.

5.02.G.5: Existing streets have been improved and/or new streets constructed that may result in the modification of specific site type or street type.

Existing streets have not been improved or constructed recently.

It was Mr. Savidant's finding and our concurrence that the application did not meet the standards for reclassification, and thus the reclassification was denied. Please see attached letter from Mr. Savidant for more details. We met with the Mr. Kassab and Tim Horton's representative on April 19th to discuss our findings and offer further considerations for the applicant's consideration.

Proposed Conditional Rezoning

Since our April 19th meeting, Mr. Kassab has requested that the Planning Commission consider a conditional rezoning from Neighborhood Node N to CB, Community Business in order to construct a Tim Hortons with a drive-through. Drive-through uses are permitted by Special Use in the CB District. Conditional Rezoning are allowed to be considered by the Planning Commission under Section 16.04. Conditions are voluntarily submitted by the applicant.

The applicant has submitted a site plan; however has not submitted any specific conditions. The applicant did note that the proposed general conditions are that the site would be developed as a Tim Horton's in accordance the proposed site plan. If the Planning Commission wishes to further consider the conditional rezoning to CB, Community Business, the applicant should list their proposed conditions as part of their application.

Considerations for Rezoning from Neighborhood Node N to CB, Community Business

Neighborhood nodes are located at major intersections adjacent to residential neighborhoods. These nodes are intended to serve as commercial and mixed use centers serving as places to meet the basic needs of the neighborhoods, as well as the community as a whole. The key parcels within the neighborhood nodes are the corner parcels at these major intersections. Because the parcel in question is a corner parcel, its importance to develop under the regulations of Site Type B and the design standards outlined in the Neighborhood Node is a key to the future development and the implementation of Neighborhood Node N. A potential rezoning of this parcel to CB could limit the remaining parcels in the node to develop under the Neighborhood Node N - Site Type B regulations. This is especially true for the parcel to the north, which would be an isolated Neighborhood Node N parcel surrounded by differentiating zoning districts. A rezoning of this parcel would greatly limit the implementation of the Neighborhood Node N as envisioned in the Master Plan.

Specifically looking at this parcel, the intent of the Neighborhood Nodes is to develop urban building forms at these major intersections. These urban building forms are predicated on buildings placed on the street, and the incorporation of architectural details, most notably ground floor story activation. The CB, Community Business requires a ten-foot setback from the front property line and does not require the architectural details as outlined in the neighborhood nodes.

As noted in Mr. Savidant's letter to the applicant, the site is only 0.68 acres in area. As can be seen in the submitted site plan, the site appears too tight for adequate circulation for a drive-through use and creates the potential for both automobile and pedestrian conflicts. Furthermore, the size limitation of the site does not allow for adequate buffering from adjacent residential uses.

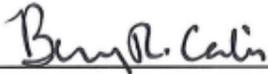
Considerations for the Planning Commission

We strongly encourage the development of a Tim Hortons or associated commercial use, and we applaud Mr. Kassab's attempt to turn a vacant, dilapidated site into a viable commercial development. However, we find that a drive-thru use predicated on a conditional rezoning would not advance the Master Plan intent of Neighborhood Node N at this location. Rezoning this parcel to CB, would weaken the ability to implement the building form and uses intended for Neighborhood Node N, especially the adjacent parcel to the north. Most importantly, while we have not done a complete review, the site plan submitted by the applicant appears too tight for adequate circulation for a drive-through use, and creates the potential for both automobile and pedestrian conflicts.

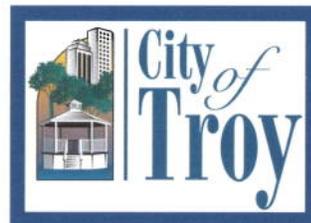
Alternatively, we encourage the applicant to either:

1. Add the entire parcel or portions of the parcel to the north. By adding additional area to the site, a drive-thru use might be feasible because issues of pedestrian and automobile conflict, tight circulation, and encroachment and impact upon adjacent properties can be mitigated.
2. Maintain the retail use but eliminate the drive-through. By eliminating the drive-through the proposed use is by-right and the applicant would be only required to go through a site plan review, which could be approved by the Planning Commission at one meeting.

I look forward to addressing any comments and questions from the Planning Commission.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



April 10, 2012

Burt S. Kassab
Liberty Group Holdings, LLC
31000 Northwestern Highway, Suite 100
Farmington Hills, MI 48334

Re: Modification of Regulating Plan – Neighborhood Node N, Northwest Corner of Square Lake/Dequindre, Troy, Michigan

This letter is prepared in response to your request to modify the Regulating Plan for Node N of the Neighborhood Node Form Based District of the City of Troy Zoning Ordinance. Presently Node N is categorized as site type B, street type A (see Map 5.06.1). Site type B does not permit Use Group 6, which includes drive-through uses. You are applying to modify the site type to type A, which permits drive-through uses by special use approval. You provided a conceptual sketch showing a proposed layout for the site, including a drive-through.

Section 5.02.G of the Zoning Ordinance lists the standards that the Zoning Administrator shall apply in making a determination to modify a site type or street type designation:

1. *The applicant's property cannot be used for the purpose permitted in the form-based district.*
2. *Area has been added or deleted from the subject property in question, requiring the modification.*
3. *The proposed modification and resulting development will not alter the essential character of the area.*
4. *The proposed modification meets the intent of the district.*
5. *Existing streets have been improved and/or new streets constructed that may result in the modification of a specific site type or street type.*

The following is an application of each of the standards:

1. *The applicant's property cannot be used for the purpose permitted in the form-based district.*

The form-based district permits a wide range of uses within site type B. Use groups 2 (residential/lodging), 3 (office/institution) and 5 (retail/entertainment/service) are all permitted by right within site type B (see Table 5.06.C-1, attached). There do not appear to be any reasons that would preclude the site being used for any of these purposes, nor does your application mention any.

2. *Area has been added or deleted from the subject property in question, requiring the modification.*

Area has not been added or deleted from this property.

3. *The proposed modification and resulting development will not alter the essential character of the area.*

The other three corners are commercial in nature. Commercial development on the subject site would not alter the essential character of the area. However a drive-through could potentially negatively alter the character of the area, based on the relatively small parcel size.

The subject parcel is approximately 0.678 acres in area. This is a relatively small site for a drive-through restaurant, particularly one on a corner, with two curb cuts. This small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

As a comparison, the existing Tim Horton's (with drive-through window) on Rochester Road is approximately 0.961 acres, and has only one curb cut. The Tim Horton's (with drive-through) recently approved on Maple Road is approximately 0.746 acres, and has only one curb cut. These parcels are both larger than the subject parcel and have only one point of ingress/egress, and therefore fewer potential traffic conflicts.

4. *The proposed modification meets the intent of the district.*

A drive-through use on this site would be a significant deviation from the Master Plan, which calls for the following in Node N: "Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office. Service-oriented use development in combination with new residential development would provide a unique setting here". The drive-through component is more intense and less compact than what is planned for this particular node.

5. *Existing streets have been improved and/or new streets constructed that may result in the modification of a specific site type or street type.*

Existing streets have not been improved or constructed recently.

The application fails to meet all five (5) of the standards of Section 5.02.G. Therefore the request to modify the Regulating Plan for Node N by modifying the site type from type B to type A is denied.

If you have further questions, please do not hesitate to call.

Sincerely,



R. Brent Savidant, AICP, PCP
Planning Director

Attachments:

1. Map 5.06.1 from City of Troy Zoning Ordinance (excerpt)
2. Table 5.06.C-1 from City of Troy Zoning Ordinance
3. Table 5.03-A-1 from City of Troy Zoning Ordinance
4. City of Troy Master Plan, pages 93-96

9. POTENTIAL CONDITIONAL REZONING APPLICATION – Northwest corner of Square Lake and Dequindre, Section 1, From NN Neighborhood Node to CB Community Business

Mr. Carlisle presented a report prepared by Carlisle/Wortman Associates, inc., which summarizes the rezoning request. The report referenced a memo to the applicant, prepared by the Planning Director, which denied the applicant's request to modify the Site Type from Type B to Type A. The applicant sought feedback from the Planning Commission on this matter, and provided a sketch of the potential development.

Mr. Hutson stated he would not support a rezoning, as the application was not compliant with the Master Plan.

There was general consensus that the applicant made a strong attempt to comply with the intent of the Neighborhood Node by placing the building close to the corner and providing outside seating between the building and Dequindre Road. Most members recognized the challenge of developing the subject site and indicated they could support a conditional rezoning.

The Planning Commission made some suggestions related to potential site design and operations. These included the following:

- Hours of operation
- Buffer between the subject property and the property to the west
- Potential for connection with property to the north
- Location of speaker box
- Size and location of dumpster

From: [Lauren Savaya](#)
To: [Planning](#)
Subject: Tim Horton's Cafe
Date: Wednesday, January 02, 2013 5:17:08 PM

Dear The Planning Commission of the City of Troy,
We do not want a Tim Horton's Cafe at the location of Northwest Corner of Square Lake and Dequindre.

Thank you

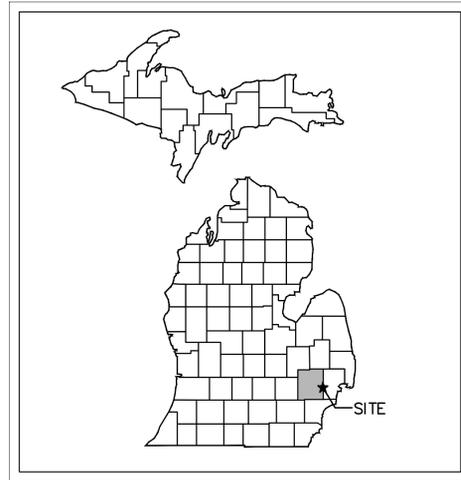
From: tom_dombrowski
To: [Planning](#)
Subject: CR 008 TimHorton's Cafe
Date: Thursday, January 03, 2013 9:22:40 PM

Dear Planning Commission Members, My wife and I are writing to you to voice our strong opposition to the Conditional Rezoning request to rezone Parcel No: 88-20-01-476-032 (Northwest Corner of Square Lake and Dequindre) from NN district to a CB district. Our objection is, to the proposed construction of a Tim Horton's Cafe with a drive through format. Such an establishment with a drive through would not comport with the neighborhood setting of our family friendly subdivision. As you are aware, the current City Master Plan does not allow an establishment with a drive through format. Simply put, a drive through with scores of cars lining up generating exhaust fumes, the sound of food orders being confirmed over loud speakers, the smell of garbage in the summer, the sight of litter, bright signs at early morning and at night, a huge increase in traffic near our subdivision entrance and School bus stop and a huge increase in the number of strangers in the area of where our children play, would have a huge negative effect on the quality of life our subdivision enjoys. Finally, there is little doubt that such an establishment with a large drive through would have the effect of decreasing property values. I am a 1978 Troy High School graduate and a Troy resident/property owner since 1989 and a proud Troy resident. There are several establishments that could be constructed at the subject site that would not interfere with our neighborhood quality of life. A fast food restaurant with a large drive through is not one of them. Please vote to deny the rezoning request from Neighborhood Node "N" district to a "CB" district. Thank you, Thomas and Linda Dombrowski, 2900 Briarwood Ct., Troy, Mi. 48085 cell# 248-515-6653

CONDITIONAL REZONING PLANS FOR

Tim Hortons®

43003 DEQUINDRE ROAD
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
NOT TO SCALE

PROJECT DATA

DEVELOPER/APPLICANT

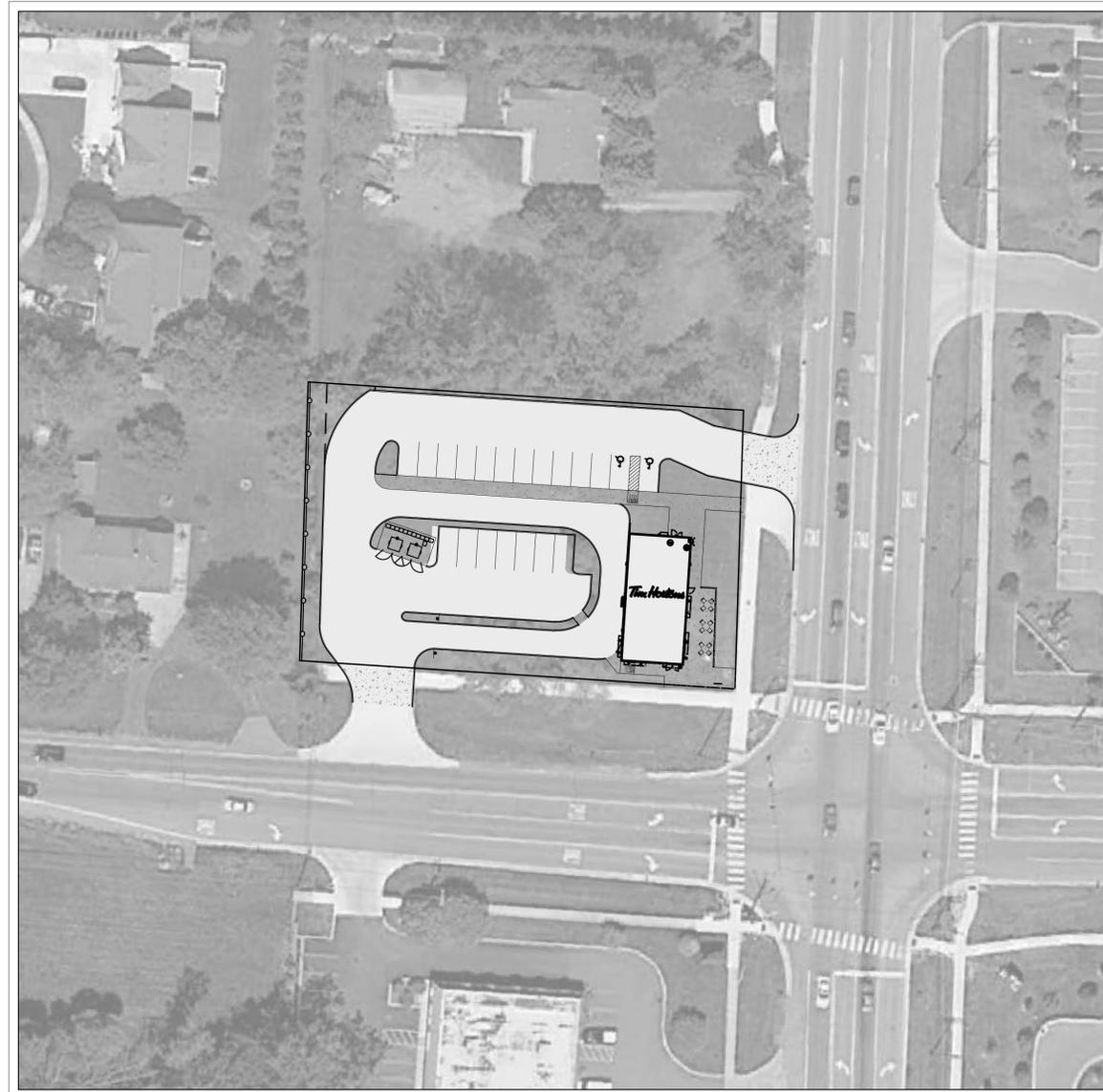
TIM DONUT U.S. LIMITED, INC.
CONTACT: MARK KELLENBERGER
565 EAST GRAND RIVER AVENUE., SUITE 101
BRIGHTON, MI 48116
OFFICE PH: 810.844.2747
MOBILE PH: 248.770.1915

CIVIL ENGINEER/SURVEYOR/LANDSCAPE ARCHITECT

METRO CONSULTING ASSOCIATES
CONTACT: MATTHEW W. BUSH, PE
6001 SCHOONER DRIVE
BELLEVILLE, MI 48111
PH: 734.483.1427
FAX: 734.483.3431

SITE PLAN/BUILDING PERMITTING

CITY OF TROY, PLANNING DEPARTMENT
CONTACT: R. BRENT SAVIDANT
500 WEST BIG BEAVER ROAD
TROY, MI 48064
PH: 248.524.3300



AERIAL MAP
SCALE: 1"=40'



VICINITY MAP
NOT TO SCALE

SHEET INDEX

01	COVER SHEET
02	EXISTING CONDITIONS PLAN
03	PRELIMINARY LAYOUT PLAN
04	PRELIMINARY LANDSCAPE PLAN
05	PRELIMINARY GRADING PLAN
06	PRELIMINARY UTILITY ROUTING PLAN

PROJECT NARRATIVE

TIM DONUT U.S. LIMITED, INC. (TIM HORTONS) IS REQUESTING CONDITIONAL REZONING APPROVAL TO MODIFY THE REQUIREMENTS OF THE EXISTING NEIGHBORHOOD NODE DISTRICT AND CONSTRUCT A RESTAURANT WITH DRIVE-THRU SERVICE AT THE NORTHWEST CORNER OF DEQUINDRE AND SQUARE LAKE ROADS IN THE CITY OF TROY.

THE OVERALL PARCEL IS APPROXIMATELY 0.68-ACRE IN SIZE AND IS ZONED NN. THE PROPOSED USE IS A PERMITTED USE IN THE NN ZONING DISTRICT. NO VARIANCES ARE ANTICIPATED FOR THIS PROJECT.

THE PROPOSED RESTAURANT WILL BE APPROXIMATELY 1,953 SF AND WILL EMPLOY APPROXIMATELY FIVE PEOPLE PER SHIFT. THE RESTAURANT WILL BE OPEN 24 HOURS AND TYPICALLY TWO DELIVERIES ARE MADE EACH WEEK DURING OFF-PEAK HOURS.

THE SITE IS LOCATED IN ZONE X PER FEMO COMMUNITY MAP PANEL NUMBER 2612500552F DATED 09/29/2006. THE SOIL SURVEY OF OAKLAND COUNTY INDICATES THAT THE PREDOMINANT SOIL TYPE ON THE SITE IS DEL REY LOAM.

ALL WORK INTERNAL TO THE SITE SHALL BE IN ACCORDANCE WITH THE MOST CURRENT PUBLISHED VERSION OF THE CITY OF TROY CODE OF ORDINANCES.

THE PROPOSED RESTAURANT WILL UTILIZE THE EXISTING FULL-ACCESS DRIVEWAY ONTO SQUARE LAKE ROAD. NO IMPROVEMENTS TO THIS EXISTING CURB CUT ARE PROPOSED AS PART OF THIS PROJECT. THE EXISTING CURB CUT ONTO DEQUINDRE ROAD WILL BE MODIFIED TO PROVIDE A FULL-ACCESS DRIVEWAY TO THE PROPOSED RESTAURANT. THE EXISTING SIDEWALKS ALONG THE DEQUINDRE ROAD AND SQUARE LAKE ROAD FRONTAGES WILL BE MAINTAINED AND RECONSTRUCTED AS NECESSARY. MINOR WORK IS ANTICIPATED WITHIN THE DEQUINDRE AND SQUARE LAKE ROAD RIGHTS-OF-WAY. THIS INCLUDES RECONSTRUCTION OF THE DRIVEWAY ONTO DEQUINDRE ROAD, AND CONNECTING TO THE EXISTING UTILITIES.

REV.	DATE	ISSUED FOR:
0	10-03-2012	CONDITIONAL REZONING SUBMITTAL
1	11-14-2012	REVISIONS PER CLIENT

METRO CONSULTING ASSOCIATES

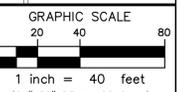
6001 SCHOONER DRIVE
BELLEVILLE, MICHIGAN 48111
PHONE: 734.483.1427 FAX: 734.483.3431
www.metrocc.net



CLIENT NAME: TIM DONUT U.S. LIMITED, INC.

TIM HORTONS RESTAURANT
CONDITIONAL REZONING

COVER SHEET



MCA JOB #:	1037-12-5504
DATE:	10-03-2012
DRAWN BY:	CMB
CHECK BY:	TJC
BOOK/CREW:	44 / BC
ADDRESS:	43003 DEQUINDRE ROAD
SECTION:	01
TOWNSHIP:	2 NORTH
RANGE:	11 EAST
COMMUNITY:	CITY OF TROY
COUNTY:	OAKLAND
SHEET:	01

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

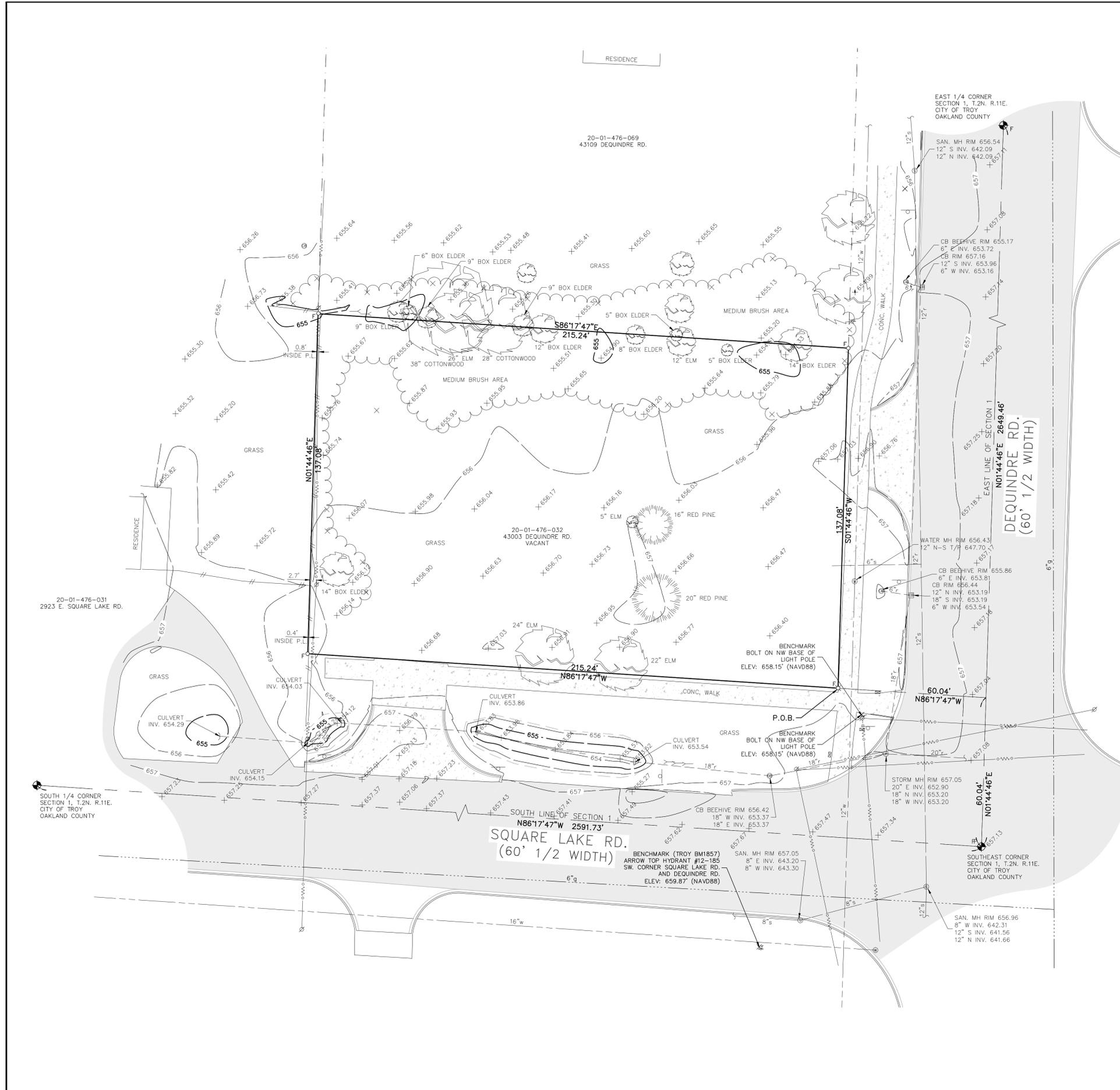
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



NOT FOR CONSTRUCTION



K:\2012\1037 JOB FOLDERS\1037-12-5504\Drawings\Plan Sets\Conditional Rezoning\1037-12-5504-02-EG.dwg 10/30/2012 8:01 AM mbaustler



LEGAL DESCRIPTION (BY OTHERS)

THE EAST 275.20 FT OF THE SOUTH 197 FT OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 1, T.2N. R.11E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, EXCEPT THE EAST 60 FT AND THE SOUTH 60 FT.

LEGEND

- PROPERTY LINE
- x100.00- EXISTING SPOT ELEVATION
- 663- EXISTING CONTOURS
- - - EX. WATER MAIN
- - - EX. STORM SEWER
- - - EX. SANITARY SEWER
- - - EX. GAS
- - - EX. CURB/PAVEMENT
- - - ADJACENT PARCEL LINE
- - - EX. FENCE
- - - EX. GUARDRAIL
- - - EX. UNDERGROUND ELECTRIC
- - - EX. UNDERGROUND TELEPHONE
- - - EX. OVERHEAD ELECTRIC
- - - EASEMENT
- ⊕ EX. LANDSCAPE TREE
- ⊕ EX. HYDRANT
- ⊕ EX. WATER MANHOLE
- ⊕ EX. SANITARY MANHOLE
- ⊕ EX. TRANSFORMER/ELECTRIC METER
- ⊕ EX. GAS METER
- ⊕ EX. CATCH BASIN
- ⊕ EX. ROUND CATCH BASIN
- ⊕ EX. LIGHT POLE
- ⊕ FOUND IRON PIPE
- ⊕ EX. UTILITY POLE
- ⊕ EX. SIGN

REV.	DATE	ISSUED FOR:
0	10-03-2012	CONDITIONAL REZONING SUBMITTAL
1	11-14-2012	REVISIONS PER CLIENT

METRO CONSULTING ASSOCIATES
 6001 SCHOONER DRIVE
 BELLEVILLE, MICHIGAN 48111
 PHONE: 734.483.1427 FAX: 734.483.3431
 www.metrocc.net

CLIENT NAME: **TIM DONUT U.S. LIMITED, INC.**
TIM HORTONS RESTAURANT
 CONDITIONAL REZONING
 EXISTING CONDITIONS PLAN

GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 feet
 (24"x36" DRAWINGS ONLY)

MCA JOB #:	1037-12-5504
DATE:	10-03-2012
DRAWN BY:	CMB
CHECK BY:	TJC
BOOK/CREW:	44 / BC
ADDRESS:	43003 DEQUINDRE ROAD
SECTION:	01
TOWNSHIP:	2 NORTH
RANGE:	11 EAST
COMMUNITY:	CITY OF TROY
COUNTY:	OAKLAND
SHEET:	02

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



NOT FOR CONSTRUCTION



SITE DATA TABLE

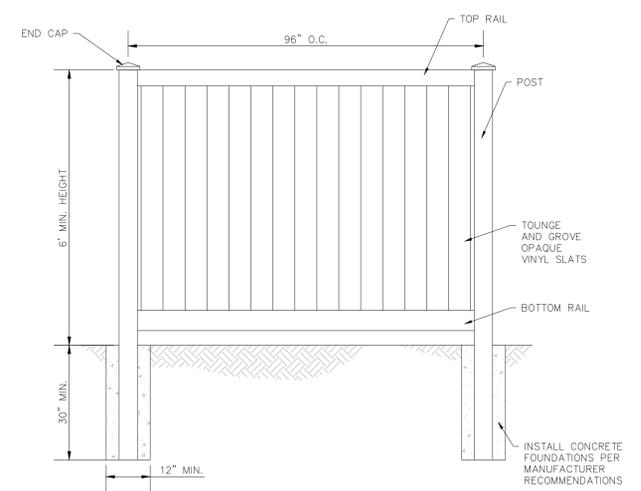
SITE AREA		0.68 AC (29,488 SF)	
ZONING		NN	
LAND USE		DRIVE-THRU RESTAURANT	
SITE DEVELOPMENT DATA		REQUIRED	PROPOSED
BUILDING SETBACKS	FRONT	10 FT (MIN)	10 FT
	SIDE	0 FT	64 FT
	REAR	30 FT (MIN)	160 FT
BUILDING INFORMATION	HEIGHT	14 FT (MIN); 45 FT (MAX)	20 FT - 4 IN
	STORIES	1 (MIN); 3 (MAX)	1
	G.F.A.	N/A	1,953 SQ FT
COVERAGE	BUILDING	N/A	6.6%
	OPEN SPACE	30%	21.1%
PARKING	TOTAL SPACES	28 (MIN)	20
	LENGTH	17 FT / 19 FT	17 FT / 19 FT
	WIDTH	9.5 FT	9.5 FT
	AISLE	24 FT	24 FT
	ADA SPACES	1	2
	LOADING	0	0
STACKING	10	10	

GENERAL NOTES

1. ALL WORK TO BE PERFORMED SHALL COMPLY WITH ALL GOVERNMENTAL, STATE AND MUNICIPAL CODES AND ORDINANCES.
2. PRIOR TO COMMENCING WORK, ALL PERMITS REQUIRED SHALL BE ISSUED AND SECURED.
3. PRIOR TO COMMENCING WORK, CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD SUBSTANTIAL CONFLICTS IN THE DESIGN INTENT EXIST.
4. COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING THE CONSTRUCTION OF ALL BUILDING APPURTENANCES, INCLUDING BUT NOT LIMITED TO DRIVE-THRU FEATURES (MENU BOARD, SPEAKER, PREVIEW DETECTOR, VEHICLE DETECTOR, AND SIGNAGE), AND SITE LIGHT POLE FIXTURES.
5. COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING THE CONSTRUCTION OF THE BUILDING AND ITS INTEGRATION WITH THE SITE, INCLUDING THE INTEGRATION OF THE DRIVE-THRU LANE PAVEMENT AND BUILDING FOUNDATION.
6. COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING THE CONSTRUCTION OF PROPOSED SITE SIGNAGE.
7. COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING TRAFFIC DIRECTION PAVEMENT MARKINGS.
8. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS REGARDING THE REFUSE ENCLOSURE.
9. THERE ARE NO WETLANDS ON SITE.
10. ALL PAVEMENT DIMENSIONS AND RADIUS CALL-OUTS ARE TO FACE OF CURB OR EDGE OF PAINT UNLESS OTHERWISE SHOWN OR NOTED.
11. THE RESTAURANT WILL BE OPEN 24 HOURS AND WILL EMPLOY APPROXIMATELY 5 PEOPLE PER SHIFT.

LEGEND

—	PROPERTY LINE	⊗	EX. CATCH BASIN
—	EXISTING SPOT ELEVATION	⊕	EX. ROUND CATCH BASIN
—	EXISTING CONTOURS	⊙	EX. LIGHT POLE
—	EX. WATER MAIN	⊘	FOUND IRON PIPE
—	EX. STORM SEWER	⊚	EX. UTILITY POLE
—	EX. SANITARY SEWER	⊛	EX. SIGN
—	EX. GAS	⊜	PR. PARKING SPACES
—	EX. CURB/PAVEMENT	⊝	PR. ADA RAMP
—	ADJACENT PARCEL LINE	⊞	PR. CURB (TYPE 'E')
—	EX. FENCE	⊟	PR. CURB (TYPE 'F')
—	EX. GUARDRAIL	⊠	PR. LIGHT FIXTURE
—	EX. UNDERGROUND ELECTRIC	⊡	PR. CONCRETE (SIDEWALK)
—	EX. UNDERGROUND TELEPHONE	⊢	PR. ASPHALT (PAVEMENT)
—	EX. OVERHEAD ELECTRIC	⊣	PR. CONCRETE (PAVEMENT)
—	EASEMENT	⊤	
—	EX. LANDSCAPE TREE	⊥	
—	EX. HYDRANT	⊦	
—	EX. WATER MANHOLE	⊧	
—	EX. SANITARY MANHOLE	⊨	
—	EX. TRANSFORMER/ELECTRIC METER	⊩	
—	EX. GAS METER	⊪	



TYPICAL VINYL FENCE DETAIL
NOT TO SCALE

NOTE: STORM WATER MANAGEMENT WILL BE PROVIDED THROUGH AN UNDERGROUND CONVEYANCE AND COLLECTION SYSTEM. STORM WATER QUALITY WILL BE PROVIDED MECHANICALLY THROUGH THE USE OF AN "AQUA SWIRL" CHAMBER.

METRO CONSULTING ASSOCIATES
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BELLEVILLE, MICHIGAN 48111
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CLIENT NAME: **TIM DONUT U.S. LIMITED, INC.**
TIM HORTONS RESTAURANT
CONDITIONAL REZONING
PRELIMINARY LAYOUT PLAN

GRAPHIC SCALE
0 10 20 40
1 inch = 20 feet
(24"x36" DRAWINGS ONLY)

MCA JOB #: 1037-12-5504
DATE: 10-03-2012
DRAWN BY: CMB
CHECK BY: TJC
BOOK/CREW: 44 / BC
ADDRESS: 43003 DEQUINDRE ROAD
SECTION: 01
TOWNSHIP: 2 NORTH
RANGE: 11 EAST
COMMUNITY: CITY OF TROY
COUNTY: OAKLAND
SHEET: **03**



NOT FOR CONSTRUCTION

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

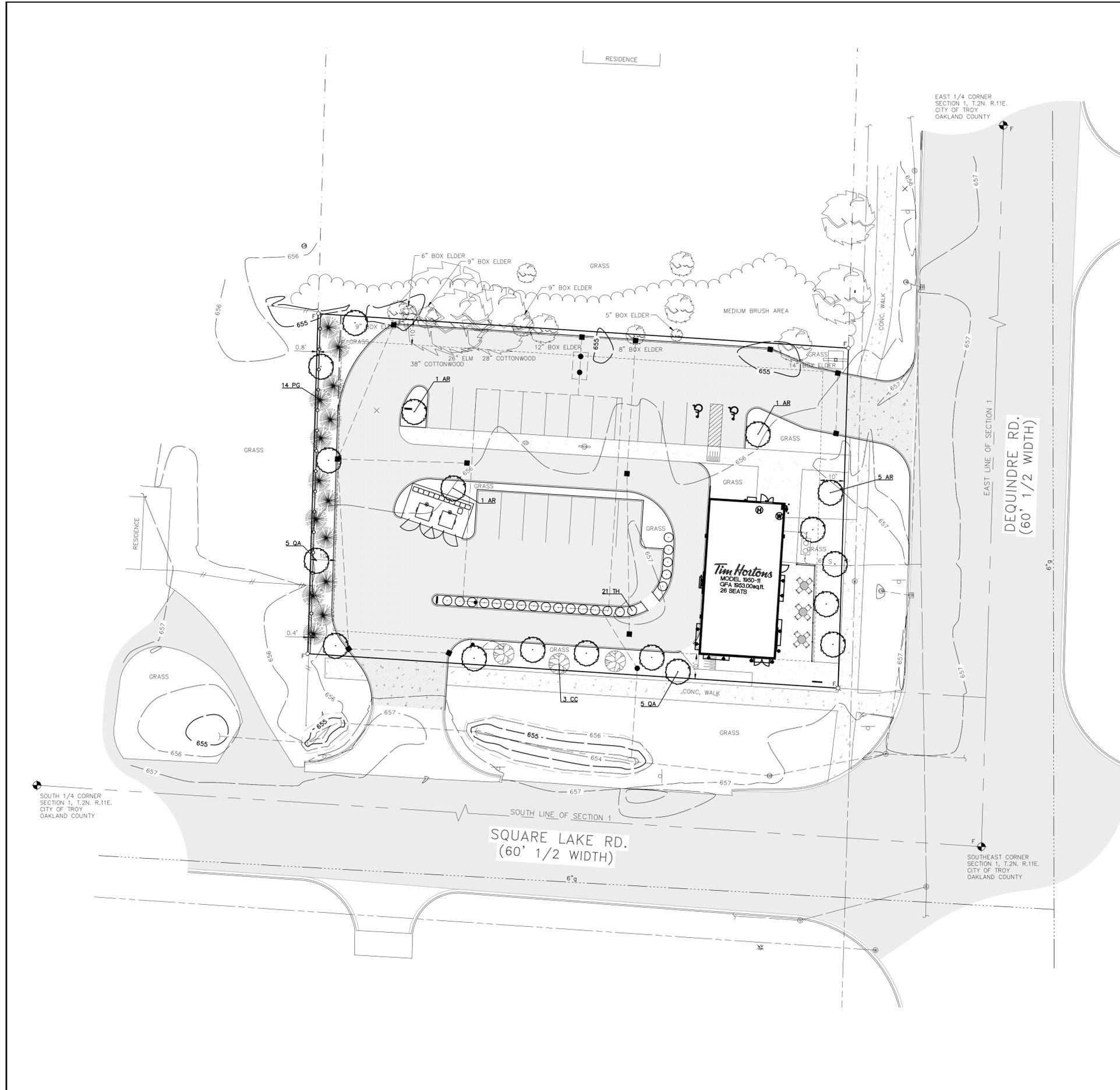
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811 Know what's below. Call before you dig.

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LANDSCAPE CALCULATIONS

SCREENING BETWEEN LAND USES (137 LF)		
	REQUIRED	PROPOSED
DECIDUOUS TREES:	N/A	5
EVERGREEN TREES:	14	14
PARKING LOT LANDSCAPING - 20 SPACES		
TREES:	3	3
SHRUBS:	N/A	21
RIGHT-OF-WAY GREENBELT - DEQUINDRE ROAD (137 LF)		
TREES:	3	3
SHRUBS:	N/A	21
RIGHT-OF-WAY GREENBELT - SQUARE LAKE ROAD (215 LF)		
TREES:	5	5
SHRUBS:	10	10
TOTAL PROVIDED LANDSCAPING		
DECIDUOUS TREES:	16	16
EVERGREEN TREES:	14	14
ORNAMENTAL TREES:	0	3
SHRUBS:	0	21

PLANTING LIST

SYMBOL	KEY	QTY.	SPECIES	MIN. SIZE	SPEC.
AR	8	ACER RUBRUM RED MAPLE	2.5" CAL.	B&B	
QA	10	QUERCUS ALBA WHITE OAK	2.5" CAL.	B&B	
PG	14	PICEA GLAUCA WHITE SPRUCE	2.5" CAL.	B&B	
CC	3	CERCIS CANADENSIS REDBUD	2.5" CAL.	B&B	
TH	21	TAXUS X MEDIA "HICKSII" HICKS YEW	18-24" HT.	CONT.	

LANDSCAPE NOTES

- THIS PLAN IS FOR PLANTING LOCATIONS ONLY.
- SIZES SPECIFIED ARE MINIMUM SIZES TO BE INSTALLED.
- IN THE EVENT THE PLANT LIST DOES NOT MATCH THE PLAN, THE PLAN SHALL TAKE PRECEDENCE.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TOWNSHIP STANDARDS IN A NEAT, HEALTHY AND WEED-FREE CONDITION FREE FROM REFUSE AND DEBRIS. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIAL IS TO BE REPLACED WITHIN ONE YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.
- ALL EXISTING TREES TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES. PLANTINGS WITHIN 15 FEET OF A FIRE HYDRANT SHALL NOT EXCEED 6 INCHES IN HEIGHT.
- PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN IN THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROXIMATELY 1/3 OF THE ROOT BALL ABOVE THE GRADE.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. PEEL BACK THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE ANY BURLAP AROUND TREE TRUNKS.
- ALL LANDSCAPE AREAS SHALL BE EXCAVATED OF ALL BUILDING/CONSTRUCTION MATERIAL AND POOR SOILS TO A DEPTH OF 18"-24" AND BACKFILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL.
- BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ALL DISTURBED UNPAVED AREAS ARE TO BE SPREAD WITH A MINIMUM 4 INCHES OF TOPSOIL AND SEEDED.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY. NEWLY PLANTED MATERIALS SHALL BE REGULARLY WATERED UNTIL ESTABLISHED.
- IF AN APPROVED SPECIES IS NO LONGER ACCEPTABLE DUE TO SUCH THINGS AS INFESTATION OR DISEASE, A SUITABLE SIMILAR SPECIES SHALL BE USED AS REPLACEMENT. ANY PLANT SUBSTITUTIONS SHALL HAVE TOWNSHIP APPROVAL PRIOR TO INSTALLATION.
- RECOMMENDED PLANTING DATES ARE MARCH 1 TO MAY 15 FOR ALL MATERIALS AND OCTOBER 15 TO DECEMBER 15 FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR TOWNSHIP APPROVAL, AND MAY REQUIRE SPECIAL TREATMENT, SUCH AS EXTRA WATERING OR MULCHING, TO INCREASE SURVIVAL POTENTIAL.
- PLANT MATERIAL SHALL NOT INTERFERE WITH SIGHT DISTANCE TRIANGLES.

LEGEND

PROPERTY LINE	EX. CATCH BASIN
EXISTING SPOT ELEVATION	EX. ROUND CATCH BASIN
EXISTING CONTOURS	EX. LIGHT POLE
EX. WATER MAIN	FOUND IRON PIPE
EX. STORM SEWER	EX. UTILITY POLE
EX. SANITARY SEWER	EX. SIGN
EX. GAS	PR. PARKING SPACES
EX. CURB/PAVEMENT	PR. ADA RAMP
ADJACENT PARCEL LINE	PR. CURB (TYPE 'E')
EX. FENCE	PR. CURB (TYPE 'F')
EX. GUARDRAIL	PR. LIGHT FIXTURE
EX. UNDERGROUND ELECTRIC	PR. CONCRETE (SIDEWALK)
EX. UNDERGROUND TELEPHONE	PR. ASPHALT (PAVEMENT)
EX. OVERHEAD ELECTRIC	PR. CONCRETE (PAVEMENT)
EASEMENT	
EX. LANDSCAPE TREE	
EX. HYDRANT	
EX. WATER MANHOLE	
EX. SANITARY MANHOLE	
EX. TRANSFORMER/ELECTRIC METER	
EX. GAS METER	

REV.	DATE:	ISSUED FOR:	CONDITIONAL REZONING SUBMITTAL	REVISIONS PER CLIENT
0	10-03-2012			
1	11-14-2012			

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 BELLEVILLE, MICHIGAN 48111
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CLIENT NAME: TIM DONUT U.S. LIMITED, INC.
TIM HORTONS RESTAURANT
 CONDITIONAL REZONING
 PRELIMINARY LANDSCAPE PLAN

GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 feet
 (24"x36" DRAWINGS ONLY)

MCA JOB #: 1037-12-5504
 DATE: 10-03-2012
 DRAWN BY: CMB
 CHECK BY: TJC
 BOOK/CREW: 44 / BC
 ADDRESS: 43003 DEQUINDRE ROAD
 SECTION: 01
 TOWNSHIP: 2 NORTH
 RANGE: 11 EAST
 COMMUNITY: CITY OF TROY
 COUNTY: OAKLAND
 SHEET: 04

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

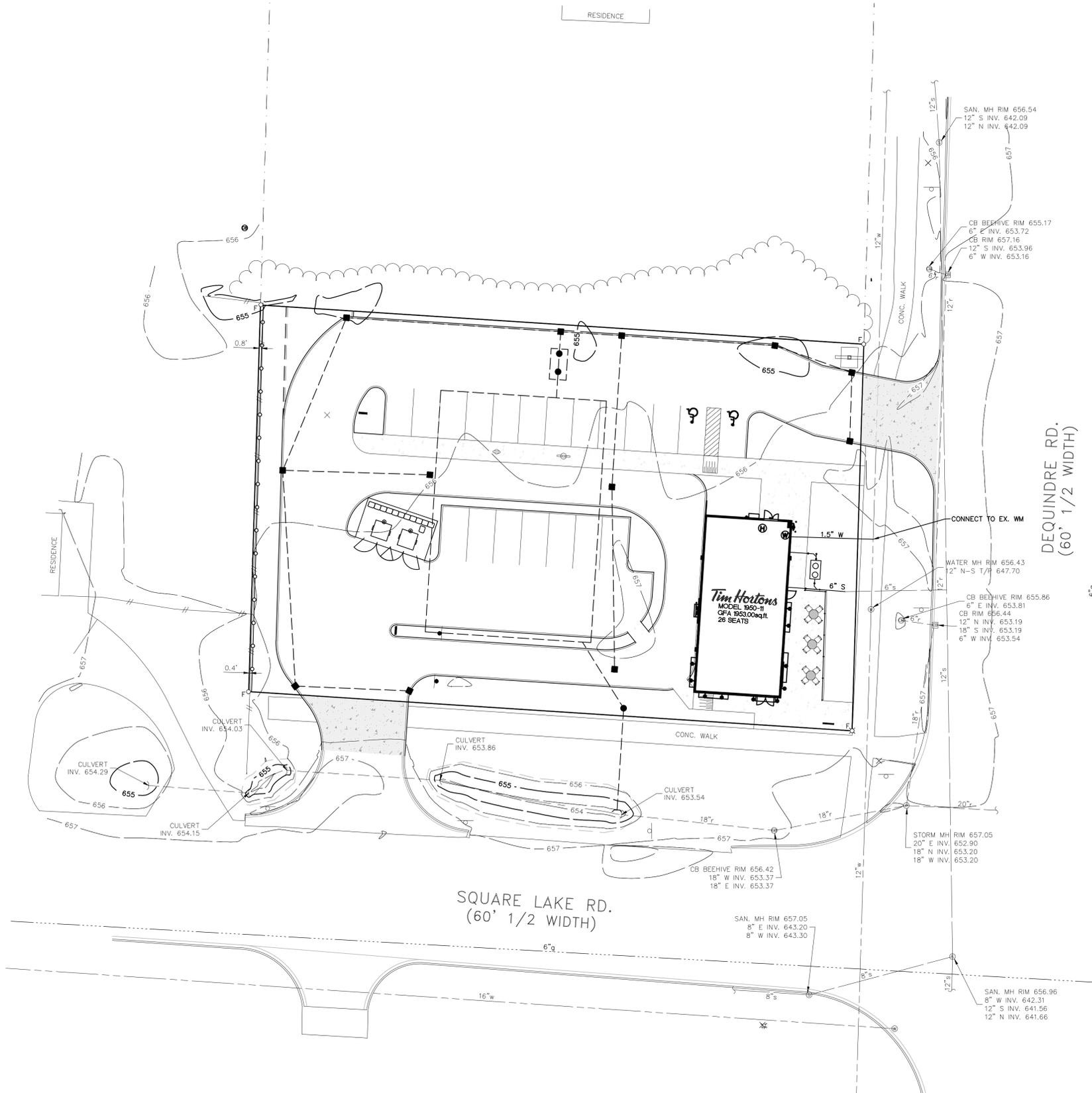
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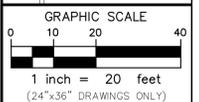
LEGEND

- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EX. WATER MAIN
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. GAS
- EX. CURB/PAVEMENT
- ADJACENT PARCEL LINE
- EX. FENCE
- EX. GUARDRAIL
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. OVERHEAD ELECTRIC
- EASEMENT
- EX. LANDSCAPE TREE
- EX. HYDRANT
- EX. WATER MANHOLE
- EX. SANITARY MANHOLE
- EX. TRANSFORMER/ELECTRIC METER
- EX. GAS METER
- EX. CATCH BASIN
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- EX. LIGHT POLE
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- EX. SIGN
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- PR. CURB (TYPE 'F')
- PR. LANDSCAPE TREE
- PR. LIGHT FIXTURE
- PR. CONCRETE (SIDEWALK)
- PR. ASPHALT (PAVEMENT)
- PR. CONCRETE (PAVEMENT)
- PR. SPOT GRADE
- PR. DRAINAGE SLOPES

CLIENT NAME: TIM DONUT U.S. LIMITED, INC.

TIM HORTONS RESTAURANT
CONDITIONAL REZONING

PRELIMINARY UTILITY ROUTING PLAN



MCA JOB #:	1037-12-5504
DATE:	10-03-2012
DRAWN BY:	CMB
CHECK BY:	TJC
BOOK/CREW:	44 / BC
ADDRESS:	43003 DEQUINDRE ROAD
SECTION:	01
TOWNSHIP:	2 NORTH
RANGE:	11 EAST
COMMUNITY:	CITY OF TROY
COUNTY:	OAKLAND
SHEET:	06

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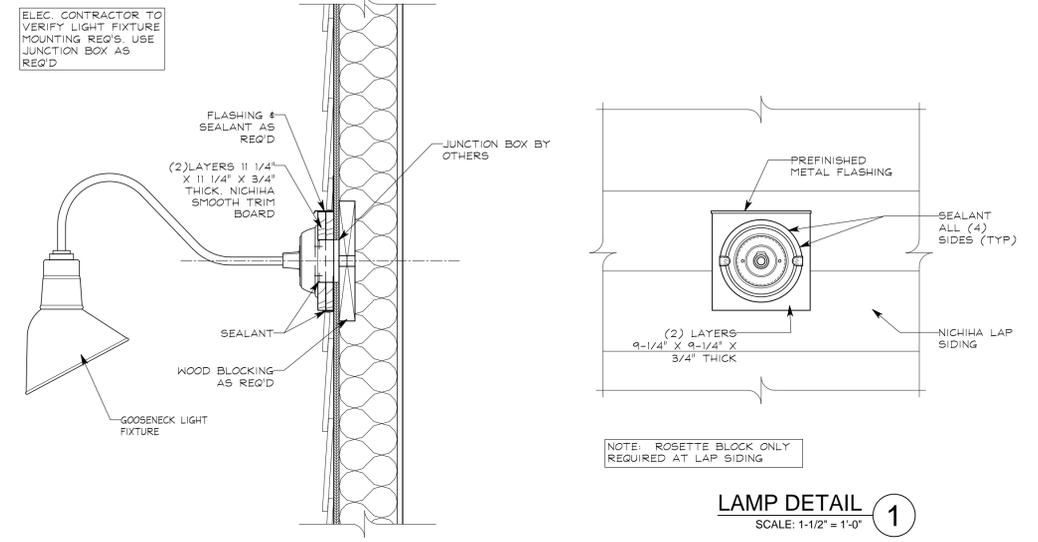


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ISSUED FOR:	CONDITIONAL REZONING SUBMITTAL
REV:	REVISIONS PER CLIENT
DATE:	
0	10-03-2012
1	11-14-2012

TAG	PRODUCT	MFG.	PATTERN & COLOR	COMMENTS	SUPPLIER/CONTACT
FC-1	LAP SIDING	NICHHA FIBER CEMENT PRODUCTS	SIERRA PREMIUM SMOOTH 8-3/4" LAP SIDING. PRE-PRIMED G.C. TO PAINT IN FIELD.		NICHHA CONTACT: MICHAEL RUSSO (770)805-9466, 1-866-424-4421, EMAIL: MRUSSO@NICHHA.COM
FC-2	ARCHITECTURAL BLOCK	NICHHA FIBER CEMENT PRODUCTS	ARCHITECTURAL BLOCK PANELS. SIERRA PREMIUM SMOOTH 8-3/4" PRE-PRIMED G.C. TO PAINT IN FIELD.		
FC-3	KURASTONE	NICHHA FIBER CEMENT PRODUCTS	KURASTONE WALL PANELS. COLOR: MOUNTAIN ITEM: AT-1118-US BORDER PIECES (LG) COLOR: MOUNTAIN ITEM: ATB-1118-US CORNER PIECES COLOR: MOUNTAIN ITEM: ATD-1118-US		
FC-4	TRIM	NICHHA FIBER CEMENT PRODUCTS	1 1/4" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD.		
FC-5	TRIM	NICHHA FIBER CEMENT PRODUCTS	3 1/2" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD.		
FC-6	VERSETTA STONE WAINSCOT CAP	BORAL STONE PRODUCTS	VERSETTA STONE WAINSCOT SILL COLOR TO MATCH KURASTONE COLOR: TAUPE	INCLUDE IN NICHHA PACKAGE	
EP-1	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SK6604 FRENCH ROAST	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 4421	
EP-2	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SK6108 LATTE	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 4643	
EP-3	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SK6662 RUGGED BROWN	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 4986	
EP-4	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SK6990 CAVIAR		
CR-1	CORNICE	CANAMOULD	CANAMOULD CORNICE #K5008		
MC-1	METAL COPING	DURO-LAST	CUSTOM PREFINISHED METAL COPING KYNAR COLOR TO MATCH SW 6990 CAVIAR		DURO-LAST CONTACT: STEVE RUTH (900) 248-0980
MC-2	METAL COPING	DURO-LAST	2-PIECE COMPRESSION EDGE W/ 4" HIGH PREFINISHED METAL COVER, KYNAR COLOR TO MATCH SW 6990 CAVIAR	INCLUDED IN ROOFING PACKAGE	DURO-LAST CONTACT: STEVE RUTH (900) 248-0980



GENERAL NOTES		
1.	SEALANT AROUND DOOR/WINDOW FRAMES. COLOR TO MATCH ADJACENT MATERIAL.	
2.	ALL EXTERIOR FIBER CEMENT SHALL BE PREFINISHED BY THE MANUFACTURER WHEREVER POSSIBLE.	
3.	ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.	

EXTERIOR ELEVATION KEYED NOTES:		
1.	PREFINISHED METAL COPING W/ DRIP EDGE.	
2.	GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.	
3.	CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING. SEE WINDOW SCHEDULE ON SHEET A11 AND EXTERIOR FINISH SCHEDULE ON SHEET A5.	
4.	FOUNDATION (SEE STRUCTURAL).	
5.	INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY TDL. G.C. TO PROVIDE ALL REQUIRED BLOCKING AND FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION AND SIZE OF SIGNS WITH SIGN MANUFACTURER. APPROVED DRAWINGS AND COORDINATE LOCATIONS FOR BLOCKING AND UTILITIES.	
6.	CONTINUOUS CONCRETE FOOTING. (SEE STRUCTURAL).	
7.	PROVIDE & INSTALL 4" DIA. CONCRETE FILLED STEEL PIPE BOLLARDS AROUND GAS METER AND CT CABINET PER LOCAL CODES & UTILITY COMPANY REQUIREMENTS. PAINT BOLLARDS COLOR: TBD.	
8.	PRECAST STONE SILL. SEE FINISH SCHEDULE.	
9.	AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL AND INSTALLED BY G.C. VERIFY MANUFACTURER & DELIVERY W/ TDL REPRESENTATIVE.	
10.	LINE OF ROOF BEYOND.	
11.	DISCHARGE LOCATION FOR SECONDARY ROOF DRAINAGE. PROVIDE ZURN Z-199 DOWNSPOUT NOZZLE @ 12" A.F.F. PER CODE.	
12.	GOOSENECK LIGHT FIXTURE ABOVE AWNING MOUNT J-BOX @ 11'-0" A.F.F.	
13.	GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE BAND MOUNT J-BOX @ 12'-4" A.F.F.	
14.	HOLLOW METAL DOOR & FRAME. PAINT: PAINT REAR DOOR AND FRAME EP-2.	
15.	C/T CABINET AND METER AS REQ'D. VERIFY WITH LOCAL ELECTRICAL COMPANY.	
16.	FABRIC AWNING AND SUPPORT STRUCTURE PROVIDED AND INSTALLED BY OWNER. COLOR & SIGNAGE T.S.D. G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED.	
17.	GENERAL PURPOSE LIGHT FIXTURE AS SPECIFIED ON SHEET E1 MOUNT FIXTURE @ 12'-4" A.F.F.	
18.	G.C. TO PROVIDE & INSTALL 6" DIA. CONC. FILLED PIPE BOLLARD @ DRIVE-THRU WINDOW. SEE PLACEMENT DETAIL ON SHEET SD-19.	
19.	(2) LAYERS 1 1/4" X 3/4" THICK NICHHA SMOOTH TRIM BOARD. SEE DETAILS ON A7.1.	
20.	(2) LAYERS 3/4" X 3 1/2" PREFINISHED FIBER CEMENT TRIM BOARD. SEE DETAIL 2/A7.1.	
21.	PROVIDE NICHHA IX TRIM AT PARAPET END. COLOR TO MATCH ADJACENT TRIM.	
22.	NOT USED.	
23.	FLASHING BETWEEN BUILDING & WALK IN COOLER/FREEZER BY FREEZER/COOLER MFG. G.C. TO PROVIDE PREFINISHED METAL COUNTER FLASHING AS REQUIRED. COORDINATE W/ TDL REPRESENTATIVE.	
24.	LINE OF PARAPET BEYOND.	
25.	PRE-MANUFACTURED WALK-IN FREEZER/COOLER, BY FREEZER/COOLER MANUFACTURER.	

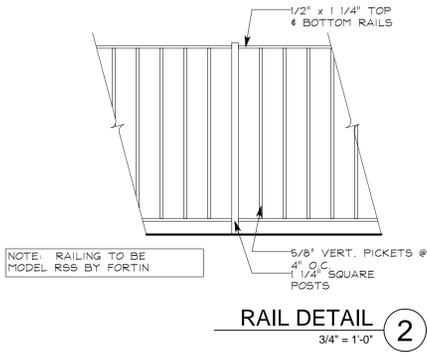
REVISION/UPLOAD DATE		
REV.	DATE	DESCRIPTION
RFP#1	04/09/12	GENERIC UPLOAD
RFP#5	05/09/12	GENERIC UPLOAD
	05/14/12	GENERIC UPLOAD

LAST DESIGN BULLETIN		
NUM.	DATE	DESCRIPTION
#02-12	03/27/12	NEW AWNINGS, LIGHTING

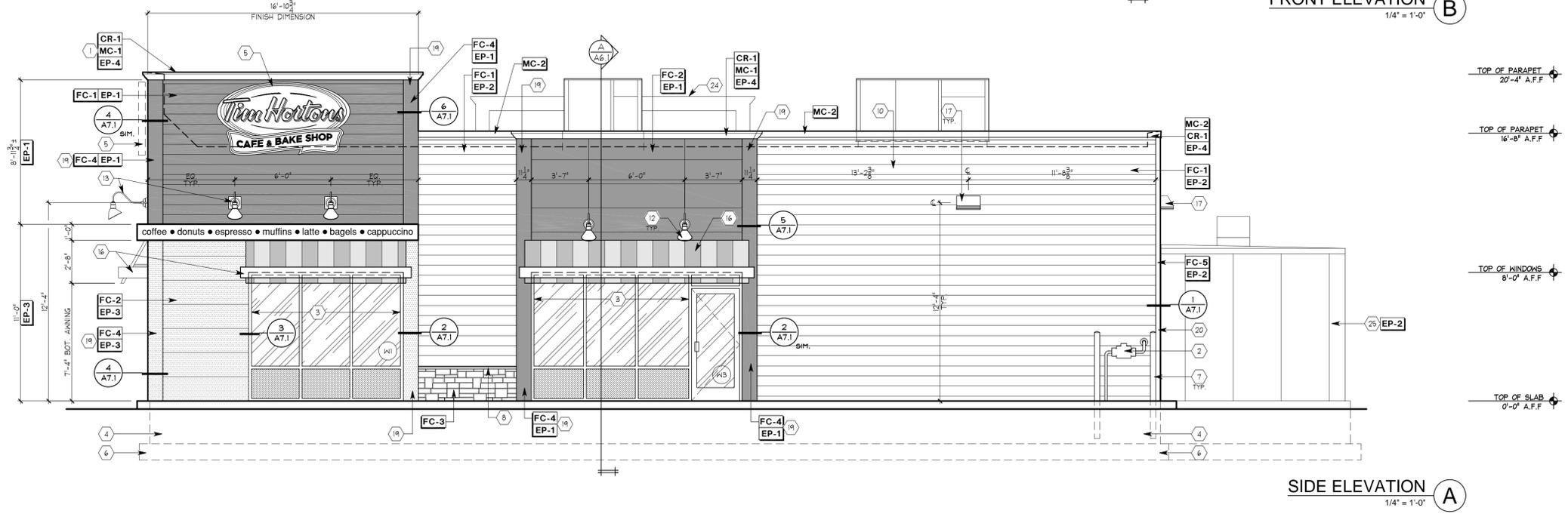
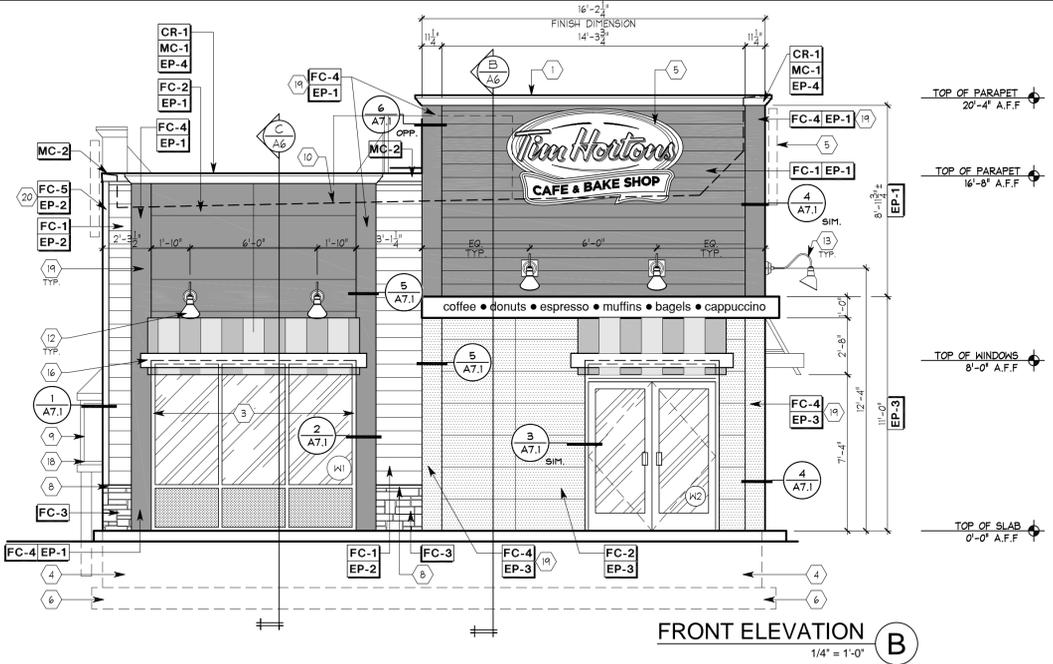
DATE ISSUED: 04/09/2012

SHREMSHOCK
 Shremshock Architects, Inc.
 4800 S. Salsbery Rd., Westerville, OH 43081
 T: 614.641.6556 F: 614.641.6556
 www.shremshock.com

Tim Hortons
 MODEL 190-12 (U.S.)
 NOT FOR CONSTRUCTION
 ANYWHERE U.S.A.
 TDL STORE NUMBER



SIGNAGE SHOWN IS REPRESENTATIVE. OWNER SHALL SUBMIT DETAILED INFORMATION ON SIGNAGE FOR APPROVAL.



EXTERIOR ELEVATIONS

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

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SAI # 120002
 DRAWING NUMBER: **A5**

DRAWN BY: DDS CHECKED BY: MLL

EXTERIOR FINISH SCHEDULE

TAG	PRODUCT	MFG.	PATTERN & COLOR	COMMENTS	SUPPLIER/CONTACT
FC-1	LAP SIDING	NICHHA FIBER CEMENT PRODUCTS	SIERRA PREMIUM SMOOTH 8-3/4" LAP SIDING. PRE-PRIMED G.C. TO PAINT IN FIELD.		NICHHA CONTACT: MICHAEL RUSSO (770)805-9466, 1-866-424-4421, EMAIL: MRUSSO@NICHHA.COM
FC-2	ARCHITECTURAL BLOCK	NICHHA FIBER CEMENT PRODUCTS	ARCHITECTURAL BLOCK PANELS. SIERRA PREMIUM SMOOTH 8-3/4" PRE-PRIMED G.C. TO PAINT IN FIELD.		
FC-3	KURASTONE	NICHHA FIBER CEMENT PRODUCTS	KURASTONE WALL PANELS. COLOR: MOUNTAIN ITEM: AT-1118-US BORDER PIECES (LG) COLOR: MOUNTAIN ITEM: ATB-1118L-US CORNER PIECES COLOR: MOUNTAIN ITEM: ATD-1118-US		
FC-4	TRIM	NICHHA FIBER CEMENT PRODUCTS	1 1/4" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD		
FC-5	TRIM	NICHHA FIBER CEMENT PRODUCTS	3 1/2" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD		
FC-6	VERSETTA STONE MAINSCOT CAP	BORAL STONE PRODUCTS	VERSETTA STONE MAINSCOT SILL COLOR TO MATCH KURASTONE COLOR TAUPE	INCLUDE IN NICHHA PACKAGE	
EP-1	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SW6064 FRENCH ROAST	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 44211	
EP-2	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SW6108 LATTE	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 46431	
EP-3	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SW6062 RUGGED BROWN	SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 49861	
EP-4	PAINT	NICHHA FIBER CEMENT PRODUCTS	COLOR: TDL SW6990 CAVIER		
CR-1	CORNICE	CANAMOULD	CANAMOULD CORNICE #K5008		

GENERAL NOTES

- SEALANT AROUND DOOR/WINDOW FRAMES COLOR TO MATCH ADJACENT MATERIAL.
- ALL EXTERIOR FIBER CEMENT SHALL BE PREFINISHED BY THE MANUFACTURER WHEREVER POSSIBLE
- ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.

EXTERIOR ELEVATION KEYED NOTES:

- PREFINISHED METAL COPING W/ DRIP EDGE.
- GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.
- CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING. SEE WINDOW SCHEDULE ON SHEET A1 AND EXTERIOR FINISH SCHEDULE ON SHEET A5.
- FOUNDATION. (SEE STRUCTURAL)
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY TDL. G.C. TO PROVIDE ALL REQUIRED BLOCKING AND FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION AND SIZE OF SIGNS WITH SIGN MANUFACTURER. APPROVED DRAWINGS AND COORDINATE LOCATIONS FOR BLOCKING AND UTILITIES.
- CONTINUOUS CONCRETE FOOTING. (SEE STRUCTURAL)
- PROVIDE & INSTALL 4" DIA. CONCRETE FILLED STEEL PIPE BOLLARDS AROUND GAS METER AND CT CABINET PER LOCAL CODES & UTILITY COMPANY REQUIREMENTS. PAINT BOLLARDS COLOR: TBD.
- PRECAST STONE SILL. SEE FINISH SCHEDULE.
- AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL AND INSTALLED BY G.C. VERIFY MANUFACTURER & DELIVERY W/ TDL REPRESENTATIVE.
- LINE OF ROOF BEHIND.
- DISCHARGE LOCATION FOR SECONDARY ROOF DRAINAGE. PROVIDE ZURN Z-1PR DOWNSPOUT NOZZLE @ 12" A.F.F. PER CODE.
- GOOSENECK LIGHT FIXTURE ABOVE AWNINGS MOUNT J-BOX @ 11'-0" A.F.F.
- GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE BAND MOUNT J-BOX @ 12'-4"
- HOLLOW METAL DOOR & FRAME. PAINT: PAINT REAR DOOR AND FRAME EP-2.
- C/T CABINET AND METER AS REQ'D. VERIFY WITH LOCAL ELECTRICAL COMPANY.
- FABRIC AWNING AND SUPPORT STRUCTURE PROVIDED AND INSTALLED BY OWNER. COLOR & SIGNAGE T.B.D. G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED.
- GENERAL PURPOSE LIGHT FIXTURE AS SPECIFIED ON SHEET E1 MOUNT FIXTURE @ 12'-4" A.F.F.
- G.C. TO PROVIDE & INSTALL 6" DIA. CONC. FILLED PIPE BOLLARD @ DRIVE-THRU WINDOW. SEE PLACEMENT DETAIL ON SHEET SD-19.
- (2) LAYERS 1 1/4" X 3/4" THICK NICHHA SMOOTH TRIM BOARD. SEE DETAILS ON A7.1.
- (2) LAYERS 3/4" X 3 1/2" PREFINISHED FIBER CEMENT TRIM BOARD. SEE DETAIL 2/A7.1
- PROVIDE NICHHA IX TRIM AT PARAPET END. COLOR TO MATCH ADJACENT TRIM.
- NOT USED.
- FLASHING BETWEEN BUILDING & WALK IN COOLER/FREEZER BY FREEZER/COOLER MFG. G.C. TO PROVIDE PREFINISHED METAL COUNTER FLASHING AS REQUIRED. COORDINATE W/ TDL REPRESENTATIVE.
- LINE OF PARAPET BEYOND.
- PRE-MANUFACTURED WALK-IN FREEZER/COOLER, BY FREEZER/COOLER MANUFACTURER.

REVISION/UPLOAD DATE

REV.	DATE	DESCRIPTION
RFP#1	04/09/12	GENERIC UPLOAD
RFP#5	05/09/12	GENERIC UPLOAD
	05/14/12	GENERIC UPLOAD

LAST DESIGN BULLETIN

NUM.	DATE	DESCRIPTION
#02-12	03/22/12	NEW AWNINGS, LIGHTING

DATE ISSUED: 04/09/2012

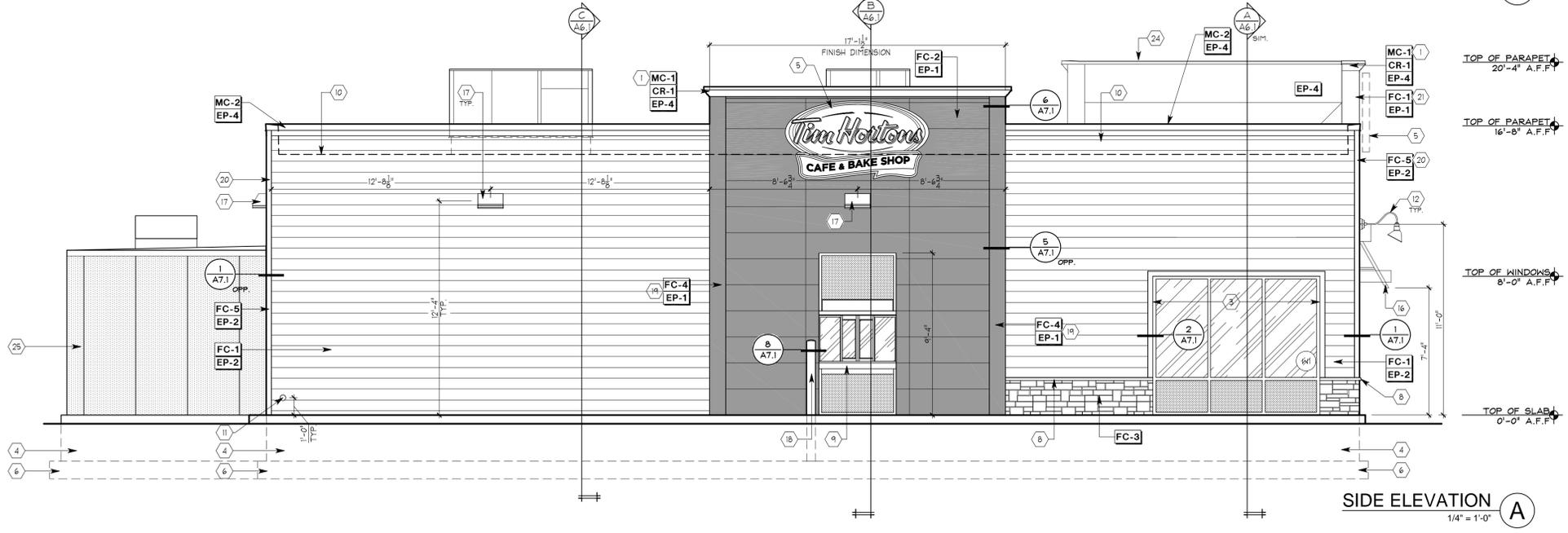
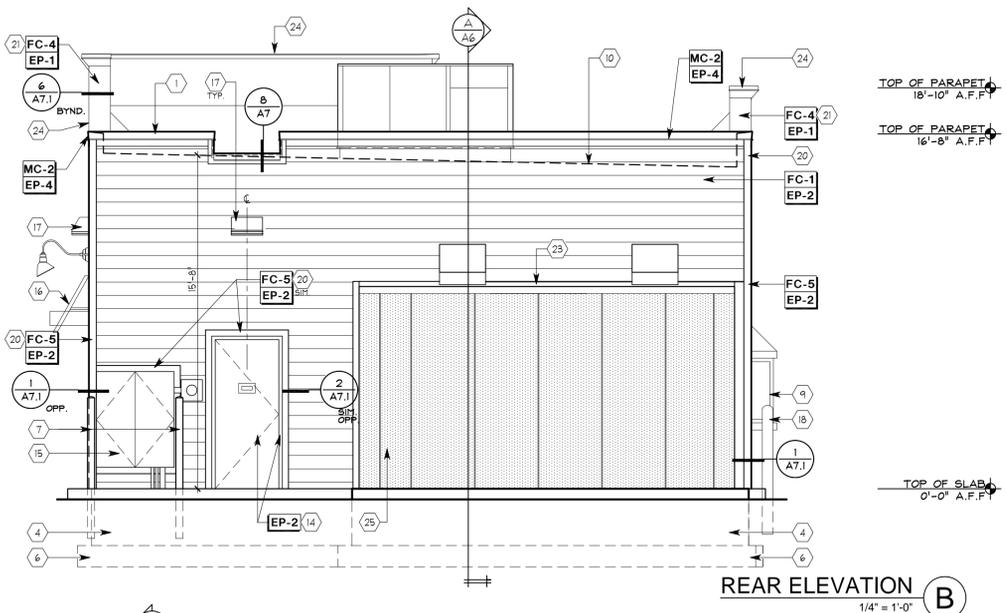
SHREMSHOCK
 Shremshock Architects, Inc.
 6100 S. Salsbery Rd., Westerville, OH 43081
 Tel: 614-940-6000 Fax: 614-940-4500
 www.shremshock.com

Tim Hortons
 MODEL 190-12 (U.S.)
 NOT FOR CONSTRUCTION
 ANYWHERE U.S.A.
 TDL STORE NUMBER

EXTERIOR ELEVATIONS
 DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

SAI # 120002
 DRAWING NUMBER: **A5.1**

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SIGNAGE SHOWN IS REPRESENTATIVE. OWNER SHALL SUBMIT DETAILED INFORMATION ON SIGNAGE FOR APPROVAL.

SYMBOL LEGEND

- ELEVATION REFERENCE
- WALL / BUILDING SECTION REFERENCE
- NOTE REFERENCE. SEE EXTERIOR ELEVATION CODED NOTES
- WINDOW NUMBER. REFER TO SCHEDULES ON DRAWING A11.

DRAWN BY: DDS CHECKED BY: MLL

KITCHEN EQUIPMENT SCHEDULE

NO.	SUPPL'D	INSL'D	DESCRIPTION	QTY	MANUFACTURER	MODEL	NOTES
1	T.D.L.	G.C.	MIRROR	2	BOBRICK	B0292	24" HORIZ. X 36" VERT. SURFACE MOUNTED (CONSULT WITH TIM HORTONS FIELD ENGINEER)
2	T.D.L.	G.C.	TOILET PAPER HOLDER	2	BUNZ	GPT64T	
3	T.D.L.	G.C.	ELECTRIC HAND DRYER	2	XLERATOR	XL-N	W/ RECESS-MOUNTING KIT #40502
4	T.D.L.	G.C.	42" GRAB BAR	2	BOBRICK	B-6806w/2	SUPPLIED BY FINISHED CARPENTRY SECTION
4B	T.D.L.	G.C.	36" GRAB BAR	2	BOBRICK	B-6806w/36	SUPPLIED BY FINISHED CARPENTRY SECTION
4C	T.D.L.	G.C.	18" GRAB BAR	2	BOBRICK	B-6806w/18	SUPPLIED BY FINISHED CARPENTRY SECTION
51	T.D.L.	G.C.	SOAP DISPENSER - WALL MOUNTED	5	BOBRICK	B-2111	LIQUID SOAP SURFACE MOUNTED
52	T.D.L.	G.C.	SOAP DISPENSER - 3 COMP SINK	1			
62	T.D.L.	T.D.L.	SIRIUS SPEAKERS	1			ON SHELF - BY INSTALLER
82	T.D.L.	T.D.L.	BAG-N-BOX W/ CARBONATOR	1	PEPSI		
163	T.D.L.	T.D.L.	IN-STORE CAMERA	7	PANASONIC	WV-CF224	LOCATION TO SUIT TIM HORTONS FIELD ENGINEER
2012	T.D.L.	G.C.	3 COMPARTMENT SINK	1	S 4 G	SK-73009	72" LONG
221	T.D.L.	G.C.	FIRE EXTINGUISHER WITH RECESSED CABINET	1	JL INDUSTRIES	#1816F0	AMEREX #B402 (5LB 3A40BC)
222	T.D.L.	G.C.	FIRE EXTINGUISHER WALL SURFACE MTD.	2	AMEREX	#B260	(1) MODEL B260 CLASS 2A-K (2) B402 (3A40BC) #B10 WALL BRACKET
2610	T.D.L.	G.C.	S/S FINISHING TABLE	1	S 4 G		
2612	T.D.L.	G.C.	S/S FINISHING TABLE - BUTCHER BLOCK	1	S 4 G		60" WIDE
271	T.D.L.	T.D.L.	DVT MONITOR	1,2F	PANASONIC		
272	T.D.L.	T.D.L.	SANDWICH MONITOR (WALL MOUNTED)	1F	PANASONIC		
274	T.D.L.	T.D.L.	10" MONITOR	1,1F	PANASONIC		
275	T.D.L.	T.D.L.	10" MONITOR WITH STAND	1	PANASONIC		
276	T.D.L.	T.D.L.	CRASH MONITORS	2F	PANASONIC		
291	T.D.L.	G.C.	PAPER TOWEL DISPENSER ROLL	2	FROST	126	
292	T.D.L.	G.C.	PAPER TOWEL DISPENSER	1	FROST	101	
31	T.D.L.	T.D.L.	WIRELESS BASE STATION	1	HME/S/M/PANASONIC		
32	T.D.L.	T.D.L.	BATTERY CHARGER	1	HME/S/M/PANASONIC		
33	T.D.L.	T.D.L.	HARDWARE RECEIVER	1	HME/S/M/PANASONIC		
34.7	T.D.L.	G.C.	DISHTABLING FOR TEMPSTAR	1	S 4 G		
34.8	T.D.L.	G.C.	DRAWER PANS FOR TEMPSTAR	1	S 4 G		
35.3	T.D.L.	G.C.	DISHWASHER	1	TEMPSTAR	208/230/3 PHASE	
37.11	T.D.L.	T.D.L.	P.O.S. CASH REGISTER (STANDARD)	3,2F	PANASONIC	7500	INSULATED, ISOLATION OUTLET
38.14	T.D.L.	S.F.C.	SANDWICH UNIT	1	S 4 G		
40.3	T.D.L.	S.F.C.	ICED CAPPUCCINO LID DISPENSER	1	S 4 G	ICED CAPPUCCINO	
40.4	T.D.L.	S.F.C.	LID DISPENSER - HOT	2	S 4 G	HOT	
42.4	T.D.L.	T.D.L.	MICROWAVE OVEN (STANDARD)	1	PANASONIC	NE 1054	
43	T.D.L.	G.C.	WALL SHELVING 12" DEEP	1	S/S STORAGE PRODUCTS	VARIES	CONSULT TIM HORTONS FIELD ENGINEER - SEE PLAN
44.2	T.D.L.	T.D.L.	BEVERAGE FOUNTAIN W/ ICE BIN	1	CORNELIUS	2323	
44.3	T.D.L.	T.D.L.	BEVERAGE PUMP AND MOTOR ASSEMBLY	1	PEPSI		
46.3	T.D.L.	T.D.L.	BAGEL TOASTER - TURBO	1	STAR MFG.	QC53-1600B	
47.7	T.D.L.	G.C.	SEATING - LON BASE TABLE 2x2	7	PETER ANTHONY		
47.8	T.D.L.	G.C.	SEATING - TUB CHAIR	4	PETER ANTHONY		
47.9	T.D.L.	G.C.	SEATING - SHELL SEATING	11	PETER ANTHONY		
47.10	T.D.L.	G.C.	COFFEE TABLE 20"X20"	2	PETER ANTHONY		
47.11	T.D.L.	G.C.	SEATING - STOOL	6	PETER ANTHONY		
47.12	T.D.L.	G.C.	SEATING - PRIORITY CHAIR	3	PETER ANTHONY		
47.13	T.D.L.	G.C.	BOOTH SEATING - BENCH, CUSTOM LENGTH	1	PETER ANTHONY	*SETTEE BENCH	7'-6" LONG (VERIFY)
47.14	T.D.L.	G.C.	BOOTH SEATING - BENCH	2	PETER ANTHONY		44" WIDE
47.15	T.D.L.	G.C.	BOOTH SEATING - BENCH, BACK-TO-BACK	1	PETER ANTHONY		44" WIDE
47.16	T.D.L.	G.C.	BOOTH SEATING - BOOTH TABLE	2	PETER ANTHONY		44" WIDE
49	T.D.L.	G.C.	WALK-IN SHELVING	12	SPG STORAGE PRODUCTS		SEE PLAN
51	T.D.L.	G.C.	SEMI RECESSED TRASH	2	FROST	531	
541	T.D.L.	T.D.L.	KEEPER RACK	2	CORIAN		
57.2	T.D.L.	T.D.L.	FONDANT WARMER	1	GARLAND	EFK-800	
60.3	T.D.L.	G.C.	HOT PLATE	1	GARLAND	ED-15THSE	
62.5	T.D.L.	G.C.	ICE MACHINE	1	HOSHIZAKI	KM-320P4H	

NO.	SUPPL'D	INSL'D	DESCRIPTION	QTY	MANUFACTURER	MODEL	NOTES
63	T.D.L.	G.C.	SUSPENDED STORAGE SHELVING (METAL)	5	SPG STORAGE PRODUCTS	VARIES	SEE PLAN
64	T.D.L.	G.C.	DRY STORAGE SHELVING (METAL)	7	SPG STORAGE PRODUCTS	VARIES	
66.3	T.D.L.	G.C.	ICER CREAMER-DUAL VOLUME (STANDARD)	2	SURE SHOT	AC10	
67.4	T.D.L.	T.D.L.	HOT CAPPUCCINO UNIT	1,1F	BUNN	FF1D-DBC-3	
68.6	T.D.L.	G.C.	COFFEE BREWER	2,1F	BUNN	CMT-95	
68.14	T.D.L.	T.D.L.	COFFEE BREWER	2	BUNN	CMTF95-3	
69.3	T.D.L.	T.D.L.	PORTION CONTROLLED GRANULAR DISPENSER	2	BURESHOT		
70	T.D.L.	G.C.	WALK-IN FREEZER (EXTERIOR)	1	ICS		10'-1" TALL
71.14	T.D.L.	G.C.	WORK TABLE S/S	1	S 4 G		3' WIDE
72.5	T.D.L.	G.C.	EXHAUST HOOD (HOT PLATE)	1	AEROLATOR		SEE MECHANICAL & ELECTRICAL DRAWINGS
72.9	T.D.L.	G.C.	EXHAUST HOOD (DISHWASHER)	1	AEROLATOR		SEE MECHANICAL & ELECTRICAL DRAWINGS
72.10	T.D.L.	G.C.	EXHAUST HOOD (BAGEL TOASTER)	1	HALTON		SEE MECHANICAL & ELECTRICAL DRAWINGS
72.14	T.D.L.	G.C.	EXHAUST HOOD (OVEN)	1	HALTON	VG-C	SEE MECHANICAL & ELECTRICAL DRAWINGS
73	T.D.L.	G.C.	HAND SINKS - COUNTER MOUNTED	2	POLAR	1734	
73.1	T.D.L.	G.C.	DUMP SINKS - COUNTER MOUNTED	2	POLAR	1734	
73.2	T.D.L.	G.C.	HAND SINKS - WALL MOUNTED	1	AMTEKO		
74	T.D.L.	G.C.	WALK-IN COOLER (EXTERIOR)	1	ICS		10'-1" TALL
77.5	T.D.L.	T.D.L.	SOUP WARMER	1	BLOOMFIELD	300TDM	
81.3L	T.D.L.	G.C.	UNDERCOUNTER REFRIGERATOR	2	DELFIELD	UCR-27	
82	T.D.L.	G.C.	DEPOSIT BOX SAFE	2	PERMAVAULT	PRO-500	
83.2	T.D.L.	T.D.L.	VEGETABLE SINK	1	S 4 G		
85	T.D.L.	T.D.L.	SECURITY SYSTEM MONITOR	1	ADT		G.C. TO PROVIDE POWER
86.2	T.D.L.	G.C.	EMPLOYEE LOCKER HANGING STORAGE	1	HADRAN		
87.7	T.D.L.	T.D.L.	COLD BEVERAGE	1	TAYLOR	342	
88	G.C.	G.C.	SHELVING ABOVE 3-COMPARTMENT SINK	1	CARI-ALL		
89	G.C.	G.C.	BABY CHANGING TABLE	2	KOALA	KB300	TOP OF UNIT TO BE 48" A.F.F.
90	T.D.L.	T.D.L.	WINDOW BLINDS	12			G.C. TO VERIFY QUANTITY AND LOCATIONS FOR BLINDS W/ OWNER
92	T.D.L.	T.D.L.	DRIVE-THRU TIMER	1	HME	SYSTEM 30	
92.1	T.D.L.	T.D.L.	DRIVE-THRU LANE-TIMER JOURNAL PRINTER	1			
93.2	T.D.L.	T.D.L.	'CAM' FRAME	1			
94.3	T.D.L.	T.D.L.	'POPI' FRAME	1			
96.1	T.D.L.	T.D.L.	WALL CLOCK	1			
96.1	T.D.L.	T.D.L.	TRAINING COMPUTER	2	HP		
99.1	T.D.L.	T.D.L.	TEA/WATER COMBO BREWER	1F			
104	T.D.L.	G.C.	HOT PLATE STAND FOR ITEM #60	1			
107.2	T.D.L.	T.D.L.	SAFE	1			
108.2	T.D.L.	T.D.L.	BAGEL SABER	1	PRINCECASTLE	SERIES 970	
109	T.D.L.	G.C.	TABLE TOP GLAZER	1	S 4 G	CF7007	
112	T.D.L.	T.D.L.	MOBILE DISH CART	2	SPG STORAGE PRODUCTS		
118	T.D.L.	T.D.L.	DESKTOP COMPUTER	1			
122.3	T.D.L.	G.C.	BREAD SHELF 42"	2	CAYUGA		
123	T.D.L.	T.D.L.	MEDIA STORAGE CABINET	1	APC NET SHELTER	AR100	
124.4	T.D.L.	G.C.	LCD TV/MONITOR & MOUNTING BRACKET	1			MONITOR & BRACKET FURNISHED BY T.D.L.
124.6	T.D.L.	G.C.	47" LCD PENIBOARD	5			ALLOW 2" SPACING BETWEEN SCREENS
128	T.D.L.	G.C.	FLAVOR DISPENSER FOR COFFEE	1	SURE SHOT	AC-F95	
129	T.D.L.	G.C.	CUTLERY BIN HOLDER	1	S 4 G	CF707B	
130.3	T.D.L.	G.C.	ADVANCE CHILLER UNIT	1	SURE SHOT	AC-LC1	
130.4	T.D.L.	T.D.L.	TEA SERVER	1	BUNN		
134.1	T.D.L.	T.D.L.	HIGH CHAIR AND TRAY	1	KOALA	7805/7815	
135	T.D.L.	G.C.	HOT HOLDING UNIT (STANDARD)	1,1F	MERCO SAVORY	MHC-22-TDL	
136.4	T.D.L.	T.D.L.	ESPRESSO	1	NESCAFE MILANO	8/100	
137	G.C.	G.C.	SEMI RECESSED TRASH	2	FROST	531	
138	T.D.L.	T.D.L.	TOASTER STAND	1	ASTRON	340-TDL	MOUNT TOP OF UNIT 53" A.F.F. R.O. 1/2" 1/4"x31"
140	T.D.L.	G.C.	ICE CADDY	1F	S 4 G		
143	T.D.L.	T.D.L.	PRINTER	1			
145	T.D.L.	T.D.L.	KNIFE BIN HOLDER	1			
147	T.D.L.	T.D.L.	BIOHAZARD KIT	1	NEATH	127870	COORDINATE LOCATION/MOUNTING WITH T.D.L. REPRESENTATIVE
148	T.D.L.	T.D.L.	FIRST AID KIT	1	VARIES		COORDINATE LOCATION/MOUNTING WITH T.D.L. REPRESENTATIVE

NO.	SUPPL'D	INSL'D	DESCRIPTION	QTY	MANUFACTURER	MODEL	NOTES
154	T.D.L.	T.D.L.	CLEARVIEW MONITOR EMPLOYEE TIME CLOCK	1			
157.1R	T.D.L.	T.D.L.	MINI-COMBI OVEN-STEAMER	2	CLEVELAND	025610	
159.3	T.D.L.	T.D.L.	MINI-COMBI UNIT OVEN-STEAMER DOUBLE STAND	1	S 4 G		
1601	T.D.L.	T.D.L.	PANINI PRESS	1	DOUGHPRO	SUBSTPA	
1611	T.D.L.	T.D.L.	2 LB BULK GRINDER	1	BUNN	G2	
162	T.D.L.	T.D.L.	24" THERMAL SHELVES	1	HATCO	H2024B	
1641	T.D.L.	T.D.L.	BAKED GOODS DISPLAY W/ HEATED SHELF (46")	1	CAYUGA CABINET		
165	T.D.L.	T.D.L.	'MOBILE BAKERY' SIGN	2	CAYUGA CABINET	CC09-314	
168.5	T.D.L.	T.D.L.	CBS FASCIA RACK	3	CUSTOM SIGN CENTER		
171	T.D.	G.C.	COFFEE BANNER	1	G.T.C.	COFFEE	PURCHASED FROM GENERAL THEMING CONTRACTOR (G.T.C.)
172	T.D.	G.C.	BAKERY BANNER	1	G.T.C.	BAKED GOODS	PURCHASED FROM GENERAL THEMING CONTRACTOR (G.T.C.)
173	T.D.	G.C.	SOUPS AND SANDWICH BANNER	1	G.T.C.	SOUP SANDWICH	PURCHASED FROM GENERAL THEMING CONTRACTOR (G.T.C.)
176.1	T.D.	G.C.	FIREPLACE	1	OFFFLAME	DF30350T	
178	T.D.L.	G.C.	REHEAT/MAINTAINER	1	GRANDE CHEF	RT4000	
183	T.D.	G.C.	SUSPENDED GRAPHIC PANEL (30" WIDE)	2	G.T.C.	GRAPHIC PANEL	PURCHASED FROM GENERAL THEMING CONTRACTOR (G.T.C.)
184.6	T.D.L.	G.C.	GRAB N' GO - UNDER COUNTER (42")	1	QBD	MINIMSG3034	
185.3	T.D.L.	G.C.	PATIO CHAIR	16	SUMMER CLASSICS	3570	
185.4	T.D.L.	G.C.	PATIO TABLE	4	SUMMER CLASSICS	3292	
189	T.D.L.	T.D.	CLEAR ACRYLIC CONTAINERS	1			
190	T.D.L.	G.C.	48" 4-WIDE DONUT SHOWCASE	1	FUSION	59FC	
191	T.D.L.	G.C.	48" 4-WIDE DONUT SHOWCASE INSERT	1	CAYUGA CABINET		
192	T.D.L.	T.D.	AWNING	4	CUSTOM SIGN CENTER		
192	T.D.	G.C.	WALL GRAPHIC	1	G.T.C.		PURCHASED FROM GENERAL THEMING CONTRACTOR (G.T.C.)
194	T.D.L.	G.C.	KICK PLATE FOR COMBI-OVEN	1	S 4 G		
196	T.D.	G.C.	SUSPENDED SLAT CEILING	1	G.T.C.	196-8-120	PURCHASED FROM GENERAL THEMING CONTRACTOR (G.T.C.)
D4	S.F.C.	S.F.C.	GLASS GUARD	3	S 4 G		
D6	S.F.C.	S.F.C.	TRAY RAIL	2			
D5	S.F.C.	S.F.C.	SNEEZE GUARD	1	S 4 G		
D21c	S.F.C.	S.F.C.	3' DISPLAY MERCHANDISER	1	S 4 G		
D22	S.F.C.	S.F.C.	LON PARTITION	1	S 4 G		
D24	S.F.C.	S.F.C.	WINDOW SILL	4	S 4 G		
D34.6	S.F.C.	S.F.C.	GARBAGE CONDIMENT	1	S 4 G		
D46	S.F.C.	S.F.C.	OFFICE COUNTERTOP	1	S 4 G	F022007-08	
D46.1	S.F.C.	S.F.C.	FILE DRAWER	1	S 4 G		
D46.2	S.F.C.	S.F.C.	PENCIL DRAWER	1	S 4 G		
D46.4	S.F.C.	S.F.C.	DOUBLE OVERHEAD CABINET	2	S 4 G		
D46.5	S.F.C.	S.F.C.	CORNER OVERHEAD CABINET	1	S 4 G		
D50	S.F.C.	S.F.C.	SHINGING GATE	1	S 4 G		
D55.1	S.F.C.	S.F.C.	COFFEE GRIND STATION	1	S 4 G		
D56	S.F.C.	S.F.C.	COFFEE PRESENTATION SHELF	1	S 4 G		
D57	S.F.C.	S.F.C.	MILLWORK COUNTER	1	S 4 G		

STORE FIXTURE SCHEDULE

NO.	SUPPL'D	INSL'D	DESCRIPTION	QTY	MANUFACTURER	MODEL	NOTES
154	T.D.L.	T.D.L.	CLEARVIEW MONITOR EMPLOYEE TIME CLOCK	1			
157.1R	T.D.L.	T.D.L.	MINI-COMBI OVEN-STEAMER	2	CLEVELAND	025610	

DATE: January 4, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 398) – Proposed Fifth Third Bank, North Side of Big Beaver between Lakeview and Alpine (2282 W Big Beaver), Section 20, Currently Zoned BB (Big Beaver) District

The petitioner Atwell submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for the proposed Fifth Third Bank. The existing bank will be demolished and a new bank with drive thru will be constructed.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SU 398

G:\SPECIAL USE\SU 398 Fifth Third Bank Sec 20\PC Memo 01 08 13.docx

PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW (File Number SU 398) – Proposed Fifth Third Bank, North Side of Big Beaver between Lakeview and Alpine (2282 W Big Beaver), Section 20, Currently Zoned BB (Big Beaver) District

Resolution # PC-2013-01-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Fifth Third Bank, located on the north side of Big Beaver between Lakeview and Alpine (2282 W Big Beaver), Section 20, currently zoned BB (Big Beaver) District, be granted.

Yes:

No:

Absent:

MOTION CARRIED / FAILED



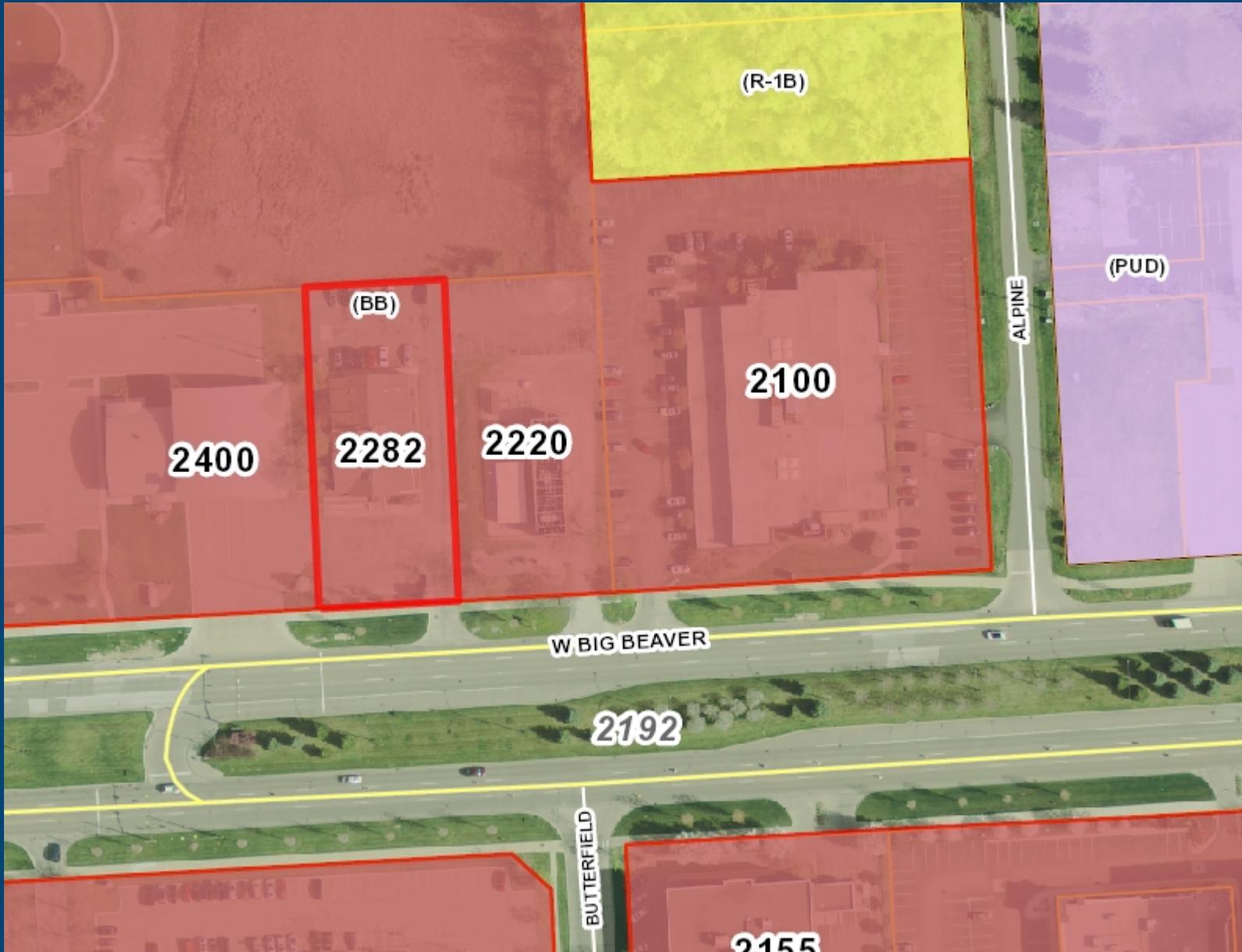
Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

127 0 63 127Feet

Scale 1: 762





Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
- Current Zoning Ordinance**
 -  (PUD) Planned Unit Development
 -  (CF) Community Facilities District
 -  (EP) Environmental Protection District
 -  (BB) Big Beaver Road (Form Based)
 -  (MRF) Maple Road (Form Based)
 -  (NN) Neighborhood Nodes (A-U)
 -  (CB) Community Business
 -  (GB) General Business
 -  (IB) Integrated Industrial Business District
 -  (O) Office Building District
 -  (OM) Office Mixed Use
 -  (P) Vehicular Parking District
 -  (R-1A) One Family Residential District
 -  (R-1B) One Family Residential District
 -  (R-1C) One Family Residential District
 -  (R-1D) One Family Residential District
 -  (R-1E) One Family Residential District
 -  (RT) One Family Attached Residential District
 -  (MR) Multi-Family Residential
 -  (MHP) Manufactured Housing
 -  (UR) Urban Residential
 -  (RC) Research Center District
 -  (PV) Planned Vehicle Sales
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

238 0 119 238Feet

Scale 1: 1,429





CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: December 19, 2012

Special Use Review and Preliminary / Site Plan Review For Troy, Michigan

Applicant	Doug Brinker, Atwell
Project Name:	Fifth Third Bank
Plan Date:	November 19, 2012
Location:	2282 Big Beaver Road
Zoning:	Big Beaver Form-Based
Action Requested:	Special Use Permit and Preliminary Site Plan.
Required Information:	Deficiencies noted.

PROJECT DESCRIPTION

The applicant proposes to demolish the existing building and redevelop the site with a drive-through facility at the existing 0.64 acre site. Access to the site will remain from the existing single curb-cut off Big Beaver Road. The site redevelopment will bring the building into compliance with the form based requirements of Big Beaver.

Based on a recommendation of the Planning Commission, the City Council recently adopted a zoning text amendment that permits drive-throughs for financial institutions as a special use.

Fifth Third Bank
December 19, 2012

Location of Subject Property:

2282 Big Beaver Road. North side of Big Beaver adjacent to the City of Troy Fire Station #3

Size of Subject Property:

0.64 acres in area.

Proposed Uses of Subject Parcel:

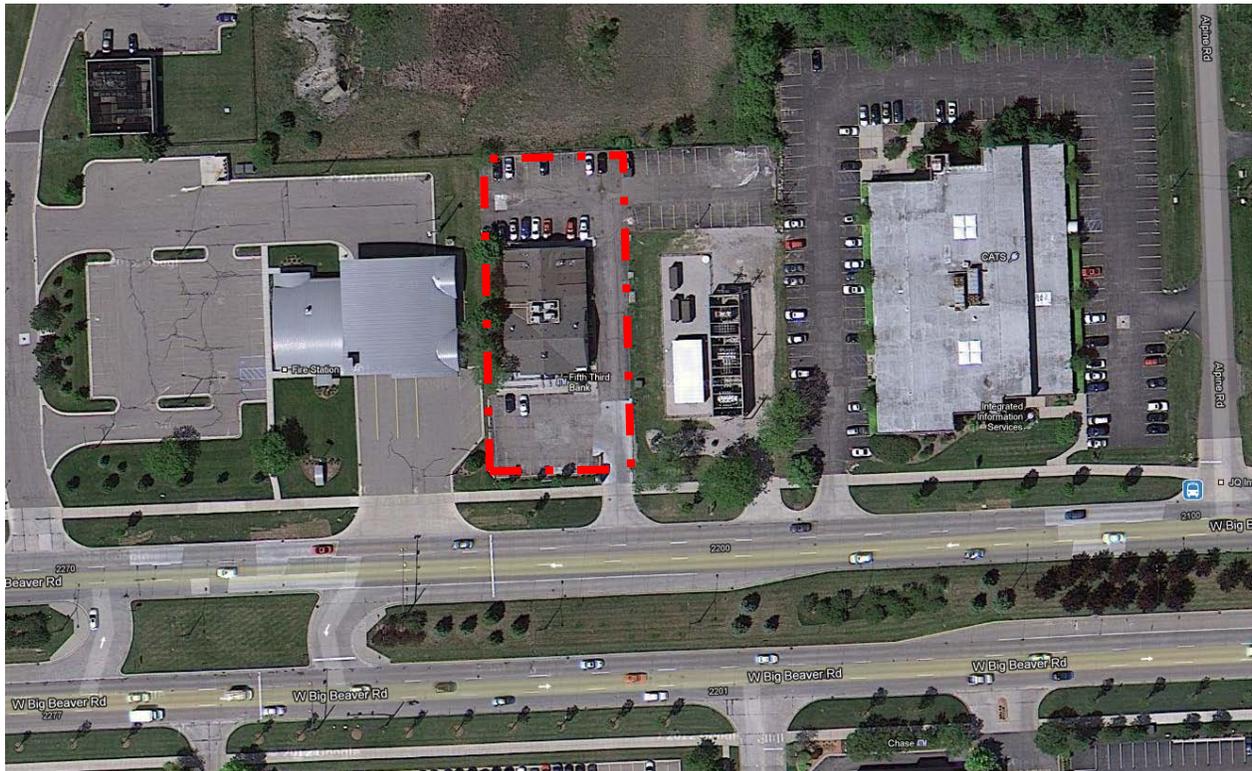
The applicant proposes to redevelop as Fifth Third Bank with a drive-through

Current Use of Subject Property:

The subject property is currently improved with a bank.

Current Zoning:

The property is currently zoned Big Beaver Form Based Code, site type C.



Surrounding Property Details

Direction	Zoning	Use
North	Big Beaver Form Base, site type A	Vacant
South	Big Beaver Form Base, site type B	Commercial, Bank
East	Big Beaver Form Base, site type C	Detroit Edison Utility
West	Big Beaver Form Base, site type C	Troy Fire Station #3

SPECIAL USE STANDARDS

Special Use Standards of Approval

In the Big Beaver Form Based District, banks with drive-through service are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.” Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses.* **The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses. **The proposed use is located in an area intended for high traffic with similar auto-oriented uses. Due in part to the number of other banks with drive-throughs on Big Beaver and the commercial nature of the corridor, the proposed use will not have any detrimental impact upon adjacent.****
2. *Compatibility with the Master Plan.* **The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans. **The use is common to a regional commercial area, and complies with the Master Plan.****
3. *Traffic Impact.* **The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion. **The proposed site plan has adequate circulation for a drive-through use and will not cause any traffic conflicts. With the nature of the use as one that does not have acute peak traffic times for very large populations, and which is located in a high-intensity area, this condition is satisfied.****
4. *Impact on Public Services.* **The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden. **The proposed use should not produce any additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.****

5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards. **The applicant has addressed all applicable ordinance standards. The redevelopment of the site brings the site into greater compliance of the zoning ordinance.***

The Planning Commission is also required to generally consider the following for any special use application:

1. *The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use. **The proposed use is located in an area intended for high traffic with similar auto-oriented uses. Due to building orientation and drive-through layout, the proposed use will not have any detrimental impact and will add a valuable service to the immediate commercial corridor. The proposed use is appropriate for the character and nature of the areas.***
2. *Vehicular circulation and parking areas. **The proposed site plan has adequate circulation for a drive-through use and does not cause any traffic conflicts. The total number of parking spaces exceeds the total number of parking spaces allowed. However through evidence presented by the applicant the proposed parking increase is appropriate for the use.***
3. *Outdoor activity, storage and work areas. **The proposed use does not include any outdoor activity, storage, or work areas, thus this standard is not applicable.***
4. *Hours of operation. **The proposed use is in an area where similar uses provide service to regional commercial customers from early morning to evening. This is a high-intensity area and automobile service uses are common in such areas.***
5. *Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light. **There is no anticipated secondary impacts after initial construction in this regard.***

SITE ARRANGEMENT

Buildings located in the Big Beaver Form Based district are predicated on buildings placed on the street, and the incorporation of architectural details, most notably ground floor story activation. As required by the ordinance, the applicant has placed the building to the 10' build-to-line along Big Beaver Road with parking located to the side and rear of the building. Primary customer parking is located on the east and north side of the building. Secondary customer parking and primary employee parking is located adjacent to the drive-through lane. The building and parking placement complies with the form based district requirements. The drive-through component of the site is detached from the building and located in the rear of the site. The drive-through kiosks are and served by air-vacuum tubes.

Items to be Addressed: *None*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

The site is being developed as Building Form A, which is a permitted building form for Site Type C. Table 5.03.B1 establishes the dimensional requirements for the building form A:

	Required	Provided	Compliance
Front (Big Beaver)	10 foot build-to-line	10 feet	Complies
Rear	30 foot minimum	180 feet	Complies
Side	NA	2.2 feet	Complies
Landscape Area	20 percent	25%	Complies
Open Space	30 percent	30.6 %	Complies
Building Height	Minimum 14 feet Maximum 45 feet	18 feet	Complies
Parking	Not located in front yard and screening	Not located in front yard and screened	Complies

Items to be Addressed: *None*

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation:

Access to the site will remain via the existing single-curb cut off Big Beaver Road. The 12.5' wide drive-aisle on the east side of the drive through is intended to be one-way. The applicant has provided on-site signage to direct circulation.

Pedestrian access:

An existing 8-foot sidewalk exists on Big Beaver. A pedestrian plaza directly connects this sidewalk to the building. Where the building is adjacent to the parking lot, the applicant has provided a 7-foot wide sidewalk. Internal to the site, the applicant has provided a sidewalk along a 7-foot wide sidewalk adjacent to customer parking area. This customer parking area is provided with a crosswalk to a landscaped island. This provides a safe transition from the parking lot to a sidewalk around the building.

Items to be Addressed: *None*

PARKING

Section 13.06.G of the Zoning Ordinance requires:

	Required	Provided
Banks (1 space per 200 square feet of gross feet area)	3,400 sq.ft / 200 = 17	19 spaces
Barrier Free	1	1
Bicycle Parking	2	2
Total	17 automobile + 2 bicycle	19 automobile + 2 bicycle

The applicant has provided sufficient parking.

Items to be Addressed: None

LANDSCAPING

The applicant has provided a landscape plan. The plan provides all necessary calculations regarding greenbelt, street trees, and parking lot landscaping requirements.

	Required:	Provided:	Compliance:
<u>Greenbelt:</u> 10 feet in width along Big Beaver Road	10 feet	10 feet	Compliant
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	4	4	Compliant
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	20%	21.1%	Compliant
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	3 trees	3 trees	Compliant
<u>Screening Between Land Uses:</u> 80% opacity	80% opacity with one of three options	Alternative 2: mix of large and narrow evergreen trees	Compliant

The applicant has provided the necessary site landscaping.

Fence:

The applicant is proposing an 8' high opaque tan vinyl screen fence along the western property line. The applicant provided landscape screening along the northern property line.

Trash Enclosure:

The applicant shows one (1) new trash enclosure in the northwest corner of the site. The applicant notes the trash enclosure material will match the materials of the building.

Items to be Addressed: None

PHOTOMETRICS

The applicant has provided a lighting (photometric) plan. The applicant proposes one (3) wall mounted building light, three (3) canned lights, and eight (8) pole parking lot lights. In addition, the applicant is proposing canned lighting for the drive-through canopy. The applicant has submitted light fixture cut sheets to confirm that all fixtures are a full cut-off fixture or a fully shielded fixture, downward directed with a flat lens to prevent glare. All photometric requirements have been met.

Items to be Addressed: None

DESIGN STANDARDS

Developments within neighborhood nodes must comply with Design Standards outlined in section 5.04.E.

Building Orientation and Entrance

- a. *Primary Entrance: The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **Complies***
- b. *Recessed Doorways. Where the building entrance is located on or within five (5) feet of a lot line, doorways shall be recessed into the face of the building. **Not applicable***
- c. *Residential Dwellings. Entrances for all residential dwellings shall be clearly defined by at least one (1) of the following:*
 - I. *Projecting or recessed entrance. A recessed entrance is required if the building entrance is located on or within five (5) feet of the lot line.*
 - II. *Stoop or enclosed or covered porch.*
 - III. *Transom and/or side light window panels framing the door opening.*
 - IV. *Architectural trim or unique color treatments framing the door opening*

Not Applicable

Ground Story Activation

- a. *The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.*

Through the use of windows as well as changes in horizontal and vertical scaling, variations in material, pattern, and color, the applicant complies with this standard. The applicant has submitted full sized elevations with material use indicated as well as a colored rendering.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Through the use of setbacks, and landscaping the applicant has met this requirement.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.*

The applicant has met the required parking and complies with all standards set forth in Article 13. See parking section.

- b. *Location.*
 - I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

Not Applicable

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Not Applicable

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.*

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

The applicant has screened their parking lot in compliance with section 13.02.C.

Items to be Addressed: None

DRIVE-THROUGH STANDARDS

As recently adopted by the City Council, drive-throughs for financial institutions as a special use provided that the following requirements are met:

- a. *A drive-through and associated structure cannot be a primary use of principal building.*

The drive-through is a secondary component of the use of the property as a bank.

- b. *Ingress and egress to drive-through facilities shall be part of the internal circulation of the site and integrated with the overall site design. Clear identification and delineation between the drive-through facility and the parking lot shall be provided. Drive-through facilities shall be designed in a manner which promotes pedestrian and vehicular safety.*

Though striping, the drive-through facility is clearly delineated from site internal circulation. Internal to the site, the applicant has provided a sidewalk along a 7-foot wide sidewalk adjacent to customer parking area. This customer parking area is provided with a crosswalk to a landscaped island. This provides a safe transition from the parking lot to a sidewalk around the building.

- c. *Drive-throughs must be located behind facade opposite Big Beaver Road or detached from principal structure and shall be located in a manner that will be the least visible from a public thoroughfare.*
- i. *If detached, the point-to-point tube transport system (pneumatic tubes) must be located underground to serve the drive-through kiosk or canopy.*
- ii. *Canopy design shall be compatible with the design of the principal building and incorporate similar materials and architectural elements.*

The drive-through is detached from the building and served with a point-to-point tube transport system. The canopy design is compatible with the design of the principal building and incorporated similar materials and architectural elements.

- d. *Each drive-through facility shall provide stacking space meeting the following standards:*

- i. *Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of ten (10) feet in width and twenty (20) feet in length.*

Compliant

- ii. *If proposed, an escape lane shall be a minimum of twelve (12) feet in width to allow other vehicles to pass those waiting to be served.*

Compliant

- iii. *Four (4) stacking spaces per drive-through lane.*

Compliant

- iv. *All stacking lanes must be clearly delineated through the use of striping, landscaping, curbs, or signage*

Compliant

- e. *A drive-through aisle shall not be directly accessed from or exit onto Big Beaver Road.*

The drive-through aisle is not directly accessed from or exit onto Big Beaver.

SUMMARY

We support the proposed project and believe the project meets the form-based requirements of Big Beaver. We recommend special use and preliminary site plan approval.



CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, LEED AP, AICP



FIFTH THIRD BANK

CITY OF TROY, OAKLAND COUNTY, MICHIGAN

TAX ID 20-20-376-004

2282 W. BIG BEAVER ROAD

SITE PLANS

DEVELOPMENT TEAM

OWNER

FIFTH THIRD BANK
MAIL DROP RMOBBA, 111 LYON STREET, NW
GRAND RAPIDS, MI 49503
PHONE: (616) 653-5561
CONTACT: TOM VAN GESSEL

PROGRAM MANAGER/DEVELOPER

CBRE
111 LYON STREET
GRAND RAPIDS, MI 49503
PHONE: (616) 653-5560
CONTACT: JEFF JACOBS

CIVIL ENGINEER

ATWELL, LLC
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
PHONE: (248) 447-2000
FAX: (248) 447-2001
CONTACT: ERIC LORD

ARCHITECT

MS CONSULTANTS, INC.
2221 SCHROCK RD.
COLUMBUS, OH 43229
PHONE: (614) 898-7570
FAX: (614) 226-1740
CONTACT: JASON CHRISTOFF

PUBLIC UTILITY CONTACTS

WATER & SEWER

CITY OF TROY DEPARTMENT OF PUBLIC WORKS
4693 ROCHESTER ROAD
TROY, MI 48085
PHONE: (248) 524-3370
CONTACT: MIKE SHLAGELMAN

STORM SEWER

OAKLAND COUNTY WATER RESOURCES COMMISSIONER
ONE PUBLIC WORKS DRIVE, BUILDING 95 WEST
WATERFORD, MI 48328
PHONE: (248) 858-0928

FRANCHISE UTILITY CONTACTS

GAS

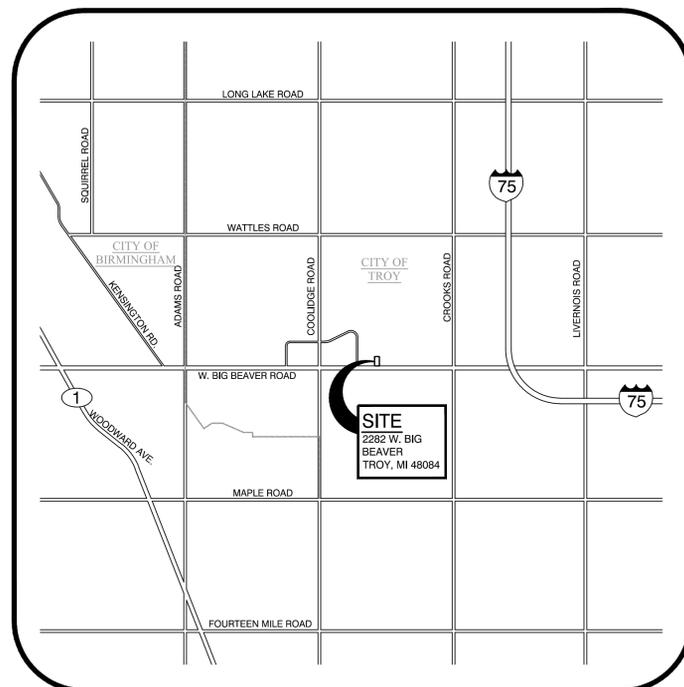
CONSUMERS ENERGY
ONE ENERGY PLAZA
JACKSON, MI 49201
PHONE:

ELECTRIC

DETROIT EDISON
37849 INTERCHANGE DRIVE
FARMINGTON HILLS, MI 48335
PHONE: (248) 427-2957
CONTACT: CLAY WESTERN

TELEPHONE

AT&T
-



VICINITY MAP - NOT TO SCALE

PROJECT NARRATIVE

THE PROPOSED SCOPE OF THE PROJECT IS TO DEMOLISH THE EXISTING FINANCIAL INSTITUTION AND REDEVELOP THE PROPERTY WITH A NEW ±2,885 SQUARE FOOT FINANCIAL INSTITUTION WITH A DETACHED DRIVE-THRU FACILITY PROVIDING ONE (1) TELLER LANE AND ONE (1) ATM LANE. NORMAL BANKING HOURS SHALL BE 9:00 AM - 5:00 PM MONDAY THROUGH WEDNESDAY, 9:00 AM - 6:00 PM THURSDAYS & FRIDAYS, 9:00 AM - 1:00 PM ON SATURDAYS, AND CLOSED ON SUNDAYS.

ZONING

BB (BIG BEAVER DISTRICT)

NEAREST WATERCOURSE

LONG DRAIN

WETLANDS

NO JURISDICTIONAL WETLANDS WITHIN THE LIMITS OF THIS PROJECT

FLOOD PLAIN

THIS PROPERTY IS DETERMINED TO BE IN FLOOD ZONE "A" - SPECIAL FLOOD HAZARD AREA, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 26125C0533F (SEPTEMBER 29, 2006)

SHEET INDEX

SP-1.0	COVER SHEET
SP-2.0	EXISTING CONDITIONS PLAN
SP-3.0	LAYOUT & PAVING PLAN
SP-4.0	PRELIMINARY GRADING PLAN
SP-5.0	PRELIMINARY UTILITY PLAN
SP-6.0	PRELIMINARY STORMWATER PLAN
SP-7.0	LANDSCAPE PLAN
SP-8.0	LIGHTING PLAN

ATTACHED PLANS

ARCHITECTURAL ELEVATIONS
ARCHITECTURAL FLOOR PLAN

LEGAL DESCRIPTION

LEGAL DESCRIPTION OF PROPOSED FIFTH THIRD BANK PARCEL:
(AS SURVEYED BY ATWELL)

LAND IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF MICHIGAN,
DESCRIBED AS:

THE WEST 110 FEET OF THE EAST 232 FEET OF THE SOUTH 357.21 FEET OF THE SOUTHWEST 1/4 OF SECTION 20, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN. EXCEPTING THE SOUTH 102 FEET IN ROAD.



FIFTH THIRD BANK
Land Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Water & Natural Resources



CBRE
CB RICHARD ELLIS



ATWELL
663.876.4000 | www.atwellgroup.com

SECTION 20
TOWN 2 NORTH, RANGE 11 EAST
CITY OF TROY
OAKLAND COUNTY, MICHIGAN

FIFTH THIRD BANK
FTEM - TROY
2282 W. BIG BEAVER
SITE PLANS
COVER SHEET

DATE
NOVEMBER 19, 2012

SUBMITTALS / REVISIONS

11-29-2012	SITE PLAN SUBMITTAL
07-23-2013	CITY SITE PLAN REVIEW COMMENTS

ENGINEER'S SEAL



DRAWN BY: EM
CHECKED BY: DB
PROJECT MANAGER: EL
JOB #: 11002545
CAD FILE: 11002545SP-1.0-CV
FILE CODE: SP-1
SHEET NO.
SP-1.0



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LEGEND	
	EXIST. CONTOUR
	EXIST. END SECTION
	EXIST. STORM SEWER
	EXIST. SANITARY SEWER
	EXIST. WATER MAIN
	EXIST. DOWNSPOUT
	EXIST. MANHOLE
	EXIST. CATCH BASIN
	EXIST. CLEANOUT
	EXIST. UTILITY UNSPECIFIED
	EXIST. ELECTRIC TRANSFORMER
	EXIST. BOLLARD
	EXIST. CURB AND GUTTER
	EXISTING FENCE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND ELECTRIC MARKER
	EXISTING UNDERGROUND GAS MARKER
	EXISTING UNDERGROUND CABLE TV MARKER
	EXISTING UNDERGROUND IRRIGATION MARKER
	EXISTING UNDERGROUND WATER MAIN MARKER
	EXISTING AIR CONDITIONER
	EXISTING SPOT ELEVATION
	PARKING COUNT
	EXISTING SHRUB/BUSH
	EXISTING DECIDUOUS TREE
	EXISTING CONIFEROUS TREE
	EXISTING LIGHTPOLE
	EXISTING TELEPHONE RISER
	EXISTING IRRIGATION CONTROL VALVE
	FOUND CAPPED IRON ROD
	FOUND IRON ROD
	PLACE OF BEGINNING

FLOOD NOTE: NORTH PORTION OF SITE APPEARS TO BE IN ZONE A - SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATION DETERMINED; PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0533F, DATED SPET. 29, 2006.

PARCEL DESCRIPTION: (Per Warranty Deed, Case No. 28845, dated 12/15/2005)

LAND IN THE CITY OF TROY, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS:

THE WEST 110 FEET OF THE EAST 232 FEET OF THE SOUTH 357.21 FEET OF THE SOUTHWEST 1/4 OF SECTION 20, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN. EXCEPTING THE SOUTH 102 FEET IN ROAD.

MORE COMMONLY KNOWN AS : 2282 WEST BIG BEAVER
TAX ID 20-20-376-004

DESCRIPTION OF A 0.64 ACRE PARCEL LOCATED IN THE SOUTHWEST 1/4 OF SECTION 20, T2N, R11E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN:
(As surveyed by Atwell)

Commencing at the South 1/4 Corner of Section 20, T2N, R11E, City of Troy, Oakland County, Michigan; thence S87°34'48"W 121.99 feet along the South line of said Section 20; thence N02°09'34"W 102.01 feet to a point on the North line of Big Beaver Road (102 foot half width) for a **PLACE OF BEGINNING**; thence along the North line of said Big Beaver Road S87°34'48"W 110.00 feet; thence N02°09'34"W 255.21 feet; thence N87°34'48"E 110.00 feet; thence S02°09'34"E 255.21 feet to the Place of Beginning, containing 0.64 acres of land, more or less, and being subject to easements, conditions, restrictions and exceptions of record, if any.

ZONING: ZONED BB - BIG BEAVER ROAD

MAX HT: 45'
FRONT SETBACK: 10' MAX.
REAR SETBACK: 30'
SIDE SETBACK: NONE

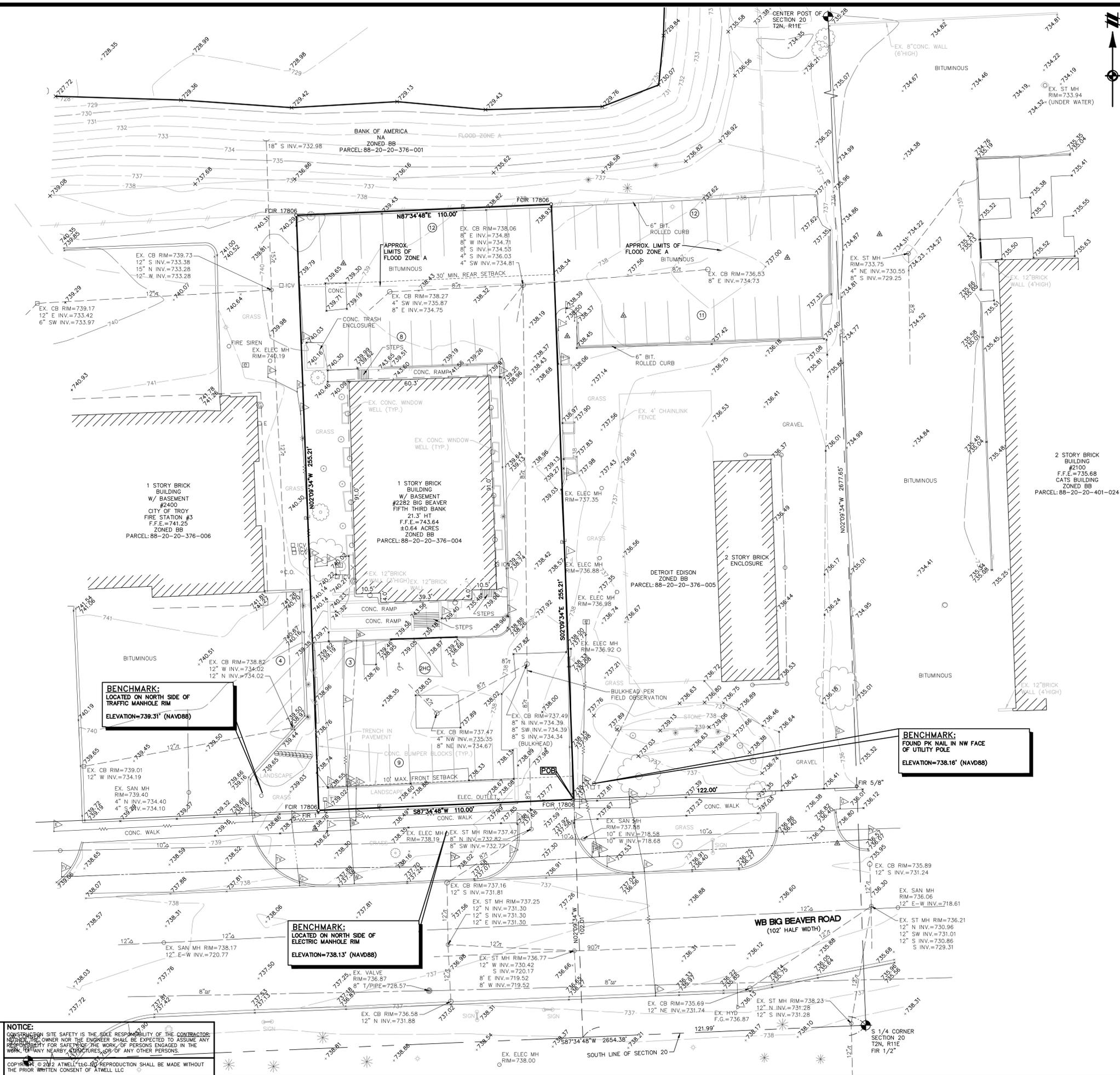
NOTE: BEARINGS ARE BASED ON GEODETIC NORTH

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE LAND ABOVE PLATTED AND/OR DESCRIBED ON DECEMBER 1, 2011, AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SUCH SURVEY WAS GREATER THAN 1/5000.

Michael D. Embree
Registered Professional Surveyor No. 56860
Two Towne Square, Suite 700
Southfield, Michigan 48076
248.447.2000

Date

NOTICE:
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BENCHMARK:
LOCATED ON NORTH SIDE OF TRAFFIC MANHOLE RIM
ELEVATION=739.31' (NAVD88)

BENCHMARK:
FOUND PK NAIL IN NW FACE OF UTILITY POLE
ELEVATION=738.16' (NAVD88)

BENCHMARK:
LOCATED ON NORTH SIDE OF ELECTRIC MANHOLE RIM
ELEVATION=738.13' (NAVD88)



FIFTH THIRD BANK
Land Development & Real Estate
Telecommunications
Infrastructure & Transportation
Environmental & Solid Waste
Water & Natural Resources

CBRE
CB RICHARD ELLIS

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SECTION 20

TOWN 2 NORTH, RANGE 11 EAST

CITY OF TROY

OAKLAND COUNTY, MICHIGAN

FIFTH THIRD BANK

ITEM - TROY

SITE PLANS

EXISTING CONDITIONS PLAN

NOVEMBER 19, 2012

SUBMITTALS / REVISIONS

11-26-2012

SITE PLAN SUBMITTAL

01-03-2013

CITY SITE PLAN REVIEW COMMENTS

ENGINEER'S SEAL

SCALE: 1" = 20'

DRAWN BY: EM

CHECKED BY: DB

PROJECT MANAGER: EL

JOB #: 11002545

CAD FILE #: 11002545P-2-0-EC

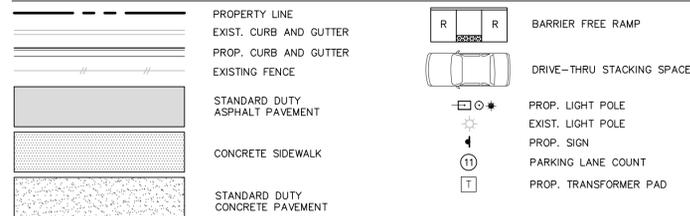
FILE CODE: SP-1

SHEET NO.

SP-2.0

NOT FOR CONSTRUCTION

LEGEND

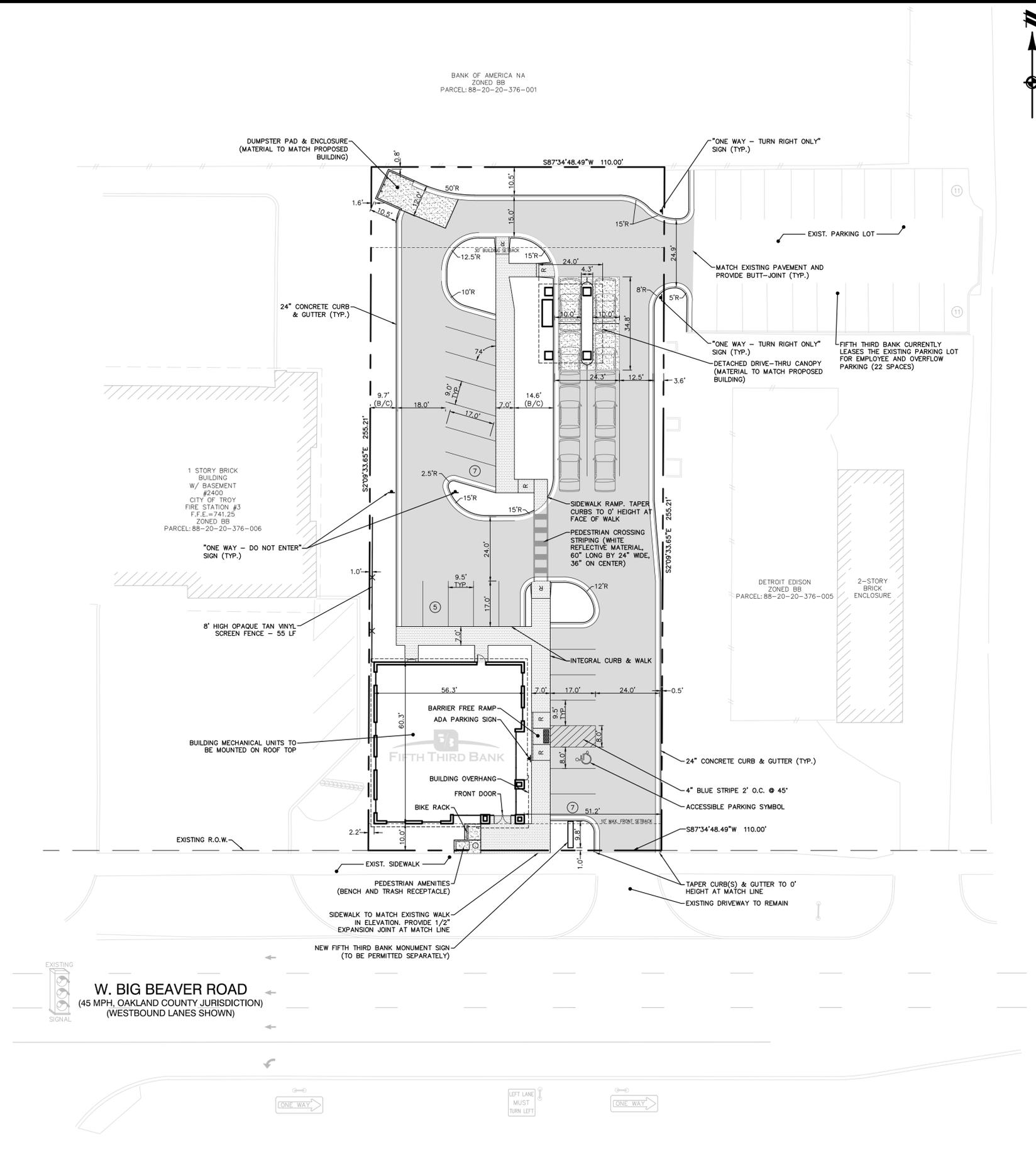


LAYOUT & PAVING NOTES

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- ALL ITEMS NOT INDICATED AS EXISTING SHALL BE PROPOSED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SITE CONSTRUCTION SHALL NOT COMMENCE WITHOUT APPROVAL OF THE ENGINEERING PLANS.
- MUNICIPAL UTILITIES (WATER, SANITARY, AND STORM SEWER) MAY NOT BEGIN PRIOR TO ENGINEERING APPROVAL.
- THERE WILL NOT BE FIRE SUPPRESSION INTERNAL TO THIS BUILDING.
- ANY SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- DETECTABLE WARNINGS AS SHOWN ON THE CURB RAMP DETAIL SHALL BE PLACED AT ALL CURB RAMP AND ISLAND CUT-THROUGHS WHERE THE PEDESTRIAN WALKWAY IS DIRECTED INTO A VEHICULAR TRAFFIC AREA, UNLESS NOTED OTHERWISE.
- ALL PAVING SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY, OAKLAND COUNTY STANDARD SPECIFICATIONS FOR CONSTRUCTION AS APPLICABLE.
- NO HAZARDOUS MATERIALS TO BE STORED ON-SITE.
- ALL SITE LIGHTING SHALL BE DEFLECTED AS NOT TO BE DIRECTED ONTO ADJACENT PROPERTY.
- THE SITE CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE BUILDING CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROPER TRAFFIC CONTROL DURING CONSTRUCTION.
- ALL ACCESSIBLE PARKING, SIGNAGE, AND STRIPING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
- ALL TOPSOIL AND ANY BURIED ORGANIC SOIL WITHIN THE PLANNED BUILDING FOOTPRINT AND PAVEMENT SURFACE SHOULD BE REMOVED IN THEIR ENTIRETY OR AS DIRECTED PER THE GEOTECHNICAL REPORT.
- CONTRACTOR TO INSTALL JOINTS IN CONCRETE PAVEMENT IN ORDER TO OBTAIN APPROXIMATELY 10x10' SQUARES. ALL JOINTS TO BE SEALED WITH AN APPROVED SEALANT MATERIAL. CONTRACTOR TO INSTALL EXPANSION JOINTS BETWEEN PAVEMENTS AND CURBING.
- APPLY SUCCESSIVE LIFTS OF ASPHALTIC CONCRETE IN TRANSVERSE DIRECTIONS WITH SURFACE COURSE PLACED PARALLEL TO FLOW OF TRAFFIC. PLACE ASPHALTIC PAVING IN TYPICAL STRIPS NOT LESS THAN 10'-0" WIDE.
- CONTRACTOR TO ENSURE 1:12 (V:H) MAX CROSS SLOPE IS INSTALLED ACROSS CURB DROP AT ADA RAMPS. DETECTABLE WARNINGS AS SHOWN ON THE CURB RAMP DETAIL SHALL BE PLACED AT ALL CURB RAMP AND ISLAND CUT-THROUGHS WHERE THE PEDESTRIAN WALKWAY IS DIRECTED INTO A VEHICULAR TRAFFIC AREA UNLESS NOTED OTHERWISE.
- A 1" EXPANSION JOINT SHALL BE PLACED WHERE PROPOSED CONCRETE SIDEWALK MEETS EXISTING.
- CONTRACTOR TO CONSTRUCT ADA ACCESS ROUTES PER CITY, STATE AND NATIONAL STANDARDS AND SPECIFICATIONS. IN ADDITION TO THE INFORMATION PROVIDED IN THE CONSTRUCTION DRAWINGS, IF A CONFLICT EXISTS, THE LOCAL STATE OR NATIONAL STANDARDS AND SPECIFICATIONS WILL GOVERN. CONTRACTOR TO CONTACT THE ENGINEER AND CBRE WITH ANY QUESTIONS AND/OR COMMENTS.
- NO SPECIFIC LOADING/UNLOADING AREA DESIGNATED.

SITE DATA BLOCK

PARCEL INFO	
GROSS AREA	±0.64 ACRES (28,073 SF)
ZONING	BB
BUILDING INFO	
BUILDING FORM	A
BUILDING HEIGHT	18'-9"
GROSS FLOOR AREA	±3,400 SF
FRONT SETBACK	10' MAXIMUM
SIDE SETBACK	NONE
REAR SETBACK	30'
PROP. BUILDING COVERAGE	8.7%
PARKING INFO	
MIN. SPACES REQUIRED	17 (1/200 SF; 3,400/200)
MAX. SPACES PERMITTED	20 (20% ABOVE MIN.)
SPACES PROVIDED	19
STACKING REQUIRED	4/LANE
STACKING PROVIDED	4/LANE (8 TOTAL)
LANDSCAPE INFO	
GREEN SPACE REQUIRED	20% (5,615 SF)
GREEN SPACE PROVIDED	±21.1% (5,921 SF)
OPEN SPACE REQUIRED	30% (8,422 SF)
OPEN SPACE PROVIDED	±30.6% (8,577 SF)



W. BIG BEAVER ROAD
(45 MPH, OAKLAND COUNTY JURISDICTION)
(WESTBOUND LANES SHOWN)

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Power & Energy
Telecommunications
Infrastructure & Transportation
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SECTION 20

TOWN 2 NORTH, RANGE 11 EAST

CITY OF TROY

OAKLAND COUNTY, MICHIGAN

FIFTH THIRD BANK
FTEM - TROY
2282 W. BIG BEAVER

SITE PLANS

LAYOUT & PAVING PLAN

DATE
NOVEMBER 19, 2012

SUBMITTALS / REVISIONS

ENGINEER'S SEAL

SCALE: 1" = 20'

DRAWN BY: EM

CHECKED BY: DB

PROJECT MANAGER: EL

JOB #: 11002545

CAD FILE: 11002545SP-3.0-L

FILE CODE: SP-1

SHEET NO.

SP-3.0

Know what's below.
Call before you dig.

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LEGEND

	PROPERTY LINE		EXIST. HYDRANT
	EXIST. WATERMAIN		PROP. HYDRANT
	EXIST. OVERHEAD ELECTRIC		EXIST. GATE VALVE IN MANHOLE
	EXIST. GAS LINE		PROP. SHUT-OFF BOX
	EXIST. TELEPHONE		EXIST. CATCH BASIN/INLET
	EXIST. SANITARY SEWER		EXIST. MANHOLE
	EXIST. STORM SEWER		PROP. CATCH BASIN/INLET
	PROP. GAS		PROP. MANHOLE
	PROP. ELECTRIC		PROP. CLEANOUT
	PROP. TELEPHONE		PROP. DOWNSPOUT
	PROP. SANITARY SEWER		EXIST. LIGHT POLE
	PROP. WATERMAIN		PROP. LIGHT POLE
	PROP. STORM SEWER		UTILITY CROSSING
	PROP. SAND BACKFILL		

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STORMWATER DETENTION CALCULATIONS

City of Troy, Oakland County, MI
Fifth Third Bank (2282 W. Big Beaver)

Site Area (A) = 0.64 ac

Runoff Coefficient Calculation

	C	Area (Ac)	C x A
Roofs / Pavement	0.95	0.52	0.49
Open Space	0.30	0.12	0.04
Totals		0.64	0.53

(C x A) / A C = 0.83

Detention Required

Detention of the 100-year storm in excess of agricultural runoff

Allowable outflow rate from detention system
 $Q_o = 0.20 \text{ cfs/ac} \times A = 0.128 \text{ cfs}$

Allowable outflow rate per acre of imperviousness
 $Q_o = Q_o / (A \times C) = 0.242 \text{ cfs}$

Storage time for 100-year storm event
 $T_{100} = -25 + \sqrt{(10,312.5 / Q_o)} = 181.64 \text{ min.}$

Maximum storage per acre of imperviousness (ft³/acre imperv.)
 $V_{s100} = (16,500 \times T_{100}) / (T_{100} + 25) - (40 \times Q_o \times T_{100}) = 12,749$

Maximum volume stored in detention system (ft³)
 $V_{t100} = V_{s100} \times A \times C = 6,783$

Detention Storage Required = 6,783 cf

Detention Provided

Detention is provided with an underground storage system

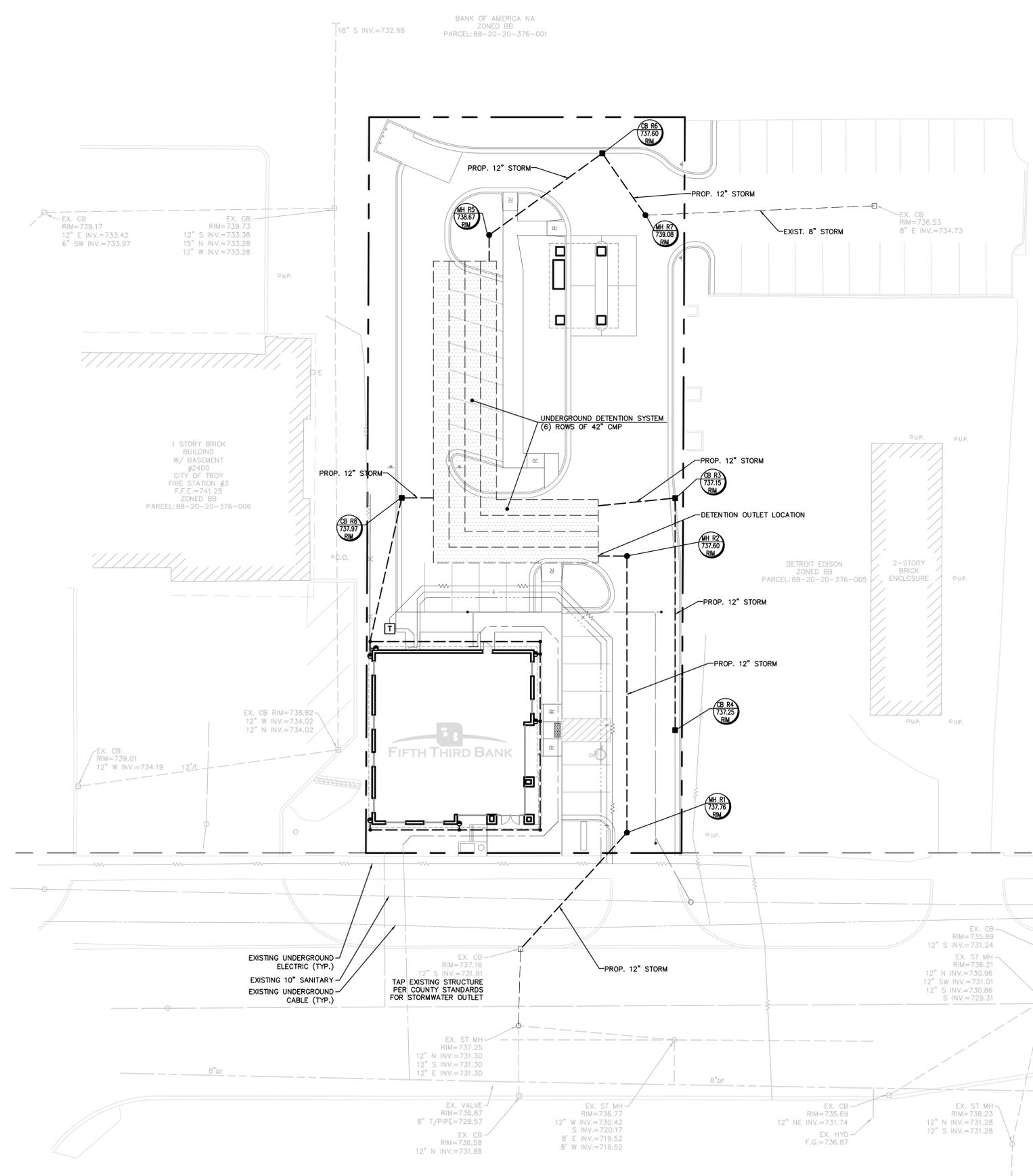
Diameter of storage pipes (d) 42 inches

Area per lineal foot of pipe (A)
 $A = (3.14 \times (d/12)^2) / 4 = 9.616 \text{ sf}$

Total length of storage pipe (L)

Length of rows (feet) 700
Length of headers (feet) 45
Total 745 lf

Storage provided (A x L) 7,164 cf



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SECTION 20

TOWN 2 NORTH, RANGE 11 EAST

CITY OF TROY

OAKLAND COUNTY, MICHIGAN

FIFTH THIRD BANK

PRELIMINARY STORMWATER PLAN

DATE

NOVEMBER 19, 2012

SUBMITTALS / REVISIONS

11-29-2012 SITE PLAN SUBMITTAL

11-29-2012 SITE PLAN SUBMITTAL

01-25-2013 CITY SITE PLAN REVIEW COMMENTS

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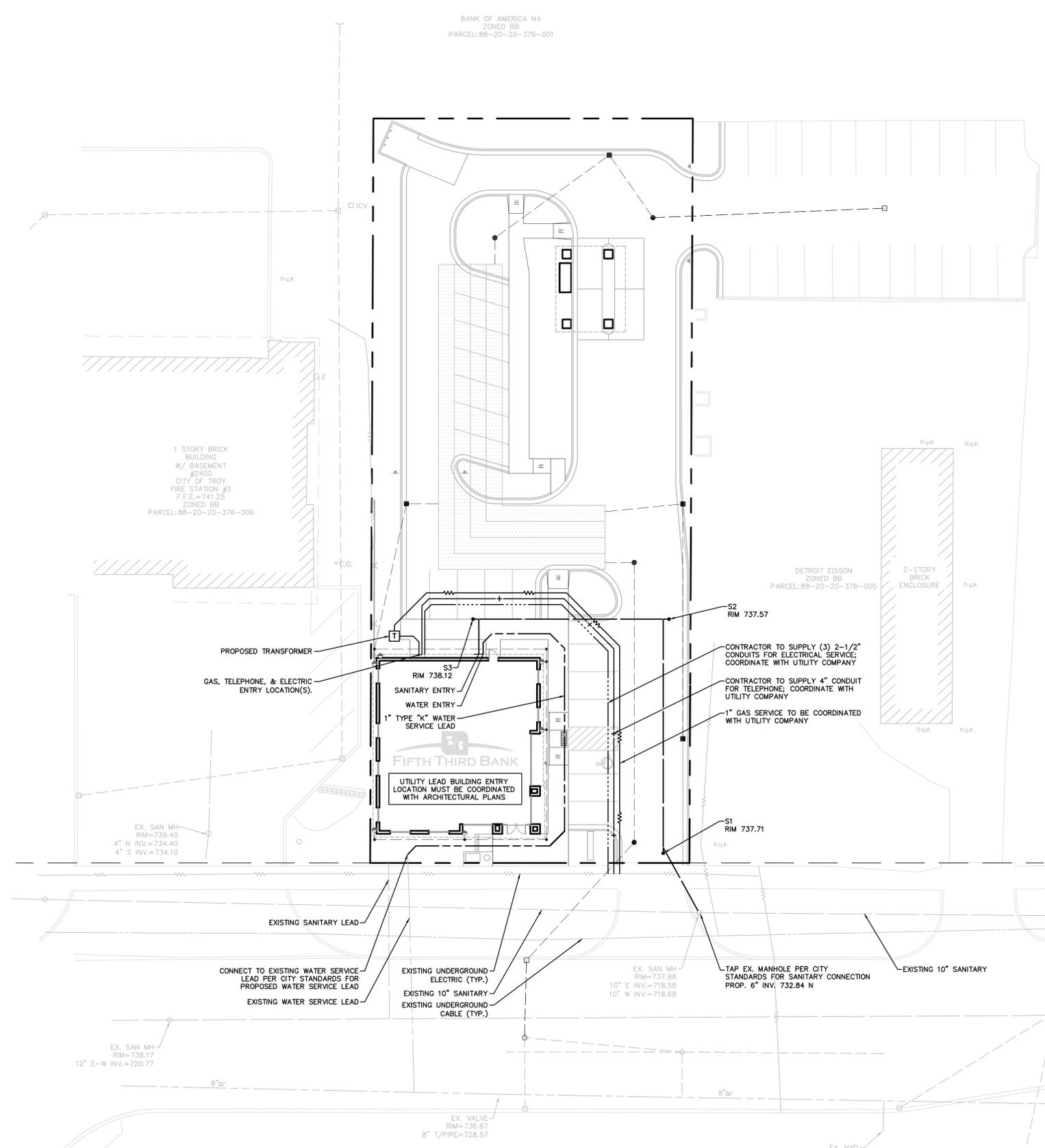
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—○—○—	PROP. SANITARY SEWER	○	PROP. TRANSFORMER PAD
—○—○—	PROP. WATERMAIN	○	UTILITY CROSSING
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FIFTH THIRD BANK
 FTEN - TROY
 2282 W. BIG BEAVER

SECTION 20
 TOWN 2 NORTH, RANGE 11 EAST
 CITY OF TROY
 OAKLAND COUNTY, MICHIGAN

ATWELL
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PRELIMINARY UTILITY PLAN

DATE: NOVEMBER 19, 2012
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 01-25-2013 CITY SITE PLAN REVIEW COMMENTS

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 SCALE: 1" = 20'

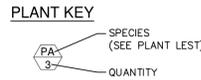
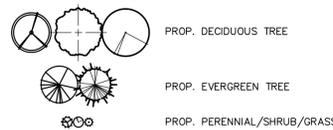
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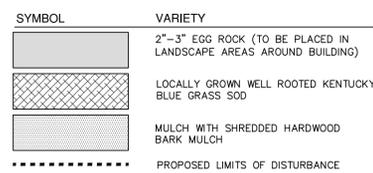
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
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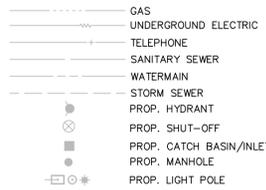
TREE & SHRUB LEGEND



GROUND COVER LEGEND



UTILITY LEGEND



LANDSCAPE NOTES

- THIS PLAN IS FOR PLANTING LOCATIONS ONLY.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.
- PLANT TREES AND SHRUBS NO CLOSER THAN THE FOLLOWING MINIMUM DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:

A. SHADE/CANOPY TREES	5 FEET
B. ORNAMENTAL/FLOWERING TREES	10 FEET
C. EVERGREEN TREES	10 FEET
D. EVERGREEN/FLOWERING SHRUBS	4 FEET
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACKFILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM THE EXCAVATED PLANTING HOLE, AND A FERTILIZER MIX. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET, CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES ARE TO BE MULCHED WITH A MINIMUM OF 4" WIDE BY 6" DEEP SHREDDED BARK RINGS OR APPROVED NATURAL-COLORED SHREDDED HARDWOOD BARK MULCH IS TO BE USED. DESIGN FOR TRUNK PROTECTION. ONLY
- SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED BARK MULCH TO A MINIMUM DEPTH OF 4".
- SHRUB BED EDGING SHALL BE SPADE EDGED.
- BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ALL LANDSCAPE AREAS, ESPECIALLY PARKING LOT ISLANDS AND LANDSCAPE BEDS NEXT TO BUILDINGS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A DEPTH OF 12"-18" AND BACKFILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY). ADD 4"-6" OF TOPSOIL OVER FILL MATERIAL AND CROWN A MINIMUM OF 6" ABOVE TOP OF CURBS AND/OR WALKS AFTER EARTH SETTLING UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN
- ALL DISTURBED UNPAVED AREAS ARE TO BE SODDED OR SEEDED OVER A MINIMUM OF 4-INCH DEPTH OF TOPSOIL. REFER TO PLAN FOR LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE, HYDRO-SEED, STRAW, MULCH, AND TACK ALL LAWN AREAS DISTURBED AS THE RESULT OF HIS WORK.
- ANY GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED ON THREE SIDES WITH LIVING PLANT MATERIAL.
- LANDSCAPE BERMS ARE TO BE CONSTRUCTED OF LIGHT YELLOW CLAY OR LOAM SOILS AND ARE TO BE FREE OF CONSTRUCTION MATERIALS AND DEBRIS. USE OF HEAVY CLAYS FOR BERM CONSTRUCTION MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SLOPES ARE TO BE NO STEEPER THAN 1:3 UNLESS OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN.
- EXISTING LAWN FOUND TO BE GENERALLY IN GOOD CONDITION BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FEED PROGRAM.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. LAWNS AND SHRUB/LANDSCAPE AREAS SHALL BE WATERED BY SEPARATE ZONES TO MINIMIZE OVERWATERING.

LANDSCAPING REQUIRED

TYPE	REQUIREMENT	CALCULATION	AMOUNT REQUIRED	AMOUNT PROPOSED
PARKING LOT TREES	1/8 PARKING SPACES	19 SPACES / 8	3 EACH	3 TREES
NORTH PROPERTY BUFFER	1 EVERGREEN 10' O.C.	94 LF / 10' O.C.	9 EACH	9 TREES
WEST PROPERTY BUFFER	1 EVERGREEN 10' O.C.	169 LF / 10' O.C.	17 EACH	12 TREES + 55 LF SCREEN FENCE

PLANT LIST & LANDSCAPING PROVIDED

DECIDUOUS TREES

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES:
AR	3	ACER RUBRUM	RED MAPLE	3-4" CAL.	B & B	
TA	4	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2-1/2" CAL.	B & B	
TOTAL		7				

EVERGREEN TREES

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES:
TE	21	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	6-8' HT.	CONT.	
TOTAL		21				

EVERGREEN SHRUBS

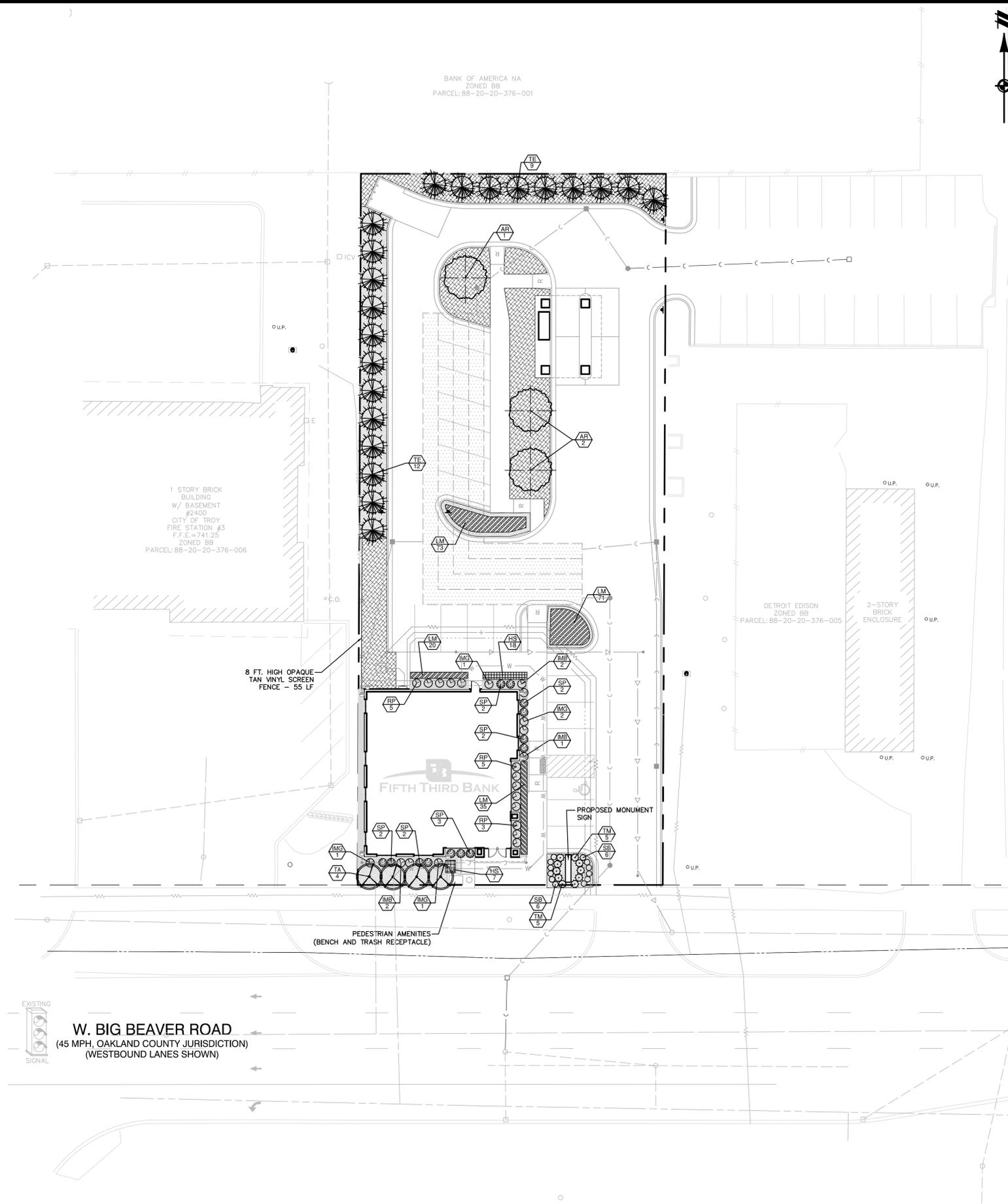
SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES:
TM	10	TAXUS X MEDIA 'TAUNTONII'	TAUNTON'S YEW	24-36" HT.	CONT.	
RP	13	RHODODENDROM 'PJM'	P.J.M. RHODODENDRON	24-36" HT.	CONT.	
IMG	5	ILEX X MESERVEA 'BLUE GIRL'	BLUE GIRL HOLLY	24-36" HT.	CONT.	
IMB	5	ILEX X MESERVEA 'BLUE BOY'	BLUE BOY HOLLY	24-36" HT.	CONT.	
TOTAL		33				

DECIDUOUS SHRUBS

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES:
SB	12	SPIREA X BULMALDA 'GOLD FLAME'	GOLD FLAME SPIREA	24-36" HT.	CONT.	
SP	13	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	24-36" HT.	CONT.	
TOTAL		25				

PERENNIALS & GRASSES

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES:
HS	25	HEMEROCALLIS STELLA D'ORO	STELLA D'ORO DAYLILY	12-18" HT.	CONT., 18" o.c.	
LM	199	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	6-12" HT.	CONT., 18" o.c.	
TOTAL		224				



W. BIG BEAVER ROAD
(45 MPH, OAKLAND COUNTY JURISDICTION)
(WESTBOUND LANES SHOWN)

NOTICE:
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FIFTH THIRD BANK
Land Development & Real Estate
Power & Energy
Telecommunications
Infrastructure & Transportation
Water & Natural Resources

CBRE
CB RICHARD ELLIS

ATWELL
663.850.4000 | www.atwellgroup.com

SECTION 20

TOWN 2 NORTH, RANGE 11 EAST

CITY OF TROY

OAKLAND COUNTY, MICHIGAN

FIFTH THIRD BANK

FIFTH THIRD BANK
FIFTH THIRD BANK
2282 W. BIG BEAVER

SITE PLANS

LANDSCAPE PLAN

DATE

NOVEMBER 19, 2012

SUBMITTALS / REVISIONS

11-29-2012	SITE PLAN SUBMITTAL
09-25-2012	CITY SITE PLAN REVIEW COMMENTS

ENGINEER'S SEAL

SCALE: 1" = 20'

DRAWN BY: EM

CHECKED BY: DB

PROJECT MANAGER: EL

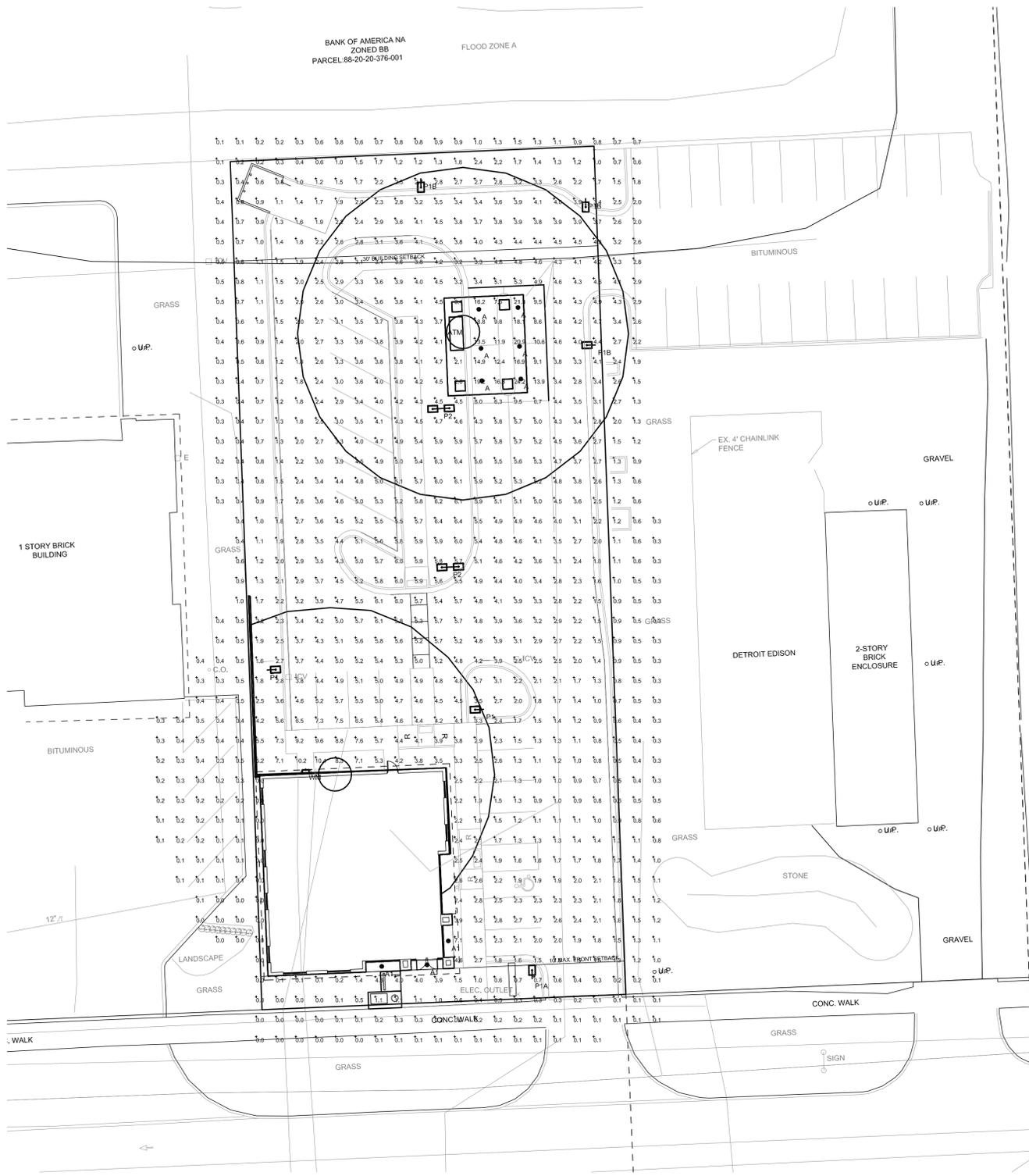
JOB #: 11002545

CAD FILE: 11002545SP-7.0-LS

FILE CODE: SP-1

SHEET NO.

SP-7.0



NOTES:
 POLE FIXTURES MOUNTED TO 22'-0" POLE ON A 3'-0" HIGH BASE. OAH=25'-0"
 WALL MOUNT FIXTURES MOUNTED AT 11'-0" A.F.G. UNLESS NOTED OTHERWISE.

Luminaire Schedule								
Project: Fifth Third Bank - Troy								
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Total Watts
⊙	6	A	SINGLE	N.A.	0.800	Gotham ALED 35-18 BAR 120	34.6	207.6
⊙	3	A1	SINGLE	1174,408	0.850	Lithonia DDM8 LED 120V L20 D08A	27.5	82.5
⊙	2	P1	SINGLE	N.A.	0.950	Lithonia DSX1 LED 2 308700/40K SR3 MVOLTSPA DDBXD/SSS 22 4C DM19AS	142.7	285.4
⊙	1	P1A	SINGLE	N.A.	0.950	Lithonia DSX1 LED 2 308700/40K SR4 MVOLTSPA HS DDBXD/SSS 22 4C DM19AS	142.6	142.6
⊙	3	P1B	SINGLE	N.A.	0.950	Lithonia DSX1 LED 2 308700/40K SR4 MVOLTSPA DDBXD/SSS 22 4C DM19AS	142.8	428.4
⊙	2	P2	BACK-BACK	N.A.	0.950	Lithonia DSX1 LED 2 308700/40K SR3 MVOLTSPA DDBXD/SSS 22 4C DM28AS	142.7	570.8
⊙	1	WM	SINGLE	N.A.	0.950	Lithonia CSXW LED 1 308700/40K SR4 MVOLT DDBXD	75	75

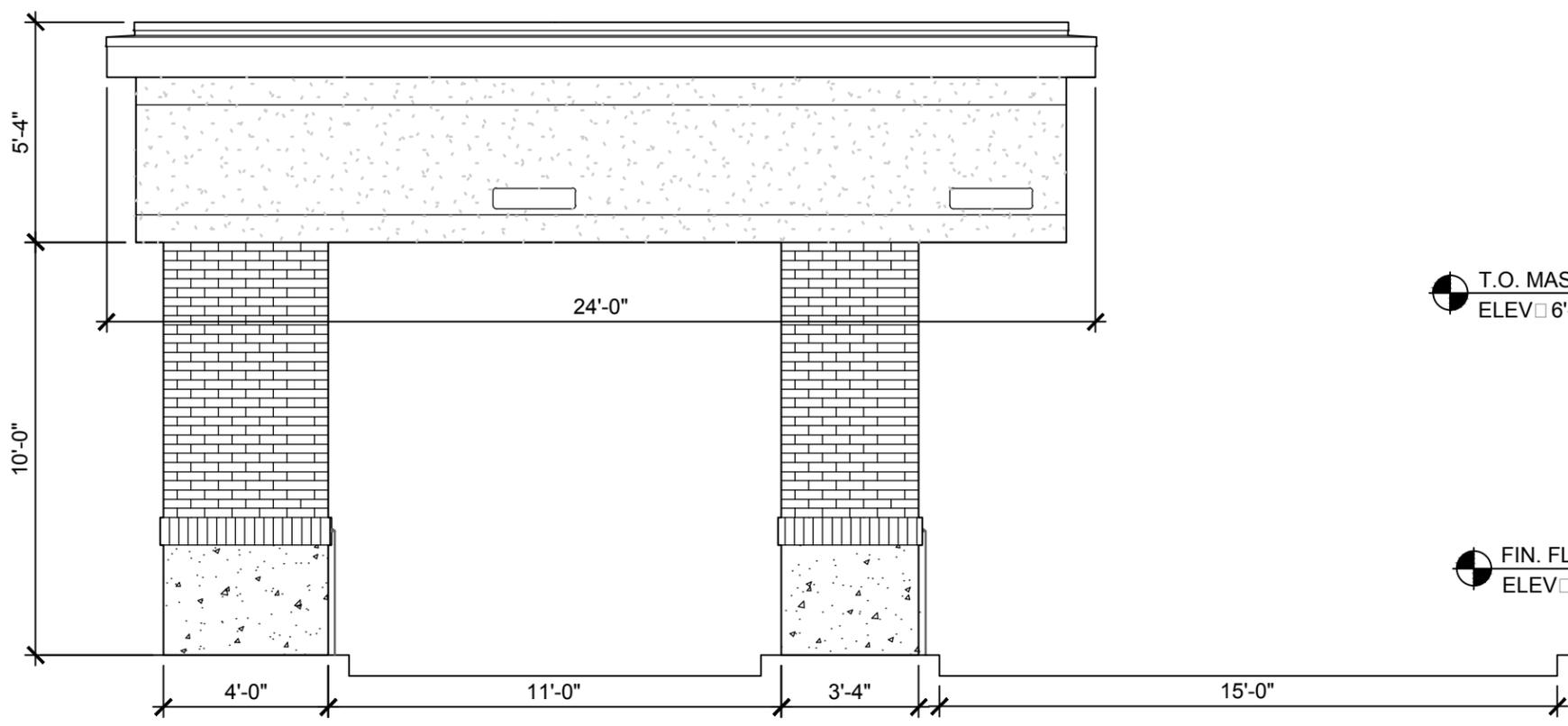
Calculation Summary							
Project: Fifth Third Bank - Troy							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.75	24.2	0.0	N.A.	N.A.
ATM	Illuminance	Fc	5.10	24.2	2.1	2.43	11.52
ND	Illuminance	Fc	4.68	10.4	1.6	2.93	6.50

Disclaimer:
 AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENLYTE for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.

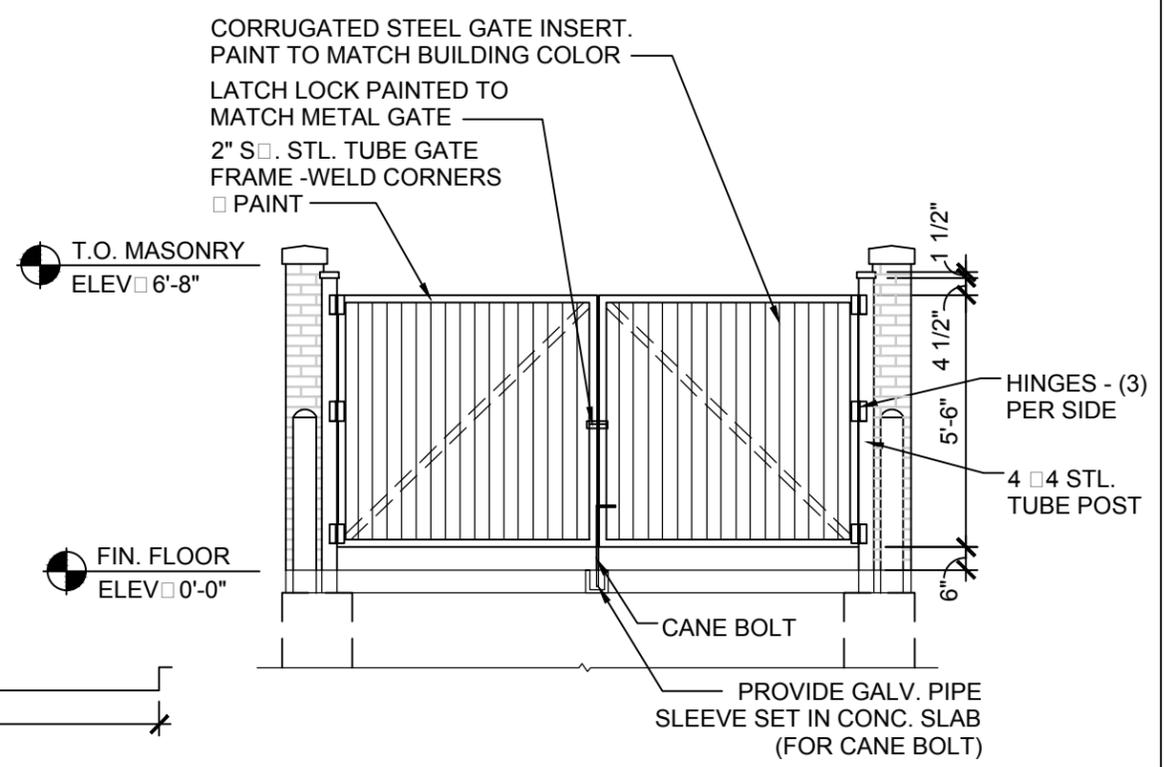
REVISED 1/3/13
 REVISED 10/31/12

THIS DOCUMENT IS THE PRODUCT AND EXCLUSIVE PROPERTY OF KING LIGHTING, INC. NEITHER THE DOCUMENT NOR THE INFORMATION IT CONTAINS MAY BE COPIED OR USED BY ANY COMPANY OTHER THAN THE COMPANY FOR WHICH IT WAS PREPARED WITHOUT THE EXPLICIT CONSENT OF KING LIGHTING, INC. ANY VIOLATION MAY RESULT IN APPROPRIATE LEGAL ACTION.

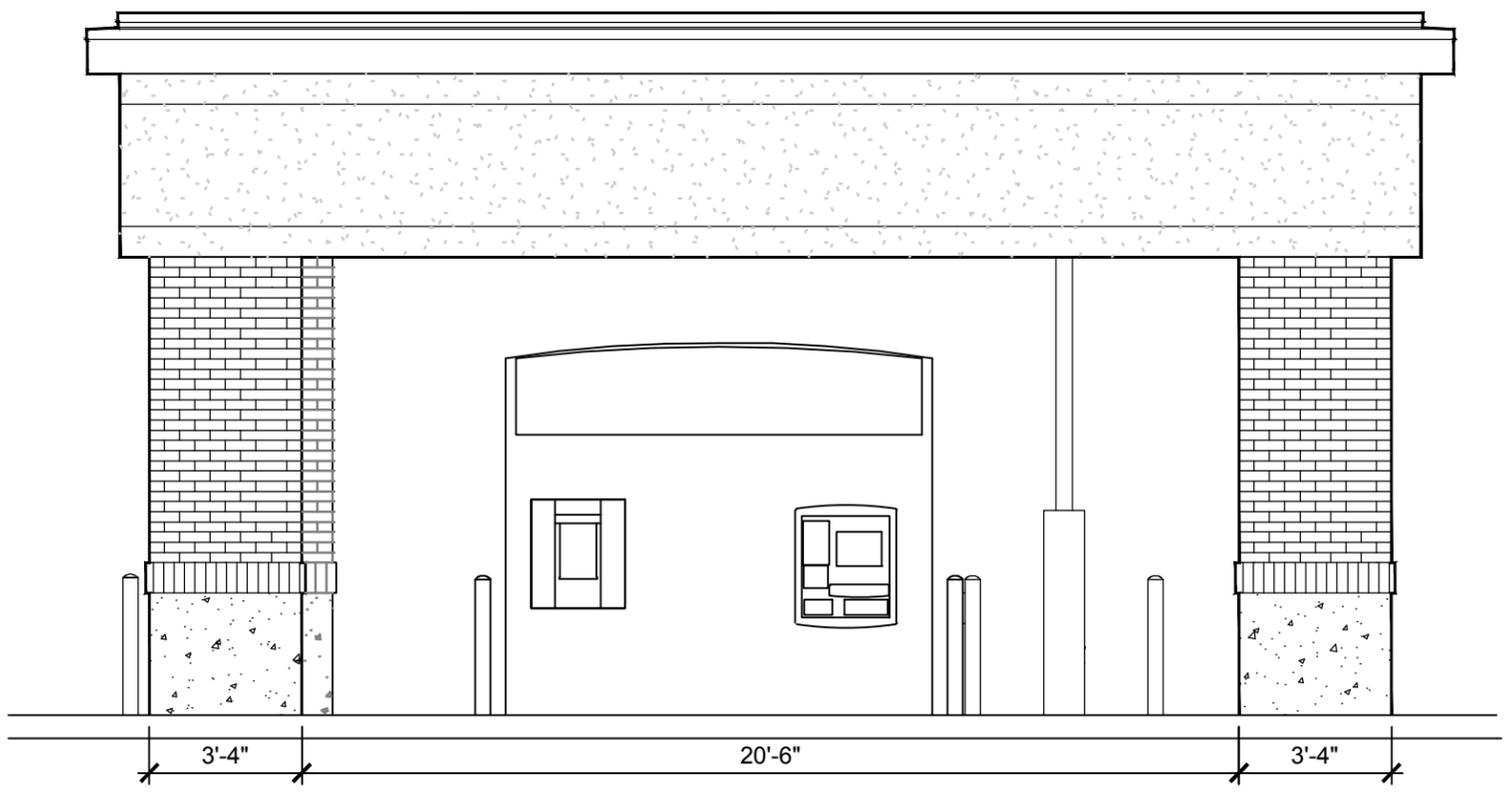
Design Criteria				
DESIGN FILE: 53-troy.agi	FITURE LAYOUT IS BASED ON A REFLECTANCE VALUES UNLESS NOTED OTHERWISE.		LIGHT LOSS FACTOR AND	
MINIMUM: AVE./MIN. MAXIMUM: MAX./AVE. AVERAGE:	INTERIOR LIGHTING LEVELS ARE SHOWN AT A.F.F. UNLESS NOTED OTHERWISE.	EXTERIOR LIGHTING LEVELS ARE SHOWN AT 3'-0" A.F.G. UNLESS NOTED OTHERWISE.		
 King Lighting, Inc. 515 Madison Avenue, Suite 300 Covington, Kentucky 41011 (859) 261-5511 Fax (859) 261-2228 www.king-lighting.com				
Site Lighting Calculation for Fifth Third Bank - Troy Troy, MI				
PHOTOMETRIC LAYOUT	SCALE 1"=20'	DESIGNER MHT	CHECKED MHT	DATE 10/26/12 SHEET 1



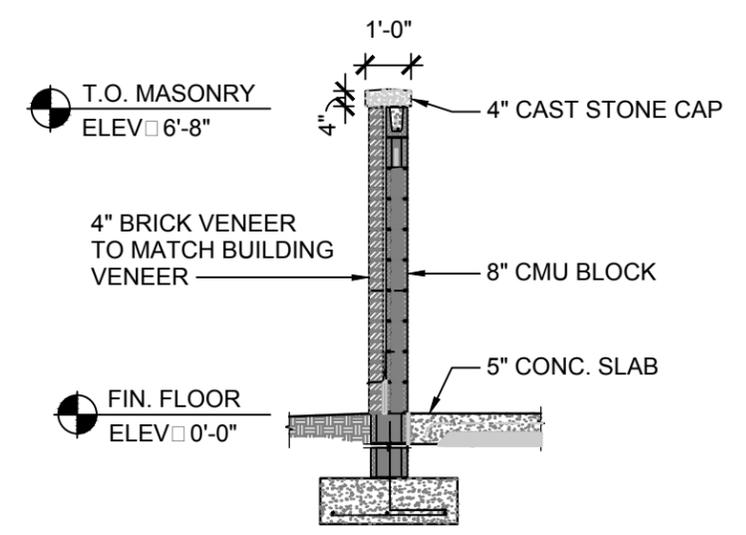
1 NORTH ELEVATION
1/4" □ 1'-0"



2 TRASH ENCLOSURE
1/4" □ 1'-0"



3 EAST ELEVATION
1/4" □ 1'-0"



4 ENCLOSURE SECTION
1/4" □ 1'-0"

PROJECT NUMBER:
62-40115-15
CBRE NUMBER:
408
DRAWN BY: MAM
REVIEWED BY: BMS

10/01/12
10/09/12
01/03/13
2885 E □ 1:
2885 E □ 2B:
2885 E □ :

B/B
FTEM - TROY REBUILD
2282 WEST BID BEAVER RD.
TROY, MICHIGAN 48064

221 S. ... R. ...
... 4329-154 ...
... 614.896.100 ...
... 614.896.150 ...



Gotham Architectural Downlighting
LED Downlights

8" Evo®
A-Series LED, Open Reflector

Solid-State Lighting

FEATURES

OPTICAL SYSTEM

- Self-flanged semi-specular, matte-diffuse or specular lower reflector
- Patented Bounding Ray™ optical design (U.S. Patent No. 5,800,050)
- 45° cutoff to source and source image
- Top-down flash characteristic

MECHANICAL SYSTEM

- 16-gauge galvanized steel construction; maximum 1-1/4" ceiling thickness
- Telescopic mounting bars maximum of 32" and minimum of 15", preinstalled, 4" vertical adjustment
- Toolless adjustments post installation
- Junction box capacity: 8 (4 in, 4 out) 12AWG rated for 90°C
- Light engine and driver accessible through aperture

ELECTRICAL SYSTEM

- Fully serviceable and upgradeable LED light engine
- 70% lumen maintenance at 50,000 hours based on IESNA LM-79-2008
- 120-277VAC, 50/60hz power supply with 0-10V dimming (10-100%); rated for 50,000-hour life
- Overload and short circuit protected

LISTINGS

- Fixtures are CSA certified to meet US and Canadian standards; wet location, covered ceiling

WARRANTY

- 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

ORDERING INFORMATION

EXAMPLE: ALED 35/18 8AR 120

Series	Color temperature	Nominal lumen values	Aperture/Trim color	Finish	Voltage	Driver
ALED	27/ 2700 K	18 1800 lumens	8AR Clear	(blank) Semi-specular	120	(blank) ² 0-10V dimming driver. Minimum dimming level 10% ECOS3³ Lutron Hi-Lume® dimming driver. Minimum dimming level 1%
	30/ 3000 K	22 2200 lumens	8PR Pewter	LD Matte diffuse	277	
	35/ 3500 K	29 2900 lumens	8WTR Wheat	LS Specular	347	
	41/ 4100 K		8GR Gold			
			8WR¹ White			

Options

SF	Single fuse	TRBL	Black painted flange
LRC	Lithonia Reloc® system	ELR⁶	Emergency battery pack with remote test switch
NSD⁴	Sensor Switch nLight™ dimming relay	CP	Chicago plenum
TRW⁵	White painted flange		

ACCESSORIES order as separate catalog numbers (shipped separately)

SCA8	Sloped ceiling adapter. Degree of slope must be specified (10D, 15D, 20D, 25D, 30D). Ex: SCA8 10D. Refer to TECH-190 .
CTA4-8YK	Ceiling thickness adapter (extends mounting frame to accommodate ceiling thickness up to 2").
GVRT	Vandal-resistant trim accessory. Refer to TECH-200 .
ISD BC	0-10V wallbox dimmer. Refer to ISD-BC .

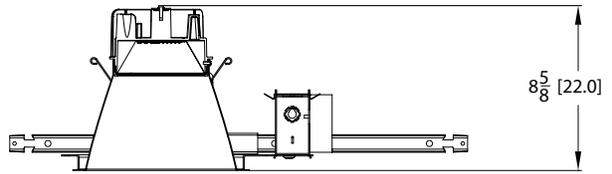
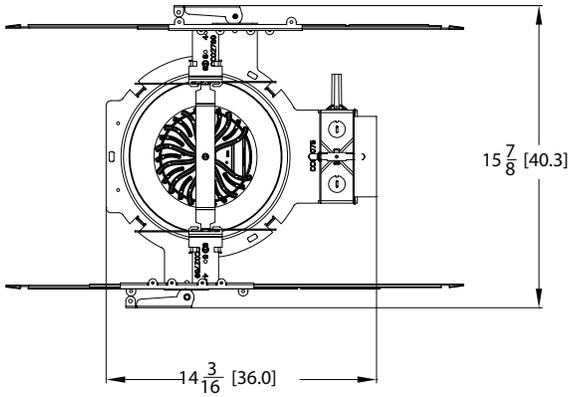
NOTES

ORDERING NOTES

1. Not available with finishes.
2. Refer to [TECH-240](#) for compatible dimmers.
3. CSA certified for US and Canada.
4. One 5A relay with one 0-10 VDC dimming output, shipped installed. Requires additional nLight bus power supply (nPS80).
5. Not available with white reflector.
6. For dimensional changes, refer to [TECH-140](#).

DIMENSIONAL DATA

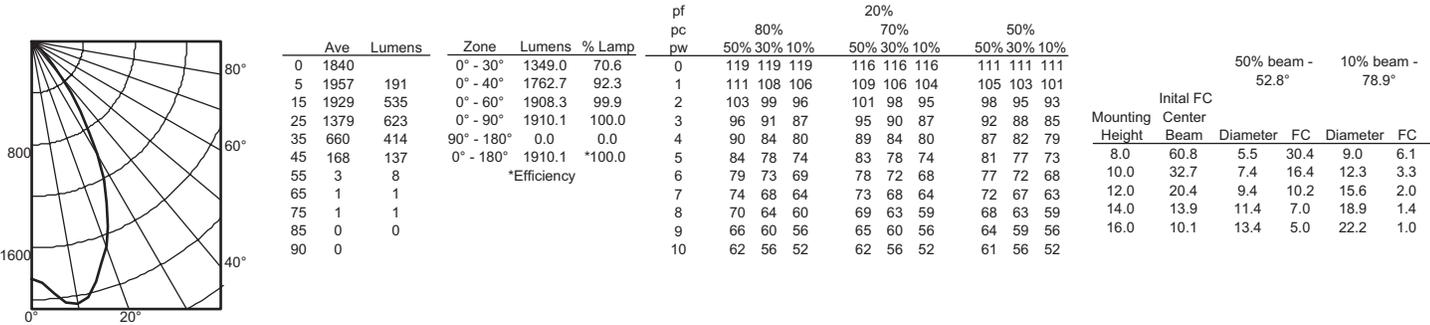
All dimensions are inches (centimeters) unless otherwise noted.



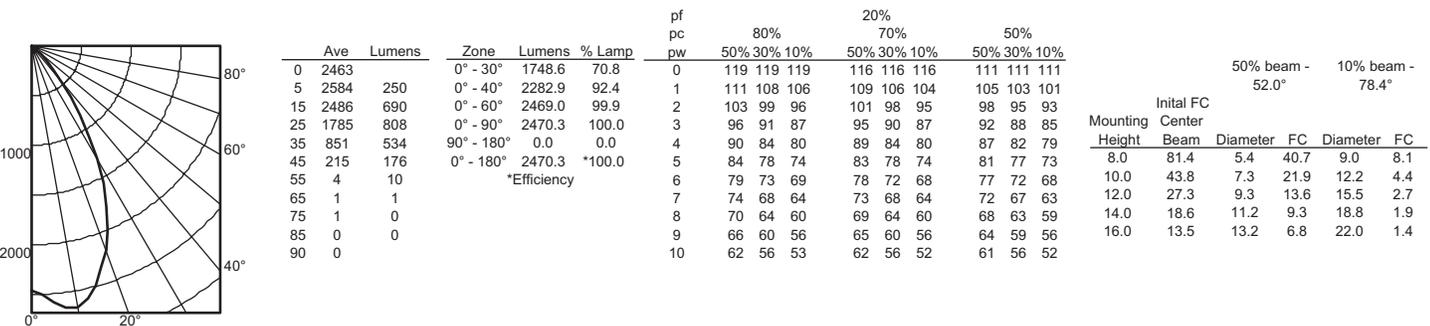
Aperture: $7 \frac{7}{8}$ (20.1)
Ceiling Opening: $8 \frac{7}{8}$ (21.5)
Overlap Trim: $9 \frac{1}{4}$ (23.5)

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance: Single Luminaire 30" Above Floor

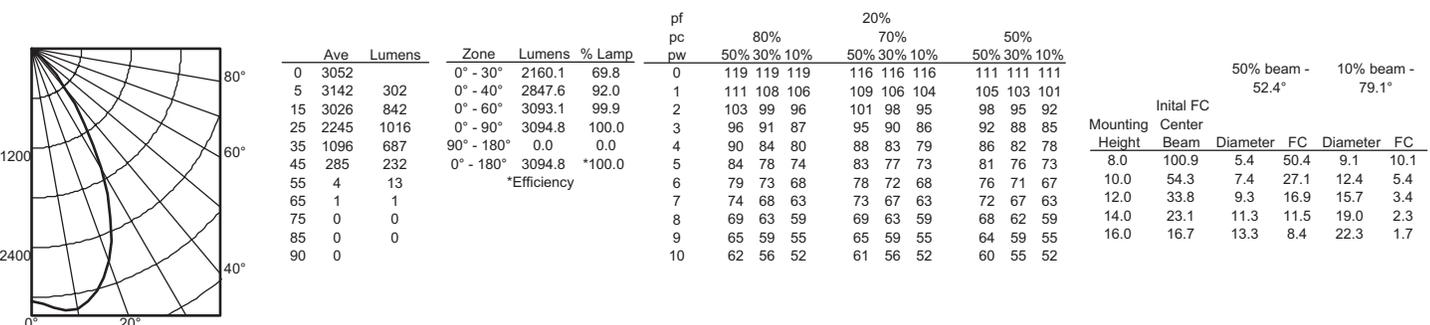
ALED 35/18 8AR LS INPUT WATTS: 34.6, DELIVERED LUMENS: 1910.1, LM/W=55.2, 1.0 S/MH, TEST NO. LTL21102



ALED 35/22 8AR LS INPUT WATTS: 39.3, DELIVERED LUMENS: 2470.3, LM/W=62.9, 1.0 S/MH, TEST NO. LTL21112



ALED 35/29 8AR LS INPUT WATTS: 48.6, DELIVERED LUMENS: 3094.8, LM/W=63.7, 1.0 S/MH, TEST NO. LTL21108



PHOTOMETRY NOTES

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- Actual performance may differ as a result of end-user environment and application.
- Actual wattage may differ by +/- 10% when operating between 120-277V +/- 10%.
- CRI: 83 typical.
- Consult factory or IES file for microgroove baffle, black cone or other photometric reports.

Catalog Number
Notes
Type

FEATURES & SPECIFICATIONS

INTENDED USE — Recessed downlight that provides volumetric lighting by filling the entire volume of space with light, delivering the ideal amount of light to walls, cubicles, work surfaces and people. Typical applications include corridors, lobbies, conference rooms and private offices. The system maintains 70% lumen output at more than 50,000 hours.

CONSTRUCTION — 16-gauge galvanized steel mounting/plaster frame with torsion springs to mount open conical shape reflector.

Rugged, one-piece, die-cast housing with white interior dome reflector.

LED light source shielded from direct view.

Vertically adjustable mounting brackets that use 16-gauge flat bar hangers (included), 1/2" conduit or C channel T bar fasteners. Provides 3-3/4" total adjustment.

Post installation adjustment possible from above or below the ceiling.

Galvanized steel junction box with bottom-hinged access covers and spring latches. Two combination 1/2"-3/4" and three 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out) No. 12 AWG conductors, rated for 90°C.

Fixture height of 5-3/4" allows installation in shallow plenum applications.

Secondary housing adjustment system for precise, final ceiling-to-flange alignment.

Maximum 1-1/2" ceiling thickness.

ELECTRICAL — Utilizes high-brightness LEDs mounted to a metal core circuit board, ensuring cool-running operation, 3500K, CRI > 80.

Thermal control ensures cool-running LEDs.

Thermal protection provided against improper insulation use.

High-efficiency, electronic LED driver mounted in the junction box.

Luminaire should be installed in applications where ambient temperatures do not exceed 50°C. Ambient temperatures that exceed 50°C will result in reduced lamp life and will void warranty.

Input wattage for 1200L is 27.5W. Input wattage for 1500L is 35.8W.

The DOM8 LED with DIM option operates with all 0-10V dimming switches. The following dimming switches have been confirmed to dim to 10% output:

Synergy® model number: [ISD BC 120/277](#)

Leviton® model number: IP710-DLX

Lutron® model number: NTFTV-WH. For on/off control, this switch requires a power pack. Consult Lutron for more information.

LISTINGS — CSA Certified to US and Canadian safety standards. Damp location listed.

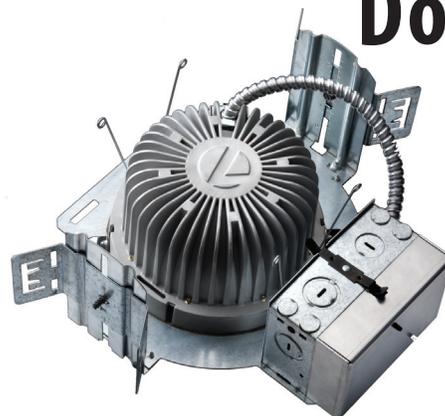
Energy Star® qualified.

WARRANTY — Five-year limited warranty. Complete warranty terms located at:

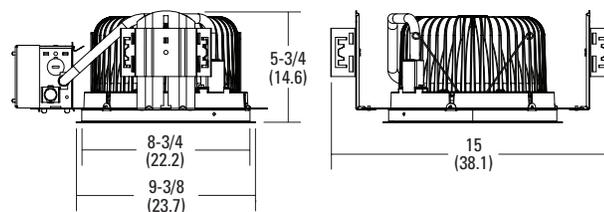
www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.

DOM8 LED



8" OPEN LED



Specifications

Aperture: 8-3/4 (22.2)

Ceiling opening: 8-3/4 (22.2)

Overlap trim: 9-3/8 (23.7)

Height: 5-3/4 (14.6)

Length: 13 (33.0)

Standard width: 15 (38.1)

All dimensions are inches (centimeters) unless otherwise specified.

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: DOM8 LED 1200L 35K 120 D08

DOM8 LED Series	Lumen output ¹	Color temperature	Voltage	Reflector	Options
DOM8 LED	1200L	35K	120	D08	White open ³
		3500K	277	D08A	Clear diffuse open
	1500L	40K	347 ²	D08AZ	Semi-specular open
		4000K		D08MW	Matte white ³
					TRW White flange with anodized reflectors
					TRBL Black flange with anodized reflectors
					DIM 0-10V dimming driver, 10% min. light output
					ELR Emergency battery pack with remote test switch 100% lumen output at 90 minutes
					NSD Sensor Switch nLight™ dimming relay; must be ordered with DIM option ⁴

Accessories: Order as separate catalog number.	
ISD BC 120/277 WH	Synergy white switch
ISD BC 120/277 IV	Synergy ivory switch

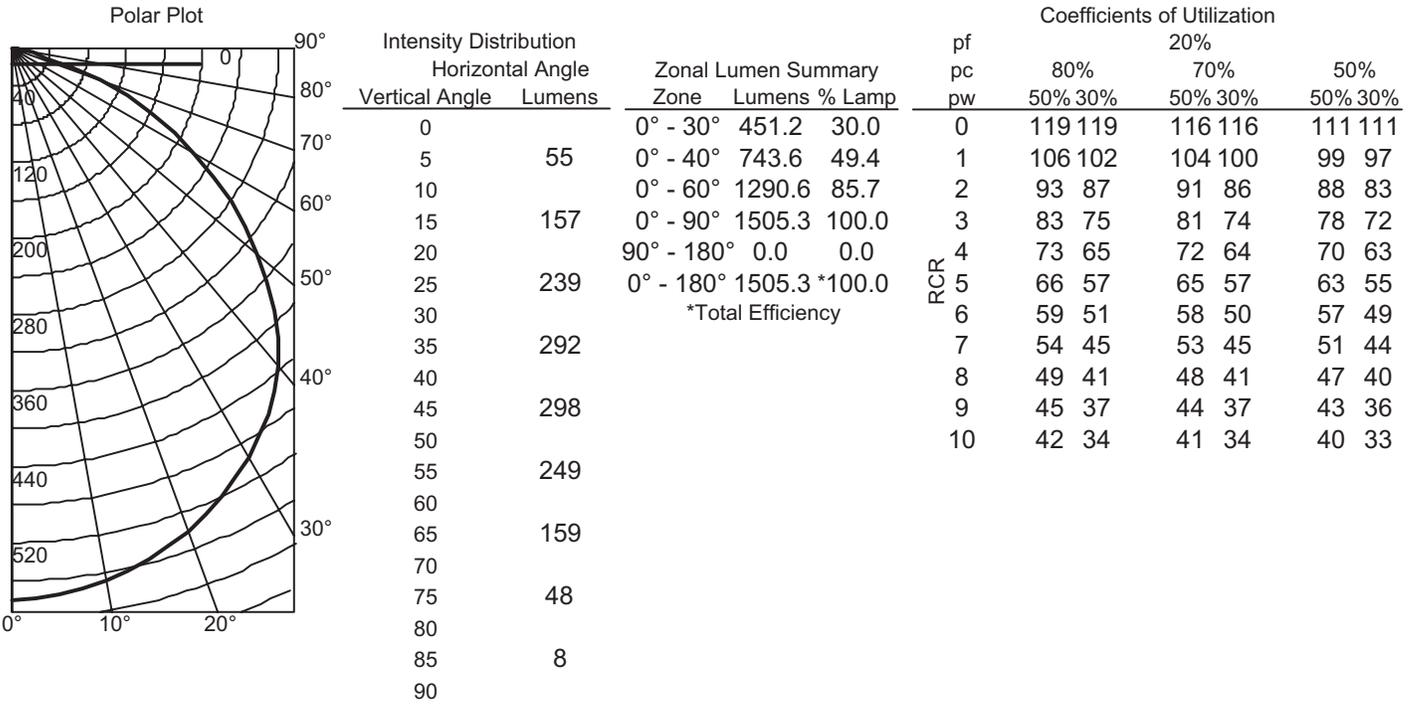
Notes

- Total system delivered lumens; power factor > 0.90.
- Not available with ELR and ELRB722
- White integral flange.
- One 5A relay with one 0-10 VDC dimming output, shipped installed. Requires additional nLight bus power supply.

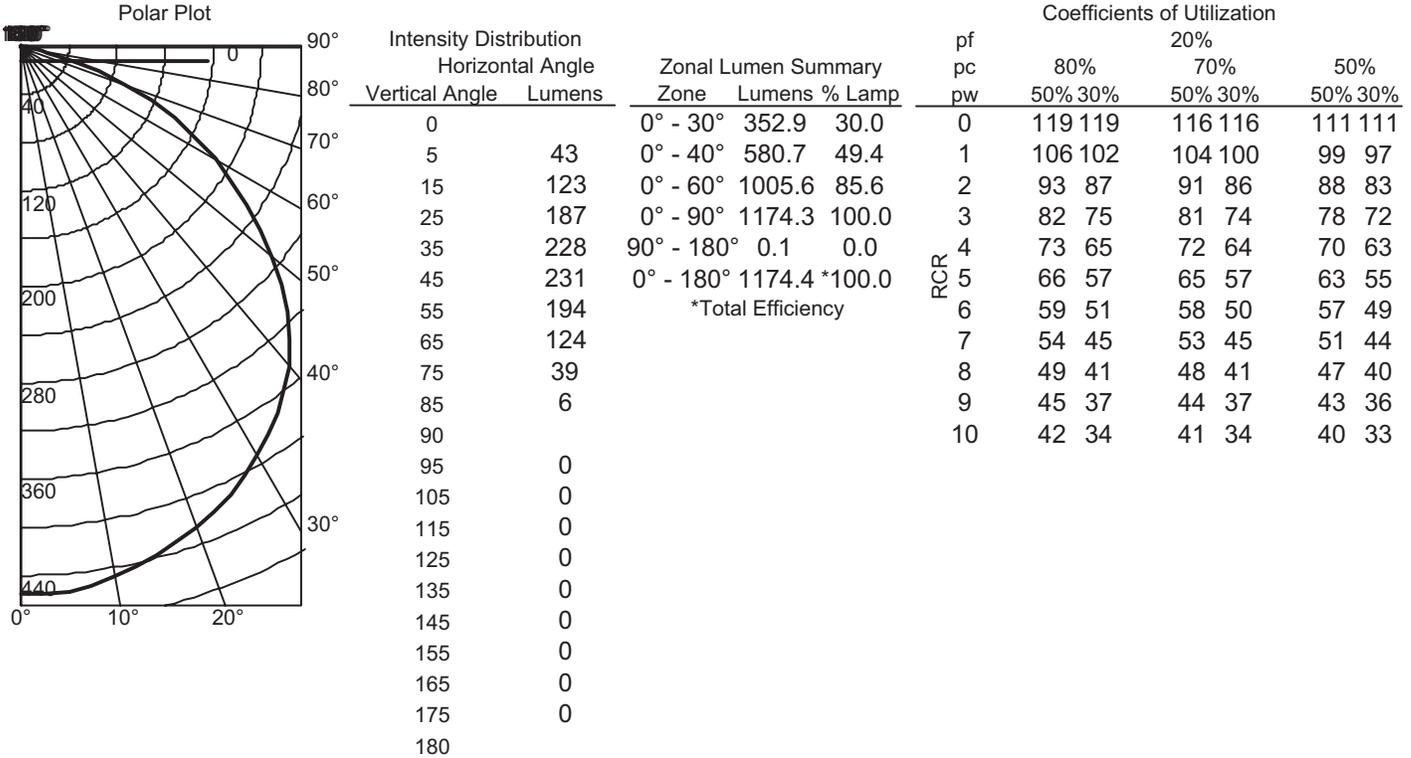
DOM8 LED 8" OPEN LED

PHOTOMETRICS

DOM8 1500L D08; 1505 delivered lumens, input watts: 35.8, Test No. LTL 17190, tested in accordance with IESNA LM-79-2008



DOM8 1200L D08; 1174 delivered lumens, input watts: 27.5, Test No. LTL 17214, tested in accordance with IESNA LM-79-2008



Notes

- Actual performance may differ as a result of end-user environment and application.
- Actual wattage may differ by +/-5% when operating between 120-347V +/-10%.



DOM8_LED_OPEN

Catalog Number	
Notes	Type

FEATURES & SPECIFICATIONS

CONSTRUCTION — Weldable-grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge), or 50,000 psi (7-gauge). Uniform wall thickness of .125" or .188". Shaft is one-piece with a full-length longitudinal high-frequency electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsional qualities. Available shaft widths are 4, 5 and 6 inches.

Anchor base is fabricated from hot-rolled carbon steel plate conforming to ASTM A36, that meets or exceeds a minimum-yield strength of 36,000 psi. Base plate and shaft are circumferentially welded top and bottom. Base cover is finished to match pole.

A handhole having nominal dimensions of 3" x 5" for all shafts. Included is a cover with attachment screws.

Top cap provided with all drill-mount poles.

Fasteners are high-strength galvanized, zinc-plated or stainless steel.

Finish: Must specify finish.

Grounding: Provision located immediately inside handhole rim. Grounding hardware is not included (provided by others).

Anchor Bolts: Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod having a minimum yield strength of 55,000 psi.



Anchor Base Poles

SSS

SQUARE STRAIGHT STEEL

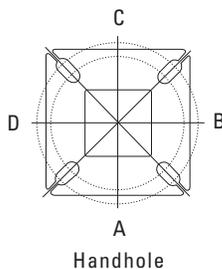
ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: SSS 20 5C DM19 DDB

SSS						
Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting ¹	Options	Finish ⁷	
SSS	10 – 39 feet (see back page.)	(See back page.)	Tenon mounting	Shipped installed	Standard colors	

HANDHOLE ORIENTATION



NOTES:

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Specify location and orientation when ordering option.
For 1st "x": Specify the height in feet above base of pole.
Example: 5ft = 5 and 20ft = 20
For 2nd "x": Specify orientation from handhole (A,B,C,D)
Refer to the Handhole Orientation diagram above.
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Additional colors available; see www.lithonia.com/archcolors or Architectural Colors brochure (Form No. 794.3). Powder finish standard.

Mounting ¹	
Tenon mounting	
PT	Open top
T20	2-3/8" O.D. (2" NPS)
T25	2-7/8" O.D. (2-1/2" NPS)
T30	3-1/2" O.D. (3" NPS)
T35	4" O.D. (3-1/2" NPS)

Drill mounting ²	
DM19	1 at 90°
DM28	2 at 180°
DM28PL	2 at 180° with one side plugged
DM29	2 at 90°
DM39	3 at 90°
DM49	4 at 90°

AERIS™/OMERO™ Drill mounting ²	
DM19AS	1 at 90°
DM28AS	2 at 180°
DM29AS	2 at 90°
DM39AS	3 at 90°
DM49AS	4 at 90°

AERIS™ Suspend drill mounting ^{2,3}	
DM19AST_	1 at 90°
DM28AST_	2 at 180°
DM29AST_	2 at 90°
DM39AST_	3 at 90°
DM49AST_	4 at 90°

OMERO™ Suspend drill mounting ^{2,3}	
DM19MRT_	1 at 90°
DM28MRT_	2 at 180°
DM29MRT_	2 at 90°
DM39MRT_	3 at 90°
DM49MRT_	4 at 90°

Options	
Shipped installed	
L/AB	Less anchor bolts
VD	Vibration damper
TP	Tamper proof
H1-18Sxx	Horizontal arm bracket (1 fixture) ^{4,5}
FDLxx	Festoon outlet less electrical ⁴
CPL12xx	1/2" coupling ⁴
CPL34xx	3/4" coupling ⁴
CPL1xx	1" coupling ⁴
NPL12xx	1/2" threaded nipple ⁴
NPL34xx	3/4" threaded nipple ⁴
NPL1xx	1" threaded nipple ⁴
EHHxx	Extra handhole ^{4,6}

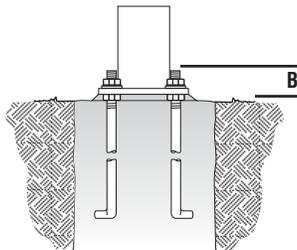
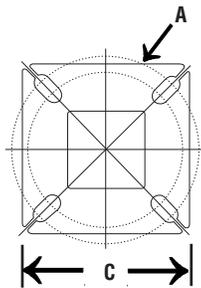
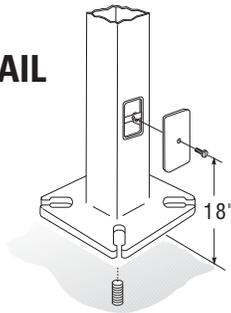
Finish ⁷	
Standard colors	
DDB	Dark bronze
DWH	White
DBL	Black
DMB	Medium bronze
DNA	Natural aluminum
GALV	Galvanized finish
Classic colors	
DSS	Sandstone
DGC	Charcoal gray
DTG	Tennis green
DBR	Bright red
DSB	Steel blue
Architectural colors (powder finish) ⁷	

SSS Square Straight Steel Poles

TECHNICAL INFORMATION

Catalog Number	Nominal shaft length (feet)	Pole Shaft Size (in x ft)	Wall Thickness (inches)	Gauge	EPA (ft ²) with 1.3 gust						Bolt Circle (inches)	Bolt Size (in. x in. x in.)	Approximate ship weight (pounds)
					80 mph	Max. weight	90 mph	Max. weight	100 mph	Max. weight			
SSS 10 4C	10	4.0 x 10.0	0.125	11	30.6	765	23.8	595	18.9	473	8--9	3/4 x 18 x 3	75
SSS 12 4C	12	4.0 x 12.0	0.125	11	24.4	610	18.8	470	14.8	370	8--9	3/4 x 18 x 3	90
SSS 14 4C	14	4.0 x 14.0	0.125	11	19.9	498	15.1	378	11.7	293	8--9	3/4 x 18 x 3	100
SSS 16 4C	16	4.0 x 16.0	0.125	11	15.9	398	11.8	295	8.9	223	8--9	3/4 x 18 x 3	115
SSS 18 4C	18	4.0 x 18.0	0.125	11	12.6	315	9.2	230	6.7	168	8--9	3/4 x 18 x 3	125
SSS 20 4C	20	4.0 x 20.0	0.125	11	9.6	240	6.7	167	4.5	150	8--9	3/4 x 18 x 3	140
SSS 20 4G	20	4.0 x 20.0	0.188	7	14.0	350	11.0	275	8.0	200	8--9	3/4 x 30 x 3	198
SSS 20 5C	20	5.0 x 20.0	0.125	11	17.7	443	12.7	343	9.4	235	10--12	1 x 36 x 4	185
SSS 20 5G	20	5.0 x 20.0	0.188	7	28.1	703	21.4	535	16.2	405	10--12	1 x 36 x 4	265
SSS 25 4C	25	4.0 x 25.0	0.125	11	4.8	150	2.6	100	1.0	50	8--9	3/4 x 18 x 3	170
SSS 25 4G	25	4.0 x 25.0	0.188	7	10.8	270	7.7	188	5.4	135	8--9	3/4 x 30 x 3	245
SSS 25 5C	25	5.0 x 25.0	0.125	11	9.8	245	6.3	157	3.7	150	10--12	1 x 36 x 4	225
SSS 25 5G	25	5.0 x 25.0	0.188	7	18.5	463	13.3	333	9.5	238	10--12	1 x 36 x 4	360
SSS 30 4G	30	4.0 x 30.0	0.188	7	6.7	168	4.4	110	2.6	65	8--9	3/4 x 30 x 3	295
SSS 30 5C	30	5.0 x 30.0	0.125	11	4.7	150	2.0	50	--	--	10--12	1 x 36 x 4	265
SSS 30 5G	30	5.0 x 30.0	0.188	7	10.7	267	6.7	167	3.9	100	10--12	1 x 36 x 4	380
SSS 30 6G	30	6.0 x 30.0	0.188	7	19.0	475	13.2	330	9.0	225	11--13	1 x 36 x 4	520
SSS 35 5G	35	5.0 x 35.0	0.188	7	5.9	150	2.5	100	--	--	10--12	1 x 36 x 4	440
SSS 35 6G	35	6.0 x 35.0	0.188	7	12.4	310	7.6	190	4.2	105	11--13	1 x 36 x 4	540
SSS 39 6G	39	6.0 x 39.0	0.188	7	7.2	180	3.0	75	--	--	11--13	1 x 36 x 4	605

BASE DETAIL



Shaft base size	Bolt circle A	Bolt projection B	Base square	Pole Data		
				Template description	Anchor bolt description	Anchor bolt and template number
4"C	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE PJ50004	AB18-0	ABSSS-4C
4"G	8-1/2"	2-3/4"-4"	8"	ABTEMPLATE PJ50004	AB30-0	ABSSS-4G
5"	10"-12"	3-3/8"-4"	11"	ABTEMPLATE PJ50010	AB36-0	ABSSS-5
6"	11"-13"	3-3/8"-4"	12-1/2"	ABTEMPLATE PJ50011	AB36-0	N/A

IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia Lighting will not accept claim for incorrect anchorage placement due to failure to use Lithonia Lighting factory templates.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia Lighting is not responsible for the foundation design.

IMPORTANT:

- These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.



D-Series Size 1 LED Area Luminaire



Catalog
Number

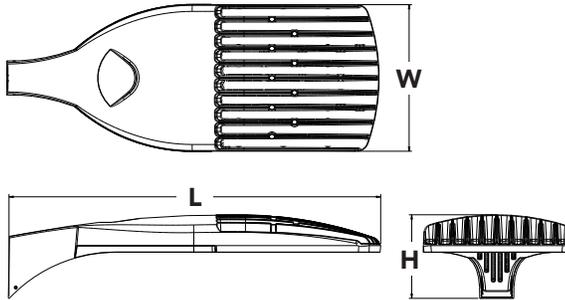
Notes

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Specifications

EPA:	0.8 ft ² (0.07 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

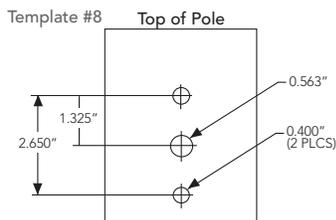
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 – 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED 2 30B700/40K SR3 MVOLT SPA DDBXD

DSX1 LED	Series	Light Engines	Performance Package ¹	Distribution	Voltage	Mounting	Options	Finish (required)
DSX1 LED	1	One engine (30 LEDs)	530 mA options: 30B530/30K 3000K 30B530/40K 4000K 30B530/50K 5000K	SR2 Type II SR3 Type III SR4 Type IV SR5 Type V FT Forward throw	MVOLT ² 120 ² 208 ² 240 ² 277 ² 347 ³ 480 ³	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket	Shipped installed PER NEMA twist-lock receptacle only (no controls) DMG 0-10V dimming driver (no controls) ⁴ DCR Dimmable and controllable via ROAM® (no controls) ⁵ HS House-side shield ⁶ SF Single fuse (120, 277, 347V) ⁷ DF Double fuse (208, 240, 480V) ⁷ WTB Utility terminal block TLS Tool-less entry trigger latch	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
	2	Two engines (60 LEDs)	700 mA options: 30B700/30K 3000K 30B700/40K 4000K 30B700/50K 5000K					

Drilling



DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°
DM28AS	2 at 180°	DM39AS	3 at 90°
DM49AS	4 at 90°	DM32AS	3 at 120°*

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

NOTES

- Configured with 4000K (/40K) provides the shortest lead times. Consult factory for 3000K (/30K) and 5000K (/50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V. Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Not available with with single board, 530 mA product (1 30B530).
- Not available with 347 or 480V.
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net.
- Also available as a separate accessory; see Accessories information at left.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories

Ordered and shipped separately.

Controls & Shields

DSS124N 1.5TJJE U	Photocell - SSL twist-lock (120-277V) ⁸
REN277-NM1 U	ROAM® node (277V) ⁸
SC U	Shorting cap ⁸
DSX1 LED 1 HS U	House-side shield (for one light engine)
DSX1 LED 2 HS U	House-side shield (for two light engines)

For more control options, visit [DTL](#) and [ROAM](#) online.

Tenon Mounting Slipfitter *

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

* For round pole mounting (RPA) only.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Contact factory for performance data on any configurations not shown here.

Light Engines	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 67 CRI)					50K (5000K, 67 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
					1 (30 LEDs)													
1	530	30B530/--K	55 W	SR2	4634	1	0	1	84	5056	1	0	1	92				
				SR3	4695	1	0	2	85	5123	1	0	2	93				
				SR3 HS	3425	0	0	1	61	3737	0	0	1	68				
				SR4	4694	1	0	2	85	5122	1	0	2	93				
				SR4 HS	3459	0	0	1	62	3774	0	0	2	69				
				SR5	4696	3	0	1	85	5124	3	0	1	93				
				FT	4694	1	0	1	85	5122	1	0	2	93				
				SR2	5679	1	0	1	77	6223	2	0	2	85				
				SR3	5835	1	0	2	79	6394	2	0	2	88				
				SR3 HS	4239	0	0	2	58	4645	0	0	2	64				
2 (60 LEDs)	700	30B700/--K	73 W	SR4	5798	1	0	2	79	6354	1	0	2	87				
				SR4 HS	4294	0	0	2	58	4706	0	0	2	64				
				SR5	5769	3	0	1	79	6322	3	0	2	87				
				FT	5820	1	0	2	79	6378	1	0	2	87				
				SR2	9109	2	0	2	86	9929	2	0	2	93				
				SR3	9257	2	0	2	87	10,010	2	0	3	94				
				SR3 HS	6717	0	0	2	64	7302	0	0	2	69				
				SR4	9204	2	0	2	87	10,010	2	0	2	94				
				SR4 HS	6800	0	0	2	64	7446	0	0	2	70				
				SR5	9223	4	0	2	87	10,198	4	0	2	96				
2 (60 LEDs)	530	30B530/--K	106 W	FT	9183	2	0	2	87	10,020	2	0	2	95				
				SR2	11,170	2	0	2	78	12,312	3	0	3	86				
				SR3	11,391	2	0	3	80	12,462	2	0	3	87				
				SR3 HS	8285	0	0	2	58	9047	0	0	2	63				
				SR4	11,332	2	0	2	79	12,368	2	0	3	86				
				SR4 HS	8318	0	0	2	58	9149	0	0	2	64				
				SR5	11,723	4	0	2	82	12,455	4	0	2	87				
				FT	11,662	2	0	3	82	12,531	2	0	3	87				
				2 (60 LEDs)	700	30B700/--K	143 W	SR2	11,170	2	0	2	78	12,312	3	0	3	86
								SR3	11,391	2	0	3	80	12,462	2	0	3	87
SR3 HS	8285	0	0					2	58	9047	0	0	2	63				
SR4	11,332	2	0					2	79	12,368	2	0	3	86				
SR4 HS	8318	0	0					2	58	9149	0	0	2	64				
SR5	11,723	4	0					2	82	12,455	4	0	2	87				
FT	11,662	2	0					3	82	12,531	2	0	3	87				

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99
50°C	122°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSX1 LED 2 30B700** platform in a **40°C ambient**, based on 9000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

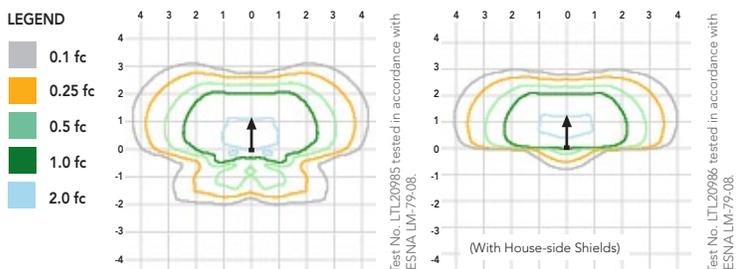
Electrical Load

Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	530	55 W	0.46	0.26	0.23	0.20	0.16	0.11
	700	73 W	0.61	0.35	0.30	0.26	0.21	0.15
2	530	106 W	0.89	0.51	0.44	0.38	0.31	0.22
	700	143 W	1.19	0.69	0.60	0.52	0.41	0.30

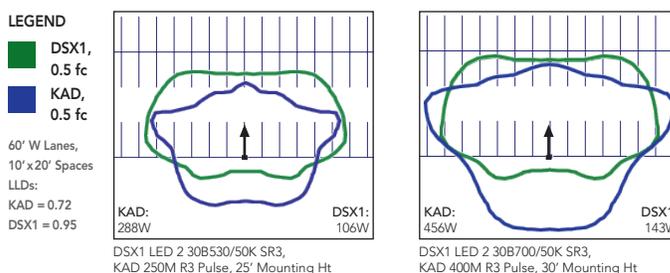
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [DSX1 homepage](#).

Isofootcandle plots for the DSX1 LED 2 30B700/50K SR3. Distances are in units of mounting height (20').



Distribution overlay comparisons to 250W and 400W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (0.8 ft) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mm thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000K (67 CRI) or optional 3000K (80 CRI) or 5000K (67 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low for 120-277V operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 listed; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. and international patents pending.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.



FEATURES & SPECIFICATIONS

INTENDED USE — The Contour Series LED luminaire is ideal for commercial wall-mounted applications where traditional metal halide luminaires are typically used. With a choice of three light levels, the luminaire generates up to 80% in energy savings and can replace traditional metal halide luminaires ranging from 175W up to 400W.

CONSTRUCTION — Rugged, die-cast, single-piece aluminum housing. Unique flow-through design for optimized thermal management. Modularity allows for ease of maintenance and potential for future system upgrades. Metallic screen covers the top of the housing, preventing debris build-up while allowing for air flow. Housing is completely sealed against moisture and environmental contaminants.

Finish: Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish (available in both textured and non-textured) that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mm thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white.

OPTICS — Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Choice of four optimized distributions: Type II, Type III, Type IV, and Forward Throw. The optical system controls light above 90 degrees, eliminating wasteful up light.

ELECTRICAL — High-efficiency 4000K, 65 CRI LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life (L85 60,000 hrs, 25°C ambient). Standard and dimming drivers are available in 120-277V and 347-480V; 50/60 Hz. Drivers have power factor >90% and THD <20%. Thermal isolation results in expected driver life of over 100,000 hours. Replaceable surge protection device is tested in accordance with IEEE/ANSI C62.41.2 meeting Category C Low.

INSTALLATION — Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with every installation.

LISTINGS — CSA Certified to U.S. and Canadian standards. Light engine is IP66 rated. Luminaire is IP65 rated.

WARRANTY — Five-year limited warranty.

NOTE: Specifications subject to change without notice.

Catalog Number
Notes
Type

CONTOUR SERIES

LED Building-Mounted Luminaire



Specifications

Height: 7-1/8 (29.2)

Width: 16-3/8 (41.6)

Depth: 9-5/16 (23.6)

Weight: 30 lbs (13.6 kg)

All dimensions are inches (centimeters) unless otherwise specified.



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: CSXW LED 1 30B700/40K SR3 MVOLT DDBTXD

Series	Number of light engines	Performance package ¹	Distribution	Voltage	Mounting	Options	Finish ⁶
CSXW LED	1	30B700/40K 30B530/40K 30B350/40K <u>Optional</u> 30B700/30K 30B530/30K 30B350/30K 30B700/50K 30B530/50K 30B350/50K	SR2 Type II SR3 Type III asymmetric SR4 Type IV forward throw FT Forward throw	MVOLT ² 120 208 240 277 347 480	(blank) Surface mount <u>Shipped separately</u> ³ BBW Surface-mounted back box	<u>Shipped installed in fixture</u> SF Single fuse (120, 277, 347V) DF Double fuse (208, 240, 480V) PE Photoelectric cell, button type ⁴ DMG Dimming option BL30 Bi-level switching (30% - 100%) ⁵ BL50 Bi-level switching (50% - 100%) ⁵ <u>Shipped separately</u> ³ VG Vandal guard WG Wire guard	DDBXD Dark bronze DNAXD Natural aluminum DWHXD White DBLXD Black DDBTXD Dark bronze textured DNATXD Natural aluminum textured DWHGXD White textured DBLBXD Black textured

Notes

- 1 Configured with 4000K (/40K) provides the shortest lead times. 3000K (/30K) and 5000 (/50K) are also available. Please consult factory for additional information.
- 2 Multi-volt driver capable of operating on any line voltage from 120V-277V.
- 3 May be ordered as an accessory. Prefix with CSXW (i.e. CSXWVG). Must specify finish.
- 4 Must be ordered with fixture; cannot be field installed. Must specify voltage (not available with MVOLT or 480V).
- 5 BL_ option requires DMG dimming option. 30% or 50% light output in ready state.
- 6 Must specify finish.

CSXW LED LED Building-Mounted Lighting

PERFORMANCE DATA

Number of light engines	Performance package	Number of LEDs	Generation	Drive Current	CCT	Distribution	Lumens	B	U	G	Nominal system watts ¹	LPW
1	308700/40K	30	B	700	40K	SR2	5,980				74	81
						SR3	6,157	1	3	1		83
						SR4	6,042	1	3	2		82
						FT	5,800					78

Light engines	Nominal power (W)	Current (A)					
		120	208	240	277	347	480
1	74	0.62	0.36	0.31	0.27	0.21	0.15

Notes

- 1 Tested to IESNA LM-79-80 standards.
- 2 Additional lighting facts available; please consult factory.
- 3 Photometric data can be accessed from the Lithonia Lighting web site (www.lithonia.com).

DATE: January 3, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 244) – Miscellaneous Zoning Ordinance Revisions

The City of Troy Zoning Ordinance was adopted in April 2011. Prior to adoption, it was anticipated there would be some revisions that would be necessary once staff, the Planning Commission and applicants had an opportunity to use the document. The revisions will fix inconsistencies, clarify provisions and generally make the document easier to use and understand.

The Planning Commission discussed these revisions at a number of public meetings.

The attached report prepared by Carlisle/Wortman Associates, Inc. summarizes the revisions.

The Planning Commission is a recommending body for this amendment; the authority for final approval lies with City Council, following a public hearing.

Attachments:

1. Report prepared by CWA, dated September 19, 2012.
2. Report prepared by CWA, dated October 4, 2012.
3. Proposed Zoning Ordinance Text Amendments - Public Hearing Draft

G:\ZOTAs\ZOTA 244 Miscellaneous Zoning Ordinance Revisions\PC Memo 01 08 2013.doc

ZONING ORDINANCE TEXT AMENDMENT

7. PUBLIC HEARING – ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 244) – Miscellaneous Zoning Ordinance Revisions

Proposed Resolution # PC-2013-01-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that Articles 2, 3, 4, 5, 6, 7, 10, 12, 13 and 16 of Chapter 39 of the Code of the City of Troy, which includes miscellaneous Zoning Ordinance revisions, be amended as printed on the proposed Zoning Ordinance Text Amendment.

Yes:

No:

Absent:

MOTION CARRIED / DENIED



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

MEMORANDUM

TO: R. Brent Savidant, AICP, Planning Director

FROM: Ben Carlisle, AICP

DATE: September 19, 2012

RE: Zoning Ordinance Amendments

The City of Troy Zoning Ordinance was adopted in April 2011. It is common that a year or so after the adoption of a new zoning ordinance, staff, planning commissioners, and outside interests identify specific language and other clarifications that need further discussion and potential amendments. Many of the proposed amendments are minor (capitalization, consistency in labeling, etc); however some considerations for amendments are substantive.

As part of the process of reviewing the existing ordinance, we have identified twelve (12) substantive and fourteen (14) minor amendments changes. Listed below are the cumulative twenty-five (26) amendments for consideration. For the substantive amendments we have provided a detailed explanation and proposed ordinance language. For the typographical errors we have simple listed the existing language and the proposed ordinance language. If requested we can provide additional information.

Substantive Amendments:

Each amendment has three parts: 1). the ordinance section number, page number, and existing ordinance language; 2). details outlining the proposed text amendment and explanation as to why the amendment is warranted; and 3). the proposed amended language. Removed text is ~~struck through~~ and proposed new ordinance language is underlined.

- 1. Section 4.13.D.4.a (CB District Page 72) :** *Parking shall not be located in the front yard.*
Section 4.14.D.4.a (GB District Page 76) : *Parking shall not be located in the front yard.*
Section 4.15.D.4.a (O District Page 84) : *Parking shall not be located in the front yard.*
Section 4.18.D.5.a (RC District Page 92) : *Parking shall not be located in the front yard.*

Issue: The parking requirements for districts CB, GB, O, and RC do not allow parking in the front yard. Front Yard is defined as "An open space extending the full width of the lot, the depth of which is the minimum horizontal distance between the front lot line and the nearest line of the main building." Hence due to the definition of front yard, parking is not permitted in the front

of any building these districts, regardless of how far back the actual building is from the street. In conversations between with staff it is unclear if the intent was to preclude any parking in front of the building. Irrespective of the intent, in these auto-oriented commercial and office districts a limited parking in front of the building, but outside of the required front yard, should be permitted. Unlike form-based districts, where there is a requirement to place buildings up to the street in order to create pedestrian forms and street presence, developments in these districts are more auto-oriented.

One of the primary justifications for limiting parking in front of the building is to ensure that the parking is does not dominate the front façade, as well as ensure that the building is able to create some street presence. However, in these districts there already exists language in the ordinance that state “No more than fifty (50) percent of the total site’s linear feet along the front building line shall be occupied by parking lot.” This requirement limits the total amount of parking in front of the building and mitigates concerns that parking would dominate parking in the front yard.

Please note that an amendment to the parking location for these sections will not amend any parking location requirement in form-based districts.

Proposed Amendment Language:

Section 4. Off-Street Parking Location.

- a. ~~Parking shall not be located in the front yard.~~
- b. No more than fifty (50) percent of the total site’s linear feet along the front building line shall be occupied by parking lot.

2. Section 4.21 Schedule of Use Regulations Table (Page 101): Reclassify selective automotive limited automotive and transportation uses in the IB district from Special to Permitted.

Current Ordinance:

Use	IB
Vehicle, recreational vehicle sales	S
Vehicle repair stations	S
Vehicle fueling/multi-use stations	S
Vehicle washes	S
Vehicle auctions	S
Antique and classic vehicle sales	S
Ambulance facilities	S
Vehicle rental	S

Issue: Recognizing that some of the area devoted to manufacturing and industrial uses may be outdated and conducive to redevelopment of other uses, the IB District was created. The IB District is intended to continue to recognize more traditional manufacturing and industrial use; however encourage redevelopment and reuse of existing buildings and sites by permitting other compatible uses. The IB District recognizes the difficulty of certain sites for redevelopment and

open up the list of uses accordingly. As such, the IB District permits a multitude of uses by-right ranging from multiple-family residential to shopping centers to light and medium industrial uses. However, automobile uses are the only category of uses that require special uses. Many concerns associated with further opening the IB District Use and potential impact upon surrounding properties, are mitigated through the special use process for drive-through uses, limitation on outdoor storage, and landscape transitions between incompatible uses.

We recommend that certain uses in the Automotive/Transportation category that have minimal exterior impacts be allowed by-right.

Proposed Amendment Language:

Use	IB
Vehicle, recreational vehicle sales	S, P
Vehicle repair stations	S, P
Vehicle fueling/multi-use stations	S
Vehicle washes	S
Vehicle auctions	S
Antique and classic vehicle sales	S, P
Ambulance facilities	S, P
Vehicle rental	S, P

3. Section 4.21 Schedule of Use Regulations Table (Page 101): Add “Oil Change Facility” into Automotive/Transportation Use group. Classify use as Permitted or Special based on district.

Issue: Oil change facilities are not a listed use in the Schedule of Use Regulations. In previous practice oil facilities were treated similar to vehicle repair. However, oil change facilities are a common use that have different impacts than other vehicle repair and other automobile uses. In addition, vehicle repair has defined supplemental use regulations as listed in Section 6.26, of which are not applicable to oil change facility operations. Oil change facilities should be added and classified as a Permitted or Special Use based on district.

Proposed Amendment Language:

Section 4.21:

	R1-A through R-1E	RT	MR	UR	MHP	CF	EP	CB	GB	IB	O	OM	RC	PV	P
Vehicle Repair Facility	NP	NP	NP	NP	NP	NP	NP	NP	S	S	NP	NP	NP	S	NP
<u>Oil Change Facility</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>P</u>	<u>NP</u>

4. Section 4.21 Schedule of Use Regulations Table (Page 101): Add “Wireless Communication Facility (free standing tower)” into miscellaneous group. Classify use as Permitted or Special based on district. (Note: see section 6.30)

Issue: Wireless Communication Facilities are a use defined in Article 2 (definitions) and have specific use standards outlined in Section 6.30, but are not a listed use in the Schedule of Use Regulations. Wireless Communications, both attached to existing building and free-standing tower, are a common use that should be added to the use table. Due to different visual effects and potential for secondary impact, free standing towers should require greater regulations in regards to both ability to be located in certain districts and requirement to obtain special use approval in others. Wireless communication facilities located on existing structures are permitted in all districts provided that they meet those supplemental use regulations listed in Section 6.30.B.1.

All Wireless communication facilities still must comply with Section 6.30.

Proposed Amendment Language:

Section 4.21:

	R1-A through R-1E	RT	MR	UR	MHP	CF	EP	CB	GB	IB	O	OM	RC	PV	P
<u>Wireless Communication Facility (complies with section 6.30.B.1)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Wireless Communication Facility (free standing tower)</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>S</u>	<u>NP</u>	<u>S</u>							

5. Section 5.03 Form Based Districts Use Group by Category (Page 108): Add “Lodging” as use in Use Group 5

Issue: Lodging facilities are not a listed use in the form-based code. Previous applications for lodging facility in the form-based districts have been required to go through a P.U.D. process. Lodging facilities are an intended use in the form-based districts. Not including this use was an oversight of the previous draft. Adding lodging to the code is consistent with the Master Plan and would clarify the intent of the zoning ordinance.

Proposed Amendment Language:

TABLE 5.03-A-1 USE GROUPS BY CATEGORY PRINCIPAL USE
Use Group 5
<u>Lodging</u>
Financial institutions
General retail
Retail, large-format
Shopping centers
Fitness, gymnastics, and exercise centers
Theatres and places of assembly
Indoor commercial recreation establishments
Restaurant
Personal services
Business services
Financial institutions
General retail

6. Section 5.03 Form Based Standards Applicable to All Districts (Page 110): Add “Section C” to add specific landscaping requirements in the Form Based Districts.

Issue: Section 13.02 outlines Landscaping requirements. These requirements are not district specific and rather apply throughout the city. These regulations include screening between uses, parking lot landscaping, greenbelt planting, and a requirement to provide at least 20% of the site landscaping. However, as recently discussed by the Planning Commission for the Big Beaver PUD, a 20% landscaping requirement for developments in the more urban and pedestrian oriented Form-Based districts might not be appropriate. Due to the building form requirements of the Big Beaver corridor, and the desire to build more “urban” style developments, obtaining

20% site landscaping is often difficult to obtain. Looking at other ordinances including City of Omaha and the City of Chicago, we recommend reducing the total percentage of site landscaping to 15% with options for relief.

Proposed Amendment Language:

EXAMPLE: LANDSCAPE REQUIREMENT IN FORM-BASED DISTRICT				
Site Area	15% required landscaping	50% of 15% of required landscaping (greenscape)	25% of 15% of required landscaping (hardscape)	25% of 15% of required landscaping can be relieved through sustainable design option
100,000 sq/ft	15,000 sq/ft	7,500 sq/ft	3,750 sq/ft	3,750 sq/ft

Section 5.03.C: Landscaping in Form-Based Districts

1. In addition to landscape requirements to Section 13.02, the following landscaping requirements shall apply:
 - a. Supplemental to Section 13.02.E.1.a, a minimum of fifteen percent (15%) of the site area shall be comprised of landscape material.
 - b. Landscaping can consist of approved trees, shrubs, ground cover, vines, grasses, or other approved plan material. Up to twenty-five (25%) of the required landscape area may be brick, stone, or pavers or other public plaza elements, but shall not include any parking area or required sidewalks.
 - c. Up to twenty-five (25%) of the required landscape area may be relieved through the Sustainable Design Option as outlined in Section 12.01.

7. Section 6.10.C.1 and C.2 (Page 170): Amend Section 6.10.C.1 and C.2 to reduce the width of drive-through drive-aisles from 12 feet to 10 feet.

Issue: The requirement of a 12-foot width for drive-through aisles is not necessary. First, due to adjacent buildings, other cars, and necessities to stop (order menus, pick-up windows, ATMs, tellers booths, etc) cars travel slower through drive-through aisles. Secondly, all drive-through aisles are one way, or separated via striping or curbs. 12-foot wide lanes are only necessary for two-way traffic. Reducing the width from 12-feet to 10-feet will not cause additional traffic conflict, will allow additional area for both building or landscaped area, and will have the added effect of naturally reducing automobile speed. The ten (10) foot drive-through aisle width is consistent with what was recently passed for bank uses in the Big Beaver form based district.

Proposed Amendment Language:

Section 6.10.C.1 and C.2:

Each drive-through facility shall provide stacking space meeting the following standards:

1. Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of ~~twelve (12)~~ ten (10) feet in width and twenty (20) feet in length.

- 8. Add Section 6.31 (Page 170):** Add Section 6.31 to allow 1 story multi-family residential uses as permitted uses in the IB districts only for conversion of existing buildings.

Issue: Recognizing that some of the area devoted to manufacturing and industrial uses may be outdated and conducive to redevelopment of other uses, the IB District was created. The IB District is intended to continue to recognize more traditional manufacturing and industrial use; however encourage redevelopment and reuse of existing buildings and sites by permitting other compatible uses. The IB District recognizes the difficulty of certain sites for redevelopment and open up the list of uses accordingly. As such, the IB District permits a multitude of uses by-right ranging from multiple-family residential to shopping centers to light and medium industrial uses.

The current ordinance prevents the construction of one-story multi-family dwelling units. The intent of requiring multiple story multi-family structures is to require greater massing and scale. However, there are many existing one story buildings in the IB District that could be converted into multi-family. The proposed amendment to allow one-story multi-family dwelling units is only permitted for existing building in the IB district.

Proposed Amendment Language:

Section 6.31: Multi-family dwelling units in the IB District.

- A. One-story multi-family dwelling building is a permitted use in the IB district only through the conversion of an existing building.

- 9. Section 7.13.1.4 (Page 199):** Amend the maximum duration for outdoor special events from four (4) to seven (7) days.

Issue: Section 7.13.1.4 limits outdoor special events, such as grand openings and corporate, institutional, and community celebrations and fundraising activities, to a maximum of four (4) consecutive days. These four (4) days includes on-site event preparation, setup, and cleanup. Often due to on-site event preparation, setup, and cleanup, a maximum of four (4) days is not sufficient. Extending the time allowance from four (4) to seven (7) days would provide the necessary time to setup for the event, hold the event, and cleanup. Extending the time for outdoor events would not significantly impact traffic or public facilities (police, fire, etc).

Proposed Amendment Language:

Section 7.13.1.4:

The maximum duration of use shall be ~~four (4)~~ seven (7) consecutive days for any one (1) event, including setup and takedown, not to exceed four (4) events within a period of twelve (12) calendar months.

- 10. Section 16.03 (page 313):** Add standards for rezoning

Issue: While there are standards for conditional rezoning as outlined in Section 16.04; there are no standards for a straight rezoning outlined in Section 16.03. The ordinance should include standards for the Planning Commission and ultimately the City Council to consider in regards to

rezoning. Such standards can include consistency with Master Plan, impact upon public facilities, etc.

Proposed Amendment Language:

Section 16.03.C: Standards for Approval. A rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- A. The proposed rezoning is consistent with the Master Plan. If the current zoning is in material conflict with the Master Plan, such conflict is due to one of the following:
 - 1. A change in City policy since the Master Plan was adopted
 - 2. A change in conditions since the Master Plan was adopted.
 - 3. An error in the Master Plan.
- B. The proposed rezoning will not cause nor increase any non-conformity.
- C. Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.
- D. The rezoning will not impact public health, safety, and welfare.
- E. The rezoning will insure compatibility with adjacent uses of land.

11. Single-Family Districts: Amend Frontage requirements

Issue: There is not a minimum lot frontage requirement for lots in the R-1 districts. The requirement of minimum lot frontage, in combination with minimum lot size, depth, width, and setback ensures that newly created lots will be able to comply with all site development standards. Requiring a minimum lot frontage would ensure that the creation of new lots have the necessary access with the extension of a road that meets City of Troy requirement. A lack of minimum lot frontage requirement would allow the creation of a new lot by extending the road as a driveway. Furthermore, requiring a minimum lot frontage eliminates the creation of flag lots.

Proposed Amendment Language:

- Add Lot Frontage Definition to Article 2:

Lot Frontage: The frontage of any lot shall be the horizontal distance between the side lot lines measured between the points where said lot lines intersect the street right-of-way. Said frontage shall be continuous and unbroken and shall be measured along the constructed portion of the right-of-way only.

- Amend Table 4.06.C:

Minimum Lot Size Per Dwelling Unit				Maximum Height		Minimum Yard Setback (R) (Per Lot in Feet)				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings
Use District	Area in Sq.Ft (1)	Width in Ft. (1)	Frontage in Ft. (1)	In Stories (2)	In Feet (2)	Front	Sides		Rear		
						(3)	Least One (4)	Least Two (4)	(5)		
R-1A											
No Sewer	30,000	150	<u>150</u>	2 ½	30	40	15	30	45	1,400	30%
Sewer	21,780	120	<u>120</u>	2 ½		40	15	30	45	1,400	30%

R-1B											
No Sewer	21,780	110	<u>110</u>	2 ½	30	40	15	30	45	1,400	30%
Sewer	15,000	100	<u>100</u>	2 ½		40	10	25	45	1,400	30%
R-1C											
No Sewer	21,780	110	<u>110</u>	2 ½	30	30	15	30	40	1,200	30%
Sewer	10,500	85	<u>85</u>	2 ½		30	10	20	40	1,200	30%
R-1D											
No Sewer	21,780	110	<u>110</u>	2 ½	30	25	15	30	40	1,000	30%
Sewer	8,500	75	<u>75</u>	2 ½		25	8	20	40	1,000	30%
R-1E											
No Sewer	21,780	110	<u>110</u>	2 ½	30	25	15	30	35	1,000	30%
Sewer	7,500	60	<u>60</u>	2 ½		25	5	15	35	1,000	30%

- Amended Section 4.06.D Supplemental District Standards to add frontage language regarding corner lots and cul-de-sacs:

Section 4.06.D.6: Lot Frontage on Corner Lots, Curved Roads, and Cul-de-Sacs

- On all corner lots, the frontage set forth shall be measured on one (1) street only.
- For lots on curved streets that have curvilinear frontages, frontage shall be determined by measuring the linear distance along the curve.
- In the event that the lot is situated on a cul-de-sac, the frontage, shall be measured along the minimum setback line for the zone in which said lot is located.

12. Section 4.21 Schedule of Use Regulations (p.100): Add Extended Stay Facilities as a use to the schedule of use regulations.

Issue: There are at least two extended stay facilities in Troy. One is controlled by a consent judgment, and the other is in the MR, Multiple Family zoned district. While it is defined in Article 2 (Definitions), extended stay facilities are not a listed use in the ordinance. Previous practice considered these facilities most similar to hotel. However, hotel is not a permitted use in the multiple family districts. Thus this extended stay facility is considered non-conforming.

The table of uses should be amended to add extended stay facilities as a use. In consideration of similar uses, hotel uses is not most appropriate use to compare such use too. Rather, due to similar operations and impacts, these facilities are more similar to multiple-family and apartments uses, and should be regulated in a similar manner.

Proposed Amendment Language:

Section 4.21:

	R1-A through R-1E	RT	MR	UR	MHP	CF	EP	CB	GB	IB	O	OM	RC	PV	P
Multiple Family Dwelling Unit (2-8 stories)	NP	NP	P	P	NP	NP	NP	NP	NP	P	NP	NP	NP	NP	NP
Multiple Family Dwelling Unit (9 stories +)	NP	NP	NP	P	NP	NP	NP	NP	NP	P	NP	NP	NP	NP	NP

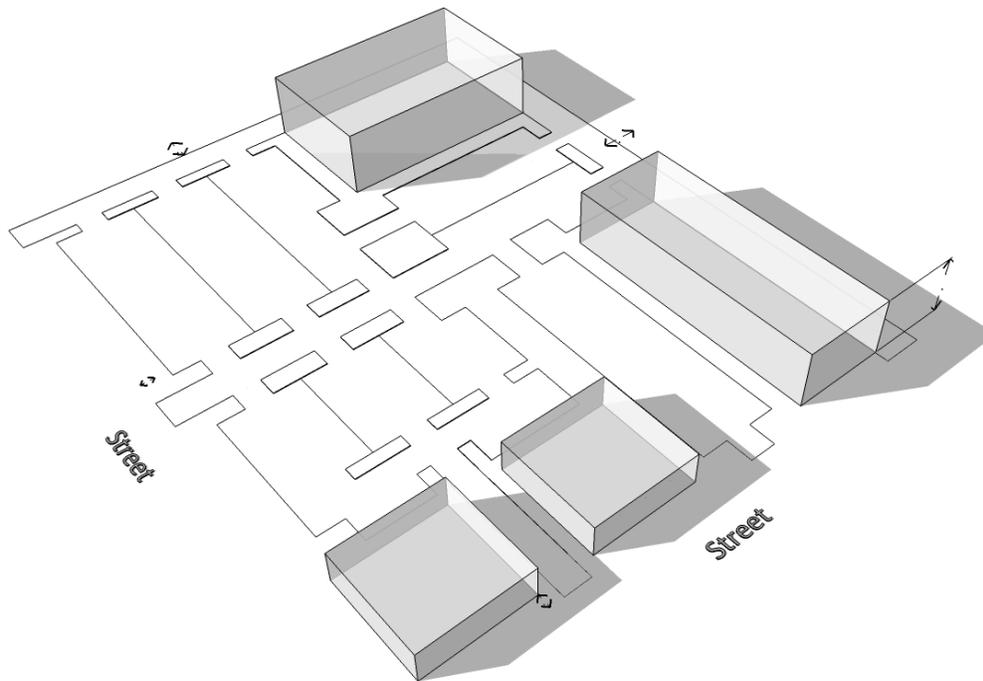
Lodging	NP	NP	NP	NP	NP	NP	NP	S	P	P	NP	S	NP	NP	NP
<u>Extended Stay Facility</u>	<u>NP</u>	<u>NP</u>	<u>P</u>	<u>P</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>P</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>

Minor:

- Section 3.10.C.1.c and d (page 41):** Remove mention that the Planning Commission is the recommending body for Site Condominiums as the Planning Commission is the approving body, as outlined in Section 3.10.C.2.
- Section 4.07 Table (page 51):** Amend “5,000 without sewers” to “5,000 with sewers” and reduce side yard to 5’ for least one and 15’ for least two. Reducing side yard setbacks is consistent with R-1E lot requirements.

Minimum Lot Size Per Dwelling Unit			Maximum Height		Minimum Yard Setback				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings
Area in Sq.Ft (1)	Width in Ft. (1)	Frontage in Ft.	In Stories (2)	In Feet (2)	Front (3)	Sides		Rear (5)		
						Least One (4)	Least Two (4)			
15,000 without sewers	75	N/A	2 ½	30	25	10	20	35	1,000	30%
5,000 with sewers	40	40				5	15			

- Section 4.14 Graphic (page 75):** Amend graphic to include an additional building mid-block (no substantive change to regulations). New Graphic:



4. **Section 4.06-4:18 (pgs. 47, 51, 55, 59,65, 71, 53, 75, 79, 83, 87, and 91):** Amend all district regulation tables so that legend icon is consistent in both graphic and tables. Example below:

Article 4
District Regulations

BACK FORWARD



57

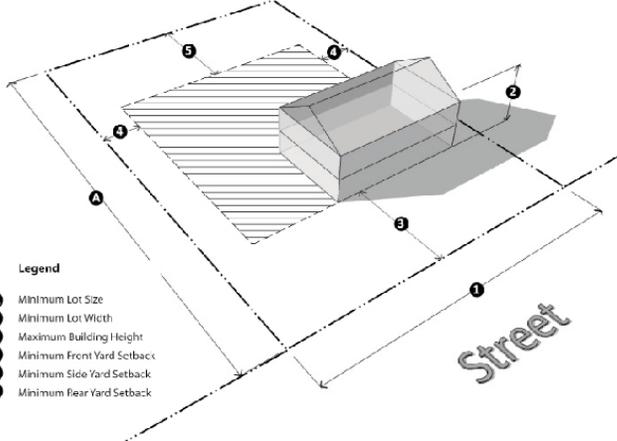
Authority and Administration

Development Regulations

Processes and Procedures

Supplemental Design Regulations

Non-Code Appeals/AMR



Legend

- A** Minimum Lot Size
- 1** Minimum Lot Width
- 2** Maximum Building Height
- 3** Minimum Front Yard Setback
- 4** Minimum Side Yard Setback
- 5** Minimum Rear Yard Setback

Minimum Lot Size Per Dwelling Unit	Maximum Height			Minimum Yard Setback (ft) (Per Lot in Feet)				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings	
	Use District	Area in Sq. Ft. 1	Width in Ft. 1	In Stories 2	In Feet 2	Front 3	Sides Least One 4			Rear Least Two 4
B-1A										
No Sewer	30,000	150	2 1/2	30	40	15	30	45	1,400	30%
Sewer	21,780	120	2 1/2		40	15	30	45	1,400	30%
B-1B										
No Sewer	21,780	110	2 1/2	30	40	15	30	45	1,400	30%
Sewer	15,000	100	2 1/2		40	10	25	45	1,400	30%
B-1C										
No Sewer	21,780	110	2 1/2	30	30	15	30	40	1,200	30%
Sewer	10,500	85	2 1/2		30	10	20	40	1,200	30%
B-1D										
No Sewer	21,780	110	2 1/2	30	25	15	30	40	1,000	30%
Sewer	8,500	75	2 1/2		25	8	20	40	1,000	30%
B-1E										
No Sewer	21,780	110	2 1/2	30	25	15	30	35	1,000	30%

5. **Section 4.21 Schedule of Regulations Table (page 98):** Amend “R-T” to “RT”
6. **Section 4.21 Schedule of Regulations Table (Page 99):** Add “P” to Retail, large-format for CB district
7. **Section 5.03 Form Based Districts Use Groups by Category Table (Page 108):** Remove bold and underline from “Drive-through facilities”
8. **Section 5.04, Section 5.05, and Section 5.06 Form Based District Use Groups Permitted Table (Page 133, 143, and 158):** Amend “Table 5.03-1” to “Table 5.03-A-1”
9. **Section 6.26, Section 6.27, and Section 6.28 (Page 179):** Change text color to black for “Vehicle Repair”, “Vehicle Sales –New, Used, and Vintage”, and “Vehicle Fueling / Multi-Use Station”
10. **Section 6.30.B.2 (Page 182):** Amend “Section 6.29.B.1” to “6.30.B.1”

- 11. Section 10.04.E.2 (Page 225):** Amend “Section 10.04.E.2” to refer to “Section 10.04.D”
- 12. Section 12.04.F.1 and 2.a.i (Page 251):** Amend “R-1T” to “RT”
- 13. Section 13.02 (Page 276):** Add the following label to table: “Table 13.02-C: Minimum Size and Spacing Requirements for Landscaping Materials”
- 14. Section 13.05.C.3 (Page 282):** Amend Section 13.05.C.3: Amend “in an industrial district where” to say “in the IB or PV districts when”

Please contact me if you have any questions.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

MEMORANDUM

TO: R. Brent Savidant, AICP, Planning Director

FROM: Ben Carlisle, AICP

DATE: October 4, 2012

RE: Zoning Ordinance Amendments

At the September 25, 2012 meeting the Planning Commission considered twelve (12) substantive and fourteen (14) minor amendments changes to the April 2011 adopted Zoning Ordinance. The Planning Commission requested changes to amend language for three (3) of the proposed substantive amendments. This memo is a follow up to that discussion. Listed below is the revised language to those three (3) amendments. Please refer to our September 19, 2012 memo for details regarding the entire list of proposed amendments. After the Planning Commission considers the following amendments, a public hearing will be scheduled.

Substantive Amendments:

1. **Section 4.13.D.4.a (CB District Page 72)** : *Parking shall not be located in the front yard.*
Section 4.14.D.4.a (GB District Page 76) : *Parking shall not be located in the front yard.*
Section 4.15.D.4.a (O District Page 84) : *Parking shall not be located in the front yard.*
Section 4.18.D.5.a (RC District Page 92) : *Parking shall not be located in the front yard.*

Previous Planning Commission Consideration:

The Planning Commission agreed that up to 50% of a building's frontage should be allowed as parking in the CB, GB, O, and RC districts. Furthermore, the Planning Commission felt that in order to exceed the 50% limitation, applicants can apply for additional parking through the Sustainable Design Option. The Planning Commission felt that the "stick and carrot" approach is appropriate. In addition, based on comments from the Planning Commission, we have amended the language regarding linear building frontage to be clearer.

A question that came up while preparing the revisions is: Does the parking area need to be located directly in front of the building (i.e. along the building's linear frontage)? In other words, if there is at least 50% open space in the front yard, does it matter where it is located? Being less prescriptive would give the petitioner the ability to be more creative with site design, and design the parking and open space areas more in line with specific needs. However, requiring that any parking in front of a building

be adjacent to such building would likely reduce the overall amount of parking in front of the building and ensure that parking does not dominate the front façade.

With this in mind, we have provided two options: Option 1 limits parking to within buildings' linear frontage only, Option 2 permits parking anywhere within the front yard. Both options limit the portion of area than can be dedicated to parking.

Proposed Amendment Language Option 1: Parking Permitted in Front of Building Only

Section 4. Off-Street Parking Location.

- ~~a. Parking shall not be located in the front yard.~~
- a. No more than fifty (50) percent of a ~~total site's linear feet along the front building line shall be occupied by parking lot.~~ building's linear frontage that is parallel to a public right-of-way shall be occupied by parking. The remaining fifty (50) percent of a building's linear frontage cannot be striped asphalt but shall be a curbed sidewalk, landscaped area, plaza, outdoor dining area, or any combination thereof.
- b. Through the Sustainable Development Option as set forth in Section 12.01 of the Ordinance, relief may be granted to allow greater than fifty (50) percent of a building's linear frontage that is parallel to a public right-of-way as parking.

Proposed Amendment Language Option 2: Parking Permitted Anywhere In Front Yard:

Section 4. Off-Street Parking Location.

- ~~b. Parking shall not be located in the front yard.~~
- c. No more than fifty (50) percent of a ~~total site's linear feet along the front building line shall be occupied by parking lot.~~ building's front yard may be occupied by parking and entry drive. The remaining fifty (50) percent of a building's front yard shall be comprised of curbed sidewalk, landscaped area, plaza, outdoor dining area, or any combination thereof.
- d. Through the Sustainable Development Option as set forth in Section 12.01 of the Ordinance, relief may be granted to allow greater than fifty (50) percent of a building's front yard as parking.

2. Section 4.21 Schedule of Use Regulations Table (Page 101): Reclassify selective automotive limited automotive and transportation uses in the IB district from Special to Permitted.

The Planning Commission agreed that certain uses in the Automotive/Transportation category that have minimal secondary impacts be allowed by-right. However, as noted as a goal of the Master Plan, the Planning Commission wanted to ensure protection of adjacent single-family residential. As such, vehicle sales will remain a special use and additional provisions were added so that Automobile Uses within 300 feet of single family residential use or district be required to be reviewed as a special use.

Proposed Amendment Language:

Section 4.21 Schedule of Use Regulations Table (Page 101):

Automobile Use	IB
Vehicle, recreational vehicle sales	S
Vehicle repair stations	S, P
Vehicle fueling/multi-use stations	S
Vehicle washes	S
Vehicle auctions	S
Antique and classic vehicle sales	S, P
Ambulance facilities	S, P
Vehicle rental	S, P

Section 6.26.F. Vehicle Repair (Page 179):

- F. Any proposed vehicle repair use within three hundred (300) feet (measured from the nearest lot line to the nearest lot line on a straight-line basis) to any residential zoning district or any parcel used for residential purposes shall be reviewed as a special use as set forth in Article 9.

Section 6.31. Antique Vehicle Sale, Ambulance Facility, and Vehicle Rental:

- A. Any proposed antique vehicle sale, ambulance facility, and vehicle rental use within three hundred (300) feet (measured from the nearest lot line to the nearest lot line on a straight-line basis) to any residential zoning district or any parcel used for residential purposes shall be reviewed as a special use as set forth in Article 9.

3. Section 4.21 Schedule of Use Regulations (p.100) and Section 6.16 Lodging (Page 174): Add Extended Stay Facilities as a use to the schedule of use regulations and add Extended Stay Facilities to the special use provisions of Lodging Facilities.

The Planning Commission felt that extended stay facilities should be treated more like a hotel/lodging use than a multiple family use. As such, we have amended the following language to mirror the use regulations of extended stay similar to hotel uses. In addition, we recommend amending Section 6.16 Lodging Facilities special use provisions to add Extended Stay Facilities so that these uses follow the same provisions as lodging facilities.

Proposed Amendment Language:

Section 4.21:

	R1-A through R1-E	RT	MR	UR	MHP	CF	EP	CB	GB	IB	O	OM	RC	PV	P
Multiple Family Dwelling Unit (2-	NP	NP	P	P	NP	NP	NP	NP	NP	P	NP	NP	NP	NP	NP

8 stories)															
Multiple Family Dwelling Unit (9 stories +)	NP	NP	NP	P	NP	NP	NP	NP	NP	P	NP	NP	NP	NP	NP
Lodging	NP	S	P	P	NP	S	NP	NP	NP						
<u>Extended Stay Facility</u>	<u>NP</u>	<u>S</u>	<u>P</u>	<u>P</u>	<u>NP</u>	<u>S</u>	<u>NP</u>	<u>NP</u>	<u>NP</u>						

Section 6.16. Lodging Facilities (Page 174):

SECTION 6.16 LODGING FACILITIES / EXTENDED STAY FACILITIES

Lodging that includes a restaurant, bar/lounge, auditorium, exhibition, or public meeting space shall provide parking to accommodate all uses on the site, in accordance with the standards set forth in Section 13.06.

Please contact me if you have any questions.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

CITY OF TROY

AN ORDINANCE TO AMEND CHAPTER 39 OF THE CODE OF THE CITY OF TROY CITY COUNCIL PUBLIC HEARING DRAFT

The City of Troy ordains:

Section 1. Short Title

This Ordinance shall be known and may be cited as an amendment to Chapter 39, Zoning Ordinance, of the Code of the City of Troy.

Section 2. Amendment

Chapter 39 of the Code of the City of Troy is amended as follows:

1. Amend Section 2.02 to read as follows:

LOT FRONTAGE: The horizontal distance between the side lot lines measured between the points where said lot lines intersect the street right-of-way. Said frontage shall be continuous and unbroken and shall be measured along the constructed portion of the right-of-way only.

2. Add Section 3.02.H to read as follows:

H. Enforce and interpret the meaning and applicability of all provisions and requirements of the ordinance.

3. Amend Section 3.10.C.1.c to read as follows:

c. The recommendation of approval to City Council of all preliminary plats subdividing land, ~~site condominium plans~~, planned unit developments, some special use approval applications, and any amendments or alterations thereof.

4. Amend Section 3.10.C.1.e to read as follows

e. Acting as the approval authority on site plans, site condominiums, and most special use approval applications.

5. Amend Table 4.06.C to read as follows:

Minimum Lot Size Per Dwelling Unit				Maximum Height		Minimum Yard Setback (R) (Per Lot in Feet)				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings
Use District	Area in Sq.Ft (1)	Width in Ft. (1)	Frontage in Ft. (1)	In Stories (2)	In Feet (2)	Front	Sides		Rear		
						(3)	Least One (4)	Least Two (4)	(5)		
R-1A											
No Sewer	30,000	150	<u>150</u>	2 ½	30	40	15	30	45	1,400	30%
Sewer	21,780	120	<u>120</u>	2 ½		40	15	30	45	1,400	30%
R-1B											
No Sewer	21,780	110	<u>110</u>	2 ½	30	40	15	30	45	1,400	30%
Sewer	15,000	100	<u>100</u>	2 ½		40	10	25	45	1,400	30%
R-1C											
No Sewer	21,780	110	<u>110</u>	2 ½	30	30	15	30	40	1,200	30%
Sewer	10,500	85	<u>85</u>	2 ½		30	10	20	40	1,200	30%
R-1D											
No Sewer	21,780	110	<u>110</u>	2 ½	30	25	15	30	40	1,000	30%
Sewer	8,500	75	<u>75</u>	2 ½		25	8	20	40	1,000	30%
R-1E											
No Sewer	21,780	110	<u>110</u>	2 ½	30	25	15	30	35	1,000	30%
Sewer	7,500	60	<u>60</u>	2 ½		25	5	15	35	1,000	30%

6. Add Section 4.06.D.6 Supplemental District Standards to read as follows:

6. LOT FRONTAGE ON CORNER LOTS, CURVED ROADS, AND CUL-DE-SACS:

- a. On all corner lots, the frontage set forth shall be measured on one (1) street only.
- b. For lots on curved streets that have curvilinear frontages, frontage shall be determined by measuring the linear distance along the curve.
- c. In the event that the lot is situated on a cul-de-sac, the frontage, shall be measured along the minimum setback line for the zone in which said lot is located.

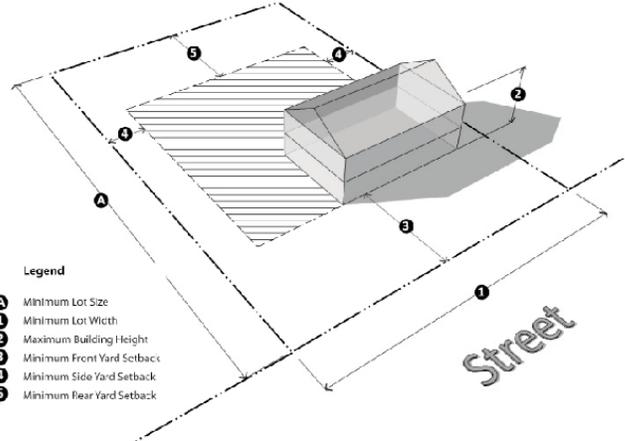
7. Amend Section 4.06-4:18 so that legend icon is consistent in both graphic and tables (eExample below):

Article 4
District Regulations

BACK FORWARD



57



Use District	Minimum Lot Size Per Dwelling Unit		Maximum Height		Minimum Yard Setback (ft) (Per Lot in Feet)				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings
	Area in Sq. Ft. 1	Width in Ft. 1	In Stories 2	In Feet 2	Front 3	Sides Least One 4	Sides Least Two 4	Rear 6		
R-1A										
No Sewer	50,000	150	2 1/2	30	40	15	30	45	1,400	30%
Sewer	21,780	120	2 1/2		40	15	30	45	1,400	30%
R-1B										
No Sewer	21,780	110	2 1/2	30	40	15	30	45	1,400	30%
Sewer	15,000	100	2 1/2		40	10	25	45	1,400	30%
R-1C										
No Sewer	21,780	110	2 1/2	30	30	15	30	40	1,200	30%
Sewer	10,900	85	2 1/2		30	10	20	40	1,200	30%
R-1D										
No Sewer	21,780	110	2 1/2	30	25	15	30	40	1,000	30%
Sewer	8,900	75	2 1/2		25	8	20	40	1,000	30%
R-1E										
No Sewer	21,780	110	2 1/2	30	25	15	30	35	1,000	30%

Authority and Administration

Development Regulations

Processes and Procedures

Supplemental Design Regulations

Non-Code Appeals, A.M.

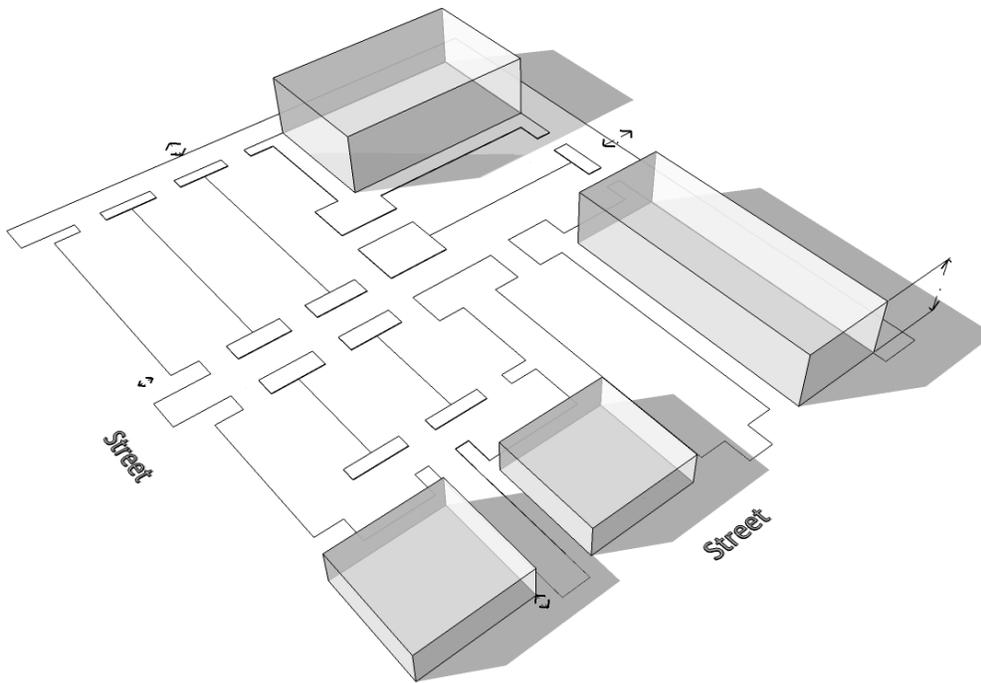
8. Amend Section 4.07 Table to read:

Minimum Lot Size Per Dwelling Unit			Maximum Height		Minimum Yard Setback				Minimum Floor Area Per Unit (Square Feet)	Maximum % of Lot Area Covered by Buildings
Area in Sq.Ft (1)	Width in Ft. (1)	Frontage in Ft.	In Stories (2)	In Feet (2)	Front	Sides		Rear		
					(3)	Least One (4)	Least Two (4)	(5)		
15,000 without sewers	75	N/A	2 ½	30	25	40	20	35	1,000	30%
5,000 without sewers	40	40				5	15			

9. Amend Section 4.13.D.4.a and b, Section 4.14.D.4.a and b, Section 4.16.D.4.a and b, Section 4.18.D.5.a and b to read as follows:

- ~~a. Parking shall not be located in the front yard.~~
- a. No more than fifty (50) percent of the total a site's linear feet along the front building line shall be occupied by parking lot required parking as set forth in Section 4.21 may be located in a front yard.
- b. Through the Sustainable Development Option as set forth in Section 12.01 of the Ordinance, relief may be granted to allow greater than fifty (50) percent of a site's required parking to be located in a front yard.

10. Amend Section 4.14 to replace the existing graphic with the following graphic:



11. Amend Section 4.21 Schedule of Use Regulations Table to read as follows:

Automobile Use	IB
Vehicle, recreational vehicle sales	S
Vehicle repair stations	<u>S P</u>
Vehicle fueling/multi-use stations	S
Vehicle washes	S
Vehicle auctions	S
Antique and classic vehicle sales	<u>S P</u>
Ambulance facilities	<u>S P</u>
Vehicle rental	<u>S P</u>

17. Amend Section 5.03 Form Based Districts Use Group by Category to read as follows:

TABLE 5.03-A-1 USE GROUPS BY CATEGORY	
PRINCIPAL USE	
Use Group 5	Retail, Entertainment, and Service Uses:
	<u>Lodging</u>
	Financial institutions
	General retail
	Retail, large-format
	Shopping centers
	Fitness, gymnastics, and exercise centers
	Theatres and places of assembly
	Indoor commercial recreation establishments
	Restaurant
	Personal services
	Business services

18. Amend Section 5.03 Form Based Districts Use Groups by Category to read as follows:

TABLE 5.03-A-1 USE GROUPS BY CATEGORY	
PRINCIPAL USE	
Use Group 6	Miscellaneous Commercial Uses:
	Building & lumber supply
	Garden centers, nurseries
	Outdoor commercial recreation
	Indoor commercial recreation
	Self-Storage
	Commercial kennels / pet day care
	Drive-through facilities

19. Add Section 5.03.C to read as follows:

C. Landscaping In Form-Based Districts

1. In addition to landscape requirements to Section 13.02, the following landscaping requirements shall apply:
 - a. Supplemental to Section 13.02.E.1.a, a minimum of fifteen percent (15%) of the site area shall be comprised of landscape material.

- b. Landscaping can consist of approved trees, shrubs, ground cover, vines, grasses, or other approved plan material. Up to twenty-five (25%) of the required landscape area may be brick, stone, or pavers or other public plaza elements, but shall not include any parking area or required sidewalks.
- c. Up to twenty-five (25%) of the required landscape area may be relieved through the Sustainable Design Option as outlined in Section 12.01.

20. Amend Section 6.10.C.1 to read as follows:

- 1. Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of ~~twelve (12)~~ ten (10) feet in width and twenty (20) feet in length.

21. Amend Section 6.16 Lodging to read as follows:

Lodging/Extended Stay Facilities that includes a restaurant, bar/lounge, auditorium, exhibition, or public meeting space shall provide parking to accommodate all uses on the site, in accordance with the standards set forth in Section 13.06.

22. Add Section 6.26.F. Vehicle Repair to read as follows:

- F. Any proposed vehicle repair use within three hundred (300) feet (measured from the nearest lot line to the nearest lot line on a straight-line basis) to any residential zoning district or any parcel used for residential purposes shall be reviewed as a special use as set forth in Article 9.

23. Amend Section 6.26, Section 6.27, and Section 6.28 (Page 179) to change text color from blue to black for “Vehicle Repair”, “Vehicle Sales – New, Used, and Vintage”, and “Vehicle Fueling / Multi-Use Station”

24. Amend Section 6.30.B.2 to read as follows

- 2. If it is demonstrated by an applicant that a wireless communication facility is required to be established outside an area identified in Section ~~6.29.B.1~~ 6.30.B.1, then, wireless communication facilities may be applied for elsewhere in the City and must follow the district specific criteria and is subject to the criteria and standards set forth in this Ordinance.

25. Add Section 6.31. Antique Vehicle Sale, Ambulance Facility, and Vehicle Rental to read as follows:

SECTION 6.31: ANTIQUE VEHICLE SALE, AMBULANCE FACILITY, AND VEHICLE RENTAL

- A. Any proposed antique vehicle sale, ambulance facility, and vehicle rental use within three hundred (300) feet (measured from the nearest lot line to the nearest lot line on a straight-line basis) to any residential zoning district or any

parcel used for residential purposes shall be reviewed as a special use as set forth in Article 9.

26. Add Section 6.32 to read as follows:

SECTION 6.32: MULTI-FAMILY DWELLING UNITS IN THE IB DISTRICT

- A. One-story multi-family dwelling building is a permitted use in the IB district only through the conversion of an existing building.

27. Amend Section 7.13.I.4 to read as follows:

4. The maximum duration of use shall be ~~four (4)~~ seven (7) consecutive days for any one (1) event, including setup and takedown, not to exceed four (4) events within a period of twelve (12) calendar months.

28. Amend Section 10.04.E.1 to read as follows:

1. Overall density shall not exceed the number of residential cluster units determined in Section ~~10.05.D~~ 10.04.D, unless a density bonus has been granted by City Council.

29. Amend Section 12.04.F.1.a to read as follows:

1. Setbacks
- a. The distance between a WECS or TMT and the nearest property line shall be at least the one and a half (1.5) times the height of the WECS or TMT for all zoning districts except R1-A, R1-B, R1-C, R1-D, R-1E, CR-1 and ~~R-4T~~ RT Districts. For R1-A, R1-B, R1-C, R1-D, R-1E, CR-1 and ~~R-4T~~ RT Districts, the distance between a WECS or TMT and the nearest property line shall be at least the two (2) times the height of the WECS or TMT. This shall include property lines that abut a public right-of-way.

30. Amend Section 12.04.F.2.a.i to read as follows:

- i. In R1-C, R1-D, R-1E, CR-1 and ~~R-4T~~ RT Districts, on-site WECS and TMTs shall not exceed twenty-five (25) feet in height.

31. Add Section 13.02 add the following title to Table 13.02-C:

Table 13.02-C: Minimum Size and Spacing Requirements for Landscaping Materials

32. Amend Section 13.05.C.3:

3. Height. The maximum height of a base, a pole and fixtures shall be twenty-five (25) feet. A maximum height of thirty (30) feet may be permitted in an

~~industrial district~~ the IB or PV districts where fixtures are no closer than two hundred (200) feet to any residential district.

33. Add Section 16.03.C to read as follows:

C. Standards for Approval. A rezoning may only be approved upon a finding and determination that all of the following are satisfied:

1. The proposed rezoning is consistent with the Master Plan. If the current zoning is in material conflict with the Master Plan, such conflict is due to one of the following:
 - a. A change in City policy since the Master Plan was adopted
 - b. A change in conditions since the Master Plan was adopted.
 - c. An error in the Master Plan.
2. The proposed rezoning will not cause nor increase any non-conformity.
3. Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.
4. The rezoning will not impact public health, safety, and welfare.
5. The rezoning will insure compatibility with adjacent uses of land.

Section 3. Savings

All proceedings pending, and all rights and liabilities existing, acquired or incurred, at the time this Ordinance takes effect, are hereby saved. Such proceedings may be consummated under and according to the ordinance in force at the time such proceedings were commenced. This ordinance shall not be construed to alter, affect, or abate any pending prosecution, or prevent prosecution hereafter instituted under any ordinance specifically or impliedly repealed or amended by this ordinance adopting this penal regulation, for offenses committed prior to the effective date of this ordinance; and new prosecutions may be instituted and all prosecutions pending at the effective date of this ordinance may be continued, for offenses committed prior to the effective date of this ordinance, under and in accordance with the provisions of any ordinance in force at the time of the commission of such offense.

Section 4. Severability Clause

Should any word, phrase, sentence, paragraph or section of this Ordinance be held invalid or unconstitutional, the remaining provision of this ordinance shall remain in full force and effect.

Section 5. Effective Date

This Ordinance shall become effective ten (10) days from the date hereof or upon publication, whichever shall later occur.

This Ordinance is enacted by the Council of the City of Troy, Oakland County, Michigan, at a regular meeting of the City Council held at City Hall, 500 W. Big Beaver, Troy, MI, on the _____ day of _____, 2013.

Dane Slater, Mayor

Aileen Bittner, City Clerk

DATE: January 4, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 1000' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

The petitioner Mondrian Properties initially submitted the above referenced Preliminary Site Plan Approval application for an 8-unit site condominium. The property is currently zoned R-1A (One Family Residential) District. The Planning Commission originally considered this item at the June 26, 2012 Special/Study meeting and postponed the item for two weeks for the petitioner to come back with an alternate plan that takes into consideration comments made at the meeting. The petitioner investigated the One-Family Cluster Option (Section 10.04), but was unable to make it work. Therefore the petitioner seeks approval for an 8-unit site condominium.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report from Carlisle/Wortman Associates, Inc.

cc: Applicant
File/Beachview Estates Site Condominium

G:\SUBDIVISIONS & SITE CONDOS\Beachview Estates Site Condominium Sec 18\Preliminary Review PC Memo 01 08 13.docx

PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW – Proposed Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, 100' South of Long Lake, Section 18, Currently Zoned R-1A (One Family Residential) District

Proposed Resolution # PC-2013-01-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Beachview Estates Site Condominium, 8 units/lots, West side of Beach Road, South of Long Lake, Section 18, within the R-1A (One Family Residential) District, be granted, subject to the following:

1. Submit a revised Preliminary Site Plan that includes the following revisions:
 - a. Reconfigured unit five building footprint.
 - b. Identify proposed lot coverage.
 - c. Show the required 25' x 25' corner clearance on both sides of the new intersection of Beachview Court and Beach Road.
 - d. Show access drive to the detention basin.

2. Provide a 5-foot wide sidewalk along Beach Road or seek a waiver from the Traffic Committee.

3. Obtain all appropriate wetland permits MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body prior to final site plan approval.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

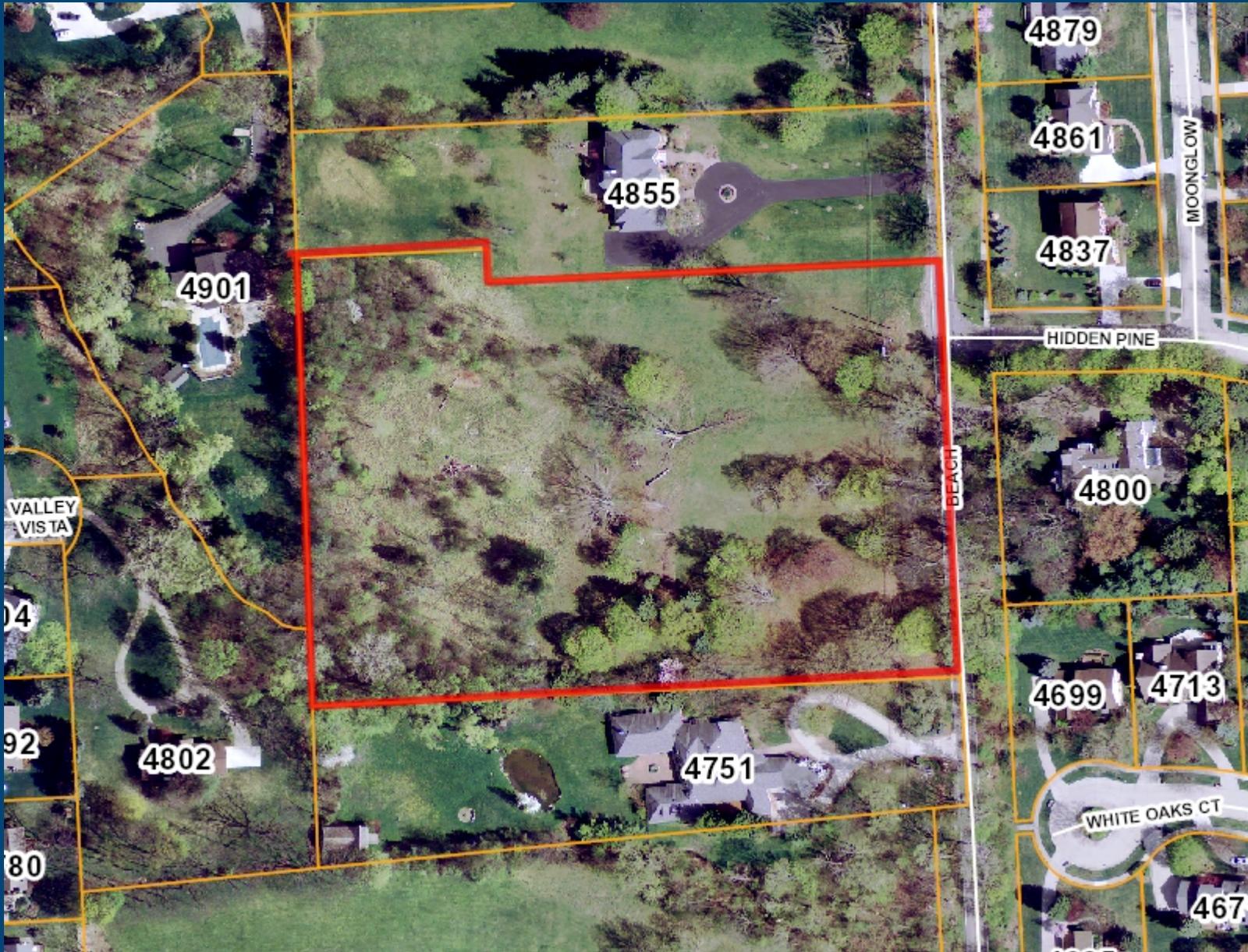
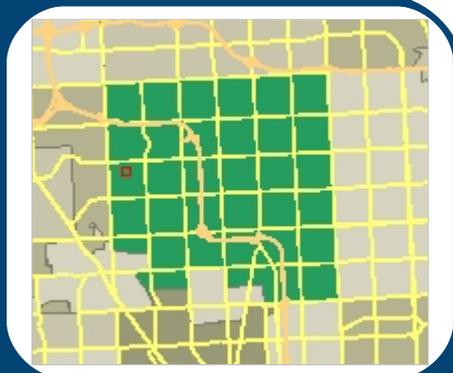
Yes:

No:

MOTION PASSED / FAILED

Beachview Estates Site Condominium

City of Troy Planning Department



Legend

-  I-75
-  Road Centerline
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

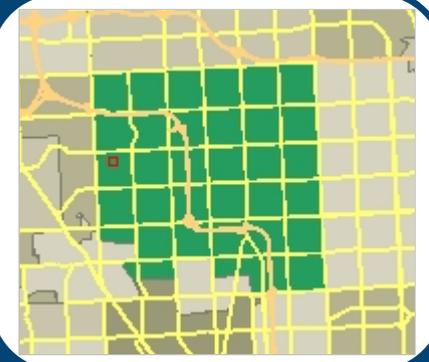
281 0 140 281 Feet

Scale 1: 1,685



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 4/27/2012



Legend

- I-75
- Road Centerline
 - Major Road
 - Industrial Road
 - Local Road
- Current Zoning Ordinance
 - (PUD) Planned Unit Development
 - (CF) Community Facilities District
 - (EP) Environmental Protection District
 - (BB) Big Beaver Road (Form Based)
 - (MRF) Maple Road (Form Based)
 - (NN) Neighborhood Nodes (A-U)
 - (CB) Community Business
 - (GB) General Business
 - (IB) Integrated Industrial Business District
 - (O) Office Building District
 - (OM) Office Mixed Use
 - (P) Vehicular Parking District
 - (R-1A) One Family Residential District
 - (R-1B) One Family Residential District
 - (R-1C) One Family Residential District
 - (R-1D) One Family Residential District
 - (R-1E) One Family Residential District
 - (RT) One Family Attached Residential District
 - (MR) Multi-Family Residential
 - (MHP) Manufactured Housing
 - (UR) Urban Residential
 - (RC) Research Center District
 - (PV) Planned Vehicle Sales
- Ponds and Basins
- Streams and Creeks
- Parcels
- Aerial Photos - 2010
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

281 0 140 281 Feet

Scale 1: 1,685





PROFESSIONAL ENGINEERING ASSOCIATES, INC.
Civil Engineers | Land Surveyors | Landscape Architects

Howell Office • 2900 E. Grand River Ave. • Howell, MI 48843
(P) 517.546.8583 • (F) 517.546.8973 • www.peainc.com

April 4, 2012

PEA Project No. 2011-150

Mondrian Properties
50215 Schoenher
Shelby Township, MI 48315

**RE: WETLAND DELINEATION
BEACHVIEW ESTATES
CITY OF TROY, OAKLAND COUNTY, MI**

On March 28, 2012, Professional Engineering Associates evaluated the subject property for the field indicators of the presence of wetlands as defined by the State of Michigan. Pink wetland survey ribbons were used to delineate a wetland boundary on the 5.5 acre site when all three wetland indicators were present (wetland hydrology, hydric soils, and hydrophytic vegetation) as defined by USACE wetland delineation manual (1987) and the Interim Regional Supplement, Midwest Manual (2008).

The site is located on the west side of Beach Road between Long Lake and Wattles Roads in the City of Troy. The property is undeveloped but previously disturbed. There are areas of rubble and evidence of past clearing and grading. The site is currently vegetated including fields at the east end of the site, scrub brush and wooded areas at the west end of the site.

At the time of the delineation, one wetland was identified on the property. This wetland consisted of a stream that transects the southwest corner of the site. The following report summarizes the characteristics of the wetlands on the property as it appeared at the time of the delineation.

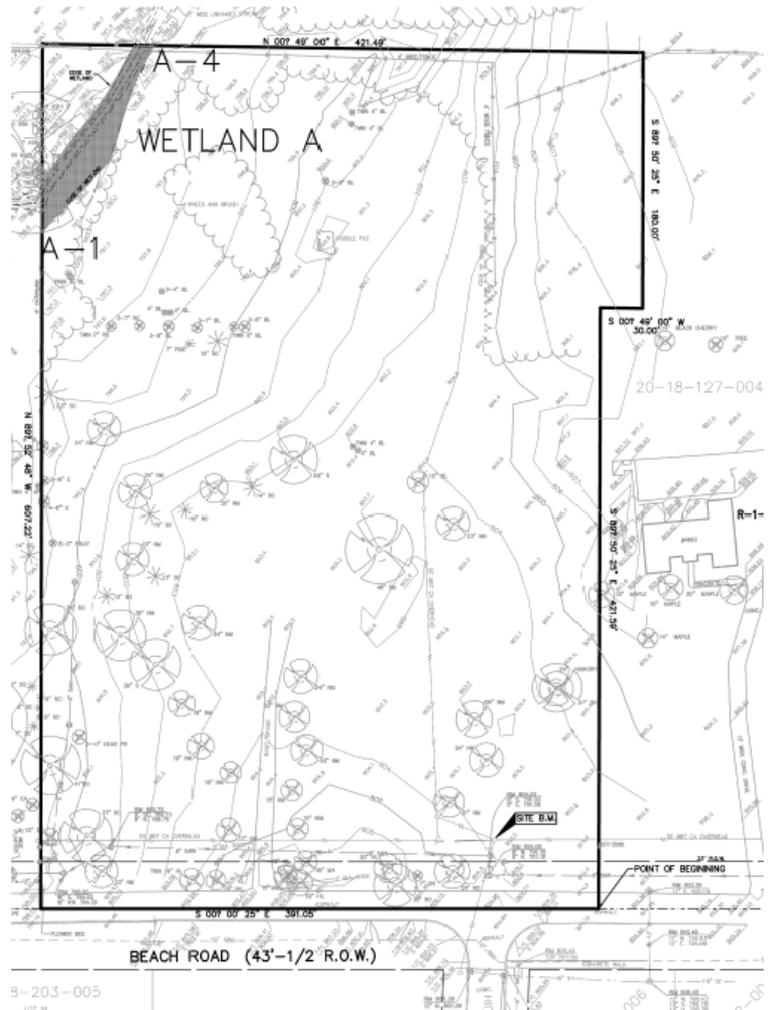
WETLAND AREA 'A' - FLAG # A-1 TO A-4

This wetland is located at the southwest corner of the site and is approximately 2800 sf on the site, but extends off the site. It consists of an unnamed stream that has evidence of bed, bank, and flow and the fringe area on either side of the stream. On the west side of the stream the wetland extends only to the top of bank. On the east side the wetland extends up to 20' past the top of bank of the stream. The stream itself varies in depth from 6" to 24" and exhibited almost no flow on the day of the site inspection. The wetland consisted of all three wetland indicators. The hydrology indicators include water stained leaves, sediment deposits, saturation, water marks, and surface water. A soils evaluation revealed hydric soil was present (thick dark surface, A12). Hydrophytic vegetation was dominant including box elder (*Acer negundo*), red twig dogwood (*Cornus stolonifera*), Bluegrass (*Poa pratensis*). The wetland boundary was defined by the change in hydrology.





Photo of wetland & stream near sample point location at southwest corner of wetland



MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY WETLAND REGULATIONS

Wetlands within 500' of an inland lake, pond, river, or stream, as defined by Part 303 of the Wetlands Protection Act are considered a regulated wetland.

Wetlands that are not within 500' of an inland lake, pond, river, or stream but are more than 5 acres in size, are considered regulated wetlands.

The MDEQ reserves the right to regulate wetlands less than 5 acres in size and more than 500 feet from an inland lake, pond, river, or stream if the MDEQ has determined that these wetlands are essential to the preservation of the State's natural resources.

The MDEQ requires that any wetland alterations that total over 1/3 of an acre in size must be mitigated. The MDEQ can also require mitigation of smaller areas of disturbance, if they believe the wetland to be of high environmental significance for habitat or water quality. The preference of the MDEQ is that wetland mitigation takes place on the project property.

OPINION OF REGULATORY STATUS

Many factors influence the extent of a wetland boundary, including weather patterns, drainage, changes in vegetation, and activities on the site or on adjacent properties at the time of the investigation. The wetland observations completed by PEA for the subject parcel are based on the conditions of the site at the time of our investigation and current policy regarding the procedures used to delineate wetlands.

Please be advised that the MDEQ, U.S. Army Corps of Engineers, and the U.S. Environmental Protection Agency regulate wetlands and ultimately reserve final judgment on the extent of wetlands on any given site. The determination of a wetland on a specific site can vary depending on the conditions offered above, as well as on the agency representative conducting the determination, and current wetland regulations.

The following regulatory status of the wetlands is the opinion of Professional Engineering Associates, Inc. based on the field conditions at the time of the wetland delineation and verification on March 28 , 2012.

Wetland Area 'A' - Regulated due to its location within 500' of a stream

Prepared by:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
Jeffrey T. Smith, RLA, LEED A.P.
Senior Landscape Architect

WETLAND DETERMINATION DATA FORM – Midwest Region

Project/Site: Beachview Estates City/County: Troy, Oakland Sampling Date: 3-28-12
 Applicant/Owner: _____ State: MI Sampling Point: A
 Investigator(s): JTS Section, Township, Range: _____
 Landform (hillslope, terrace, etc.): _____ Local relief (concave, convex, none): _____
 Slope (%): Flat - 1% Long: _____ Datum: _____
 Soil Map Unit Name: _____ NWI classification: _____
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes No _____ (If no, explain in Remarks.)
 Are Vegetation _____, Soil _____, or Hydrology _____ significantly disturbed? Are "Normal Circumstances" present? Yes No _____
 Are Vegetation _____, Soil _____, or Hydrology _____ naturally problematic? (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/>	No _____	Is the Sampled Area within a Wetland? Yes <input checked="" type="checkbox"/> No _____
Hydric Soil Present?	Yes <input checked="" type="checkbox"/>	No _____	
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/>	No _____	
Remarks:			

VEGETATION – Use scientific names of plants.

Tree Stratum (Plot size: <u>30'R</u>)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test worksheet:	
1. <u>Prunus pennsylvanica</u>	<u>5</u>	<u>N</u>	<u>FACU</u>	Number of Dominant Species That Are OBL, FACW, or FAC: <u>3</u> (A) Total Number of Dominant Species Across All Strata: <u>3</u> (B) Percent of Dominant Species That Are OBL, FACW, or FAC: <u>100</u> (A/B)	
2. <u>Acer negundo</u>	<u>50</u>	<u>Y</u>	<u>FACW</u>		
3. _____	_____	_____	_____		
4. _____	_____	_____	_____		
5. _____	_____	_____	_____		
<u>55</u> = Total Cover				Prevalence Index worksheet: Total % Cover of: _____ Multiply by: _____ OBL species _____ x 1 = _____ FACW species _____ x 2 = _____ FAC species _____ x 3 = _____ FACU species _____ x 4 = _____ UPL species _____ x 5 = _____ Column Totals: _____ (A) _____ (B) Prevalence Index = B/A = _____	
Sapling/Shrub Stratum (Plot size: <u>15'R</u>)	Absolute % Cover	Dominant Species?	Indicator Status		
1. <u>R. Cornus stolonifera</u>	<u>50</u>	<u>Y</u>	<u>FACW</u>		
2. <u>Acer negundo</u>	<u>15</u>	<u>Y</u>	<u>FACW</u>		
3. _____	_____	_____	_____		
4. _____	_____	_____	_____		
5. _____	_____	_____	_____		
<u>65</u> = Total Cover					
Herb Stratum (Plot size: <u>5'R</u>)	Absolute % Cover	Dominant Species?	Indicator Status		
1. <u>Poa pratensis</u>	<u>25</u>	<u>Y</u>	<u>FAC-</u>		
2. <u>Fragaria virginiana</u>	<u>3</u>	<u>N</u>	<u>FAC-</u>		
3. <u>Taraxacum officinale</u>	<u>2</u>	<u>N</u>	<u>FACU</u>		
4. _____	_____	_____	_____		
5. _____	_____	_____	_____		
6. _____	_____	_____	_____		
7. _____	_____	_____	_____		
8. _____	_____	_____	_____		
9. _____	_____	_____	_____		
10. _____	_____	_____	_____		
<u>30</u> = Total Cover					
Woody Vine Stratum (Plot size: _____)	Absolute % Cover	Dominant Species?	Indicator Status		
1. _____	_____	_____	_____		
2. _____	_____	_____	_____		
_____ = Total Cover					
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No _____					
Hydrophytic Vegetation Indicators: <input type="checkbox"/> Dominance Test is >50% <input type="checkbox"/> Prevalence Index is ≤3.0 ¹ <input type="checkbox"/> Morphological Adaptations ¹ (Provide supporting data in Remarks or on a separate sheet) <input type="checkbox"/> Problematic Hydrophytic Vegetation ¹ (Explain)					
¹ Indicators of hydric soil and wetland hydrology must be present, unless disturbed or problematic.					
Remarks: (Include photo numbers here or on a separate sheet.)					

SOIL

Sampling Point: _____

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)

Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (moist)	%	Type ¹	Loc ²		
8"	10YR 3/2	80	N/A				Mucky Mineral	
10"	10YR 4/4	75	10YR 4/6	25	RED	PL	Mucky Mineral	

¹Type: C=Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix.

Hydric Soil Indicators:

- Histosol (A1)
- Histic Epipedon (A2)
- Black Histic (A3)
- Hydrogen Sulfide (A4)
- Stratified Layers (A5)
- 2 cm Muck (A10)
- Depleted Below Dark Surface (A11)
- Thick Dark Surface (A12)
- Sandy Mucky Mineral (S1)
- 5 cm Mucky Peat or Peat (S3)

- Sandy Gleyed Matrix (S4)
- Sandy Redox (S5)
- Stripped Matrix (S6)
- Loamy Mucky Mineral (F1)
- Loamy Gleyed Matrix (F2)
- Depleted Matrix (F3)
- Redox Dark Surface (F6)
- Depleted Dark Surface (F7)
- Redox Depressions (F8)

Indicators for Problematic Hydric Soils³:

- Coast Prairie Redox (A16)
- Iron-Manganese Masses (F12)
- Other (Explain in Remarks)

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if observed):

Type: _____
Depth (inches): _____

Hydric Soil Present? Yes No

Remarks: water in hole @ 18"

HYDROLOGY

Wetland Hydrology Indicators:

Primary Indicators (minimum of one is required; check all that apply)

- Surface Water (A1)
- High Water Table (A2)
- Saturation (A3)
- Water Marks (B1)
- Sediment Deposits (B2)
- Drift Deposits (B3)
- Algal Mat or Crust (B4)
- Iron Deposits (B5)
- Inundation Visible on Aerial Imagery (B7)
- Sparsely Vegetated Concave Surface (B8)

Secondary Indicators (minimum of two required)

- Water-Stained Leaves (B9)
- Aquatic Fauna (B13)
- True Aquatic Plants (B14)
- Hydrogen Sulfide Odor (C1)
- Oxidized Rhizospheres on Living Roots (C3)
- Presence of Reduced Iron (C4)
- Recent Iron Reduction in Tilled Soils (C6)
- Thin Muck Surface (C7)
- Gauge or Well Data (D9)
- Other (Explain in Remarks)
- Surface Soil Cracks (B6)
- Drainage Patterns (B10)
- Dry-Season Water Table (C2)
- Crayfish Burrows (C8)
- Saturation Visible on Aerial Imagery (C9)
- Stunted or Stressed Plants (D1)
- Geomorphic Position (D2)
- FAC-Neutral Test (D5)

Field Observations:

Surface Water Present? Yes No Depth (inches): 24"
 Water Table Present? Yes No Depth (inches): 18"
 Saturation Present? (includes capillary fringe) Yes No Depth (inches): _____

Wetland Hydrology Present? Yes No

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: 10' wet. water channel, no flow, up to 2' deep



CARLISLE/WORTMAN ASSOCIATES, INC.
Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

Date: June 14, 2012
December 27, 2012

Site Condominium Review For City of Troy, Michigan

Applicant: Joe Maniaci

Project Name: Beachview Estates

Plan Date: December 14, 2012

Location: West side of Beach Road, south of W. Long Lake Road

Zoning: R1-A, One-family Residential District

Action Requested: Site Condominium Approval

Required Information: Deficiencies noted

PROJECT AND SITE DESCRIPTION

We are in receipt of a site condominium application which includes a site plan, landscape plan, topographic survey, tree preservation plan, wetlands letter, and application forms. The 5.3 acre site is currently unimproved and encumbered with regulated a wetland and tree cover.

The applicant is resubmitting their 8-unit conventional layout single family detached site condominium project that was first introduced in June. In previous submittals, the applicant had submitted a 10-unit redesign as a "Cluster" development; however that development option has been removed by the applicant. The proposed 8-unit residential use is permitted by right in the R-1A District.

Location of Subject Property:

West side of Beach Road, south of W. Long Lake Road.



Size of Subject Property:

The parcel is 5.3 net acres in area.

Proposed Uses of Subject Parcel:

Eight (8) detached, single family homes.

Current Use of Subject Property:

The subject property is currently vacant.

Current Zoning:

The property is currently zoned R-1A, One-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	R-1A, One-family Residential District.	Single-family homes
South	R-1A, One-family Residential District.	Single-family homes
East	R-1B, One-family Residential District	Single-family homes
West	R-1A, One-family Residential District.	Single-family homes

SITE ARRANGEMENT

The proposed site condominium consists of 8-units with lot sizes ranging between 19,605 square feet and 29,584 square feet. The average lot size is 21,819 square feet. The layout proposed by the applicant is a conventional cul-de-sac layout and allows for a simple distribution of the eight (8) units over the property. Access to all units will be via a new public street off Beach Road. The southwest corner of the site will be used for stormwater management.

The proposed lots are regular in shape, allow for adequate setbacks, and permit sufficient space for the homes and ingress and egress for each unit. The applicant is applying the lot size averaging option, permitted and regulated by Section 10.01. All proposed average lot width and average lot areas are within the permitted range described by Section 10.01.

Items to be Addressed: *None.*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Table 4.06.C establishes the requirements for the R-1A District. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	40 foot setback	40 foot setback	Complies
Rear	45 foot setback	Lot Five has 28 foot setback	Building footprint for Lot 5 encroaches into rear yard setback
Side	15 foot minimum for least side setback, 30 foot minimum combined setback	15 foot minimum for least side setback, 30 foot minimum combined setback	Complies
Lot Size per Unit	21,780 square feet (for projects with sewer)	19,605 square feet smallest* 21,818 square feet average	Complies
Maximum Height	30 feet, 2.5 story	29 feet, 6 inches	Complies
Lot Width	120 feet	108 feet smallest*, 124 feet average	Complies
Maximum Lot Area Covered by Buildings	30 percent	Not identified	Not enough information
Minimum Floor Area per Unit	1,400 square feet	+ 3,000 square feet	Complies

*The lot size average option has been applied and Section 10.02 standards have been met.

The house footprint exceeds the building envelope on unit 5. It should be removed and replaced with a house designed to meet setbacks. While the applicant appears to comply with the maximum lot area

covered by buildings, detailed calculations have not been provided. The applicant should confirm these calculations as part of the final site plan submittal.

Items to be addressed: 1). Reconfigure lot five building footprint; and 2). Identify maximum proposed lot area covered by buildings.

SITE ACCESS AND CIRCULATION

Vehicular access:

Access to all eight (8) lots will be from a newly constructed private road off Beach Road aptly named "Beachview Court". The proposed Beachview Court meets all public road requirements; however the City Traffic Engineering Department notes that:

1. The applicant shall show and maintain the 25' x 25' corner clearance on both sides of the new intersection of Beachview Court and Beach Road.
2. Show an access drive to the detention basin.

Pedestrian access:

The applicant is providing a 5-foot wide sidewalk along the entire length of the newly created Beachview Court. In previous submittals, the applicant did show a 5-foot wide sidewalk along Beach Road. This sidewalk has been removed. If they are not providing a sidewalk they must seek a waiver from the Traffic Committee.

Items to be Addressed: 1). Show the required 25' x 25' corner clearance on both sides of the new intersection of Beachview Court and Beach Road; 2). Show an access drive to the detention basis; and 3). Provide a 5-foot wide sidewalk along Beach Road or seek a waiver from the Traffic Committee.

NATURAL RESOURCES

The subject property is currently unimproved and is encumbered with one regulated wetland and tree stands.

Wetlands:

Wetland "A" is located in the southwest corner of the lot, adjacent to the area proposed for stormwater management. Based a submitted letter from Professional Engineering Associates, Wetland "A" is a regulated wetland due to its location within 500' of a stream. As a result, the applicant is required to take the appropriate measures to protect this wetland. Prior to final site plan approval the applicant is required to receive the appropriate permits from MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body.

Trees:

The applicant has provided a tree preservation plan which notes that outside of a few select trees in the southeast corner of the site, select trees within the parkway, and trees preserved subject to selective clearance by the builder, all site trees will be removed. The applicant has removed the proposed

retaining wall along the southern property line. Eliminating the retaining wall will allow the preservation of a 41-inch Red Oak. We encourage the applicant to selectively clear only those trees necessary and attempt to preserve as many significant trees as possible.

Items to be Addressed: 1.) Obtain all appropriate wetland permits from MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body prior to final site plan approval.

LANDSCAPING

The Landscape Plan includes thirty-three (33) Norway Spruces to be planted as screening along Beach Road and a combination of six (6) Sugar Maples, eight (8) Cleveland Pear, and five (5) Red Oak along the newly created Beachview Court. All proposed species fall within Troy regulations and are not prohibited.

Though not required by ordinance, the applicant has shown the installation of twenty (20) Norway Spruces along the southern property line as part of an agreement with the adjacent property owner.

Site condominium and subdivision landscaping are regulated by Section 13.02.F.2.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Frontage Screening	Beach Road: One evergreen tree for every 10 lineal feet = 33 trees	20 new Spruce and 1 existing Scotch Pine	Complies
Greenbelt Street Trees	Beachview Court: 1 tree for every 50 linear feet = 19 trees	19 streets (6 Sugar Maples, 8 Cleveland Pear, and 5 Red Oak)	Complies

The applicant has provided the required evergreen screen along Beach Road and the required greenbelt planting along Beachview Court. The applicant complies with all landscaping requirements.

Items to be Addressed: None

STORMWATER DETENSION

The applicant’s stormwater detention will connect to a storm sewer approximately 240 feet south of the site through the adjacent southern property. The applicant has received an easement from the adjacent south side property owner.

Items to be Addressed: none

SUBMITTAL REQUIREMENTS

Section 10.02.C requires that all site condominium projects shall comply with the standards and procedures set forth in Article 8, Site Plan Review and several unique standards. The only standard for the preliminary plan is that the street pattern and fully dimensioned residential parcel layout, including

proposed building configurations, as well as preliminary sanitary sewer, storm sewer, and water main layout must also be submitted. This submittal includes all the required information, with the exception of the proposed building configurations. No building information is provided with this submittal.

Section 10.02.E. regulates physical improvements associated with condominium projects. It requires the following:

1. *Principal access and circulation through a site condominium shall be provided by public streets constructed to City standards, within sixty (60) foot wide rights-of-way. Secondary access and circulation through such developments, on which some of the residential parcels may have their sole frontage, may be provided by twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access. Satisfied.*

2. *Principal access to site condominium of five (5) acres or less in area may be provided by way of twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access, when in the opinion of the City Council the property configuration is such that the provision of conforming dwelling unit parcels is impractical. Not applicable.*

3. *All entrances to major or secondary thoroughfares shall include deceleration, acceleration and passing lanes as required by Engineering Standards of the City of Troy. Not applicable.*

4. *Sidewalks shall be constructed, in accordance with City Standards, across the frontage of all dwelling unit parcels. Utilities shall be placed within street rights-of-way, or within easements approved as to size and location by the City Engineer. Satisfied.*

5. *All shall be served by public water, sanitary sewer, storm sewer and detention/retention systems constructed to City standards, at the expense of the developer. Easements over these systems shall be conveyed and recorded before occupancy permits are issued for dwelling units. The applicant has proposed full utilities, but all proposed configurations and easements are subject to approval by the City engineering department.*

As noted above, all condominium projects are subject to Section 8.05.A.7, which establishes the requirements for a preliminary site plan submittal, which is required under the site condominium regulations. Three additional requirements are specifically identified for residential projects. The three additional requirements, identified in 8.05.A.7.o, include:

i. *Calculation of the dwelling unit density allowable and a statement of the number of dwelling units, by type, to be provided. Satisfied.*

ii. *Topography on site and fifty (50) feet beyond, drawn at two (2) foot contour intervals, with existing drainage courses, flood plains, wetlands, and tree stands indicated. Satisfied.*

iii. *The typical floor plans and elevations of the proposed buildings, with building height(s). Satisfied.*

Items to be Addressed: none

RECOMMENDATIONS

We support the proposed project and believe the project meets ordinance requirements. Most of the items that need to be further addressed by the applicant are engineering and utility related, which are worked out through the final engineering process. As such, we recommend that the Planning Commission approve the preliminary site condominium application, as conditioned on the applicant satisfying the following requirements as part of the final site plan submittal:

1. Reconfigure lot five building footprint.
2. Identify proposed lot coverage.
3. Show the required 25' x 25' corner clearance on both sides of the new intersection of Beachview Court and Beach Road.
4. Show access drive to the detention basin.
5. Provide a 5-foot wide sidewalk along Beach Road or seek a waiver from the Traffic Committee.
6. Obtain all appropriate wetland permits MDEQ, Oakland County Soil Erosion, Oakland County Water Resources Commissioner, City of Troy, and any other appropriate body prior to final site plan approval.

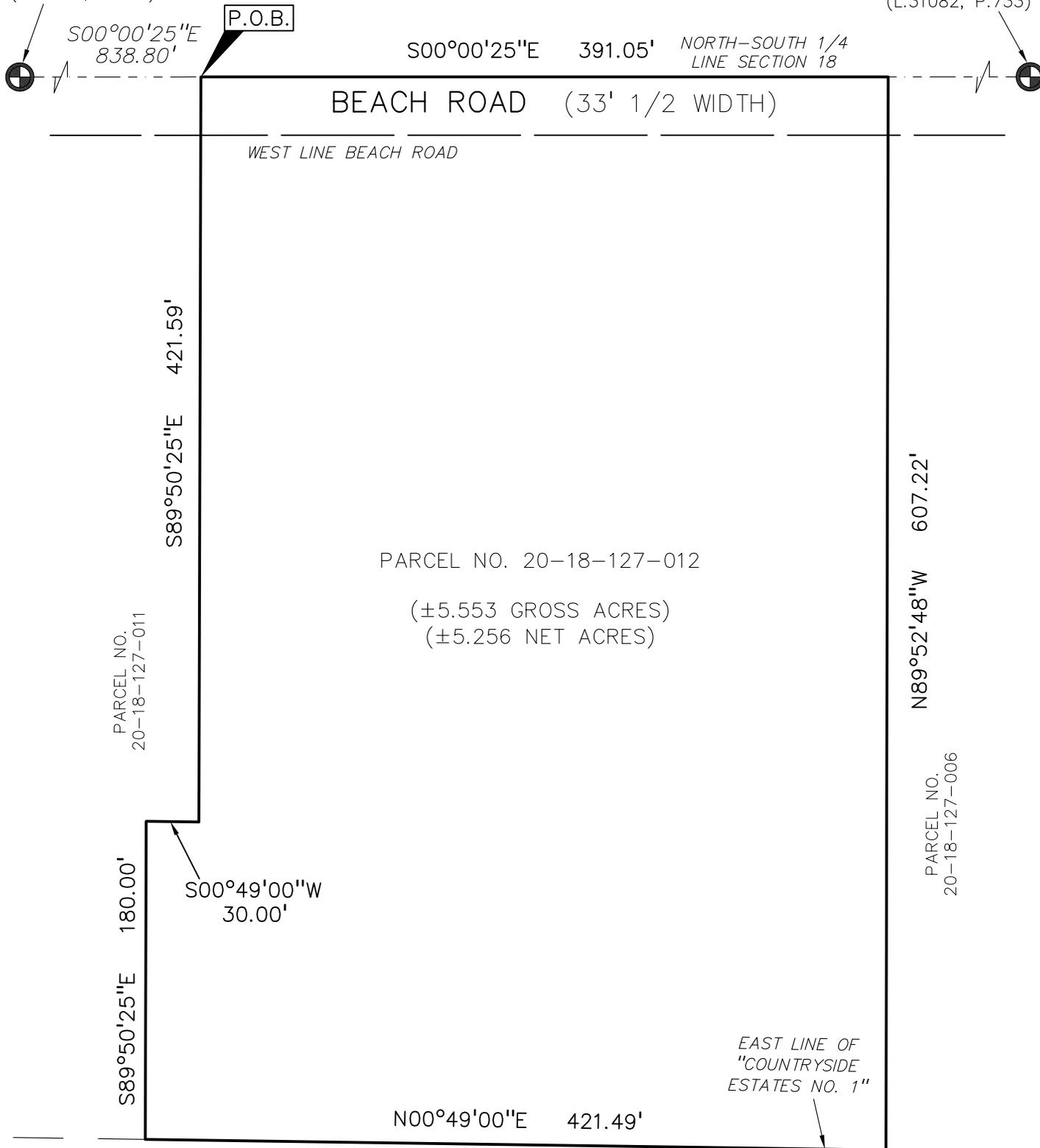


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

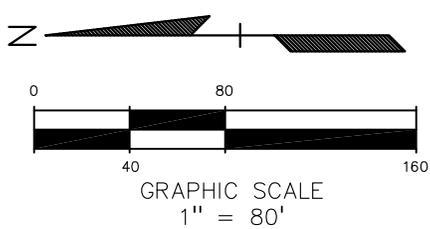
NORTH 1/4 CORNER
SECTION 18
T.2N., R.11E.
(L.21626, P.459)

SKETCH OF SURVEY

CENTER OF SECTION 18
T.2N., R.11E.
(L.31082, P.733)



BASIS OF BEARING
BEARING IS BASED
ON THE EAST LINE
OF "COUNTRYSIDE
ESTATES" (L.82 OF
PLATS, P.9, O.C.R.)



PROFESSIONAL
ENGINEERING
ASSOCIATES

CLIENT: MONDRIAN PROPERTIES 50215 SCHOENHERR SHELBY TOWNSHIP, MI 48315	SCALE: 1" = 80'	JOB No: 2011-150	2430 Rochester Ct. Suite 100 Troy, MI 48083-1872 (248) 689-9090
	DATE: 4-9-12	DWG. No: 1 of 2	

SKETCH OF SURVEY

LEGAL DESCRIPTION

(Per Professional Engineering Associates)

PARCEL NO. 20-18-127-012

Part of the Northwest 1/4 of Section 18, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, commencing at the North 1/4 corner of Section 18; thence along the north-south 1/4 line of said Section 18, S00°00'25"E, 838.80 feet to the Point of Beginning;

thence continuing along said north-south 1/4 line, S00°00'25"E, 391.05 feet; thence N89°52'48"W, 607.22 feet to a point on the east line of "Countryside Estates No. 1" (Liber 95, Page 27, Oakland County Records); thence along said east line and also the east line of "Countryside Estates" (Liber 82 of plat, Page 9, O.C.R.), N00°49'00"E, 421.49 feet;

thence S89°50'25"E, 180.00 feet;

thence S00°49'00"W, 30.00 feet;

thence S89°50'25"E, 421.59 feet to the aforementioned north-south 1/4 line of said Section 18 and the Point of Beginning.

Containing 5.553 gross acres of land, more or less, and subject to the rights of the public over the easterly 33 feet of the subject parcel, known as Beach Road.

I, Kevin T. Roach, a Licensed Land Surveyor in the State of Michigan, certify that I have surveyed the parcel(s) of land hereon described. The seller of this property is required to record this instrument at the time of sale.

KEVIN T. ROACH P.S. 47971 (AGENT FOR P.E.A.)

PROFESSIONAL
ENGINEERING
ASSOCIATES

CLIENT:
MONDRIAN PROPERTIES
50215 SCHOENHERR
SHELBY TOWNSHIP, MI 48315

SCALE: 1"= 80'

JOB No: 2011-150

DATE: 4-9-12

DWG. No: 2 of 2

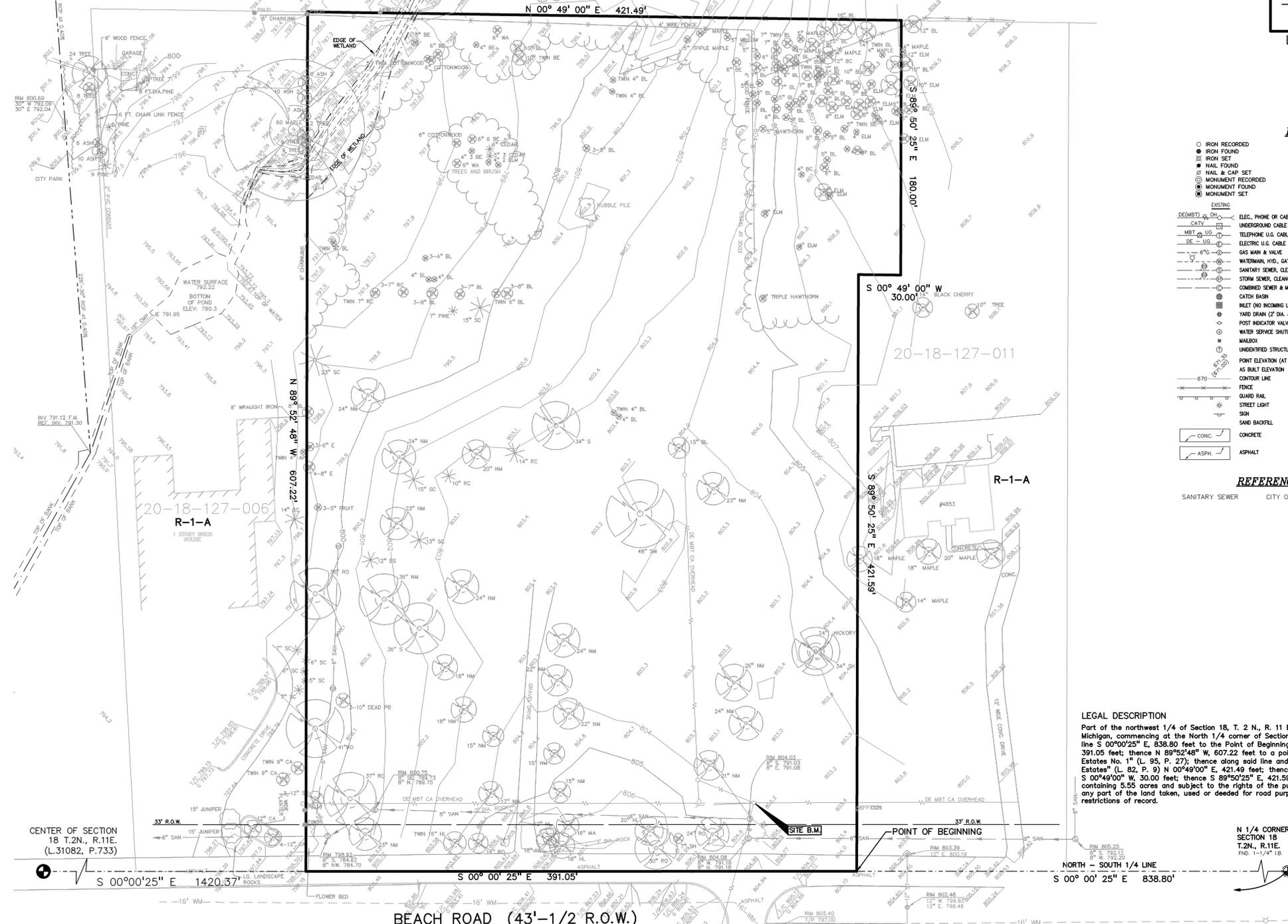
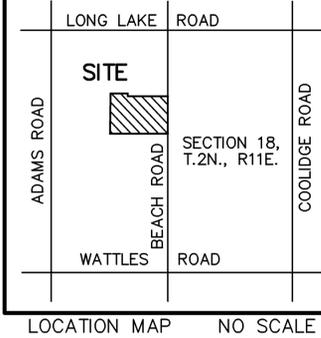
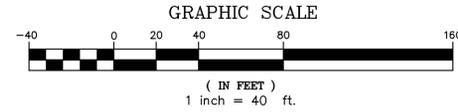
2430 Rochester Ct. Suite 100
Troy, MI 48083-1872
(248) 689-9090

SITE BENCHMARK
 SET P.K. IN SOUTHWEST
 FACE OF UTILITY POLE
 ELEV. = 804.65

REFERENCE BENCHMARKS
 1. NORTH CORNER OF WEST
 WINGWALL OF BRIDGE AT
 BEACH RD. AND ROUGE
 RIVER CROSSINGS.
 ELEV. = 773.25 NAVD88 DATUM
 2. ARROW ON HYDRANT 600'
 NO. OF BRIDGE AT BEACH
 RD. AND ROUGE RIVER -
 EAST SIDE OF BEACH,
 OPPOSITE RED FOX TRAIL.
 ELEV. = 780.44 NAVD88 DATUM
 3. ARROW ON HYDRANT 1200'
 NO. OF BRIDGE AT BEACH RD.
 AND ROUGE RIVER
 ELEV. = 787.26 NAVD88 DATUM

COUNTRYSIDE ESTATES #1
 (L.95,P.27)
 LOT 22
 20-18-126-011

COUNTRYSIDE ESTATES
 SUBDIVISION(L.82,P.9)
 LOT 14
 20-18-126-010



- LEGEND**
- | | |
|---------------------|------------------------|
| ○ IRON RECORDED | ● SEC. CORNER RECORDED |
| ● IRON FOUND | ● SEC. CORNER FOUND |
| ● NAIL SET | R RECORDED |
| ● NAIL & CAP SET | M MEASURED |
| ● MONUMENT RECORDED | C CALCULATED |
| ● MONUMENT FOUND | |
- EXISTING**
- DEMINT. W. OR CATV. → ELEC., PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
 - MBT. U.G. → UNDERGROUND CABLE TV
 - MBT. U.G. → TELEPHONE U.G. CABLE, SPURRING BOX & MANHOLE
 - DE - U.G. → ELECTRIC U.G. CABLE & MANHOLE
 - 6" → GAS MAIN & VALVE
 - WATERMAN, HYD. GATE, VALVE, TAPPING SLEEVE & VALVE
 - SANITARY SEWER, CLEANOUT & MANHOLE
 - STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED SEWER & MANHOLE
 - CATCH BASIN
 - INLET (NO INCOMING LINES)
 - YARD DRAIN (2" DIA. & SMALLER)
 - POST INDICATOR VALVE
 - WATER SERVICE SHUTOFF, HYDRANT VALVE BOX
 - MAILBOX
 - UNIDENTIFIED STRUCTURE
 - POINT ELEVATION (AT DECIMAL OR END OF LEADER)
 - AS BUILT ELEVATION
 - CONTOUR LINE
 - FENCE
 - QUARD RAIL
 - STREET LIGHT
 - SIGN
 - SAND BACKFILL
- PROPOSED**
- CONC. → CONCRETE
 - ASPH. → ASPHALT
- REFERENCE DRAWINGS**
- SANITARY SEWER CITY OF TROY, JOB #88-4-01.1 DATED 1/4/90

LEGAL DESCRIPTION
 Part of the northwest 1/4 of Section 18, T. 2 N., R. 11 E., City of Troy, Oakland County, Michigan, commencing at the North 1/4 corner of Section 18, thence along the north/south 1/4 line S 00°00'25" E, 838.80 feet to the Point of Beginning; thence continuing S 00°00'25" E, 391.05 feet; thence N 89°52'48" W, 607.22 feet to a point on the east line of "Countryside Estates No. 1" (L. 95, P. 27); thence along said line and also the east line of "Countryside Estates" (L. 82, P. 9) N 00°49'00" E, 421.49 feet; thence S 89°50'25" E, 180.00 feet; thence S 00°49'00" W, 30.00 feet; thence S 89°50'25" E, 421.59 feet to the Point of Beginning, containing 5.55 acres and subject to the rights of the public and of any governmental unit in any part of the land taken, used or deeded for road purposes and subject to easements and restrictions of record.

CENTER OF SECTION
 18 T.2N., R.11E.
 (L.31082, P.733)

N 1/4 CORNER
 SECTION 18
 T.2N., R.11E.
 FND. 1-1/4" 18.

BEACH ROAD (43'-1/2 R.O.W.)

20-18-203-005 LOT 91
 OAK RIVER SUBDIVISION #2
 (L. 184,P. 1-3)

20-18-202-011 R-1-B

20-18-202-006 LOT 1

20-18-202-005 LOT 2

NO.	BY	CHK	DESCRIPTION	DATE

CAUTION!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE THE PROPERTY OF THE UTILITY COMPANIES AND ARE NOT TO BE USED, REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PEAC ASSOCIATES, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHER RIGHTS ARE HEREBY SPECIALLY RESERVED. © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO ALL CONTRACTORS AND SHALL BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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 Phone: (248) 689-9090
 Fax: (248) 689-1044
 website: www.peainc.com

MONDRIAN PROPERTIES 50215 SCHOENHEHR SHELBY TOWNSHIP, MI 48315	TOPOGRAPHIC SURVEY BEACHVIEW ESTATES SITE CONDOMINIUM A PART OF THE NW 1/4 OF SECTION 18, T.2N., R.11E. CITY OF TROY, OAKLAND COUNTY, MICHIGAN	DES. JEC	DN. JEC	SUR. JEC	RS. JEC	P.M. DNH
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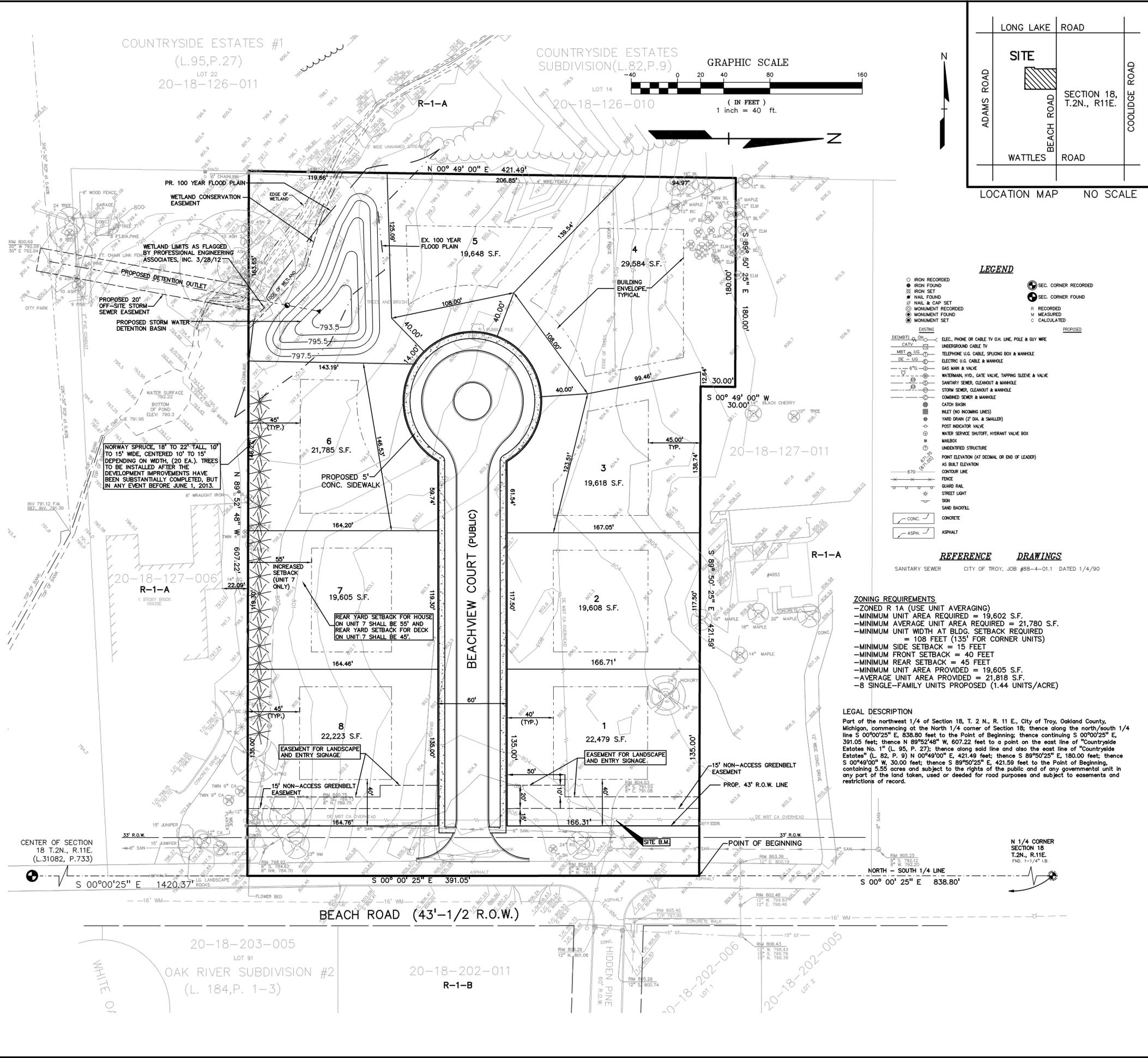
ORIGINAL
 ISSUE DATE: JUNE 7, 2012
 PEA JOB NO. 2011-150
 SCALE: 1" = 40'
 DRAWING NUMBER:
T-1

SITE BENCHMARK
 SET P.K. IN SOUTHWEST
 FACE OF UTILITY POLE
 ELEV. = 804.65

REFERENCE BENCHMARKS

1. NORTH CORNER OF WEST WINGWALL OF BRIDGE AT BEACH RD. AND ROUGE RIVER CROSSINGS.
ELEV. = 773.25 NAVD88 DATUM
2. ARROW ON HYDRANT 600' NO. OF BRIDGE AT BEACH RD. AND ROUGE RIVER - EAST SIDE OF BEACH, OPPOSITE RED FOX TRAIL.
ELEV. = 780.44 NAVD88 DATUM
3. ARROW ON HYDRANT 1200' NO. OF BRIDGE AT BEACH RD. AND ROUGE RIVER
ELEV. = 787.26 NAVD88 DATUM

- NOTES:**
1. THE SANITARY SEWER SYSTEM WILL OUTLET TO AN EXISTING 8" SEWER ON THE WEST SIDE OF BEACH ROAD.
 2. THE WATER SYSTEM WILL CONNECT TO THE EXISTING 16" WATER MAIN ON THE EAST SIDE OF BEACH ROAD.
 3. STORMWATER WILL BE COLLECTED IN AN UNDERGROUND SYSTEM AND DETAINED IN A DETENTION BASIN ON THE SOUTH SIDE OF THE PROPERTY WHICH WILL HAVE A RESTRICTED OUTLET TO A STORM SEWER APPROXIMATELY 240' SOUTH OF THE SITE.
 4. PAVEMENT SHALL BE 28" WD. BACK TO BACK, 7" THICK PORTLAND CEMENT CONCRETE WITH A 4" INTEGRAL, MOUNTABLE CURB AND GUTTER.
 5. SOIL EROSION CONTROL WILL BE PROVIDED PER THE O.C.W.R.C. AND CITY OF TROY REQUIREMENTS.
 6. IMPROVEMENTS IN THE BEACH ROAD RIGHT-OF-WAY WILL BE DONE IN ACCORDANCE WITH THE CITY OF TROY DESIGN STANDARDS.
 7. EXISTING AND PROPOSED 100 YEAR FLOOD PLAIN LIMITS SHOWN AS COMPUTED IN A HYDRAULIC STUDY PREPARED BY SPALDING-BEDDEKER ASSOCIATES, INC., DATED APRIL 3, 2000 AND ACCEPTED BY THE CITY OF TROY ENGINEERING DEPARTMENT IN A LETTER DATED APRIL 6, 2000.
 8. THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY HAS DETERMINED THAT IT DOES NOT HAVE JURISDICTION OVER THE FLOODPLAIN IN THIS AREA IN A LETTER DATED FEBRUARY 13, 1999.
 9. TREES AND RETAINING WALL ADJACENT TO THE ABBOTT PROPERTY ARE TO BE MAINTAINED IN GOOD CONDITION, AND REPAIRED AND REPLACED, IF AND WHEN NECESSARY, IN PERPETUITY, AT THE SOLE COST AND EXPENSE OF THE DEVELOPER, AND SUBSEQUENTLY THE CONDOMINIUM ASSOCIATION, FOR THE BENEFIT OF, AND TO AVOID FLOODING ON, THE ABBOTT PROPERTY.
 10. SOME PART OF THE HOUSE ON PROPOSED UNIT 7 WILL TOUCH THE FRONT SETBACK LINE. THE DEVELOPER WILL USE ITS BEST EFFORTS TO CAUSE SOME PART OF THE HOUSES TO BE CONSTRUCTED ON PROPOSED UNITS 6 AND 8 TO TOUCH THE FRONT SETBACK LINE FOR EACH OF THOSE UNITS.
 11. THE GRADES SHOWN ON THE SITE PLAN APPLICATION WILL NOT BE RAISED MORE THAN 18" IF REQUIRED DURING THE PREPARATION OF THE FINAL ENGINEERING PLANS.
 12. THE PROPOSED DETENTION BASIN AND OUTLET FROM THE PROPOSED DETENTION BASIN TO THE EASEMENT THAT WILL RUN ACROSS THE ABBOTT PROPERTY WILL INCLUDE AN APPROPRIATE OUTFLOW RESTRICTOR SYSTEM THAT WILL BE DESIGNED TO CONTROL THE RATE OF THE FLOW OF WATER THROUGH THE ABBOTT PARCEL. DEVELOPER WILL PROVIDE FOR APPROPRIATE RESTORATION OF THE SITE.
 13. THE PROPOSED STORM DRAIN AND EASEMENT ACROSS THE ABBOTT PROPERTY WILL BE LOCATED IN SUCH A MANNER AS TO ATTEMPT TO MINIMIZE THE IMPACT TO THE EXISTING TREES ON THE ABBOTT PROPERTY, WHICH MAY CAUSE THE FINAL EASEMENT LOCATION TO BE SLIGHTLY NORTH OF THE CURRENT LOCATION SHOWN ON THE SITE PLAN.
 14. IN THE EVENT THE DETENTION BASIN AND THE EASEMENT ACROSS THE ABBOTT PROPERTY ARE NOT OWNED BY THE CITY OF TROY, THE DETENTION BASIN AND THE OUTFLOW RESTRICTOR SYSTEM ARE TO BE MAINTAINED IN GOOD CONDITION, AND REPAIRED AND REPLACED, IF AND WHEN NECESSARY, IN PERPETUITY, AT THE SOLE COST AND EXPENSE OF THE DEVELOPER, AND SUBSEQUENTLY THE CONDOMINIUM ASSOCIATION, FOR THE BENEFIT OF, AND TO AVOID FLOODING ON, THE ABBOTT PROPERTY.
 15. MR. ABBOTT SHALL BE GIVEN APPROPRIATE NOTICE BEFORE ANY WORK IS PERFORMED ON HIS PROPERTY. APPROPRIATE EVIDENCE OF INSURANCE SHALL BE DELIVERED TO MR. ABBOTT FROM THE DEVELOPER AND ALL CONTRACTORS WORKING ON THE ABBOTT PROPERTY PRIOR TO ANY WORK BEING PERFORMED, AND ALL WORK TO BE DONE ON THE ABBOTT PROPERTY SHALL BE DONE IN A MANNER THAT CAUSES THE LEAST POSSIBLE DISRUPTION TO THE USE OF THE ABBOTT PROPERTY.
 16. NO WORK WHATSOEVER SHALL BE PERFORMED IN THE BEACH ROAD RIGHT-OF-WAY ALONG THE FRONTAGE OF THE ABBOTT PROPERTY WITHOUT THE MUTUAL AGREEMENT OF THE DEVELOPER AND THE OWNER OF THE ABBOTT PROPERTY.
 17. HOUSES TO BE CONSTRUCTED WITHIN BEACHVIEW ESTATES SHALL CONTAIN A MINIMUM OF 3,000 SQUARE FEET OF FLOOR AREA, EXCLUDING GARAGES.
 18. ALL SUBDIVISION DEVELOPMENT IMPROVEMENTS SHALL BE SUBSTANTIALLY INSTALLED AND COMPLETED, EXCEPTING ONLY PUNCH LIST OR MINOR ITEMS, WITHIN ONE YEAR OF THE DATE ON WHICH FINAL ENGINEERING APPROVAL IS GRANTED BY THE CITY.
 19. THE MASTER DEED FOR BEACHVIEW ESTATES WILL INCLUDE A PROVISION THAT WILL CAUSE THE CONDOMINIUM ASSOCIATION FOR BEACHVIEW ESTATES TO BE BOUND BY APPLICABLE OBLIGATIONS AND RESTRICTIONS SET FORTH IN THESE NOTES.



LEGEND

○ IRON RECORDED	○ SEC. CORNER RECORDED
● IRON FOUND	○ SEC. CORNER FOUND
⊗ NAIL FOUND	○ MEASURED
⊗ NAIL & CAP SET	○ CALCULATED
⊗ MONUMENT RECORDED	
⊗ MONUMENT FOUND	

EXISTING

- DEMINT. ON CATV
- MBT. U.S. TELEPHONE U.G. CABLE, SPUNGING BOX & MANHOLE
- DE - U.S. ELECTRIC U.G. CABLE & MANHOLE
- 6" GAS MAIN & VALVE
- WATERMAIN, HYD. GATE VALVE, TAPPING SLAVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN
- INLET (NO INCOMING LINES)
- YARD DRAIN (2" DIA. & SMALLER)
- POST INDICATOR VALVE
- WATER SERVICE SHUTOFF, HYDRANT VALVE BOX
- MAILBOX
- UNIDENTIFIED STRUCTURE
- POINT ELEVATION (AT DECIMAL OR END OF LEADER)
- AS BUILT ELEVATION
- CONTOUR LINE
- FENCE
- QUAD MAIL
- STREET LIGHT
- SIEN
- SAND BACKFILL

PROPOSED

- CONC. CONCRETE
- ASPH. ASPHALT

ZONING REQUIREMENTS

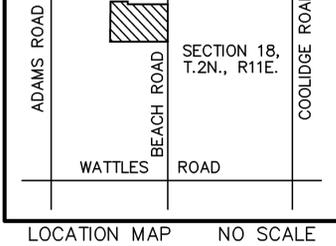
- ZONED R-1A (USE UNIT AVERAGING)
- MINIMUM UNIT AREA REQUIRED = 19,602 S.F.
- MINIMUM AVERAGE UNIT AREA REQUIRED = 21,780 S.F.
- MINIMUM UNIT WIDTH AT BLDG. SETBACK REQUIRED = 108 FEET (135' FOR CORNER UNITS)
- MINIMUM SIDE SETBACK = 15 FEET
- MINIMUM FRONT SETBACK = 40 FEET
- MINIMUM REAR SETBACK = 45 FEET
- MINIMUM UNIT AREA PROVIDED = 19,605 S.F.
- AVERAGE UNIT AREA PROVIDED = 21,818 S.F.
- 8 SINGLE-FAMILY UNITS PROPOSED (1.44 UNITS/ACRE)

LEGAL DESCRIPTION

Part of the northwest 1/4 of Section 18, T. 2 N., R. 11 E., City of Troy, Oakland County, Michigan, commencing at the North 1/4 corner of Section 18; thence along the north/south line S 00°00'25" E, 838.80 feet to the Point of Beginning; thence continuing S 00°00'25" E, 391.05 feet; thence N 89°52'48" W, 607.22 feet to a point on the east line of "Countryside Estates No. 1" (L. 95, P. 27); thence along said line and also the east line of "Countryside Estates" (L. 82, P. 9) N 00°49'00" E, 421.49 feet; thence S 89°50'25" E, 180.00 feet; thence S 00°49'00" W, 30.00 feet; thence S 89°50'25" E, 421.59 feet to the Point of Beginning, containing 5.55 acres and subject to the rights of the public and of any governmental unit in any part of the land taken, used or deeded for road purposes and subject to easements and restrictions of record.

REFERENCE DRAWINGS

SANITARY SEWER CITY OF TROY, JOB #88-4-01.1 DATED 1/4/90



NO.	DATE	REVISIONS
1	12-14-12	
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CAUTION!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. THEY ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHER RIGHTS ARE HEREBY SPECIFICALLY RESERVED. © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

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website: www.peainc.com

MONDRIAN PROPERTIES
50215 SCHOENHERR
SHELBY TOWNSHIP, MI 48315

PRELIMINARY SITE PLAN
BEACHVIEW ESTATES SITE CONDOMINIUM
A PART OF THE NW 1/4 OF SECTION 18, T. 2 N., R. 11 E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES.	JEC	DN.	JEC	SUR.	RS	P.M.	DNH
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ORIGINAL
ISSUE DATE: JUNE 7, 2012
PEA JOB NO. 2011-150
SCALE: 1" = 40'
DRAWING NUMBER:
P-1

NOTES :

- SECOND FLOOR FRAMING SUPPORTING ELEMENTS HAVE BEEN DESIGNED FOR DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF
- ALL FLOOR JOISTS SHALL BE 2x12 HEM-FIR #2 JOISTS @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL HEADERS IN BEARING WALLS SHALL BE MIN. (2) 2x8 HEM-FIR #2 OR BETTER UNLESS OTHERWISE NOTED.
- PROVIDE MIN. (2) 2x4 / (2) 2x6 SFF STUD GRADE OR BETTER PER STUD WALL SIZE UNDER EACH END OF ALL HEADERS/ BEAMS, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR BEARING WALLS ARE 2x4 / 2x6 SFF STUD GRADE OR BETTER @ 16" O.C. UNLESS OTHERWISE NOTED.
- JOIST LAYOUT SHOWN IN THE FRAMING PLAN IS ONLY FOR GUIDANCE & SHALL NOT BE USED AS SHOP DIMS. SUPPLIER TO ENSURE THE UNOBSTRUCTED PLUMBING, HVAC OPENING & HEADROOM CLEARANCE.
- ALL MULTI JACKS / STUDS TO BE GLUED AND NAILED WITH 2 ROWS OF 12d NAILS @ 12" O.C. (TYPICAL)
- PROVIDE SOLID BLOCKING/CONTINUOUS POST ALL THE WAY TO BASEMENT TO PROVIDE CONTINUOUS BEARING PATH
- SPACING OF JOISTS UNDER CERAMIC/ MARBLE TILE FINISHES SHALL NOT BE MORE THAN 16" O.C.
- PROVIDE DBL. JOIST UNDER ALL PARTITION WALLS PARALLEL TO JOIST DIRECTION UNLESS NOTED OTHERWISE.
- ALL INTERIOR BEARING WALLS ARE 2x4 SFF STUD GRADE OR BETTER @ 16" O.C. UNO.
- PROVIDE 4"x3 1/2"x1/4" THK. STL. ANGLE @ OPENINGS LESS THAN 5'-0" WIDTH TO SUPPORT BRICK VENEER. PROVIDE 6"x4"x3/8" THK. STL. ANGLE (LLV) @ OPENINGS GREATER THAN 5'-0" WIDTH UNO.

NOTCHES IN SAUN LUMBER SHALL BE IN COMPLIANCE WITH R602.1, R502.2 AND R602.6 OF THE MICHIGAN 2000 CODE

FLOOR JOIST REQUIREMENT.

ALL FLOOR JOIST LAYOUTS SHOWN ON PLAN ARE BASED ON L/480 LIVE LOAD DEFLECTION. JOIST MANUFACTURER IS TO DESIGN THE FLOOR SYSTEM BASED ON THIS. IF LAYOUT CHANGES TRUSS COMPANY MUST NOTIFY THE DESIGNER IMMEDIATELY

NOTE TO TRUSS MANUFACTURER

PRE-ENG W/D GIRDER TRUSSES SHOWN ON PLAN ARE LOCATED SPECIFICALLY TO ALLOW BEARING ON STL. BEAMS & BASEMENT WALLS. IF GIRDER LOCATIONS ARE MOVED TRUSS COMPANY MUST NOTIFY THE DESIGNER IMMEDIATELY

EGRESS WINDOW REQUIREMENTS

- MIN. NET CLEAR OPENING 5.7 SQ. FDT. (SECOND FLOOR BEDROOM)
- MIN. NET CLEAR OPENING 5.0 SQ. FT. (FIRST FLOOR BEDROOM OPENING)
- MIN. CLEAR HEIGHT 24"
- MIN. CLEAR WIDTH 20"
- MAX. SILL HEIGHT 44"

AREAS THAT REQ. TEMPERED GLASS

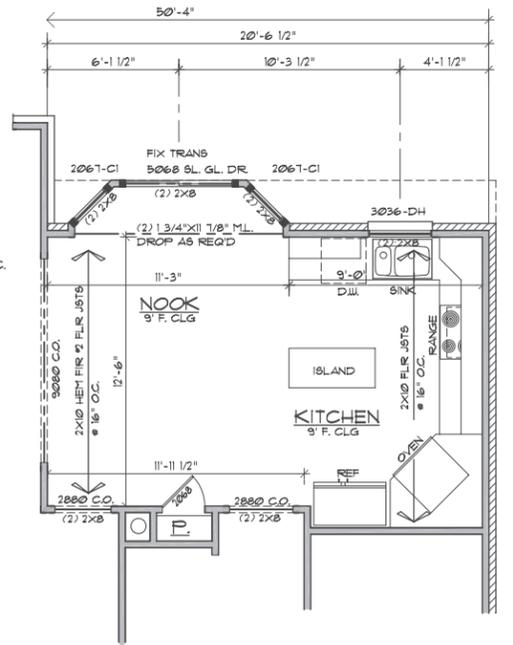
- FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS
- SHOWER AND BATHUB DOORS AND ENCLOSURES (IF APPLICABLE)
- PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWEST EDGE LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR LEVEL
- ALL OTHER AREAS AS CODE REQUIRES

FIRE SEPARATION

FOR CONDITIONS WITH LIVING SPACE OVER GARAGE ONLY
HOUSE WALL: SYSTEM SIMILAR TO UL DES. UL305: 1 LAYER 5/8" SHEETROCK BRAND GYPSUM PANELS, WATER RESISTANT, FIRECODE CORE EACH SIDE - 2" x 6" STUDS 16" O.C. - 5 1/2" INSULATION

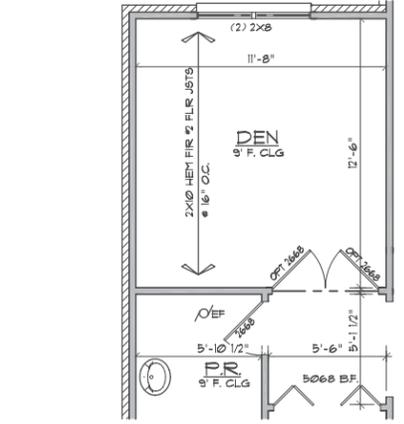
EXTERIOR GARAGE WALL: (SUPPORTING LIVING SPACE ONLY). SYSTEM SIMILAR TO UFP 8105: 1 LAYER 5/8" FIRE SHIELD GYPSUM WALLBOARD - 2" x 6" STUDS @ 16" O.C. - 1/2" APA WOOD SHEATHING.

CEILING: SYSTEM SIMILAR TO C 2601: 2 LAYERS 5/8" FIRE SHIELD WALLBOARD - UNFACED GLASS FIBER BATTS SUSPENDED ABOVE DRYWALL WITH WIRE HANGERS PROVIDING A CONTINUOUS 1/2" MINIMUM AIRSPACE BETWEEN DRYWALL AND INSULATION.



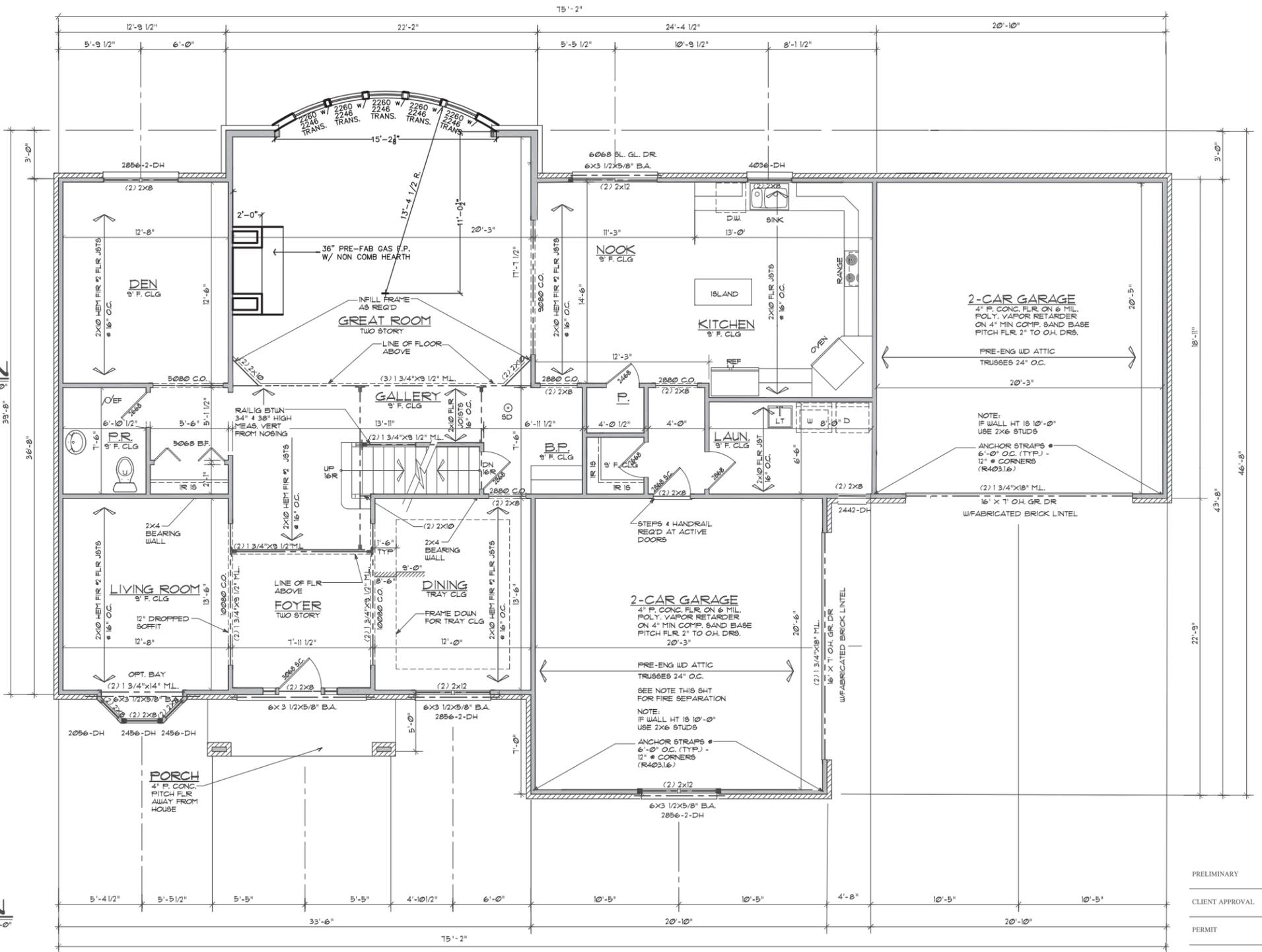
OPTIONAL BAY AT KITCHEN
SCALE: 1/4" = 1'-0"

NAME: _____
DATE: _____



OPTIONAL DBL DR AT DEN
SCALE: 1/4" = 1'-0"

NAME: _____
DATE: _____



FIRST FLOOR PLAN

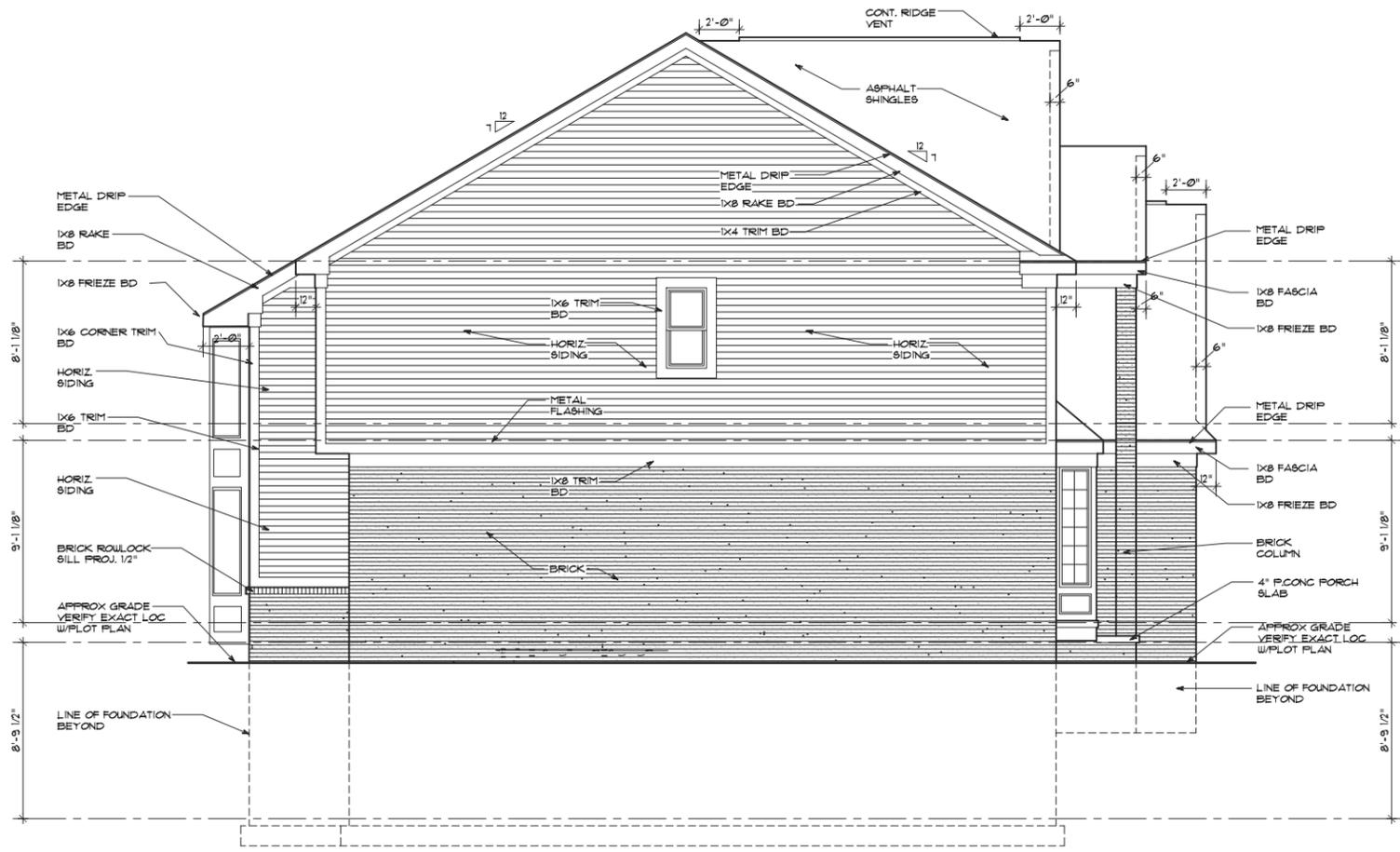
NO SCALE
ALL WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE.
ALL EXTERIOR BEARING HEADERS SHALL BE (2) 2x8 UNLESS NOTED OTHERWISE

1946 @
415 @ GARAGE X2

WINDOW NOMENCLATURE

FIRST TWO DIGITS = GLASS WIDTH, LAST TWO DIGITS = GLASS HEIGHT, LETTERS INDICATE UNIT TYPE.
EXAMPLES:
2436C IS 24" WIDE x 36" HIGH CASEMENT
2028D4 IS 20" WIDE x 28" HIGH DBL. HUNG
3620A IS 36" WIDE x 20" HIGH ALING
2468FXD IS 24" WIDE x 68" HIGH FIXED.

PRELIMINARY
CLIENT APPROVAL
PERMIT
REVISION
PROJECT #
SHEET No



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

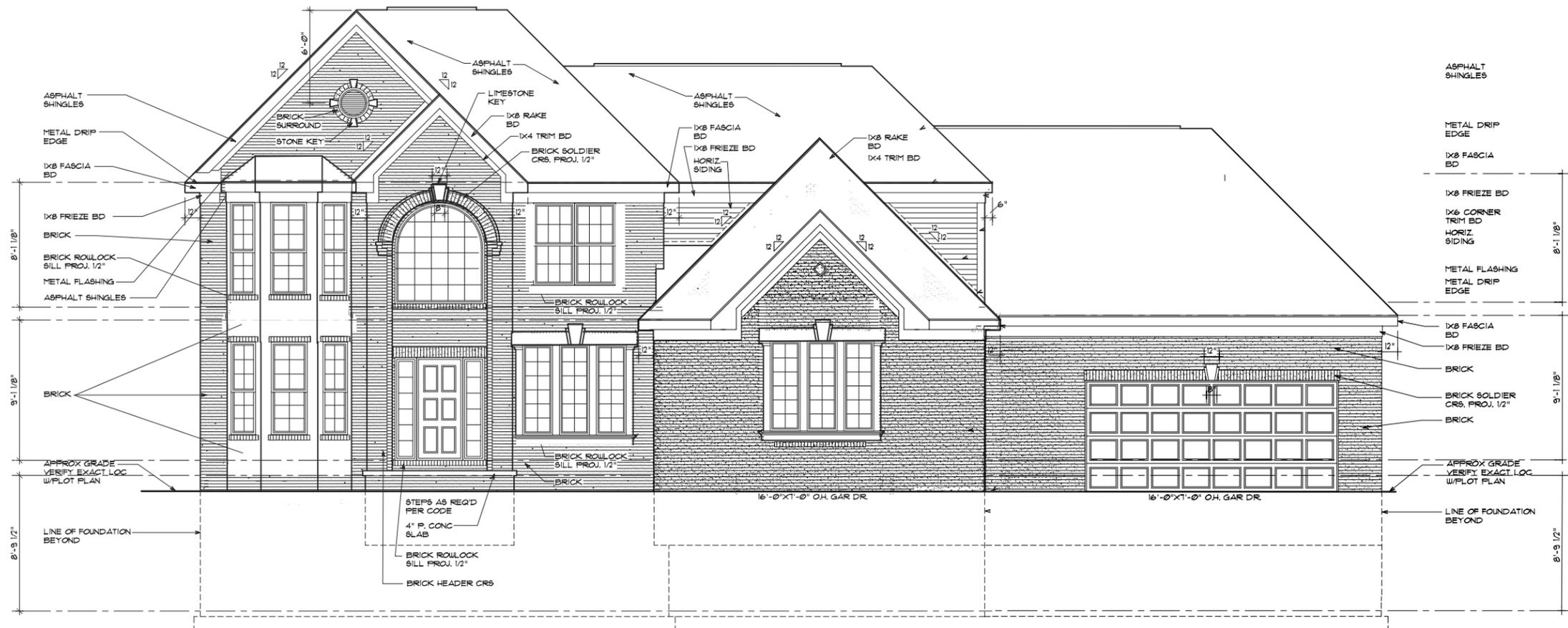
1. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
4. FIREPLACE FLUE TO BE MIN 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN 3'-0" PENETRATION ABOVE ROOF TOP.

NOTE:

GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACADE OF HOUSE OR ALONG FRONT FACING PORCH COLUMNS.

NOTE:

PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.

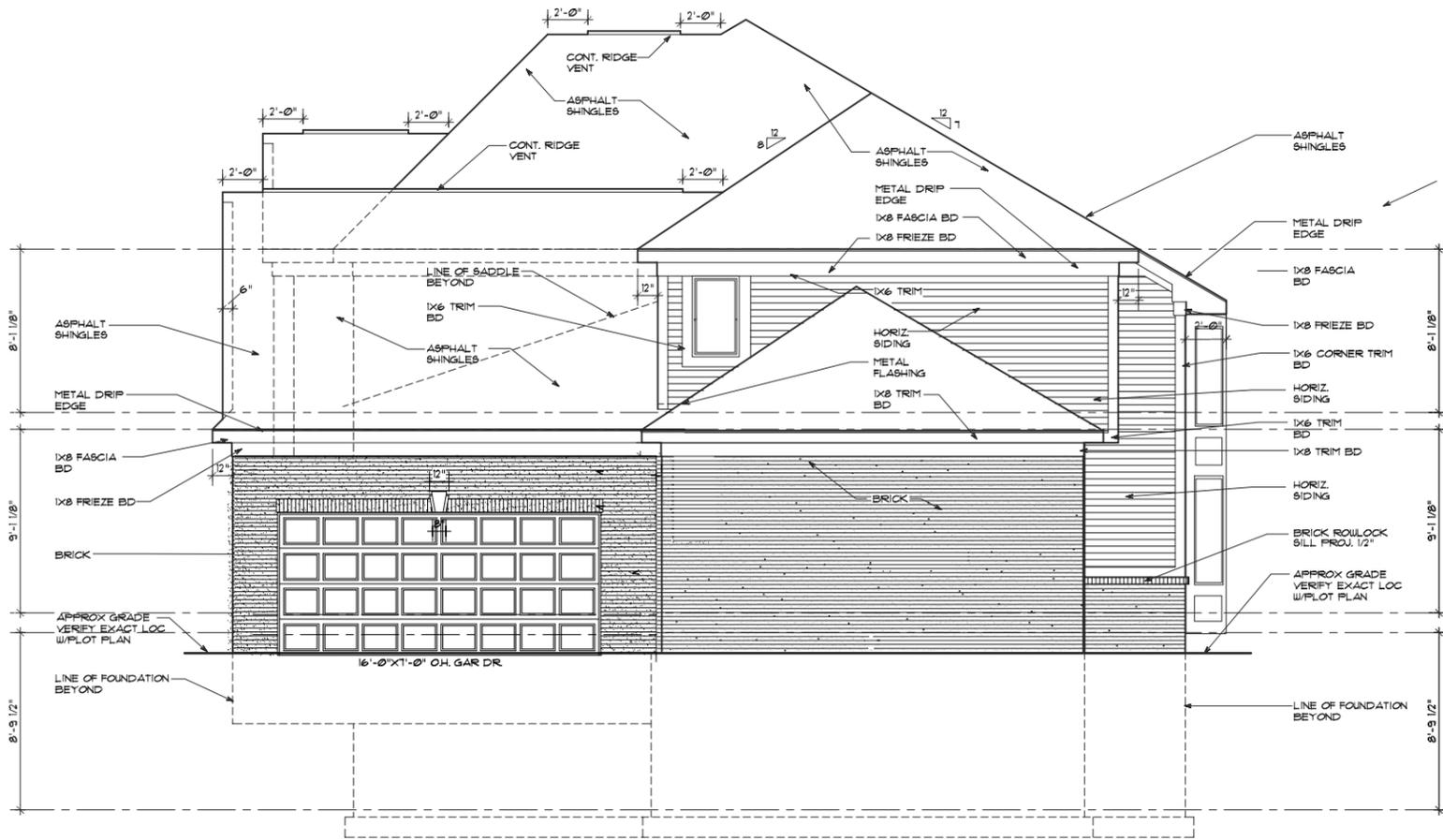


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATIONS

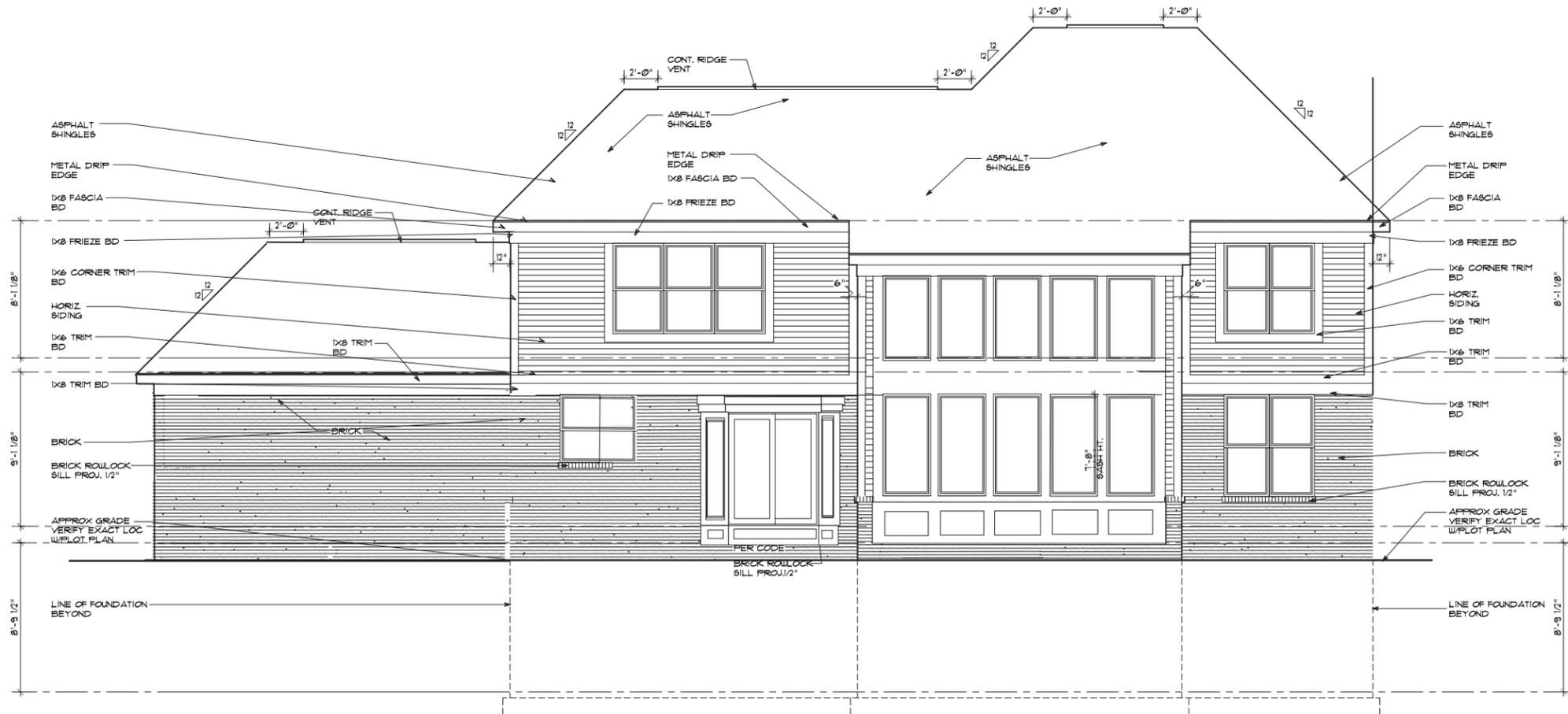
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RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
3. PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
4. FIREPLACE FLUE TO BE MIN 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN 3'-0" PENETRATION ABOVE ROOF TOP.

NOTE:

GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACADE OF HOUSE OR ALONG FRONT FACING PORCH COLUMNS.

NOTE:

PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.

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