



PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

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John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

February 12, 2013

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – January 22, 2013 Special/Study Meeting
4. PUBLIC COMMENTS – For Items Not on the Current Agenda

POSTPONED ITEM

5. CONDITIONAL REZONING APPLICATION (File Number CR 008) – Proposed Tim Horton's Café, Northwest Corner Square Lake and Dequindre, Section 1, From NN (Neighborhood Node "N") to CB (Community Business) District

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

6. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 400) – Proposed Starbucks/Qdoba Oakland Mall Outlot, Northwest Corner of John R and 14 Mile, Section 35, Currently Zoned GB (General Business) District

PRELIMINARY SITE PLAN REVIEW

7. PRELIMINARY SITE PLAN REVIEW (File Number SP 979) – Proposed Galleria of Troy, North side of Big Beaver between Wilshire and I-75, Section 21, Currently Zoned BB (Big Beaver) District

REZONING REQUEST

8. PUBLIC HEARING – CITY INITIATED REZONING APPLICATION (File Number Z 742) – Proposed 1071 Villa Park (part of Parcel Identification No. 88-20-02-301-010), East Side of Rochester Road, South of South Boulevard, Section 2, From R-1D (One Family Residential) District to RT (One Family Attached Residential) District

ZONING ORDINANCE TEXT AMENDMENT

9. ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 245) – Sober Living Facility

OTHER BUSINESS

10. PUBLIC COMMENTS – For Items on Current Agenda
11. PLANNING COMMISSION COMMENTS

ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

Chair Tagle called the Special/Study meeting of the Troy City Planning Commission to order at 7:00 p.m. on January 22, 2013 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Michael W. Hutson
Philip Sanzica
Gordon Schepke
Robert Schultz
John J. Tagle

Absent:

Edward Kempen
Tom Krent
Thomas Strat

Also Present:

R. Brent Savidant, Planning Director
Susan Lancaster, Assistant City Attorney
Ben Carlisle, Carlisle/Wortman Associates, Inc.

2. APPROVAL OF AGENDA

Resolution # PC-2013-01-007

Moved by: Schultz
Seconded by: Sanzica

RESOLVED, To approve the agenda as printed.

Yes: All present (6)
Absent: Kempen, Krent, Strat

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2013-01-008

Moved by: Edmunds
Seconded by: Schepke

RESOLVED, To approve the minutes of the January 8, 2013 Regular meeting as printed.

Yes: All present (6)
Absent: Kempen, Krent, Strat

MOTION CARRIED

4. PUBLIC COMMENT – Items not on the Agenda

There was no one present who wished to speak.

5. ZONING BOARD OF APPEALS (ZBA) REPORT

There was no report as the ZBA representative was absent.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

There was no January DDA meeting.

7. PLANNING AND ZONING REPORT

Mr. Savidant presented the 2012 Planning Commission Report.

STUDY ITEMS

8. INTERPRETATION OF ZONING ORDINANCE – Residential Treatment and Recovery Facility

The Planning Commission discussed the tour of the Shelby Township sober living facility that was conducted on January 17, 2012.

There was discussion on this item.

Paul Smith and David Lord, representing a possible sober living facility in Troy, were present and participated in the discussion. The potential location for this facility is 2447, 2461 and 2501 Rochester Court.

The Planning Commission reached consensus on their support of sober living facilities and the need for developing appropriate language in the Zoning Ordinance to permit and regulate these facilities in Troy.

It was determined that the Planning Department will begin working on draft language regulating sober living facilities. The Planning Commission agreed that conceptually, they should be regulated similar to adult foster care facilities. That is, smaller facilities should be permitted by right in single family neighborhoods but larger facilities, more commercial in nature, should be permitted by special use in more intense districts such as multiple family districts.

Some members of the Planning Commission mentioned the importance of informing the neighbors of potential facilities in the area.

9. PLANNING COMMISSION CODE OF ETHICS

The Planning Commission discussed the Boards and Committees Code of Ethics recently adopted by Troy City Council. This document will be provided to Planning Commission members in the future by the Clerk's Office.

OTHER BUSINESS

10. PUBLIC COMMENT – Items on Current Agenda

There was no one present who wished to speak.

11. PLANNING COMMISSION COMMENT

There was general discussion.

The Special/Study meeting of the Planning Commission adjourned at 8:45 p.m.

Respectfully submitted,

John Tagle, Chair

R. Brent Savidant, Planning Director

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DATE: February 7, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 008) – Proposed Tim Horton’s Café, Northwest Corner Square Lake and Dequindre, Section 1, From NN (Neighborhood Node “N”) to CB (Community Business) District

The applicant, Troy-Dequindre Properties, LLC, seeks a conditional rezoning of the subject parcel from NN (Neighborhood Node) to CB (Community Business) District. The parcel is approximately 0.68 acres in area. The applicant proposes a Tim Horton’s Restaurant and Café (with drive-through) on the site.

The Planning Commission discussed this item informally at the May 22, 2012 Special/Study meeting. A Planning Commission public hearing was held on January 8, 2013.

At the January 8, 2013 meeting, the Planning Commission postponed the item for 30 days to provide the applicant an opportunity to submit a traffic study, as offered by the applicant. The applicant has not provided a traffic study.

The Planning Department recommends postponement of this item, the until such time that the applicant provides a traffic study and City staff has opportunity to review the traffic study.

Attachments:

1. Maps
2. Report from CWA
3. Minutes from 01 08 2013 Planning Commission Regular meeting (excerpt)

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PROPOSED RESOLUTION

PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 008)
– Proposed Tim Horton’s Café, Northwest Corner Square Lake and Dequindre, Section 1, From NN (Neighborhood Node “N”) to CB (Community Business) District

Proposed Resolution # PC-2013-02-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the NN to CB conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the northwest corner of Square Lake and Dequindre, within Section 1, being approximately 0.68 acres in size, be granted, for the following reasons:

_____) or

(denied, for the following reasons: _____) or

1. The proposed rezoning is inconsistent with the City of Troy Master Plan.
2. The proposed use does not meet the Special Use standards of Section 9.03 of the Zoning Ordinance.
3. The proposed use does not meet the Drive-Through use standards of Section 6.10 of the Zoning Ordinance.
4. The small property area, coupled with the proposed drive-through use and corner lot location, creates a number of site design issues.
5. The site does not meet minimum parking requirements, and the applicant has not provided sufficient reasons for granting a parking space reduction.

(postponed, for the following reasons: _____)

Yes:

No:

MOTION PASSED / FAILED



Legend

Road Centerline

-  Major Road
-  Industrial Road
-  Local Road

Ponds and Basins

Streams and Creeks

Parcels

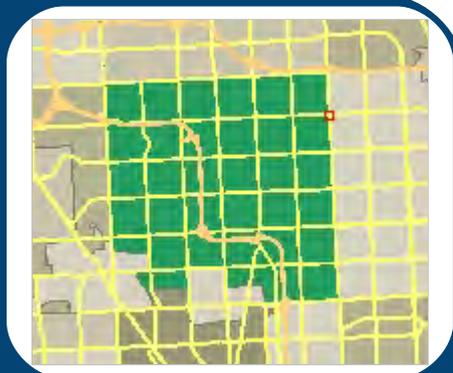
Aerial Photos - 2010

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3

125 0 62 125Feet

Scale 1: 749





Legend

Road Centerline

- Major Road
- Industrial Road
- Local Road

Current Zoning Ordinance

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MRF) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MR) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

Ponds and Basins

Streams and Creeks

Parcels

Aerial Photos - 2010

- Red: Band_1
- Green: Band_2
- Blue: Band_3

125 0 62 125Feet

Scale 1: 749





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Date: January 2, 2013

Conditional Rezoning, Special Use Permit and Preliminary Site Plan Review For City of Troy, Michigan

GENERAL INFORMATION

| | |
|------------------------------|--|
| Applicant | Burt Kassab |
| Project Name: | Dequindre- Tim Hortons Cafe |
| Plan Date: | November 14, 2012 |
| Location: | Northwest corner of Square Lake and Dequindre |
| Zoning: | Neighborhood Node N |
| Action Requested: | Planning Commission review and recommendation to the City Council for Conditional Rezoning, Special Use Permit, and Preliminary Site Plan. |
| Required Information: | Deficiencies noted. |

SUMMARY OF DEVELOPMENT AND PROCEDURE

The 0.68 acre parcel is located in form-based district Neighborhood Node N and regulated as a Site Type B. The proposed restaurant/café is permitted in Site Type B; however a drive-through use is not permitted. In early April, Mr. Kassab requested a site reclassification to Site Type A, which does allow a drive-through in a neighborhood node through a Special Use. The reclassification of Site Types can be considered by the Zoning Administrator as outlined in Section 5.02.G. In considering the requested reclassification, the Zoning Administrator found that the application did not meet the reclassification standards outlined in Section 5.02.G.1-5. It appears that the only limitation to the applicant of the Neighborhood Node zoning is the prohibition of the drive-through.

Subsequent to the reclassification denial, the applicant has requested to conditionally rezone the property to CB, Community Business in order to construct a Tim Hortons Café and Bake Shop with a drive-through. Drive-through uses are permitted by Special Use in the CB District. The requested

conditional rezoning was informally and conceptually considered by the Planning Commission on May 22, 2012. Please see the attached minutes for more details.

While we support the development of the site as a commercial use, find that a drive-thru use predicated on a conditional rezoning would not advance the Master Plan intent of Neighborhood Node N at this location. Most importantly, there are numerous site planning issues created by the limited size of the property.

There is an appropriate relationship between the safety and impact of drive-throughs and the size and configuration of a site. A minimum lot size is necessary to ensure safe ingress/egress, sufficient space for on-site for circulation, reduction of conflict between vehicular and pedestrians, and provision of buffering to reduce potential impact upon adjacent properties. Current ordinance standards require each site must be considered on a site- by-site basis when a drive-through is proposed.

The subject parcel is approximately 0.678 acres in area and a relatively small site for a drive-through restaurant. As a comparison, the existing Tim Horton's (with drive-through) on Rochester Road is approximately 0.961 acres, and has only one curb cut. The Tim Horton's (with drive-through) recently approved on Maple Road is approximately 0.746 acres, and has only one curb cut. These parcels are both larger than the subject parcel and have only one point of ingress/egress, and therefore fewer potential traffic conflicts. The small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area. In addition to the relatively small size of this site, a proposed restaurant use in combination with the corner location also present hindrances for a drive-through. Quick serve restaurants and cafes are the largest parking generator on a square foot basis. Thus even a small restaurant requires a significant amount of parking. Secondly, a corner lot location allows for two points of ingress/egress, which adds additional access and circulation conflict points.

The small property square footage, coupled with the proposed restaurant use and corner lot location creates the following specific site planning issues:

- Deficiency of eight (8) required parking spaces;
- At least one (1) drive-through stacking space protrudes into the drive-aisle;
- Disjointed parking area;
- Potential deficiency in overall landscaped area;
- Impact on the residential property to the west;
- Access and internal traffic circulation at peak period times;
- Internal pedestrian circulation from the parking lot located behind the drive-through to the building;
- Internal pedestrian circulation due to location of the preview menu and menu and speaker;
- Lack of a snow storage location;
- High visibility on Square Lake Road of the proposed dumpster enclosure;
- Significant traffic movements and conflict points on a small site; and
- Unknown findings of a future traffic study.

See the site plan review section for more detail. The applicant is seeking a conditional rezoning with a condition being the submitted site plan. Because of the site planning issues we encourage the applicant to either:

1. Add the entire parcel or portions of the parcel to the north. By adding additional area to the site, a drive-thru use might be feasible because issues of pedestrian and automobile conflict, tight circulation, and encroachment and impact upon adjacent properties can be mitigated. Adding the parcel to the north would allow the zoning administrator to potentially reclassify the site to Site Type A which permits drive-through as a special use.
2. Maintain the retail use but eliminate the drive-through. By eliminating the drive-through the proposed use is by-right within the underlying NN district, and the applicant would be only required to go through a site plan review. This could be approved by the Planning Commission at one meeting.
3. Consider an alternative use of the site.



The proposed development requires the following:

1. Conditional rezoning from Neighborhood Node N to CB. Conditions of approval include the submitted site plan including:
 - o The site will be used a restaurant/coffee shop;
 - o The configuration of the drive thru lane will be as shown on the Site Plan;
 - o The location of the building will be the front corner of the site, as shown on the Site Plan;
 - o The patio area layout will be as shown on the attached Site Plan (i.e. continuously connected with and accessible from the sidewalks/plaza like area in the front corner of the site);
 - o The type/location of the bicycle rack will be as shown on the Site Plan; and
 - o The façade of the building will be as shown on the enclosed elevations.
2. Preliminary Site Plan approval.

3. Special Use for drive-thru.

PART 1: CONDITIONAL REZONING

Master Plan

Neighborhood nodes are the concentrated, commercial and mixed-use centers situated at major intersections. The Master Plan for this node calls for:

Neighborhood Node N: Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office. Service-oriented development in combination with new residential development would provide a unique setting here.

The proposed use as commercial (without a drive-through) is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues (most specifically the small size of the parcel), the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

Zoning Background

Site Type B in neighborhood nodes permits a number of uses including attached and multiple family residential, office/institution, service, and retail uses such as a Tim Hortons. However, a drive-thru within Site Type B in any neighborhood node is not permitted. In early April, Mr. Kassab requested a site reclassification to Site Type A, which does allow a drive-thru in a neighborhood node through a Special Use. In considering the requested reclassification, the Zoning Administrator applies the standards outlined in Section 5.02.G.1-5. It was the Zoning Administrator's finding and our concurrence that the application did not meet the standards for reclassification, and thus the reclassification was denied. Please see attached letter from the Zoning Administrator for more details.

Considerations for Rezoning from Neighborhood Node N to CB, Community Business

Neighborhood nodes are located at major intersections adjacent to residential neighborhoods. These nodes are intended to serve as commercial and mixed use centers serving as places to meet the basic needs of the neighborhoods, as well as the community as a whole. The key parcels within the neighborhood nodes are the corner parcels at these major intersections. Because the parcel in question is a corner parcel, its importance to develop under the regulations of Site Type B and the design standards outlined in the Neighborhood Node is a key to the future development and the implementation of Neighborhood Node N. A potential rezoning of this parcel to CB, especially in consideration of a drive-through, could limit the remaining parcels in the node to develop under the Neighborhood Node N - Site Type B regulations. This is especially true for the parcel to the north, which would be an isolated Neighborhood Node N parcel surrounded by differentiating zoning districts.

The applicant has done a nice job of attempting to adhere to the building placement requirements of the Neighborhood Node. However, due to site planning restrictions, a rezoning of this parcel with a

drive-through use would greatly limit the implementation of the Neighborhood Node N as envisioned in the Master Plan.

SECTION 16.04.C.3

The Zoning Ordinance identifies five (5) findings that the Plan Commission should evaluate when considering a Conditional Rezoning petition (Section 16.04.C). A Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a) The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

The site is only 0.68 acres in area. The site appears too tight for adequate circulation for a drive-through use and creates the potential for both automobile and pedestrian conflicts. Furthermore, the size limitation of the site does not allow for adequate buffering from adjacent residential uses.

- b) The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
 - I. A change in City policy since the Master Plan was adopted.
 - II. A change in conditions since the Master Plan was adopted.
 - III. An error in the Master Plan.

The form-based district permits a wide range of uses with site type B. Use groups 2 (residential/lodging), 3 (office/institution) and 5 (retail/entertainment/service) are all permitted by right within site type B (see Table 5.06.C-1). There do not appear to be any reasons that would preclude the site being used for any of these purposes, nor does your application mention any.

A drive-through use on this site would be a significant deviation from the Master Plan, which calls for the following in Node N: "Low-intensity commercial uses should remain, but redevelopment should include an integrated compact residential component, live/work units, or small office.

Service-oriented use development in combination with new residential development would provide a unique setting here". The drive-through component is more intense and less compact than what is planned for this particular node.

The proposed use as commercial (without a drive-through) is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues (most specifically the small size of the parcel), the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

- c) The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

If the applicant were able to address the identified site planning issues, the proposed conditions are in accordance with all terms of the CB zoning districts.

- d) Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

In regards to utilities, the site is adequately served. However, the Engineering Department has asked for a traffic study to determine any necessary on-site and/or public road improvements. The applicant has requested that a traffic study be provided at a later date (see Traffic section, below)

- e) The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

While a restaurant/café use would serve the adjacent neighborhood, the size limitation of the site does not allow for adequate buffering of the drive-through from adjacent residential uses.

PART 2: SITE PLAN

Traffic, Access, and Circulation

Traffic

Parking, traffic, and circulation for this site must be carefully examined. The Engineering Department has requested a traffic study to review the need for a deceleration lane on Square Lake, internal circulation, and potential for restricting left turns in and out of the site. The other Tim Horton locations that have been built in Troy have been on higher volume roads including Big Beaver and Rochester (both 6-lane boulevards) and Maple (5-lane road which required that they provide a right turn lane or at least infill the one that stopped short of the existing site). In addition, Dequindre is a County border road, so any work in the Dequindre ROW or impact from the development on Dequindre may need input/permits from Sterling Heights/Macomb County/Oakland County.

The applicant has noted that they do not want to incur the expense of conducting a traffic study without some assurance from the City that the project will be approved. However, because this is a Conditional Rezoning where a condition is the submitted site plan, findings of the traffic study may affect site layout. If the Planning Commission is inclined to approve the project we recommend that applicant provide a traffic study prior to a recommendation of the conditional rezoning and preliminary site plan approval. If the Planning Commission was to recommend approval and the traffic study requires site plan changes, the applicant would be required to revise the conditional rezoning request.

Access:

Access to the site will be via a curb cut off Square Lake and a curb cut off Dequindre. The Engineering Department notes that both approaches are irregularly shaped. The applicant should try to reconfigure the approaches so that they enter the property perpendicular to the property line and then provide the necessary radii to match up to the parking lot. This would result in a more typical parking lot layout.

Circulation:

The proposed building would be located at the corner of the site, with all parking spaces located to the side and rear. A proposed drive-through lane is located within the parking lot to the rear of the building. The small size of the lot does not allow for an escape lane. The width of the stacking lane is 13 feet; however the width may be reduced to 10 feet. As noted, the tenth car stacking space protrudes into the drive-aisle creating a circulation issue.

While the site will be provided with sidewalks along Square Lake and Dequindre, internal pedestrian circulation is difficult. Access to the building from the parking lot behind the drive-through will require pedestrians to cross the drive-through lane. In addition, the applicant will need to move the location of the preview menu and menu board and speakers as they are located in the middle of the pedestrian sidewalk. There must be at least a clear 5-foot wide walkway. The applicant should address pedestrian conflict issues.

There is a significant amount of traffic movements and conflict points.

Items to be Addressed: 1). Provide traffic study prior to Planning Commission recommendation of Conditional Rezoning and Preliminary Site Plan approval; 2). Reconfigure the approaches so that they enter the property perpendicular to the property line; 3). Reduce drive-through width to 10 feet; and 4). Reconfigure layout so that the tenth required stacking space does not protrude into drive-aisle.

Parking

Section 13.06 provides the following parking requirements:

| | Required | Provided | Compliance |
|--|-----------------|-----------------|-------------------|
| Tim Hortons: 1 space per 70 net sq/ft | 28 spaces | 20 spaces | Non-Compliant |
| Stacking Spaces | 10 | 9 | Non-Compliant |
| Barrier Free | 1 | 2 | Compliant |
| Bicycle Parking | 2 | 2 | Complaint |
| Loading | 0 | 0 | Compliant |

The applicant is deficient by eight (8) parking spaces. The Planning Commission may reduce the required parking provided that the applicant provide evidence that such parking is not necessary. The approved Maple Road Tim Hortons was exactly the same square footage and provided 22 spaces.

Items to be Addressed: Provide 8 additional spaces, or provide evidence that providing only 18 spaces is sufficient to address site parking needs.

Area, Width, Height, and Setbacks

Section 4.13 establishes the dimensional requirements for the CB District. Though rezoned to CB to allow for the drive-through, the applicant has attempted to construct the site plan in accordance to site orientation requirements of the Neighborhood Node Form-Based District. We have included Neighborhood Node Form Based Requirements for information only. The requirements and the proposed dimensions are as follows:

| | <u>CB Required:</u> | <u>Neighborhood Node Required:</u> | <u>Provided:</u> | <u>Compliance to CB</u> |
|--|------------------------|---|--------------------------|--------------------------------|
| Front (Square Lake) | 10' minimum setback | 0' build-to-line | 10 feet | Complies |
| Front (Dequindre) | 10' minimum setback | 0' build-to-line (may be increased by the Planning Commission to 30 foot with inclusion of plaza) | 23.6 feet | Complies |
| Side (West) | 20' minimum setback | 0' | 160 feet | Complies |
| Side (North) | 20' minimum setback | 0' | 35.5 feet | Complies |
| Building Height | Maximum 2 stories, 30' | Maximum 3 stores, 45 feet. | 20 feet | Complies |
| Minimum Distance from a residential building | 75' | Not Applicable | Over 160' | Complies |
| Lot Coverage | Not Applicable | 30 percent | 21.1% | Not applicable for CB district |
| Landscape Open Space | 20 percent | 20 percent | Information Not Provided | Information Not Provided |

Applicant shall confirm that they have provided the necessary landscaped area.

Items to be Addressed: Provide landscape area information.

Photometric Plan

The applicant did not provide a Photometric Plan, as required.

Items to be Addressed: Provide a Photometric Plan in compliance with Article 13.

Landscaping Plan

The application includes a landscape plan.

| | <u>Required:</u> | <u>Provided:</u> | <u>Compliance:</u> |
|--|--|--|---|
| <u>Greenbelt:</u> 10 feet in width along Square Lake Road and Dequindre Road | 10 feet | 10 feet | Compliant |
| <u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way. | Square Lake: 8 deciduous Dequindre: 5 deciduous | Square Lake: 5 deciduous and 3 ornamental Dequindre: 5 street trees | Replace ornamental trees with deciduous |
| <u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material. | 20% | Information not provided | Provide required information |
| <u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval. | 4 trees | 3 trees | Provide one additional tree |
| <u>Screening Between Land Uses:</u> 80% opacity | 80% opacity with one of three options | Alternative 3: mix of large and narrow evergreen trees | Compliant |

Based on a 0.68 acre site, the applicant is required to provide 592 sq/ft of landscaped area. The applicant should confirm if they have met this requirement. The applicant should indicate on site plan where snow storage is proposed. Lastly, the applicant should provide trash enclosure details; the applicant is encouraged to match the enclosure materials with the masonry of the building.

Items to be Addressed: 1.) Provide overall landscaping calculation; 2.) Replace ornamental trees with deciduous ones along Square Lake; and 3.) Provide one (1) additional parking lot tree; 4.) Indicate on-site snow storage; and 5.) Provide trash enclosure detail.

DESIGN STANDARDS

A condition of the Conditional Rezoning is the compliance of the facades to the Neighborhood Nodes Form Based design standards.

Building Orientation and Entrance

- a. *Primary Entrance:* The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **Complies**

- b. *Recessed Doorways.* Where the building entrance is located on or within five (5) feet of a lot line, doorways shall be recessed into the face of the building. **Not applicable**
- c. *Residential Dwellings.* Entrances for all residential dwellings shall be clearly defined by at least one (1) of the following:
 - I. *Projecting or recessed entrance.* A recessed entrance is required if the building entrance is located on or within five (5) feet of the lot line.
 - II. *Stoop or enclosed or covered porch.*
 - III. *Transom and/or side light window panels framing the door opening.*
 - IV. *Architectural trim or unique color treatments framing the door opening*

Not Applicable

Ground Story Activation

- a. *The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.*

It appears that the applicant is deficient in meeting the fifty (50) percent transparency requirements along Square Lake and Dequindre and the 30% facing the parking area.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Through the use of setbacks, and landscaping, the applicant has met this requirement.

Site Access and Parking

- a. *Required Parking.* Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards.

The applicant has not provided the necessary parking. See parking section.

- b. *Location.*
 - I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking.*

Not Applicable

- II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection.*

Complies

- III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less.*

Not Applicable

- IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C.*

The applicant has screened their parking lot in compliance with section 13.0.2.C.

Items to be Addressed: None

STANDARDS

Special Use Standards of Approval

In the OM District, restaurants with drive-through service are permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall "...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions." Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

The site is only 0.68 acres in area. The site appears too tight for adequate circulation for a drive-through use and creates the potential for both automobile and pedestrian conflicts. Furthermore, the size limitation of the site does not allow for adequate buffering from adjacent residential uses. The special use as designed and constructed is not harmonious with the character of adjacent property and the surrounding area.

2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

The proposed use as commercial (without a drive-through) is appropriate and encouraged. A commercial use, built to the form-based district design standards outlined in the Zoning Ordinance, fits the intent of this node and would greatly enhance and serve the adjacent neighborhood well. However, due to site planning issues (most specifically the small size of the parcel), the intent to develop more urban form buildings and pedestrian-oriented areas, and the character of the surrounding neighborhood (see Neighborhood Node N section below), a drive-through use on this parcel was not considered or intended in the Master Plan.

3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

The subject parcel is a relatively small site for a drive-through restaurant, at a corner location with two points of access. This small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

4. *Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

The proposed use should not produce any additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district. However, based on findings of the traffic study, additional site plan changes and public street improvements may be necessary.

5. *Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

The applicant is deficient, or potentially deficient in several zoning ordinance standards. The applicant should either seek the required relief or amend site plan as noted.

The Planning Commission is also required to generally consider the following for any special use application:

1. The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.

The small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

2. Vehicular circulation and parking areas.

The proposed site plan presents circulation and parking area issues.

3. Outdoor activity, storage and work areas.

The proposed use does not include any outdoor activity, storage, or work areas, thus this standard is not applicable.

4. Hours of operation.

While, the proposed use is in an area where similar uses provide service to neighborhood from early morning to evening, the use is proposed for 24-hours. A 24-hour drive-through use may impact the adjacently western property, specifically queuing cars and the noise of the menu board speaker.

5. Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.

A 24-hour drive-through use may impact the adjacently western property, specifically noise of the menu board speaker and noise, and fumes from queuing cars.

Drive-Through

Use Standards

Section 6.10 provides specific use requirements for drive-through facilities.

- A. Ingress and egress to drive-through facilities shall be part of the internal circulation of the site and integrated with the overall site design. Clear identification and delineation between the drive-through facility and the parking lot shall be provided. Drive-through facilities shall be designed in a manner which promotes pedestrian and vehicular safety.

The subject parcel is approximately 0.678 acres in area. This is a relatively small site for a drive-through restaurant, particularly one on a corner, with two curb cuts. This small size results in a number of potential turning conflicts between stacking cars, cars entering or leaving parking spaces, and cars entering or leaving the site. These potential turning conflicts, in addition to increasing potential vehicular and pedestrian conflicts, could negatively impact maneuverability and safety both on the site and in the immediate area.

- B. Single-lane drive-throughs may be located at the side of a building. Multiple-lane drive-throughs shall be located in a manner that will be the least visible from a public thoroughfare. Canopy design shall be compatible with the design of the principal building and incorporate similar materials and architectural elements.

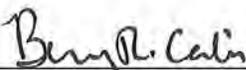
Compliant

- C. Each drive-through facility shall provide stacking space meeting the following standards:
 - 1. Each stacking lane shall be one-way, and each stacking lane space shall be a minimum of ten (10) feet in width and twenty (20) feet in length.
 - 2. If proposed, an escape lane shall be a minimum of twelve (12) feet in width to allow other vehicles to pass those waiting to be served.
 - 3. The number of stacking spaces per service lane shall be provided for the uses listed below. When a use is not specifically mentioned, the requirements for off-street stacking space for the use with similar needs, as determined at the discretion of the Zoning Administration, shall apply.

| | Table 6.10 |
|--|---------------------------------|
| Use | Stacking Space Per Service Lane |
| Banks, Pharmacy, Photo Service, and Dry Cleaning | 4 |
| Restaurants with Drive-Through | 10 |
| Auto Washes (Self-Service) | |
| Entry | 2 |
| Exit | 1 |
| Auto Washes (Automatic) | |
| Entry | 8 |
| Exit | 2 |

The applicant has not provided adequate stacking area. The tenth car stacking space protrudes into the drive-aisle creating a circulation issue.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

CONDITIONAL REZONING REQUEST

5. PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 008)
– Proposed Tim Horton’s Café, Northwest Corner Square Lake and Dequindre, Section 1,
From NN (Neighborhood Node “N”) to CB (Community Business) District

Mr. Hutson informed the Board he has a client who might be involved in litigation with the petitioner’s law partner. Mr. Hutson asked to recuse himself from discussion and deliberation on this item to avoid any appearance of impropriety.

The Board had no objection to the request.

[Mr. Hutson exited the meeting.]

Mr. Carlisle gave a review of the Conditional Rezoning application. Mr. Carlisle said the proposed drive-through use predicated on a conditional rezoning would not advance the Master Plan intent of the Neighborhood Node “N” zoning classification. He addressed the size of the parcel in relation to the drive through, the restaurant use in terms of parking and the corner location with two access points.

Mr. Carlisle further identified specific site plan issues:

- Deficiency in parking spaces; 20 provided, 28 required.
- Requirement of 10 stacking spaces; 10th stacking space protrudes into drive aisle.
- Bisected / disjointed parking area.
- Potential deficiency in overall landscape area; 20% required, plan does not indicate.
- Impact on residential property to the west.
- Access and internal traffic circulation; specifically in morning and evening hours.
- Internal pedestrian circulation; both from parking lot to building and in location of menu/speaker board.
- Lack of snow storage location.
- Dumpster location; high visibility on Square Lake Road.
- Unknown specifics from future traffic study; petitioner expressed feedback from Planning Commission prior to providing traffic study.

Mr. Carlisle did not recommend approval of the Conditional Rezoning application, as submitted. He offered the following suggestions:

- Consider adding a portion, if not all, of the parcel to the north.
- Keep restaurant use but eliminate the drive-through.
- Consider an alternative use of site.

Mr. Savidant announced the Planning Department received 16 email messages from residents in the area, of which copies were distributed to members prior to the beginning of tonight’s meeting.

The petitioner, Burt Kassab, was present. Mr. Kassab stated the property owner, Sam Askar, is present and in the audience. Mr. Kassab addressed the size of the parcel. He compared the proposed Tim Horton restaurant site to two existing Tim Horton restaurants in Troy on Rochester Road and Maple Road, as relates to parcel size and building size. Mr. Kassab said they have tried to meet the Neighborhood Node requirements in every respect.

Mr. Kassab reported the overall landscaped area is 21.1%; exceeding the 20% requirement. He stated Tim Horton's corporate office is satisfied that the 20 parking spaces provided will be sufficient. Mr. Kassab said the parcel to the north provides a great buffer to the residential neighborhood. He addressed the location and decibel level of the menu/order board that faces Square Lake, indicating it should have no affect on the neighborhood. Mr. Kassab said a drive through restaurant is a corporate requirement.

Mark Kellenberger, Tim Horton's project planner, was present. Mr. Kellenberger said to his knowledge, all freestanding Tim Horton restaurants in Michigan are drive-through restaurants; those without drive-through's are located in non-traditional locations.

There was discussion on the following:

- Curb cuts / access points.
 - Critical to petitioner to attract business from both Square Lake and Dequindre Roads.
 - Curb cuts currently exist, installed by City during widening of right of way.
 - Affect on development should traffic study determine elimination of one curb cut to potentially alleviate traffic issues.
 - Petitioner stated restaurant operations would likely not go forward with development.
 - Elimination could potentially create more traffic issues.
 - Engineering review had comments on curb cuts; asked petitioner to provide traffic study.
- Deficiency of eight (8) parking spaces.
 - Restaurant operations satisfied proposed parking is sufficient.
- Traffic, internal circulation, drive-through.
 - Morning hours draw majority of business, heaviest traffic and drive-through use.
 - Afternoon/evening hours light; new marketing strategy to attract customer base.
 - Configurations of turn lanes at intersection.
 - No escape lane proposed.
- Buffer to residential.
 - Dense evergreens to west and north.
 - Fence around property line.
 - Parcel to north acts as buffer.
 - Masonry wall on west.
- Noise levels; petitioner addressed menu board location.
- Property to north; parcel larger in size than subject parcel.
- Positive features of site plan, restaurant use and location.
 - Patio.
 - Walkability.
 - Two access points.
 - Good fit for potential customer base; nearby hospital.

PUBLIC HEARING OPENED

The following residents spoke in opposition:

| | |
|---------------------|-------------------|
| Tom Dombrowski | 2900 Briarwood Ct |
| Robert Cantlon | 2864 Briarwood |
| Prabhakar Vallury | 2878 Briarwood |
| Matthew Zelenak | 2819 Briarwood |
| Pari Tathavadekar | 2861 Briarwood |
| Lisa Havlish | 2875 Briarwood |
| Srivatsan Santhanam | 2945 Briarwood |
| Ritika Undemane | 2892 Briarwood |
| Anup Gongle | 2936 Briarwood |
| Norman Balston | 2916 Briarwood |
| Akram Muhammad | 2978 Briarwood |

Residents who spoke in opposition expressed concerns with:

- 24-hour operation.
- Drive through facility.
- Traffic congestion, signalization.
- Internal circulation; stacking of cars.
- Noise level.
- Lights.
- Garbage, litter.
- Overall safety.
- Safety of school children; bus pickup.
- Re-use of existing vacant parcels.
- Loitering; negative impact on children.
- Non-friendly sidewalk/bicycle use.
- Deviation from Master Plan intent.

The following resident spoke in favor:

| | |
|---------------|------------|
| G. James Grix | 2508 Coral |
|---------------|------------|

Mr. Grix said a restaurant would generate revenue, offer employment and a 'go to' place for the neighborhood. He said other cities are attracting drive-through restaurants and potential revenue because Troy turns them away.

PUBLIC HEARING CLOSED

Discussed followed:

- Site plan design as relates to positive features and deficiencies.
 - Stacking spaces critical; no provision to waive Zoning Ordinance requirement.
- Master Plan intent.
- Responsibility of Planning Commission; health, safety and welfare of residents.
- Potential impact / non-impact on neighboring residents.
- Limited operational hours for drive through.

- Approval process.
 - Recommendation to City Council.
 - Conditions to site plan must be volunteered by petitioner.
 - Site plan, if approved, would not come back before Board.
- Consider noise/decibel study.
- Potential of traffic study to impact lay of the property.
 - Site plan might not come back before Board.
- Legal opinion to complete Conditional Rezoning Agreement and traffic study prior to recommendation to City Council.

The property owner, Sam Askar, addressed attempts to develop parcel after purchasing it from the City seven years ago. Mr. Askar said the asking price of the property to the north is high, and even if acquired a larger Tim Horton restaurant would be proposed. He intimated that most likely the Tim Horton's corporate office would go to another city with a proposal if the Board does not approve this application. Mr. Askar, noting he is familiar with the area, addressed the concern expressed for the safety of school children.

Mr. Kassab said he believes the asking price of the parcel to the north is above market and informed the Board that negotiations could not be reached with the two owners.

Mr. Kassab said if the Board chose to postpone the item, he would work on traffic study issues and relocation of the dumpster.

Resolution # PC-2013-01-003

Moved by: Schultz
Seconded by: Krent

RESOLVED, To postpone the item for thirty (30) days, not to exceed 30 days.

Yes: All present (9)

MOTION CARRIED

CONDITIONAL REZONING PLANS FOR

Tim Hortons®

43003 DEQUINDRE ROAD
CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
NOT TO SCALE

PROJECT DATA

DEVELOPER/APPLICANT

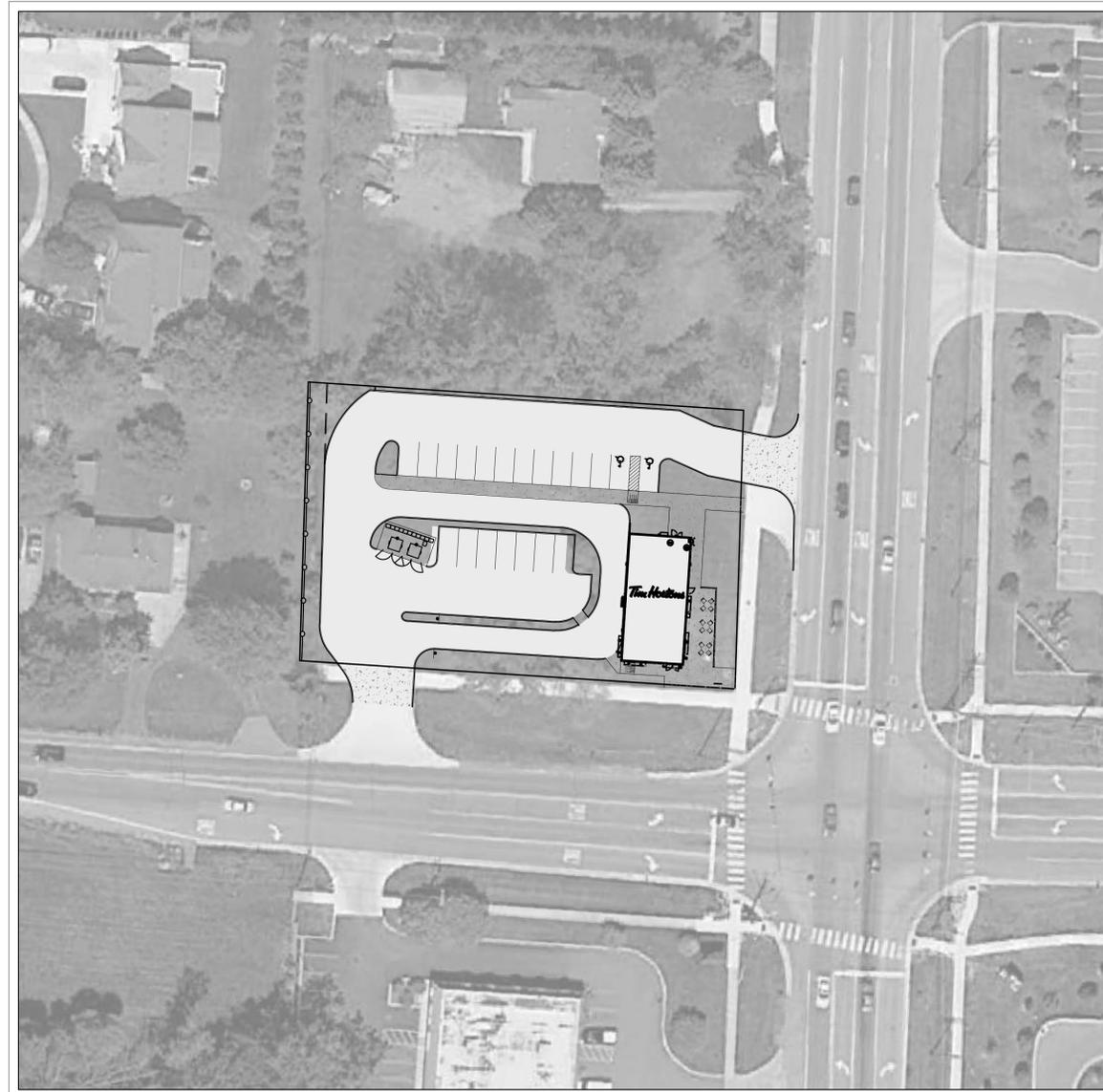
TIM DONUT U.S. LIMITED, INC.
CONTACT: MARK KELLENBERGER
565 EAST GRAND RIVER AVENUE., SUITE 101
BRIGHTON, MI 48116
OFFICE PH: 810.844.2747
MOBILE PH: 248.770.1915

CIVIL ENGINEER/SURVEYOR/LANDSCAPE ARCHITECT

METRO CONSULTING ASSOCIATES
CONTACT: MATTHEW W. BUSH, PE
6001 SCHOONER DRIVE
BELLEVILLE, MI 48111
PH: 734.483.1427
FAX: 734.483.3431

SITE PLAN/BUILDING PERMITTING

CITY OF TROY, PLANNING DEPARTMENT
CONTACT: R. BRENT SAVIDANT
500 WEST BIG BEAVER ROAD
TROY, MI 48064
PH: 248.524.3300



AERIAL MAP
SCALE: 1"=40'



VICINITY MAP
NOT TO SCALE

SHEET INDEX

| | |
|----|----------------------------------|
| 01 | COVER SHEET |
| 02 | EXISTING CONDITIONS PLAN |
| 03 | PRELIMINARY LAYOUT PLAN |
| 04 | PRELIMINARY LANDSCAPE PLAN |
| 05 | PRELIMINARY GRADING PLAN |
| 06 | PRELIMINARY UTILITY ROUTING PLAN |

PROJECT NARRATIVE

TIM DONUT U.S. LIMITED, INC. (TIM HORTONS) IS REQUESTING CONDITIONAL REZONING APPROVAL TO MODIFY THE REQUIREMENTS OF THE EXISTING NEIGHBORHOOD NODE DISTRICT AND CONSTRUCT A RESTAURANT WITH DRIVE-THRU SERVICE AT THE NORTHWEST CORNER OF DEQUINDRE AND SQUARE LAKE ROADS IN THE CITY OF TROY.

THE OVERALL PARCEL IS APPROXIMATELY 0.68-ACRE IN SIZE AND IS ZONED NN. THE PROPOSED USE IS A PERMITTED USE IN THE NN ZONING DISTRICT. NO VARIANCES ARE ANTICIPATED FOR THIS PROJECT.

THE PROPOSED RESTAURANT WILL BE APPROXIMATELY 1,953 SF AND WILL EMPLOY APPROXIMATELY FIVE PEOPLE PER SHIFT. THE RESTAURANT WILL BE OPEN 24 HOURS AND TYPICALLY TWO DELIVERIES ARE MADE EACH WEEK DURING OFF-PEAK HOURS.

THE SITE IS LOCATED IN ZONE X PER FEMO COMMUNITY MAP PANEL NUMBER 2612500552F DATED 09/29/2006. THE SOIL SURVEY OF OAKLAND COUNTY INDICATES THAT THE PREDOMINANT SOIL TYPE ON THE SITE IS DEL REY LOAM.

ALL WORK INTERNAL TO THE SITE SHALL BE IN ACCORDANCE WITH THE MOST CURRENT PUBLISHED VERSION OF THE CITY OF TROY CODE OF ORDINANCES.

THE PROPOSED RESTAURANT WILL UTILIZE THE EXISTING FULL-ACCESS DRIVEWAY ONTO SQUARE LAKE ROAD. NO IMPROVEMENTS TO THIS EXISTING CURB CUT ARE PROPOSED AS PART OF THIS PROJECT. THE EXISTING CURB CUT ONTO DEQUINDRE ROAD WILL BE MODIFIED TO PROVIDE A FULL-ACCESS DRIVEWAY TO THE PROPOSED RESTAURANT. THE EXISTING SIDEWALKS ALONG THE DEQUINDRE ROAD AND SQUARE LAKE ROAD FRONTAGES WILL BE MAINTAINED AND RECONSTRUCTED AS NECESSARY. MINOR WORK IS ANTICIPATED WITHIN THE DEQUINDRE AND SQUARE LAKE ROAD RIGHTS-OF-WAY. THIS INCLUDES RECONSTRUCTION OF THE DRIVEWAY ONTO DEQUINDRE ROAD, AND CONNECTING TO THE EXISTING UTILITIES.

| REV. | DATE | ISSUED FOR: |
|------|------------|--------------------------------|
| 0 | 10-03-2012 | CONDITIONAL REZONING SUBMITTAL |
| 1 | 11-14-2012 | REVISIONS PER CLIENT |

METRO CONSULTING ASSOCIATES

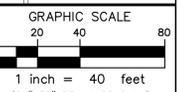


6001 SCHOONER DRIVE
BELLEVILLE, MICHIGAN 48111
PHONE: 734.483.1427 FAX: 734.483.3431
www.metrocc.net

CLIENT NAME: TIM DONUT U.S. LIMITED, INC.

TIM HORTONS RESTAURANT
CONDITIONAL REZONING

COVER SHEET



1 inch = 40 feet
(24"x36" DRAWINGS ONLY)

MCA JOB #: 1037-12-5504

DATE: 10-03-2012

DRAWN BY: CMB

CHECK BY: TJC

BOOK/CREW: 44 / BC

ADDRESS: 43003 DEQUINDRE ROAD

SECTION: 01

TOWNSHIP: 2 NORTH

RANGE: 11 EAST

COMMUNITY: CITY OF TROY

COUNTY: OAKLAND

SHEET: 01

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

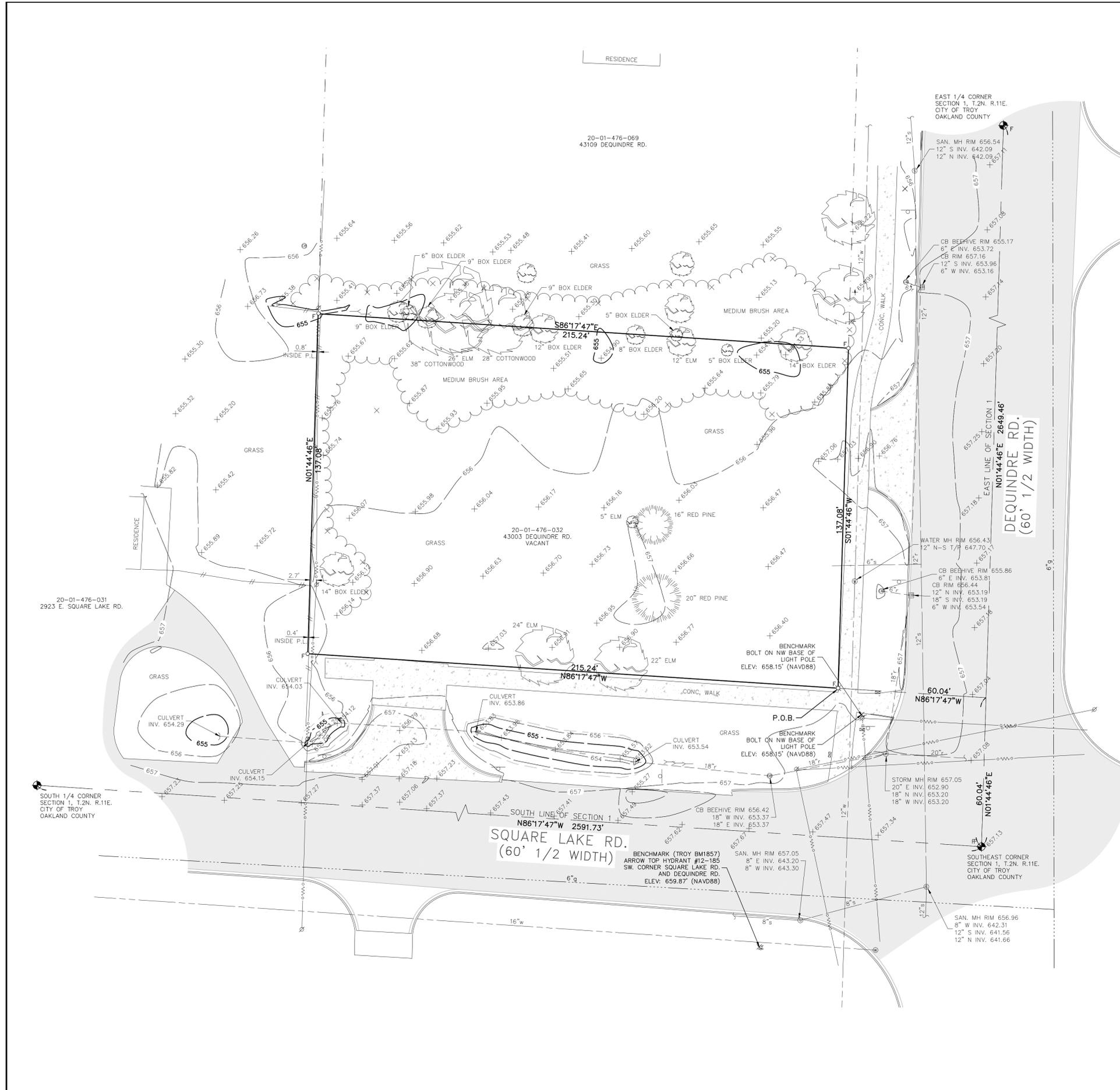
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



NOT FOR CONSTRUCTION



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LEGAL DESCRIPTION (BY OTHERS)

THE EAST 275.20 FT OF THE SOUTH 197 FT OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 1, T.2N. R.11E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, EXCEPT THE EAST 60 FT AND THE SOUTH 60 FT.

LEGEND

- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOURS
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. GAS
- EX. CURB/PAVEMENT
- ADJACENT PARCEL LINE
- EX. FENCE
- EX. GUARDRAIL
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. OVERHEAD ELECTRIC
- EASEMENT
- EX. LANDSCAPE TREE
- EX. HYDRANT
- EX. WATER MANHOLE
- EX. SANITARY MANHOLE
- EX. TRANSFORMER/ELECTRIC METER
- EX. GAS METER
- EX. CATCH BASIN
- EX. ROUND CATCH BASIN
- EX. LIGHT POLE
- EX. FOUND IRON PIPE
- EX. UTILITY POLE
- EX. SIGN

| REV. | DATE | ISSUED FOR: |
|------|------------|--------------------------------|
| 0 | 10-03-2012 | CONDITIONAL REZONING SUBMITTAL |
| 1 | 11-14-2012 | REVISIONS PER CLIENT |

METRO CONSULTING ASSOCIATES
 6001 SCHOONER DRIVE
 BELLEVILLE, MICHIGAN 48111
 PHONE: 734.483.1427 FAX: 734.483.3431
 www.metrocc.net

CLIENT NAME: TIM DONUT U.S. LIMITED, INC.
TIM HORTONS RESTAURANT
 CONDITIONAL REZONING
 EXISTING CONDITIONS PLAN

GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 feet
 (24"x36" DRAWINGS ONLY)

| | |
|------------|----------------------|
| MCA JOB #: | 1037-12-5504 |
| DATE: | 10-03-2012 |
| DRAWN BY: | CMB |
| CHECK BY: | TJC |
| BOOK/CREW: | 44 / BC |
| ADDRESS: | 43003 DEQUINDRE ROAD |
| SECTION: | 01 |
| TOWNSHIP: | 2 NORTH |
| RANGE: | 11 EAST |
| COMMUNITY: | CITY OF TROY |
| COUNTY: | OAKLAND |
| SHEET: | 02 |

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

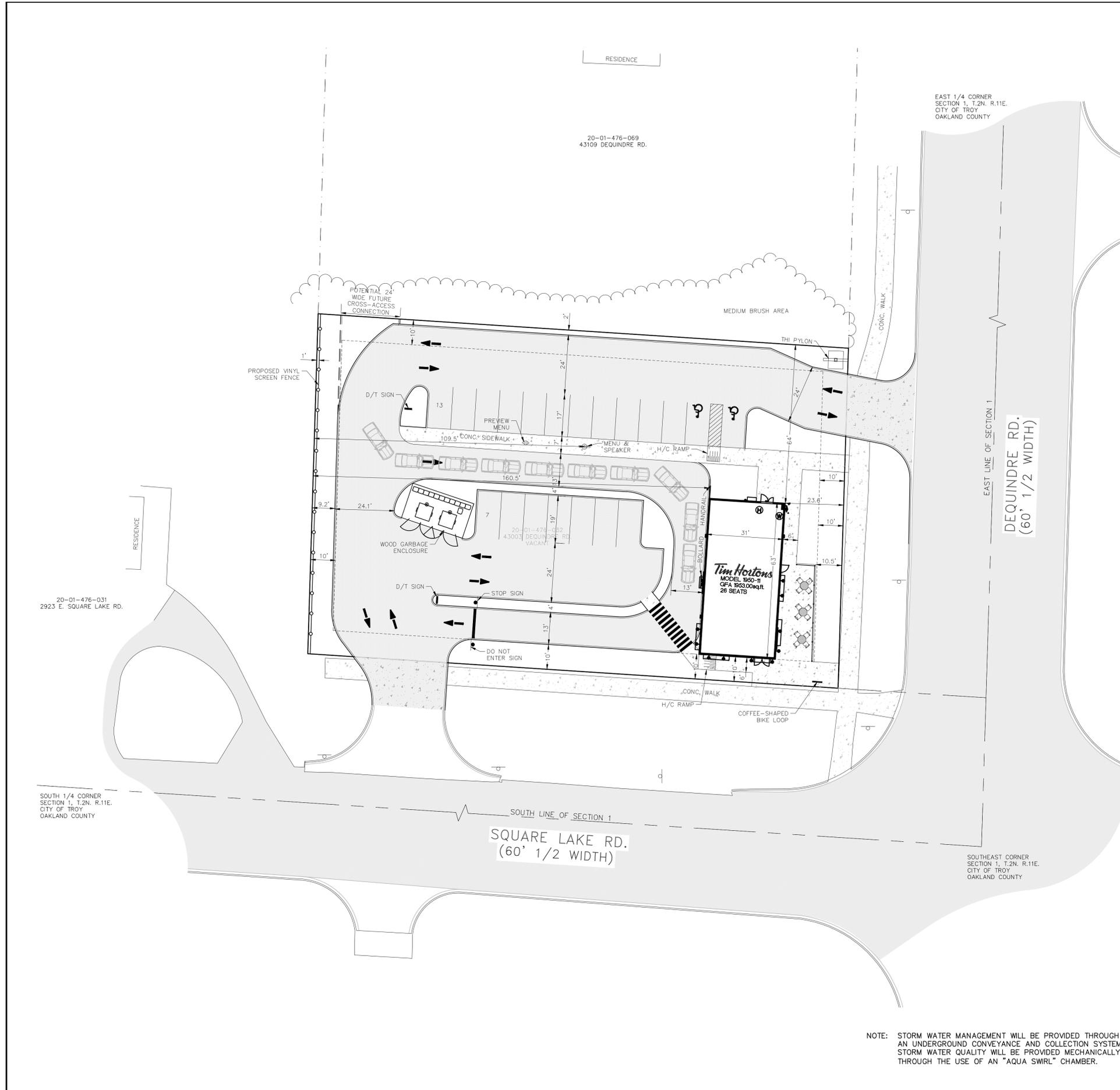
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NOT FOR CONSTRUCTION



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SITE DATA TABLE

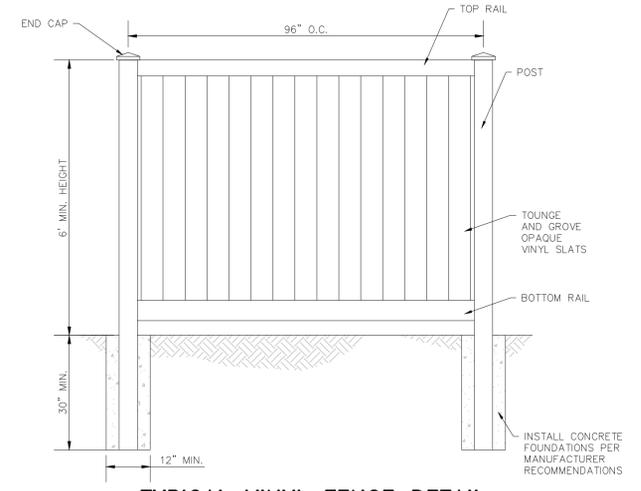
| SITE AREA | | 0.68 AC (29,488 SF) | |
|-----------------------|--------------|--------------------------|---------------|
| ZONING | | NN | |
| LAND USE | | DRIVE-THRU RESTAURANT | |
| SITE DEVELOPMENT DATA | | REQUIRED | PROPOSED |
| BUILDING SETBACKS | FRONT | 10 FT (MIN) | 10 FT |
| | SIDE | 0 FT | 64 FT |
| | REAR | 30 FT (MIN) | 160 FT |
| BUILDING INFORMATION | HEIGHT | 14 FT (MIN); 45 FT (MAX) | 20 FT - 4 IN |
| | STORIES | 1 (MIN); 3 (MAX) | 1 |
| | G.F.A. | N/A | 1,953 SQ FT |
| COVERAGE | BUILDING | N/A | 6.6% |
| | OPEN SPACE | 30% | 21.1% |
| PARKING | TOTAL SPACES | 28 (MIN) | 20 |
| | LENGTH | 17 FT / 19 FT | 17 FT / 19 FT |
| | WIDTH | 9.5 FT | 9.5 FT |
| | AISLE | 24 FT | 24 FT |
| | ADA SPACES | 1 | 2 |
| | LOADING | 0 | 0 |
| STACKING | 10 | 10 | |

GENERAL NOTES

- ALL WORK TO BE PERFORMED SHALL COMPLY WITH ALL GOVERNMENTAL, STATE AND MUNICIPAL CODES AND ORDINANCES.
- PRIOR TO COMMENCING WORK, ALL PERMITS REQUIRED SHALL BE ISSUED AND SECURED.
- PRIOR TO COMMENCING WORK, CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER SHOULD SUBSTANTIAL CONFLICTS IN THE DESIGN INTENT EXIST.
- COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING THE CONSTRUCTION OF ALL BUILDING APPURTENANCES, INCLUDING BUT NOT LIMITED TO DRIVE-THRU FEATURES (MENU BOARD, SPEAKER, PREVIEW BOARD, VEHICLE DETECTOR, AND SIGNAGE), AND SITE LIGHT POLE FIXTURES.
- COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING THE CONSTRUCTION OF THE BUILDING AND ITS INTEGRATION WITH THE SITE, INCLUDING THE INTEGRATION OF THE DRIVE-THRU LANE PAVEMENT AND BUILDING FOUNDATION.
- COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING THE CONSTRUCTION OF PROPOSED SITE SIGNAGE.
- COORDINATE WITH ARCHITECTURAL DRAWINGS REGARDING TRAFFIC DIRECTION PAVEMENT MARKINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND SPECIFICATIONS REGARDING THE REFUSE ENCLOSURE.
- THERE ARE NO WETLANDS ON SITE.
- ALL PAVEMENT DIMENSIONS AND RADIUS CALL-OUTS ARE TO FACE OF CURB OR EDGE OF PAINT UNLESS OTHERWISE SHOWN OR NOTED.
- THE RESTAURANT WILL BE OPEN 24 HOURS AND WILL EMPLOY APPROXIMATELY 5 PEOPLE PER SHIFT.

LEGEND

| | | | |
|---|--------------------------------|---|-------------------------|
| — | PROPERTY LINE | ⊗ | EX. CATCH BASIN |
| — | EXISTING SPOT ELEVATION | ⊕ | EX. ROUND CATCH BASIN |
| — | EXISTING CONTOURS | ⊙ | EX. LIGHT POLE |
| — | EX. WATER MAIN | ⊖ | FOUND IRON PIPE |
| — | EX. STORM SEWER | ⊗ | EX. UTILITY POLE |
| — | EX. SANITARY SEWER | ⊙ | EX. SIGN |
| — | EX. GAS | ⊕ | PR. PARKING SPACES |
| — | EX. CURB/PAVEMENT | R | PR. ADA RAMP |
| — | ADJACENT PARCEL LINE | — | PR. CURB (TYPE 'E') |
| — | EX. FENCE | — | PR. CURB (TYPE 'F') |
| — | EX. GUARDRAIL | — | PR. LIGHT FIXTURE |
| — | EX. UNDERGROUND ELECTRIC | — | PR. CONCRETE (SIDEWALK) |
| — | EX. UNDERGROUND TELEPHONE | — | PR. ASPHALT (PAVEMENT) |
| — | EX. OVERHEAD ELECTRIC | — | PR. CONCRETE (PAVEMENT) |
| — | EASEMENT | — | |
| — | EX. LANDSCAPE TREE | — | |
| — | EX. HYDRANT | — | |
| — | EX. WATER MANHOLE | — | |
| — | EX. SANITARY MANHOLE | — | |
| — | EX. TRANSFORMER/ELECTRIC METER | — | |
| — | EX. GAS METER | — | |



TYPICAL VINYL FENCE DETAIL

NOTE: STORM WATER MANAGEMENT WILL BE PROVIDED THROUGH AN UNDERGROUND CONVEYANCE AND COLLECTION SYSTEM. STORM WATER QUALITY WILL BE PROVIDED MECHANICALLY THROUGH THE USE OF AN "AQUA SWIRL" CHAMBER.

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 www.metrocc.net

CLIENT NAME: TIM DONUT U.S. LIMITED, INC.
TIM HORTONS RESTAURANT
 CONDITIONAL REZONING
 PRELIMINARY LAYOUT PLAN

GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 feet
 (24"x36" DRAWINGS ONLY)

MCA JOB #: 1037-12-5504
 DATE: 10-03-2012
 DRAWN BY: CMB
 CHECK BY: TJC
 BOOK/CREW: 44 / BC
 ADDRESS: 43003 DEQUINDE ROAD
 SECTION: 01
 TOWNSHIP: 2 NORTH
 RANGE: 11 EAST
 COMMUNITY: CITY OF TROY
 COUNTY: OAKLAND
 SHEET: 03

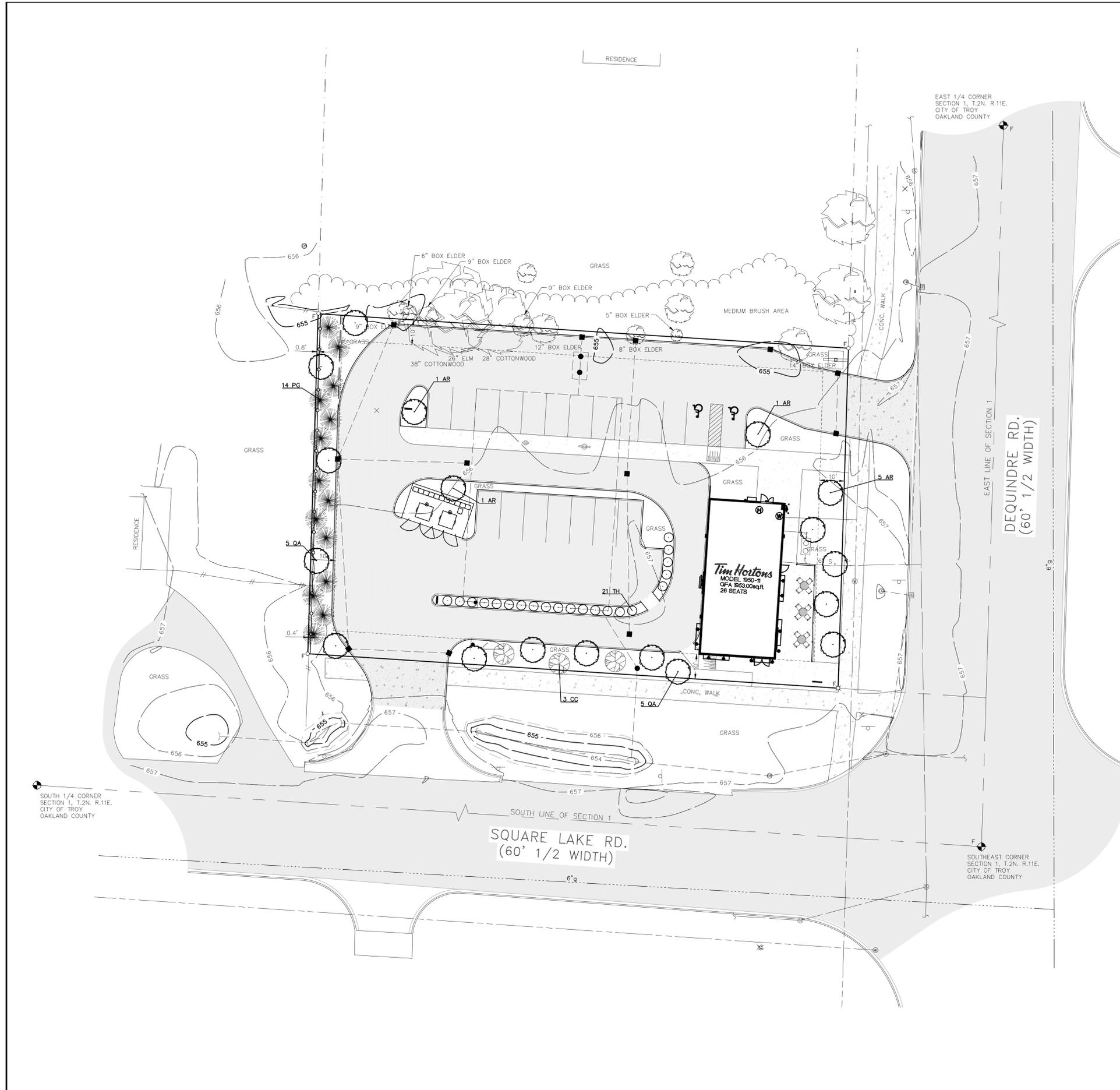
CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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LANDSCAPE CALCULATIONS

| SCREENING BETWEEN LAND USES (137 LF) | | |
|--|----------|----------|
| | REQUIRED | PROPOSED |
| DECIDUOUS TREES: | N/A | 5 |
| EVERGREEN TREES: | 14 | 14 |
| PARKING LOT LANDSCAPING - 20 SPACES | | |
| TREES: | 3 | 3 |
| SHRUBS: | N/A | 21 |
| RIGHT-OF-WAY GREENBELT - DEQUINDRE ROAD (137 LF) | | |
| TREES: | 3 | 3 |
| SHRUBS: | N/A | 21 |
| RIGHT-OF-WAY GREENBELT - SQUARE LAKE ROAD (215 LF) | | |
| TREES: | 5 | 5 |
| SHRUBS: | 10 | 10 |
| TOTAL PROVIDED LANDSCAPING | | |
| DECIDUOUS TREES: | 16 | 16 |
| EVERGREEN TREES: | 14 | 14 |
| ORNAMENTAL TREES: | 0 | 3 |
| SHRUBS: | 0 | 21 |

PLANTING LIST

| SYMBOL | KEY | QTY. | SPECIES | MIN. SIZE | SPEC. |
|--------|-----|------|--------------------------------------|------------|-------|
| | AR | 8 | ACER RUBRUM RED MAPLE | 2.5" CAL. | B&B |
| | QA | 10 | QUERCUS ALBA WHITE OAK | 2.5" CAL. | B&B |
| | PG | 14 | PICEA GLAUCA WHITE SPRUCE | 2.5" CAL. | B&B |
| | CC | 3 | CERCIS CANADENSIS REDBUD | 2.5" CAL. | B&B |
| | TH | 21 | TAXUS X MEDIA "HICKSII" HICKS YEW | 18-24" HT. | CONT. |

LANDSCAPE NOTES

- THIS PLAN IS FOR PLANTING LOCATIONS ONLY.
- SIZES SPECIFIED ARE MINIMUM SIZES TO BE INSTALLED.
- IN THE EVENT THE PLANT LIST DOES NOT MATCH THE PLAN, THE PLAN SHALL TAKE PRECEDENCE.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TOWNSHIP STANDARDS IN A NEAT, HEALTHY AND WEED-FREE CONDITION FREE FROM REFUSE AND DEBRIS. ANY DEAD, DISEASED OR DAMAGED PLANT MATERIAL IS TO BE REPLACED WITHIN ONE YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.
- ALL EXISTING TREES TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES. PLANTINGS WITHIN 15 FEET OF A FIRE HYDRANT SHALL NOT EXCEED 6 INCHES IN HEIGHT.
- PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE GROWN IN THE NURSERY. IF HEAVY CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER, APPROXIMATELY 1/3 OF THE ROOT BALL ABOVE THE GRADE.
- REMOVE ALL TWINE, WIRE, NURSERY TREE GUARDS, TAGS AND INORGANIC MATERIAL FROM ROOT BALLS. PEEL BACK THE TOP 1/3 OF BURLAP FROM EARTH BALLS AND REMOVE ANY BURLAP AROUND TREE TRUNKS.
- ALL LANDSCAPE AREAS SHALL BE EXCAVATED OF ALL BUILDING/CONSTRUCTION MATERIAL AND POOR SOILS TO A DEPTH OF 18"-24" AND BACKFILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL.
- BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ALL DISTURBED UNPAVED AREAS ARE TO BE SPREAD WITH A MINIMUM 4 INCHES OF TOPSOIL AND SEEDED.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY. NEWLY PLANTED MATERIALS SHALL BE REGULARLY WATERED UNTIL ESTABLISHED.
- IF AN APPROVED SPECIES IS NO LONGER ACCEPTABLE DUE TO SUCH THINGS AS INFESTATION OR DISEASE, A SUITABLE SIMILAR SPECIES SHALL BE USED AS REPLACEMENT. ANY PLANT SUBSTITUTIONS SHALL HAVE TOWNSHIP APPROVAL PRIOR TO INSTALLATION.
- RECOMMENDED PLANTING DATES ARE MARCH 1 TO MAY 15 FOR ALL MATERIALS AND OCTOBER 15 TO DECEMBER 15 FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR TOWNSHIP APPROVAL, AND MAY REQUIRE SPECIAL TREATMENT, SUCH AS EXTRA WATERING OR MULCHING, TO INCREASE SURVIVAL POTENTIAL.
- PLANT MATERIAL SHALL NOT INTERFERE WITH SIGHT DISTANCE TRIANGLES.

LEGEND

| | | | |
|--|--------------------------------|--|-------------------------|
| | PROPERTY LINE | | EX. CATCH BASIN |
| | EXISTING SPOT ELEVATION | | EX. ROUND CATCH BASIN |
| | EXISTING CONTOURS | | EX. LIGHT POLE |
| | EX. WATER MAIN | | EX. FOUND IRON PIPE |
| | EX. STORM SEWER | | EX. UTILITY POLE |
| | EX. SANITARY SEWER | | EX. SIGN |
| | EX. GAS | | PR. PARKING SPACES |
| | EX. CURB/PAVEMENT | | PR. ADA RAMP |
| | ADJACENT PARCEL LINE | | PR. CURB (TYPE 'E') |
| | EX. FENCE | | PR. CURB (TYPE 'F') |
| | EX. GUARDRAIL | | PR. LIGHT FIXTURE |
| | EX. UNDERGROUND ELECTRIC | | PR. CONCRETE (SIDEWALK) |
| | EX. UNDERGROUND TELEPHONE | | PR. ASPHALT (PAVEMENT) |
| | EX. OVERHEAD ELECTRIC | | PR. CONCRETE (PAVEMENT) |
| | EASEMENT | | |
| | EX. LANDSCAPE TREE | | |
| | EX. HYDRANT | | |
| | EX. WATER MANHOLE | | |
| | EX. SANITARY MANHOLE | | |
| | EX. TRANSFORMER/ELECTRIC METER | | |
| | EX. GAS METER | | |

| REV. | DATE: | ISSUED FOR: | CONDITIONAL REZONING SUBMITTAL | REVISIONS PER CLIENT |
|------|------------|-------------|--------------------------------|----------------------|
| 0 | 10-03-2012 | | | |
| 1 | 11-14-2012 | | | |

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 www.metrocc.net

CLIENT NAME: TIM DONUT U.S. LIMITED, INC.
TIM HORTONS RESTAURANT
 CONDITIONAL REZONING
 PRELIMINARY LANDSCAPE PLAN

GRAPHIC SCALE
 0 10 20 40
 1 inch = 20 feet
 (24"x36" DRAWINGS ONLY)

MCA JOB #: 1037-12-5504
 DATE: 10-03-2012
 DRAWN BY: CMB
 CHECK BY: TJC
 BOOK/CREW: 44 / BC
 ADDRESS: 43003 DEQUINDRE ROAD
 SECTION: 01
 TOWNSHIP: 2 NORTH
 RANGE: 11 EAST
 COMMUNITY: CITY OF TROY
 COUNTY: OAKLAND
 SHEET: 04

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR PERSONS ENGAGED IN THE WORK, BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

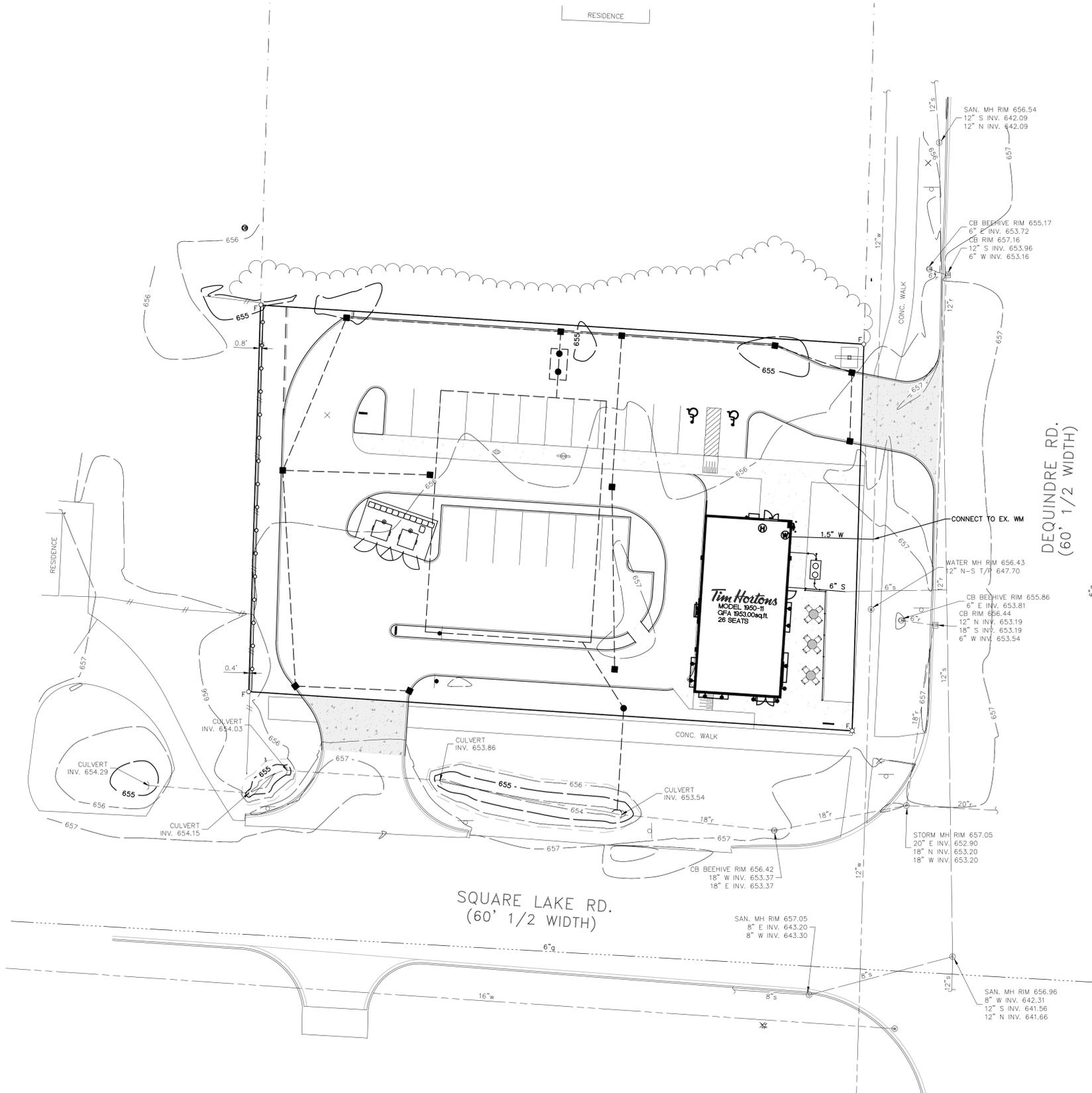
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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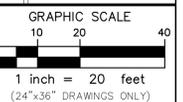
LEGEND

- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOURS
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. GAS
- EX. CURB/PAVEMENT
- ADJACENT PARCEL LINE
- EX. FENCE
- EX. GUARDRAIL
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. OVERHEAD ELECTRIC
- EASEMENT
- EX. LANDSCAPE TREE
- EX. HYDRANT
- EX. WATER MANHOLE
- EX. SANITARY MANHOLE
- EX. TRANSFORMER/ELECTRIC METER
- EX. GAS METER
- EX. CATCH BASIN
- EX. ROUND CATCH BASIN
- EX. LIGHT POLE
- FOUND IRON PIPE
- EX. UTILITY POLE
- EX. SIGN
- PR. PARKING SPACES
- PR. ADA RAMP
- PR. CURB (TYPE 'E')
- PR. CURB (TYPE 'F')
- PR. LANDSCAPE TREE
- PR. LIGHT FIXTURE
- PR. CONCRETE (SIDEWALK)
- PR. ASPHALT (PAVEMENT)
- PR. CONCRETE (PAVEMENT)
- PR. SPOT GRADE
- PR. DRAINAGE SLOPES

| REV. | DATE | ISSUED FOR: |
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| 0 | 10-03-2012 | CONDITIONAL REZONING SUBMITTAL |
| 1 | 11-14-2012 | REVISIONS PER CLIENT |

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 PHONE: 734.483.1427 FAX: 734.483.3431
 www.metrocc.net

CLIENT NAME: TIM DONUT U.S. LIMITED, INC.
TIM HORTONS RESTAURANT
 CONDITIONAL REZONING
 PRELIMINARY UTILITY ROUTING PLAN



| | |
|------------|----------------------|
| MCA JOB #: | 1037-12-5504 |
| DATE: | 10-03-2012 |
| DRAWN BY: | CMB |
| CHECK BY: | TJC |
| BOOK/CREW: | 44 / BC |
| ADDRESS: | 43003 DEQUINDRE ROAD |
| SECTION: | 01 |
| TOWNSHIP: | 2 NORTH |
| RANGE: | 11 EAST |
| COMMUNITY: | CITY OF TROY |
| COUNTY: | OAKLAND |
| SHEET: | 06 |

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EXTERIOR FINISH SCHEDULE

| TAG | PRODUCT | MFG. | PATTERN & COLOR | COMMENTS | SUPPLIER/CONTACT |
|------|-----------------------------|------------------------------|---|---|--|
| FC-1 | LAP SIDING | NICHHA FIBER CEMENT PRODUCTS | SIERRA PREMIUM SMOOTH 8-3/4" LAP SIDING. PRE-PRIMED G.C. TO PAINT IN FIELD. | | NICHHA CONTACT: MICHAEL RUSSO (770)805-9466, 1-866-424-4421, EMAIL: MRUSSO@NICHHA.COM |
| FC-2 | ARCHITECTURAL BLOCK | NICHHA FIBER CEMENT PRODUCTS | ARCHITECTURAL BLOCK PANELS. SIERRA PREMIUM SMOOTH 8-3/4" PRE-PRIMED G.C. TO PAINT IN FIELD. | | |
| FC-3 | KURASTONE | NICHHA FIBER CEMENT PRODUCTS | KURASTONE WALL PANELS. COLOR: MOUNTAIN ITEM: AT-1118-US BORDER PIECES (LG) COLOR: MOUNTAIN ITEM: ATB-1118L-US CORNER PIECES COLOR: MOUNTAIN ITEM: ATD-1118-US | | |
| FC-4 | TRIM | NICHHA FIBER CEMENT PRODUCTS | 1 1/4" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD | | |
| FC-5 | TRIM | NICHHA FIBER CEMENT PRODUCTS | 3/2" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD | | |
| FC-6 | VERSETTA STONE KAINSCOT CAP | BORAL STONE PRODUCTS | VERSETTA STONE KAINSCOT SILL COLOR TO MATCH KURASTONE COLOR TAUPE | INCLUDE IN NICHHA PACKAGE | |
| EP-1 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SK6064 FRENCH ROAST | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 44211 | |
| EP-2 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SK6108 LATTE | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 46431 | |
| EP-3 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SK6062 RUGGED BROWN | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 49861 | |
| EP-4 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SK6990 CAVIER | | |
| CR-1 | CORNICE | CANAMOULD | CANAMOULD CORNICE #K5008 | | |

GENERAL NOTES

- SEALANT AROUND DOOR/WINDOW FRAMES COLOR TO MATCH ADJACENT MATERIAL.
- ALL EXTERIOR FIBER CEMENT SHALL BE FINISHED BY THE MANUFACTURER WHEREVER POSSIBLE
- ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.

EXTERIOR ELEVATION KEYED NOTES:

- PREFINISHED METAL COPING W/ DRIP EDGE.
- GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.
- CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING. SEE WINDOW SCHEDULE ON SHEET A1 AND EXTERIOR FINISH SCHEDULE ON SHEET A5.
- FOUNDATION. (SEE STRUCTURAL)
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY TDL. G.C. TO PROVIDE ALL REQUIRED BLOCKING AND FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION AND SIZE OF SIGNS WITH SIGN MANUFACTURER. APPROVED DRAWINGS AND COORDINATE LOCATIONS FOR BLOCKING AND UTILITIES.
- CONTINUOUS CONCRETE FOOTING. (SEE STRUCTURAL)
- PROVIDE & INSTALL 4" DIA. CONCRETE FILLED STEEL PIPE BOLLARDS AROUND GAS METER AND CT CABINET PER LOCAL CODES & UTILITY COMPANY REQUIREMENTS. PAINT BOLLARDS COLOR: TBD.
- PRECAST STONE SILL. SEE FINISH SCHEDULE.
- AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL AND INSTALLED BY G.C. VERIFY MANUFACTURER & DELIVERY W/ TDL REPRESENTATIVE.
- LINE OF ROOF BEHIND.
- DISCHARGE LOCATION FOR SECONDARY ROOF DRAINAGE. PROVIDE ZURN Z-199 DOWNSPOUT NOZZLE @ 12" A.F.F. PER CODE.
- GOOSENECK LIGHT FIXTURE ABOVE AWNINGS MOUNT J-BOX @ 11'-0" A.F.F.
- GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE BAND MOUNT J-BOX @ 12'-4"
- HOLLOW METAL DOOR & FRAME. PAINT: PAINT REAR DOOR AND FRAME EP-2.
- C/T CABINET AND METER AS REQ'D. VERIFY WITH LOCAL ELECTRICAL COMPANY.
- FABRIC AWNING AND SUPPORT STRUCTURE PROVIDED AND INSTALLED BY OWNER. COLOR & SIGNAGE T.B.D. G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED.
- GENERAL PURPOSE LIGHT FIXTURE AS SPECIFIED ON SHEET E1 MOUNT FIXTURE @ 12'-4" A.F.F.
- G.C. TO PROVIDE & INSTALL 6" DIA. CONC. FILLED PIPE BOLLARD @ DRIVE-THRU WINDOW. SEE PLACEMENT DETAIL ON SHEET SD-19.
- (2) LAYERS 1 1/4" X 3/4" THICK NICHHA SMOOTH TRIM BOARD. SEE DETAILS ON A7.1.
- (2) LAYERS 3/4" X 3/2" PREFINISHED FIBER CEMENT TRIM BOARD. SEE DETAIL 2/A7.1
- PROVIDE NICHHA IX TRIM AT PARAPET END. COLOR TO MATCH ADJACENT TRIM.
- NOT USED.
- FLASHING BETWEEN BUILDING & WALK IN COOLER/FREEZER BY FREEZER/COOLER MFG. G.C. TO PROVIDE PREFINISHED METAL COUNTER FLASHING AS REQUIRED. COORDINATE W/ TDL REPRESENTATIVE.
- LINE OF PARAPET BEYOND.
- PRE-MANUFACTURED WALK-IN FREEZER/COOLER, BY FREEZER/COOLER MANUFACTURER.

REVISION/UPLOAD DATE

| REV. | DATE | DESCRIPTION |
|-------|----------|----------------|
| RFP#1 | 04/09/12 | GENERIC UPLOAD |
| RFP#5 | 05/09/12 | GENERIC UPLOAD |
| | 05/14/12 | GENERIC UPLOAD |

LAST DESIGN BULLETIN

| NUM. | DATE | DESCRIPTION |
|--------|----------|-----------------------|
| #02-12 | 03/22/12 | NEW AWNINGS, LIGHTING |

DATE ISSUED: 04/09/2012

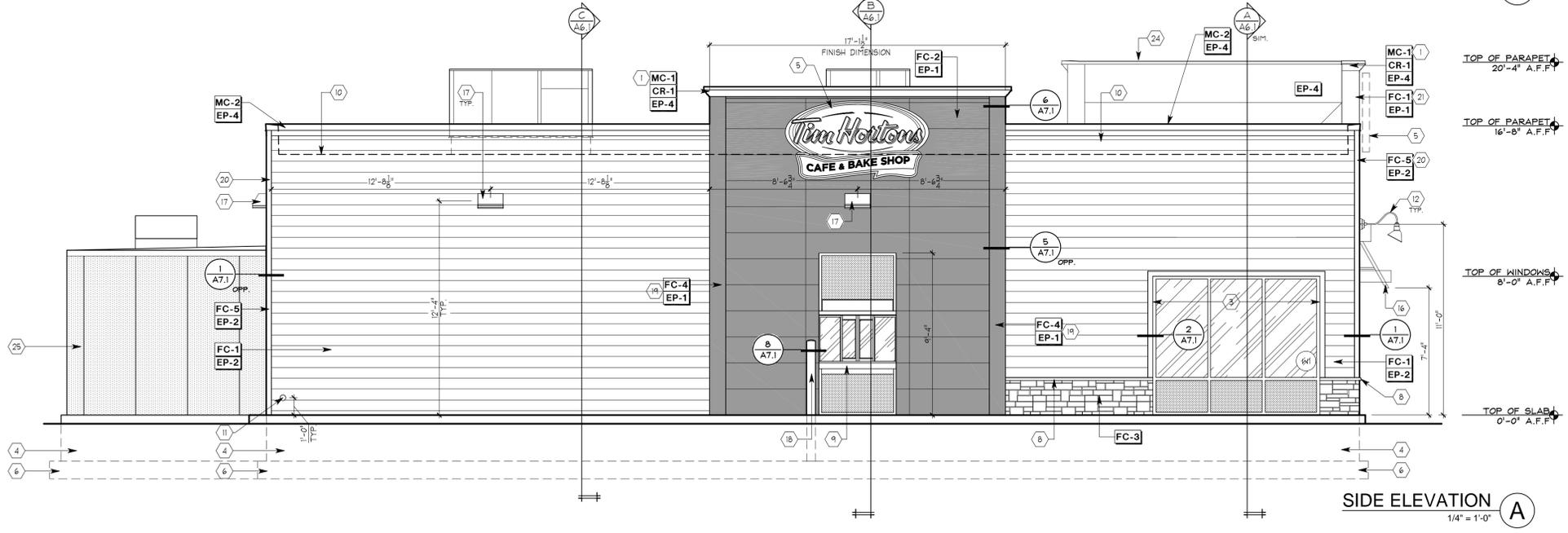
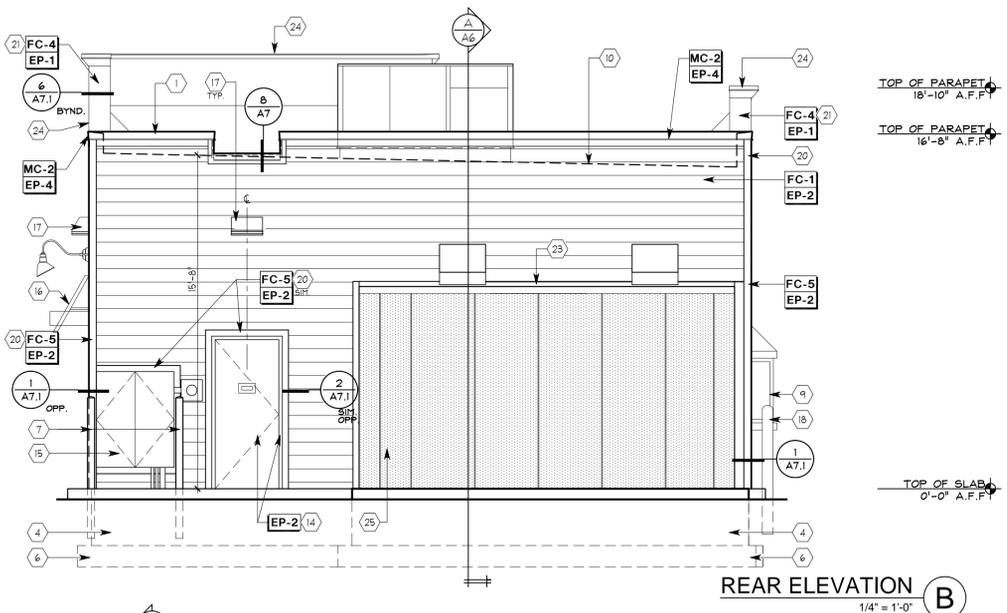
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 www.shremshock.com

Tim Hortons
 MODEL 190-12 (U.S.)
 NOT FOR CONSTRUCTION
 ANYWHERE U.S.A.

EXTERIOR ELEVATIONS
 DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

SAI # 120002
 DRAWING NUMBER: A5.1

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SIGNAGE SHOWN IS REPRESENTATIVE. OWNER SHALL SUBMIT DETAILED INFORMATION ON SIGNAGE FOR APPROVAL.

SYMBOL LEGEND

- ELEVATION REFERENCE
- WALL / BUILDING SECTION REFERENCE
- NOTE REFERENCE. SEE EXTERIOR ELEVATION CODED NOTES
- WINDOW NUMBER. REFER TO SCHEDULES ON DRAWING A11.

DRAWN BY: DDS CHECKED BY: MLL

TDL STORE NUMBER

KITCHEN EQUIPMENT SCHEDULE

| NO. | SUPPL'D | INSL'D | DESCRIPTION | QTY | MANUFACTURER | MODEL | NOTES |
|-------|---------|--------|---|------|----------------------|-----------------|--|
| 1 | T.D.L. | G.C. | MIRROR | 2 | BOBRICK | B0292 | 24" HORIZ. X 36" VERT. SURFACE MOUNTED (CONSULT WITH TIM HORTONS FIELD ENGINEER) |
| 2 | T.D.L. | G.C. | TOILET PAPER HOLDER | 2 | BUNZ | GPT64T | |
| 3 | T.D.L. | G.C. | ELECTRIC HAND DRYER | 2 | XLERATOR | XL-N | W/ RECESS-MOUNTING KIT #40502 |
| 4 | T.D.L. | G.C. | 42" GRAB BAR | 2 | BOBRICK | B-6806w/2 | SUPPLIED BY FINISHED CARPENTRY SECTION |
| 4B | T.D.L. | G.C. | 36" GRAB BAR | 2 | BOBRICK | B-6806w/36 | SUPPLIED BY FINISHED CARPENTRY SECTION |
| 4C | T.D.L. | G.C. | 18" GRAB BAR | 2 | BOBRICK | B-6806w/18 | SUPPLIED BY FINISHED CARPENTRY SECTION |
| 51 | T.D.L. | G.C. | SOAP DISPENSER - WALL MOUNTED | 5 | BOBRICK | B-2111 | LIQUID SOAP SURFACE MOUNTED |
| 52 | T.D.L. | G.C. | SOAP DISPENSER - 3 COMP SINK | 1 | | | |
| 62 | T.D.L. | T.D.L. | SIRIUS SPEAKERS | 1 | | | ON SHELF - BY INSTALLER |
| 82 | T.D.L. | T.D.L. | BAG-N-BOX W/ CARBONATOR | 1 | PEPSI | | |
| 163 | T.D.L. | T.D.L. | IN-STORE CAMERA | 7 | PANASONIC | WV-CF224 | LOCATION TO SUIT TIM HORTONS FIELD ENGINEER |
| 2012 | T.D.L. | G.C. | 3 COMPARTMENT SINK | 1 | S 4 G | SK-73009 | 72" LONG |
| 221 | T.D.L. | G.C. | FIRE EXTINGUISHER WITH RECESSED CABINET | 1 | JL INDUSTRIES | #1816F0 | AMEREX #B402 (5LB 3A40BC) |
| 222 | T.D.L. | G.C. | FIRE EXTINGUISHER WALL SURFACE MTD. | 2 | AMEREX | #B260 | (1) MODEL B260 CLASS 2A-K & (2) B402 (3A40BC) #B10 WALL BRACKET |
| 2610 | T.D.L. | G.C. | S/S FINISHING TABLE | 1 | S 4 G | | |
| 2612 | T.D.L. | G.C. | S/S FINISHING TABLE - BUTCHER BLOCK | 1 | S 4 G | | |
| 271 | T.D.L. | T.D.L. | DVT MONITOR | 1,2F | PANASONIC | | 60" WIDE |
| 272 | T.D.L. | T.D.L. | SANDWICH MONITOR (WALL MOUNTED) | 1F | PANASONIC | | |
| 274 | T.D.L. | T.D.L. | 10" MONITOR | 1,1F | PANASONIC | | |
| 275 | T.D.L. | T.D.L. | 10" MONITOR WITH STAND | 1 | PANASONIC | | |
| 276 | T.D.L. | T.D.L. | CRASH MONITORS | 2F | PANASONIC | | |
| 291 | T.D.L. | G.C. | PAPER TOWEL DISPENSER ROLL | 2 | FROST | 126 | |
| 292 | T.D.L. | G.C. | PAPER TOWEL DISPENSER | 1 | FROST | 101 | |
| 31 | T.D.L. | T.D.L. | WIRELESS BASE STATION | 1 | HME/S/M/PANASONIC | | |
| 32 | T.D.L. | T.D.L. | BATTERY CHARGER | 1 | HME/S/M/PANASONIC | | |
| 33 | T.D.L. | T.D.L. | HARDWARE RECEIVER | 1 | HME/S/M/PANASONIC | | |
| 34.7 | T.D.L. | G.C. | DISHTABLING FOR TEMPSTAR | 1 | S 4 G | | |
| 34.8 | T.D.L. | G.C. | DRAWER PANS FOR TEMPSTAR | 1 | S 4 G | | |
| 35.3 | T.D.L. | G.C. | DISHWASHER | 1 | TEMPSTAR | 208/230/3 PHASE | |
| 37.11 | T.D.L. | T.D.L. | P.O.S. CASH REGISTER (STANDARD) | 3,2F | PANASONIC | 7500 | INSULATED, ISOLATION OUTLET |
| 38.14 | T.D.L. | S.F.C. | SANDWICH UNIT | 1 | S 4 G | | |
| 40.3 | T.D.L. | S.F.C. | ICED CAPPUCCINO LID DISPENSER | 1 | S 4 G | ICED CAPPUCCINO | |
| 40.4 | T.D.L. | S.F.C. | LID DISPENSER - HOT | 2 | S 4 G | HOT | |
| 42.4 | T.D.L. | T.D.L. | MICROWAVE OVEN (STANDARD) | 1 | PANASONIC | NE 1054 | |
| 43 | T.D.L. | G.C. | WALL SHELVING 12" DEEP | 1 | S/S STORAGE PRODUCTS | VARIES | CONSULT TIM HORTONS FIELD ENGINEER - SEE PLAN |
| 44.2 | T.D.L. | T.D.L. | BEVERAGE FOUNTAIN W/ ICE BIN | 1 | CORNELIUS | 2323 | |
| 44.3 | T.D.L. | T.D.L. | BEVERAGE PUMP AND MOTOR ASSEMBLY | 1 | PEPSI | | |
| 46.3 | T.D.L. | T.D.L. | BAGEL TOASTER - TURBO | 1 | STAR MFG. | QC53-1600B | |
| 47.7 | T.D.L. | G.C. | SEATING - LOW BASE TABLE 2x2 | 7 | PETER ANTHONY | | |
| 47.8 | T.D.L. | G.C. | SEATING - TUB CHAIR | 4 | PETER ANTHONY | | |
| 47.9 | T.D.L. | G.C. | SEATING - SHELL SEATING | 11 | PETER ANTHONY | | |
| 47.10 | T.D.L. | G.C. | COFFEE TABLE 20"X20" | 2 | PETER ANTHONY | | |
| 47.11 | T.D.L. | G.C. | SEATING - STOOL | 6 | PETER ANTHONY | | |
| 47.12 | T.D.L. | G.C. | SEATING - PRESH CHAIR | 3 | PETER ANTHONY | | |
| 47.13 | T.D.L. | G.C. | BOOTH SEATING - BENCH, CUSTOM LENGTH | 1 | PETER ANTHONY | *SETTEE BENCH | 7'-6" LONG (VERIFY) |
| 47.14 | T.D.L. | G.C. | BOOTH SEATING - BENCH | 2 | PETER ANTHONY | | 44" WIDE |
| 47.15 | T.D.L. | G.C. | BOOTH SEATING - BENCH, BACK-TO-BACK | 1 | PETER ANTHONY | | 44" WIDE |
| 47.16 | T.D.L. | G.C. | BOOTH SEATING - BOOTH TABLE | 2 | PETER ANTHONY | | 44" WIDE |
| 49 | T.D.L. | G.C. | WALK-IN SHELVING | 12 | SPG STORAGE PRODUCTS | | SEE PLAN |
| 51 | T.D.L. | G.C. | SEMI RECESSED TRASH | 2 | FROST | 531 | |
| 54.1 | T.D.L. | T.D.L. | KEEPER RACK | 2 | CORIAN | | |
| 57.2 | T.D.L. | T.D.L. | FONDANT WARMER | 1 | GARLAND | EFK-800 | |
| 60.3 | T.D.L. | G.C. | HOT PLATE | 1 | GARLAND | ED-15THSE | |
| 62.5 | T.D.L. | G.C. | ICE MACHINE | 1 | HOSHIZAKI | KM-320P4H | |

| NO. | SUPPL'D | INSL'D | DESCRIPTION | QTY | MANUFACTURER | MODEL | NOTES |
|-------|---------|--------|---------------------------------------|------|----------------------|------------|---|
| 63 | T.D.L. | G.C. | SUSPENDED STORAGE SHELVING (METAL) | 5 | SPG STORAGE PRODUCTS | VARIES | SEE PLAN |
| 64 | T.D.L. | G.C. | DRY STORAGE SHELVING (METAL) | 7 | SPG STORAGE PRODUCTS | VARIES | |
| 66.3 | T.D.L. | G.C. | ICER CREAMER-DUAL VOLUME (STANDARD) | 2 | SURE SHOT | AC10 | |
| 67.4 | T.D.L. | T.D.L. | HOT CAPPUCCINO UNIT | 1,1F | BUNN | FFID-DBC-3 | |
| 68.6 | T.D.L. | G.C. | COFFEE BREWER | 2,1F | BUNN | CMT-95 | |
| 68.14 | T.D.L. | T.D.L. | COFFEE BREWER | 2 | BUNN | CMTF95-3 | |
| 69.3 | T.D.L. | T.D.L. | PORTION CONTROLLED GRANULAR DISPENSER | 2 | BURESHOT | | |
| 70 | T.D.L. | G.C. | WALK-IN FREEZER (EXTERIOR) | 1 | ICS | | 10'-1" TALL |
| 71.14 | T.D.L. | G.C. | WORK TABLE 5/8" | 1 | S 4 G | | 3' WIDE |
| 72.5 | T.D.L. | G.C. | EXHAUST HOOD (HOT PLATE) | 1 | AEROLATOR | | SEE MECHANICAL & ELECTRICAL DRAWINGS |
| 72.9 | T.D.L. | G.C. | EXHAUST HOOD (DISHWASHER) | 1 | AEROLATOR | | SEE MECHANICAL & ELECTRICAL DRAWINGS |
| 72.10 | T.D.L. | G.C. | EXHAUST HOOD (BAGEL TOASTER) | 1 | HALTON | | SEE MECHANICAL & ELECTRICAL DRAWINGS |
| 72.14 | T.D.L. | G.C. | EXHAUST HOOD (OVEN) | 1 | HALTON | VG-C | SEE MECHANICAL & ELECTRICAL DRAWINGS |
| 73 | T.D.L. | G.C. | HAND SINKS - COUNTER MOUNTED | 2 | POLAR | 1734 | |
| 73.1 | T.D.L. | G.C. | DUMP SINKS - COUNTER MOUNTED | 2 | POLAR | 1734 | |
| 73.2 | T.D.L. | G.C. | HAND SINKS - WALL MOUNTED | 1 | AMTEKO | | |
| 74 | T.D.L. | G.C. | WALK-IN COOLER (EXTERIOR) | 1 | ICS | | 10'-1" TALL |
| 77.5 | T.D.L. | T.D.L. | SOUP WARMER | 1 | BLOOMFIELD | 300TDM | |
| 81.3L | T.D.L. | G.C. | UNDERCOUNTER REFRIGERATOR | 2 | DELFIELD | UCR-27 | |
| 82 | T.D.L. | G.C. | DEPOSIT BOX SAFE | 2 | PERMAVAULT | PRO-500 | |
| 83.2 | T.D.L. | T.D.L. | VEGETABLE SINK | 1 | S 4 G | | |
| 85 | T.D.L. | T.D.L. | SECURITY SYSTEM MONITOR | 1 | ADT | | G.C. TO PROVIDE POWER |
| 86.2 | T.D.L. | G.C. | EMPLOYEE LOCKER HANGING STORAGE | 1 | HADRAN | | |
| 87.7 | T.D.L. | T.D.L. | COLD BEVERAGE | 1 | TAYLOR | 342 | |
| 88 | G.C. | G.C. | SHELVING ABOVE 3-COMPARTMENT SINK | 1 | CARI-ALL | | |
| 89 | G.C. | G.C. | BABY CHANGING TABLE | 2 | KOALA | KB300 | TOP OF UNIT TO BE 48" A.F.F. |
| 90 | T.D.L. | T.D.L. | WINDOW BLINDS | 12 | | | G.C. TO VERIFY QUANTITY AND LOCATIONS FOR BLINDS W/ OWNER |
| 92 | T.D.L. | T.D.L. | DRIVE-THRU TIMER | 1 | HME | SYSTEM 30 | |
| 92.1 | T.D.L. | T.D.L. | DRIVE-THRU LANE-TIMER JOURNAL PRINTER | 1 | | | |
| 93.2 | T.D.L. | T.D.L. | 'CAM' FRAME | 1 | | | |
| 94.3 | T.D.L. | T.D.L. | 'POPI' FRAME | 1 | | | |
| 96.1 | T.D.L. | T.D.L. | WALL CLOCK | 1 | | | |
| 96.1 | T.D.L. | T.D.L. | TRAINING COMPUTER | 2 | HP | | |
| 99.1 | T.D.L. | T.D.L. | TEA/WATER COMBO BREWER | 1F | | | |
| 104 | T.D.L. | G.C. | HOT PLATE STAND FOR ITEM #60 | 1 | | | |
| 107.2 | T.D.L. | T.D.L. | SAFE | 1 | | | |
| 108.2 | T.D.L. | T.D.L. | BAGEL SABER | 1 | PRINCECASTLE | SERIES 970 | |
| 109 | T.D.L. | G.C. | TABLE TOP GLAZER | 1 | S 4 G | CF7007 | |
| 112 | T.D.L. | T.D.L. | MOBILE DISH CART | 2 | SPG STORAGE PRODUCTS | | |
| 118 | T.D.L. | T.D.L. | DESKTOP COMPUTER | 1 | | | |
| 122.3 | T.D.L. | G.C. | BREAD SHELF 42" | 2 | CAYUGA | | |
| 123 | T.D.L. | T.D.L. | MEDIA STORAGE CABINET | 1 | APC NET SHELTER | AR100 | |
| 124.4 | T.D.L. | G.C. | LCD TV/MONITOR & MOUNTING BRACKET | 1 | | | MONITOR & BRACKET FURNISHED BY T.D.L. |
| 124.6 | T.D.L. | G.C. | 47" LCD PENIBOARD | 5 | | | ALLOW 2" SPACING BETWEEN SCREENS |
| 128 | T.D.L. | G.C. | FLAVOR DISPENSER FOR COFFEE | 1 | SURE SHOT | AC-F95 | |
| 129 | T.D.L. | G.C. | CUTLERY BIN HOLDER | 1 | S 4 G | CF707B | |
| 130.3 | T.D.L. | G.C. | ADVANCE CHILLER UNIT | 1 | SURE SHOT | AC-LC1 | |
| 130.4 | T.D.L. | T.D.L. | TEA SERVER | 1 | BUNN | | |
| 134.1 | T.D.L. | T.D.L. | HIGH CHAIR AND TRAY | 1 | KOALA | 7805/7815 | |
| 135 | T.D.L. | G.C. | HOT HOLDING UNIT (STANDARD) | 1,1F | MERCO SAVORY | MHC-22-TDL | |
| 136.4 | T.D.L. | T.D.L. | ESPRESSO | 1 | NESCAFE MILANO | 8/100 | |
| 137 | G.C. | G.C. | SEMI RECESSED TRASH | 2 | FROST | 531 | |
| 138 | T.D.L. | T.D.L. | TOASTER STAND | 1 | ASTRON | 340-TDL | MOUNT TOP OF UNIT 53" A.F.F. R.O. 1/2 1/4"X31" |
| 140 | T.D.L. | G.C. | ICE CADDY | 1F | S 4 G | | |
| 143 | T.D.L. | T.D.L. | PRINTER | 1 | | | |
| 145 | T.D.L. | T.D.L. | KNIFE BIN HOLDER | 1 | | | |
| 147 | T.D.L. | T.D.L. | BIOHAZARD KIT | 1 | NEATH | 127870 | COORDINATE LOCATION/MOUNTING WITH T.D.L. REPRESENTATIVE |
| 148 | T.D.L. | T.D.L. | FIRST AID KIT | 1 | VARIES | | COORDINATE LOCATION/MOUNTING WITH T.D.L. REPRESENTATIVE |

STORE FIXTURE SCHEDULE

| NO. | SUPPL'D | INSL'D | DESCRIPTION | QTY | MANUFACTURER | MODEL | NOTES |
|-------|---------|--------|---------------------------|-----|--------------|-------|------------|
| D4 | S.F.C. | S.F.C. | GLASS GUARD | 3 | S 4 G | | |
| D6 | S.F.C. | S.F.C. | TRAY RAIL | 2 | | | |
| D5 | S.F.C. | S.F.C. | SNEEZE GUARD | 1 | S 4 G | | |
| D21c | S.F.C. | S.F.C. | 3' DISPLAY MERCHANDISER | 1 | S 4 G | | |
| D22 | S.F.C. | S.F.C. | LOW PARTITION | 1 | S 4 G | | |
| D24 | S.F.C. | S.F.C. | WINDOW SILL | 4 | S 4 G | | |
| D34.6 | S.F.C. | S.F.C. | GARBAGE CONDIMENT | 1 | S 4 G | | |
| D46 | S.F.C. | S.F.C. | OFFICE COUNTERTOP | 1 | S 4 G | | F002007-08 |
| D46.1 | S.F.C. | S.F.C. | FILE DRAWER | 1 | S 4 G | | |
| D46.2 | S.F.C. | S.F.C. | PENCIL DRAWER | 1 | S 4 G | | |
| D46.4 | S.F.C. | S.F.C. | DOUBLE OVERHEAD CABINET | 2 | S 4 G | | |
| D46.5 | S.F.C. | S.F.C. | CORNER OVERHEAD CABINET | 1 | S 4 G | | |
| D50 | S.F.C. | S.F.C. | SHINGING GATE | 1 | S 4 G | | |
| D55.1 | S.F.C. | S.F.C. | COFFEE GRIND STATION | 1 | S 4 G | | |
| D56 | S.F.C. | S.F.C. | COFFEE PRESENTATION SHELF | 1 | S 4 G | | |
| D57 | S.F.C. | S.F.C. | MILLWORK COUNTER | 1 | S 4 G | | |

GENERAL NOTES

- COORDINATE EQUIPMENT PACKAGE W/ T.D.L. REPRESENTATIVE.
- G.C. RESPONSIBLE FOR UNLOADING AND PLACING EQUIPMENT IN STORE. SOME EQUIPMENT IS APPROXIMATE 400 LBS.
- G.C. TO PROVIDE SOLID WOOD BLOCKING IN WALLS FOR ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES.
- G.C. TO PROVIDE BLOCKING BETWEEN TRUSSES AS REQUIRED FOR OVERHEAD SUSPENDED SHELVING.
- SECURITY CAMERAS PROVIDED & INSTALLED BY T.D.L. G.C. TO VERIFY SIGN BANNERS DO NOT OBSCURE CAMERA VIEWS.
- G.C. TO VERIFY EXTINGUISHERS LOCATIONS, TYPE, SIZE AND QUANTITY W/ LOCAL FIRE MARSHALL. IF LOCAL REQUIREMENTS ARE DIFFERENT THAN SHOWN OWNER SHALL REIMBURSE THE G.C. FOR THE CHANGES.

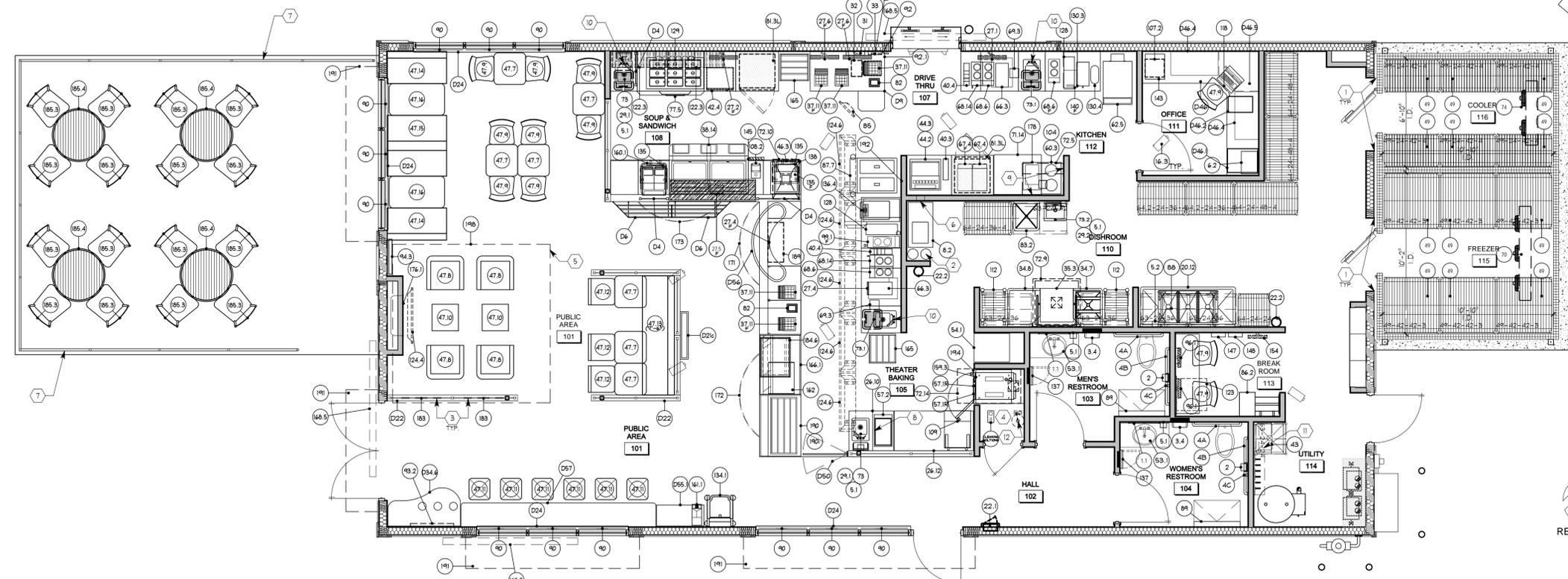
FLOOR PLAN CODED NOTES

- FREEZER/COOLER HFG. TO PROVIDE STAINLESS STEEL CLOSURE ANGLE.
- CO2 TANK. G.C. TO PROVIDE SAFETY CHAIN, ATTACHED TO WALL.
- SUSPENDED ACRYLIC BANNERS PROVIDED AND INSTALLED BY G.C. BANNERS TO BE SUSPENDED FROM SLAT CEILING ABOVE AND ANCHORED TO LOW WALL BELOW SLAT. BANNER, LOW WALL & TILE TRANSITION SHALL BE ALIGNED VERTICALLY. SEE DETAIL G/AS.
- COMBI OVEN CHEMICALS TO BE STORED IN CLOSET BESIDE THE OVENS.
- DASHED LINE INDICATES DECORATIVE SLAT CEILING - SEE NOTE #3.
- 6'x6" OPENING IN WALL @ 12" A.F.F. FOR SYRUP LINES.
- G.C. TO INSTALL PATIO RAILING BY FORTIN IRONWORKS, COMMERCIAL GRADE MATERIALS.
- STAINLESS STEEL SPLASH GUARD BY S.F.C.
- G.C. TO INSTALL STAINLESS STEEL ON WALLS AROUND HOT PLATE TO BOTTOM OF HOOD SURROUND.
- STORE FIXTURE COMPANY TO INSTALL CLEATS FAR ENOUGH BACK TO ALLOW ROOM FOR GARBAGE CAN TO FIT UNDER SINK.
- MOP HOLDER, MOUNTED TO WALL.
- WATER FILTER FOR COMBI OVEN TO BE INSTALLED THIS AREA (ABOVE).

STORAGE SHELVING LEGEND

| SHELVING TYPE | ITEM-DEPTH-LENGTH-TIERS | QUANTITY |
|-----------------------|--|----------|
| OVERHEAD SHELVING #43 | 43-14-21-2 | 1 |
| OVERHEAD SHELVING #86 | 86-14-36-2 | 1 |
| OVERHEAD SHELVING #63 | 63-24-24-4 63-24-36 63-24-42 | 4 |
| FLOOR SHELVING #64 | 64-24-24-4 64-24-36-4 64-24-48-4 | 3 |
| WALK-IN SHELVING #49 | 49-24-42-4 | 6 |
| WALK-IN SHELVING #49 | 49-42-42-3 | 6 |

NOTES:
 1. TIM HORTONS PROVIDE METAL SHELVING AS INDICATED ON DRAWINGS.
 2. REFER TO INTERIOR ELEV. SHEET A9 FOR SHELVING HEIGHTS
 3. G.C. PROVIDE BLOCKING IN WALLS & CEILING AS REQ'D FOR SHELF SUPPORT.



EQUIPMENT PLAN
1/4" = 1'-0"

SHREMSHOCK
 Shremshock Architects, Inc.
 630 S. Surrency Rd., Westville, NC 28781
 Tel: 704-940-4600 Fax: 704-940-4600
 www.shremshock.com

Tim Hortons
 MODEL 190-12 (U.S.)
 NOT FOR CONSTRUCTION
 ANYWHERE U.S.A.
 TDL STORE NUMBER

EQUIPMENT PLAN
 DRAWN BY: DDS CHECKED BY: MLL

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION
 SAI # 120002
 DRAWING NUMBER: **A2**

DATE: February 7, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 400) – Proposed Starbucks/Qdoba Oakland Mall Outlot, Northwest Corner of John R and 14 Mile, Section 35, Currently Zoned GB (General Business) District

The petitioner Urban Retail Properties submitted the above referenced Special Use Approval and Preliminary Site Plan Approval application for a proposed Starbucks/Qdoba outlot restaurant. The site is presently an underutilized parking lot.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SU 400

G:\SPECIAL USE\SU 400 Starbucks Qdoba Oakland Mall Outlot Sec 35\PC Memo 02 12 2013.docx

PROPOSED RESOLUTION

PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 400) – Proposed Starbucks/Qdoba Oakland Mall Outlot, Northwest Corner of John R and 14 Mile, Section 35, Currently Zoned GB (General Business) District

Resolution # PC-2013-02-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Starbucks/Qdoba Restaurant, located on the northwest corner of John R and 14 Mile, Section 35, currently zoned GB (General Business) District, be granted, subject to the following:

1. Confirm that ten (10) stacking spaces can be provided.
2. Indicated location of bike rack on site plan.
3. Provide a sidewalk along their section of Fourteen Mile road.
4. Consider extending sidewalk to bus stop.
5. Provide sidewalk and crosswalk to connect the Fourteen Mile sidewalk to the pedestrian ramp.
6. Add one (1) additional parking lot tree.
7. Confirm number of parking lot lights.
8. Resubmit parking lot light fixture.
9. Confirm that bollard light is full cut-off or fully shielded.
10. Reduce the lighting levels under the parking lot fixtures.

Yes:

No:

Absent:

MOTION CARRIED / FAILED



Legend

146 0 73 146Feet

Scale 1: 878



605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: February 29, 2012

Preliminary Site Plan and Special Use Review For City of Troy, Michigan

| | |
|------------------------------|---|
| Applicant: | Professional Engineering Associates |
| Project Name: | Starbucks/Qdoba Restaurants Outlot |
| Plan Date: | Application dated January 10, 2012 |
| Location: | North Side of W. Fourteen Mile Road (Oakland County Mall) |
| Zoning: | GB, General Business District |
| Action Requested: | Preliminary Site Plan and Special Use Approval |
| Required Information: | Deficiencies noted |

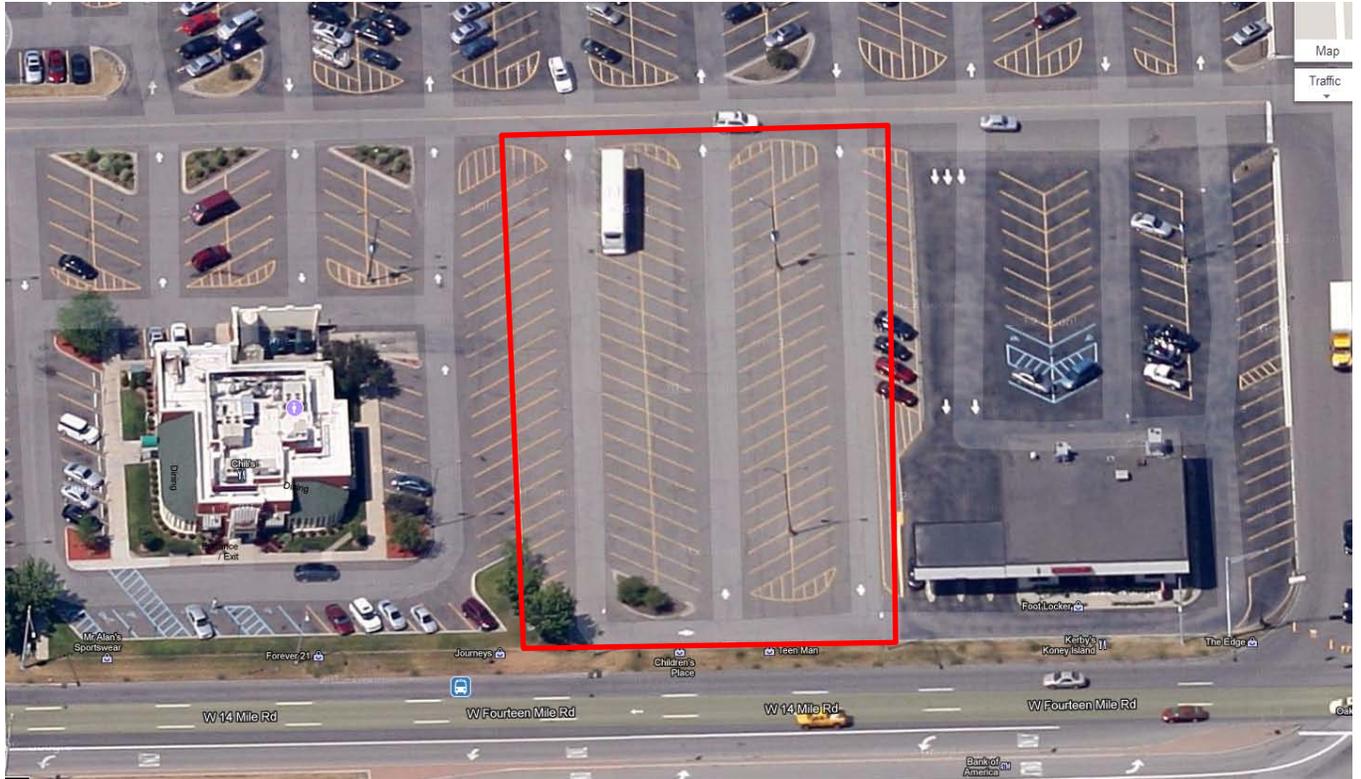
PROJECT AND SITE DESCRIPTION

We received a site plan and accompanying documents for a proposed commercial infill development within the Oakland Mall site. The applicant is proposing a 2,500 sq/ft Qdoba and a 1,900 sq/ft Starbucks with a drive-thru. The proposed development fronts on Fourteen Mile Road; however there is no direct curb-cut off Fourteen Mile Road. Access to the development will be via an internal drive that services Oakland Mall. The development is located between the existing Chili's and Bank of America. The drive-through use requires a special use.

The site plan indicates that this developed area will not be split from the Oakland Mall parcel. The applicant will need to clarify the lot split with the City Assessor.

Location of Subject Property:

The property is located on the north side of Fourteen Mile Road. Located within Oakland Mall site between existing Chili's and Bank of America.



Size of Subject Property:

Oakland Mall Parcel: 23.6 acres

Development Area: 1.3 acres

Proposed Uses of Subject Parcel:

The applicant is proposing a 2,500 sq/ft Qdoba and a 1,900 sq/ft Starbucks with a drive-thru.

Current Use of Subject Property:

Parking for Oakland Mall

Current Zoning:

The property is currently zoned GB, General Business District.

| Direction | Zoning | Use |
|-----------|----------------------|-----------------|
| North | GB, General Business | Oakland Mall |
| South | Madison Heights | Commercial |
| East | GB, General Business | Bank of America |
| West | GB, General Business | Chili's |

BUILDING ARRANGEMENT

The proposed building is oriented towards the southern end of the site adjacent to Fourteen Mile Road. The drive-thru runs along the western property line and is separated from the rest of the site with a curb. All parking is located behind the building. The trash enclosure is located in the northeast corner of the site adjacent to the Oakland Mall drive-aisle.

Items to be Addressed: *None.*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Section 4.14.C establishes the dimensional requirements for the GB District. The requirements and the proposed dimensions are as follows:

| | <u>Required:</u> | <u>Provided:</u> | <u>Compliance</u> |
|-----------------------|----------------------------|-------------------|-------------------|
| Front (Fourteen Mile) | 10 feet minimum setback | 49 feet | Complies |
| Side (east) | 20 feet minimum setback | 62 feet | Complies |
| Side (west) | 20 feet minimum setback | 41 feet | Complies |
| Building Height | Maximum 5 stories, 75 feet | 22 feet, 8 inches | Complies |

The building meets all GB District requirements.

Items to be Addressed: *None*

PARKING

Section 13.06.G of the Zoning Ordinance requires:

| | <u>Required</u> | <u>Provided</u> |
|---|--------------------------------|-------------------------------|
| Fast Food Restaurant: 1 space per 70 sq.ft of net floor area | 3,914 sq.ft / 70 = 56 spaces | 44 spaces |
| Stacking: 10 spaces | 10 spaces | 9 spaces |
| Total | 56 spaces + 10 stacking spaces | 44 spaces + 9 stacking spaces |
| Barrier Free | 2 | 2 |
| Bicycle Parking | 2 | 2 |
| Loading | 0 | 0 |

| | | |
|--------------|--|--|
| Total | 56 spaces +10 stacking spaces + 2 bicycle | 44 spaces + 9 stacking spaces + 0 bicycle |
|--------------|--|--|

The applicant is seeking a parking deviation of 12 spaces. The Planning Commission is able to grant such deviation provided that the applicant supply evidence that the site provides a sufficient number of parking spaces to accommodate the use. The applicant notes that the excess parking in the Oakland Mall can accommodate any overflow parking. Looking at the site and surrounding area, we find that due to the excess parking of the Oakland Mall, parking should be sufficient. There may be some times when customers may need to park in the excess Oakland Mall parking area. However, we also note that once the Starbucks/ Qdoba lot is filled, customers will use the Chili's and Bank of America lots, which provide some parking very close to the proposed development building entrance. The applicant should confirm that they have spoken to both entities in regards to potential parking conflicts and are able to provide solutions should a parking dispute arise.

The applicant is deficient in staking spaces by one (1). The applicant should confirm that ten (10) stacking spaces can be provided. The applicant has submitted details of a bike rack however the location is not indicated on the site plan.

Items to be Addressed: 1) Confirm that they spoke to both entities in regards to potential parking conflicts and are able to provide solutions should a parking dispute arise; 2) Confirm that ten (10) stacking spaces can be provided; and 3). Indicate location of bike rack on site plan.

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation

The site will be accessed via an internal drive serving the Oakland Mall. There is a separate access point for the drive-thru lane and the drive-thru has an escape point. The single-lane drive-thru lane expands to two after the pickup window. The applicant should explain the need for the second drive-aisle past the pickup window.

Pedestrian access:

There is currently no sidewalk along this stretch of Fourteen Mile Road. See diagram below:



At a minimum the applicant should provide a sidewalk along their section of Fourteen Mile. When/if Chili's or Bank of America develop, sidewalks will be added to their portion of Fourteen Mile. In addition, applicant should consider extending the sidewalk to the bus stop that is located in front of the

Chili's. Lastly, the applicant should provide a sidewalk and crosswalk across the drive aisle that connects the Fourteen Mile sidewalk to the pedestrian ramp in front of the building.

Items to be Addressed: 1). Explain the need for the second drive-aisle past the pickup window; 2). Provide a sidewalk along their section of Fourteen Mile; 3). Consider extending sidewalk to bus stop; and 4). Provide sidewalk and crosswalk to connect the Fourteen Mile sidewalk to the pedestrian ramp.

LANDSCAPING

The applicant has provided a landscape plan. The plan provides all necessary calculations regarding greenbelt, street trees, and parking lot landscaping requirements.

| | <u>Required:</u> | <u>Provided:</u> | <u>Compliance:</u> |
|--|------------------------------|------------------|------------------------|
| <u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way. | 180 feet = 6 trees | 6 | Compliant |
| <u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material. | 20% | 21.1% | Compliant |
| <u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval. | Required 56 spaces = 7 trees | 6 trees | Add 1 parking lot tree |

Trash Enclosure:

The applicant has provided the trash enclosure details.

Items to be Addressed: Add one (1) additional parking lot tree

PHOTOMETRICS

The applicant has provided a lighting (photometric) plan. The lighting schedule indicates nine (9) parking lot pole lights; however the site plan only shows two (2) poles and four (4) lights. The applicant should confirm the number. In addition, the submitted fixture for the parking lot lights does not meet the ordinance requirement of full cut-off or a fully shielded fixture, downward directed with a flat lens. The applicant should resubmit the fixture.

The applicant proposes three different building fixtures, a total of twelve (12) lights total. The fixtures submitted meet ordinance requirements. In addition, the applicant is proposing seven (7) bollard style lights in the planters that front the building and the east elevation. The applicant shall confirm that this is a full cut-off or a fully shielded fixture.

The photometric exceed the allowable levels underneath the parking lot fixtures. The applicant will need to reduce these levels.

Items to be Addressed: 1). Confirm number of parking lot lights; 2). Resubmit parking lot light fixture; 3). Confirm that bollard light is full cut-off or fully shielded; and 4). Reduce the lighting levels under the parking lot fixtures.

FLOOR PLANS and ELEVATIONS

The applicant has submitted floor plans and elevations. The building is constructed with modular brick with EIFs elements for the sign panels. A requirement of the GB district is that the maximum length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet. The applicant meets that requirement.

Items to be Addressed: None

SPECIAL USE

In the GB District, restaurant with drive-through service is permitted as a special use. For any special use, according to Section 9.02.D, the Planning Commission shall “...review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department’s report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.”

Use Standards

Section 6.10 provides specific use requirements for drive-through facilities. The standards for stacking lane are not met by the site plan. The applicant shall confirm that sufficient stacking space can be provided.

Standards of Approval

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses. **The proposed use is intended for a location within areas of high traffic. The proposed use will not have any detrimental impact and will add a service to the immediate commercial corridor.***
2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans. **The use is common to regional commercial area, and complies with the Master Plan.***
3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip*

generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.

With access via the existing internal drive-aisle, the proposed use will not impact traffic on public road. Internally the drive-through, trash pickup, and loading have adequate spaces for services needed.

4. *Impact on Public Services.* The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden. **The proposed use will cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.**
5. *Compliance with Zoning Ordinance Standards.* The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards. **Several items need to be addressed, as noted herein, to meet this requirement.**

The Planning Commission is also required to generally consider the following for any special use application:

1. *The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.* **See above. Provided site planning issues are addressed the proposed use may be permissible in the proposed location.**
2. *Vehicular circulation and parking areas.* **Provide the applicant address the widening of the drive-through lane, vehicular circulation is sufficient. While parking is deficient, due to the excess parking in the Oakland Mall, parking should be sufficient.**
3. *Outdoor activity, storage and work areas.* **N/A.**
4. *Hours of operation.* **The proposed use is in an area where similar uses provide service to regional commercial customers from early morning to evening. This is a high-intensity area and automobile service uses are common in such areas.**
5. *Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.* **We do not anticipate any additional impact after initial construction in this regard.**

Items to be addressed: Address Ordinance compliance issues noted herein.

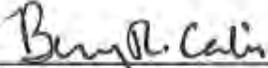
RECOMMENDATION

We support the proposed project and believe the project does meet or exceed minimum requirements, with several small conditions for clarification and compliance with minor elements required by the Zoning Ordinance. Provided that the applicant can justify the parking reduction and the second drive-aisle in front of the building to the satisfaction of the Planning Commission, we recommend the Planning Commission approve the special use request and preliminary site plan application conditioned on the applicant satisfying the following requirements for the final site plan:

1. Confirm that ten (10) stacking spaces can be provided.
2. Indicated location of bike rack on site plan.
3. Provide a sidewalk along their section of Fourteen Mile road.
4. Consider extending sidewalk to bus stop.
5. Provide sidewalk and crosswalk to connect the Fourteen Mile sidewalk to the pedestrian ramp.
6. Add one (1) additional parking lot tree.
7. Confirm number of parking lot lights.
8. Resubmit parking lot light fixture.
9. Confirm that bollard light is full cut-off or fully shielded.
10. Reduce the lighting levels under the parking lot fixtures.

Sincerely,

Ben Carlisle

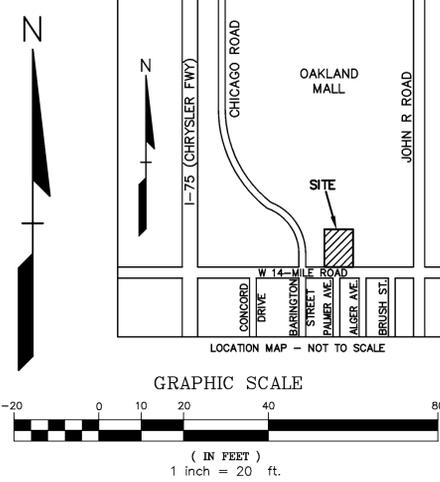


CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

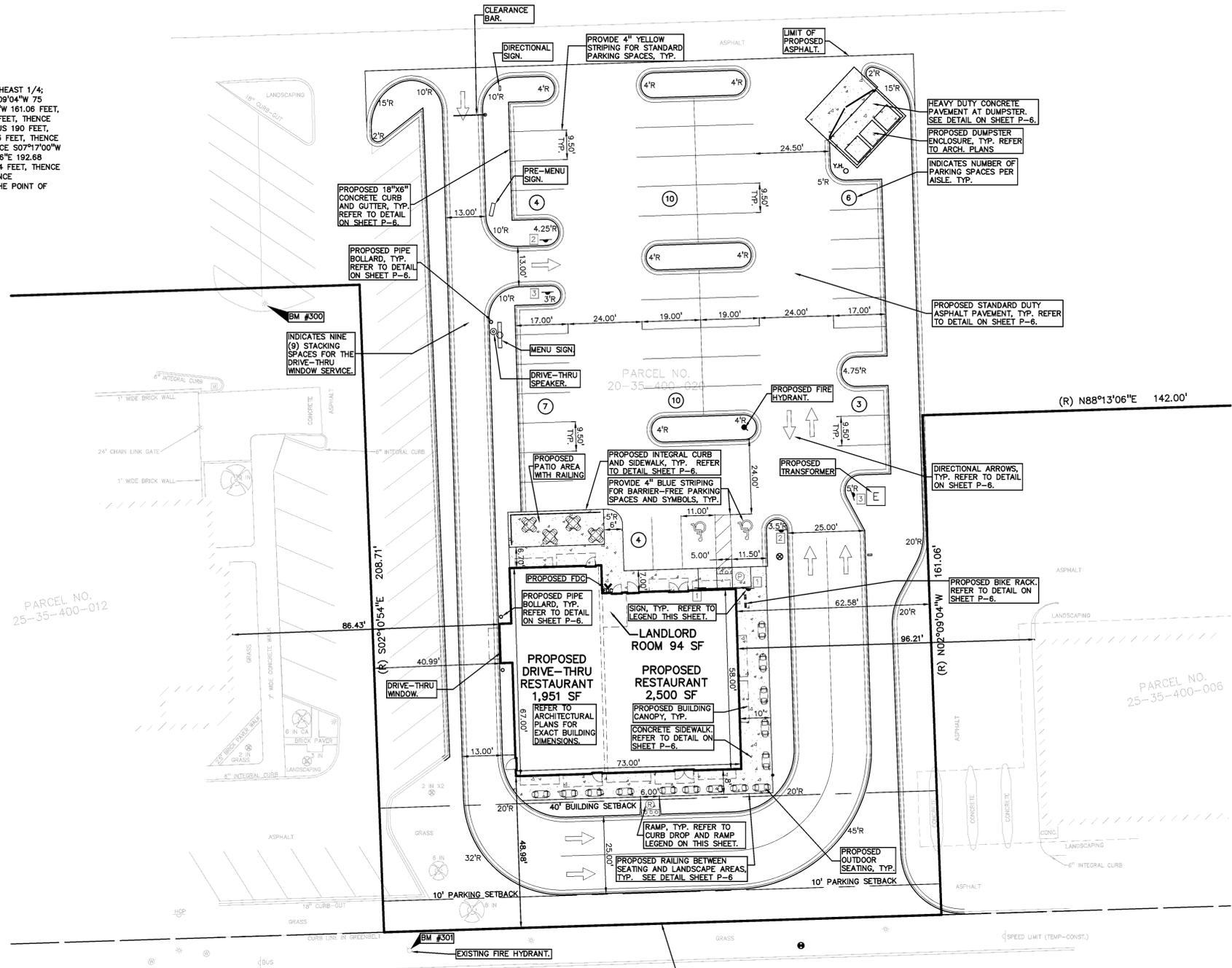
FLOOD PLAIN:
 BY GRAPHICAL PLOTTING THE SUBJECT PARCEL IS IN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN." (ZONE X) PER FLOOD INSURANCE RATE MAP NUMBER 28125C-0561G, EFFECTIVE DATE JAN. 16, 2009.

BENCHMARKS:
 (BASIS: GPS DERIVED, NAVD 88)
BM #300
 CHELSEED SQUARE AT NORTHEAST CORNER OF TOP OF LIGHT POLE BASE, NORTHEAST OF CHIL'S
 ELEV. = 638.67
BM #301
 HYDRANT ARROW, 1ST HYDRANT EAST OF CHIL'S, NORTH SIDE OF 14 MILE ROAD
 ELEV. = 640.17

LEGAL DESCRIPTION
 (PER OAKLAND COUNTY TAX RECORDS)
PARCEL NO. 20-35-400-020
 TOWN 2 NORTH, RANGE 11 EAST, SECTION 35, PART OF THE SOUTHEAST 1/4, BEGINNING AT A POINT DISTANT S88°13'06"W 877 FEET AND N02°09'04"W 75 FEET FROM THE SOUTHEAST SECTION CORNER; THENCE N02°09'04"W 161.06 FEET, THENCE N88°13'06"E 142.00 FEET, THENCE N02°09'04"W 1344.76 FEET, THENCE S87°50'56"W 523.33 FEET, THENCE ALONG CURVE TO RIGHT, RADIUS 190 FEET, CHORD BEARING N69°39'04"W 145.42 FEET, A DISTANCE OF 149.23 FEET, THENCE N47°09'04"W 31.28 FEET, THENCE S01°46'54"E 325.85 FEET, THENCE S07°17'00"W 383.08 FEET, THENCE S01°46'54"E 850.00 FEET, THENCE N88°13'06"E 192.68 FEET, THENCE S01°46'54"E 25.00 FEET, THENCE N88°13'06"E 28.44 FEET, THENCE N02°10'54"W 208.71 FEET, THENCE N88°13'06"E 208.71 FEET, THENCE S02°10'54"E 208.71 FEET, THENCE N88°13'06"E 180.62 FEET TO THE POINT OF BEGINNING, CONTAINING 23.58 ACRES



| NO. | BY | CHK | DESCRIPTION | DATE |
|-----|----|-----|-------------|------|
| | | | | |
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SITE DATA TABLE:
 OVERALL PROPERTY AREA: 23.58 ACRES
 PROJECT DESCRIPTION: 1,951 SQ.FT. DRIVE-THRU RESTAURANT WITH INDOOR SEATING AND OUTDOOR SEATING. 2,500 SQ.FT. CONVENTIONAL RESTAURANT WITH INDOOR SEATING AND OUTDOOR SEATING.
 PROPERTY ZONING: GENERAL BUSINESS DISTRICT
 SETBACKS: FRONT: 10' PARKING, 40' BUILDING
 BUILDING AREA: PROPOSED RESTAURANTS = 4,451 SQ.FT.
 BUILDING HEIGHT: MAXIMUM ALLOWED = 75 FT
 PARKING CALCULATIONS:
 REQUIRED: 1 SPACE PER 70 S.F. USABLE FLOOR AREA = (3914 S.F.) / 70 = 56 SPACES
 9 STACKING SPACES FOR DRIVE-THRU
 2 BIKE RACK SPACES
 PROPOSED: 44 REGULAR PARKING SPACES (INC. 2 BARRIER FREE SPACE)
 PLUS ADDITIONAL SHARED MALL PARKING
 9 STACKING SPACES FOR DRIVE-THRU
 4 BIKE RACK SPACES

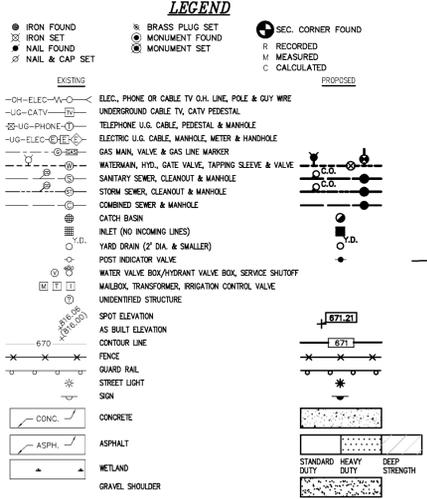
CAUTION!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, DEPTH, LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
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 CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLETING NECESSARY PERMITS AND ALL OTHER REQUIREMENTS FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY TO ALL CONTRACTORS AND SUBCONTRACTORS TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND HOLDING ALL NECESSARY PERMITS AND SHALL BE ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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 Troy, MI 48063-1872
 Phone: (248) 689-9090
 Fax: (248) 689-1044
 website: www.peainc.com

GENERAL NOTES:
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
 1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 2. REFER TO SHEET P-6 FOR ON-SITE PAVING DETAILS.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TROY CURRENT STANDARDS AND REGULATIONS.
 4. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 5. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.

SIGN LEGEND:
 'BARRIER FREE PARKING' SIGN 1
 'DO NOT ENTER' SIGN 2
 'ONE WAY' SIGN 3
 REFER TO SHEET P-6 FOR SIGN DETAILS
CURB DROP AND RAMP LEGEND:
 CURB DROP AND RAMP 'TYPE R' R
 CURB DROP AND RAMP 'TYPE P' P
 REFER TO M.D.O.T. RAMP DETAILS



NOTE:
 ALL WORK WITHIN THE 14 MILE ROAD R.O.W. IS UNDER THE JURISDICTION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND REQUIRES A PERMIT.
 (R) N88°13'06"E 180.62'
 14 MILE ROAD
 (WIDTH VARIABLE - PUBLIC)

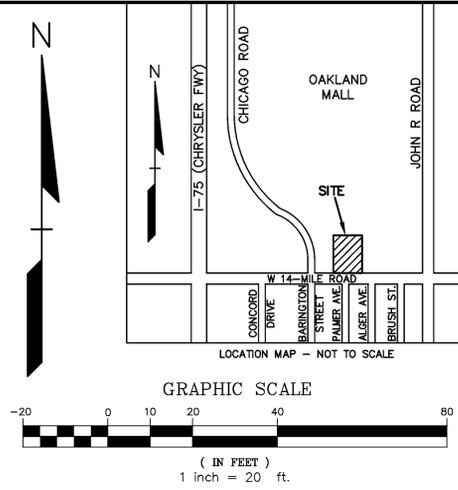
REFERENCE DRAWINGS
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 CITY OF TROY RECEIVED: 12-30-12
 CITY OF TROY RECEIVED: 12-17-12
 CITY OF TROY RECEIVED: 12-18-12
 CITY OF TROY RECEIVED: 12-20-12

PRELIMINARY NOT FOR CONSTRUCTION
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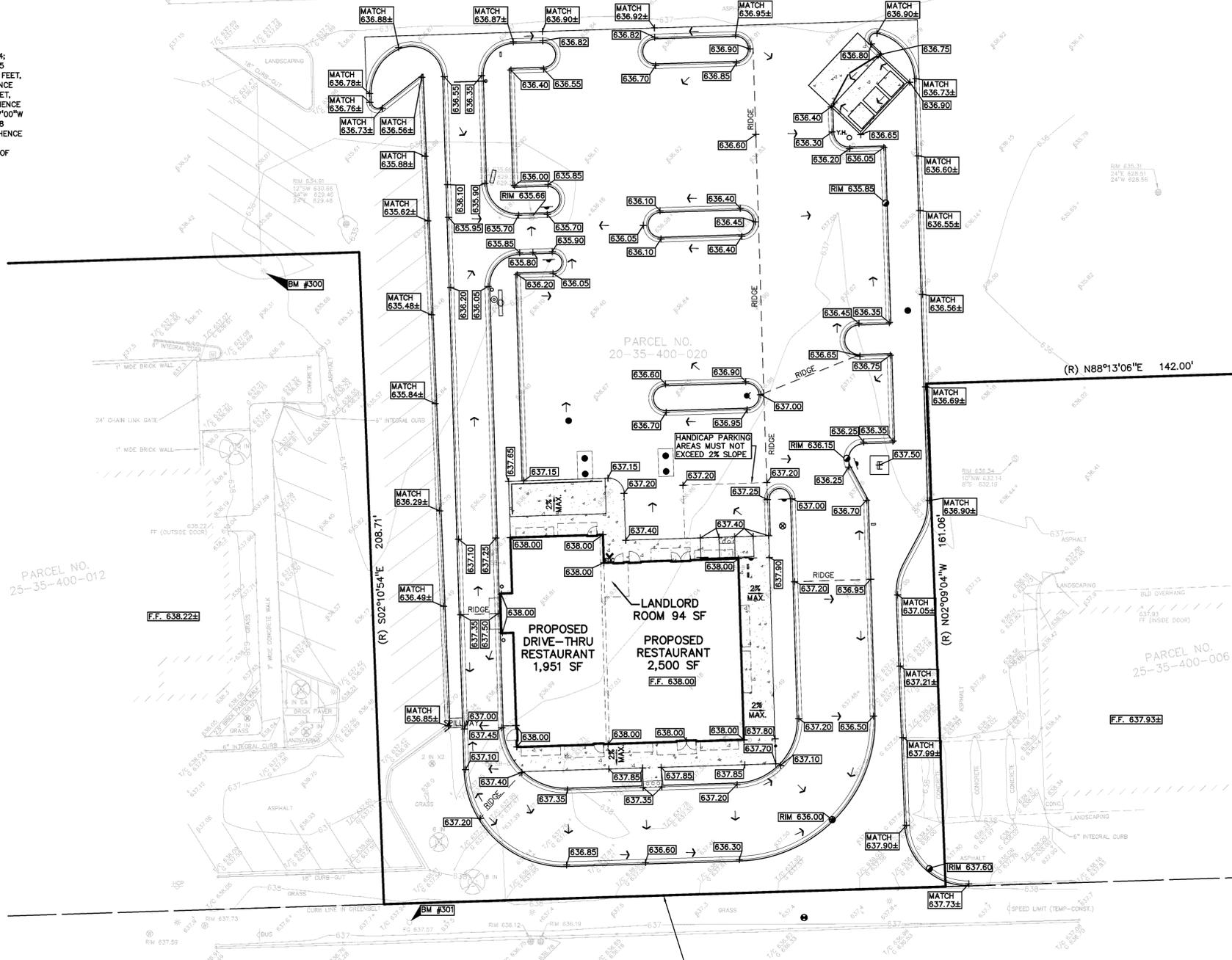
FLOOD PLAIN:
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 CHESEBROUGH SQUARE AT NORTHEAST CORNER OF TOP OF LIGHT POLE BASE, NORTHEAST OF CHIL'S
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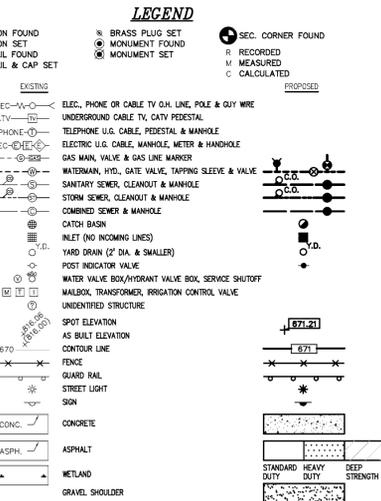
GENERAL GRADING AND EARTHWORK NOTES:
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

- ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATION.
- THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF TROY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
- ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

EARTHWORK BALANCING NOTE:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

SYMBOLS: GRADING
 [14.20] PROPOSED SPOT GRADE ELEVATION
 ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.

BORING LEGEND
 SB-A SOIL BORING, TYP. REFER TO GEOTECHNICAL REPORT BY PEIA DATED DECEMBER 5, 2012 FOR SOIL INFORMATION.



NOTE:
 ALL WORK WITHIN THE 14 MILE ROAD R.O.W. IS UNDER THE JURISDICTION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND REQUIRES A PERMIT.
 14 MILE ROAD (WIDTH VARIABLE - PUBLIC)

CAUTION!
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PRELIMINARY GRADING PLAN
OAKLAND MALL OUTLOT 'C'
 PART OF THE SE 1/4 OF SECTION 35, T. 2N., R. 11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

| DES. | RLS | DN. | RLS | SUR. | DLCA(W) | P.M. | JPB |
|------|-----|-----|-----|------|---------|------|-----|
| | | | | | | | |

ORIGINAL ISSUE DATE: JAN. 10, 2013
 PEA JOB NO. 2012-211
 SCALE: 1" = 20'
 DRAWING NUMBER:
P-4

PRELIMINARY NOT FOR CONSTRUCTION

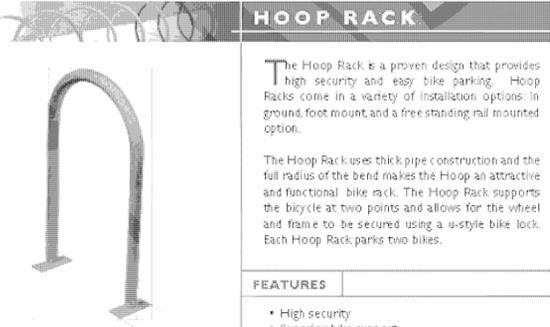
REFERENCE DRAWINGS

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 CITY OF TROY RECEIVED: 12-30-12
 CITY OF TROY RECEIVED: 12-30-12
 CITY OF TROY RECEIVED: 12-30-12
 SUN PIPELINE - NO FACILITIES ON SITE, RECEIVED: 12-20-12
 CONSUMERS - MAP 02-61-35-4, RECEIVED: 12-17-12
 DTE - MAP 325-378, RECEIVED: 12-18-12
 COMCAST - NO FACILITIES ON SITE, RECEIVED: 12-20-12

SKU 226014 TAG M335

Rack, Bike Black Hoop

MOELL HR-FT-EPX Black MANUFACTURER Dero Bike Racks



HOOP RACK

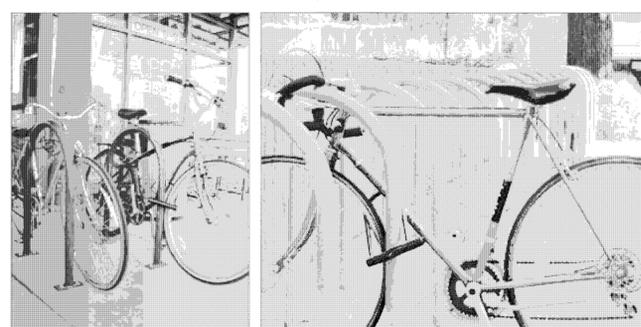
The Hoop Rack is a proven design that provides high security and easy bike parking. Hoop Racks come in a variety of installation options: in ground, foot mount and a free standing rail mounted option.

The Hoop Rack uses thick pipe construction and the full radius of the bend makes the Hoop an attractive and functional bike rack. The Hoop Rack supports the bicycle at two points and allows for the wheel and frame to be secured using a u-style bike lock. Each Hoop Rack parks two bikes.

FEATURES

- High security
- Superior bike support
- In ground or surface mounted
- One unit parks 2 bikes
- Free standing rail mount available

The Hoop Rack provide a high level of security and excellent bike support



SKU 226014 TAG M335

Rack, Bike Black Hoop

Page 2 of 6

HOOP RACK - Specifications and Space Use

Product Name
Dero Hoop Rack
As manufactured by Dero Bike Racks

Bikes Parked per Unit: 2

Materials:
1.5" schedule 40 pipe (1.9" OD)

Finishes
An after fabrication hot dipped galvanized finish is standard. 250 TGIC powder coat colors and a stainless steel option are also available.

Our powder coat finish assures a high level of adhesion and durability by following these steps:

1. Sandblast
2. Iron phosphate pretreatment
3. Epoxy primer electrostatically applied
4. Final thick TGIC polyester powder coat

Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

A rubbery PVC Dip is also available

Installation Methods

- In ground mount is embedded into concrete base. Specify in ground mount for this option.
- Foot Mount has two 2.5"x6"x25" feet with two anchors per foot. Specify foot mount for this option.
- Rail Mounted Hoops are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3"x1.4"x3/16" thick galvanized mounting rails. Specify rail mount for this option.

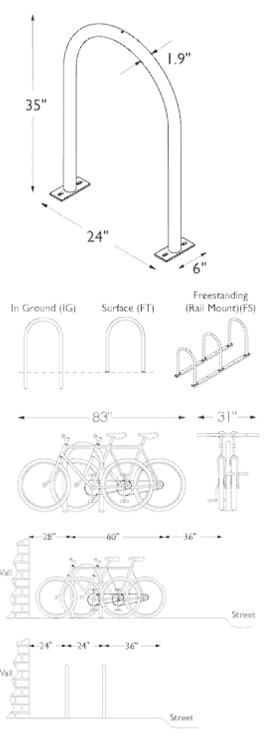
SETBACKS

Wall Setbacks:
For racks set parallel to a wall:
Minimum: 24"
Recommended: 36"

For racks set perpendicular to a wall:
Minimum: 28"
Recommended: 36"

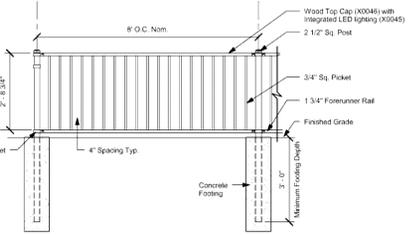
Distance Between Racks:
Minimum: 24"
Recommended: 36"

Street Setbacks:
Minimum: 24"
Recommended: 36"

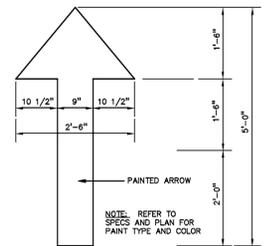


Rating/Specification

Manufacturer: Ameristar Fence
Style: Echelon II - Magnetic Aluminum Fence
Finish: Black Powder coated Aluminum
Number of Rails: 2
Height: 3'0"
Contact: 888-333-3422
Provided by Landlord



1 Site Railing
Scale: 1/2" = 1'-0"



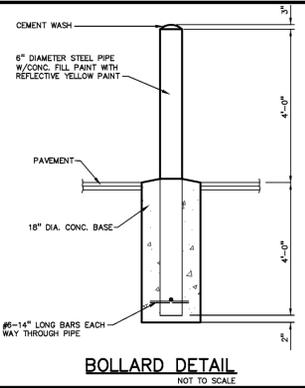
PAINTED DIRECTIONAL ARROW
NOT TO SCALE



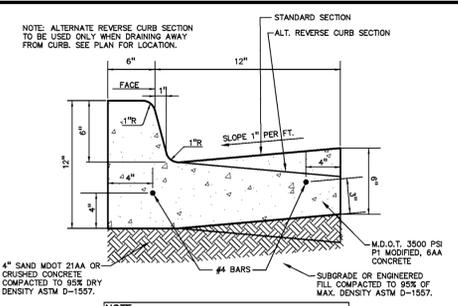
DO NOT ENTER SIGN DETAIL
NOT TO SCALE



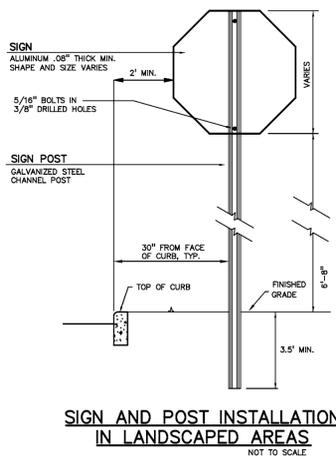
ONE WAY SIGN DETAIL
NOT TO SCALE



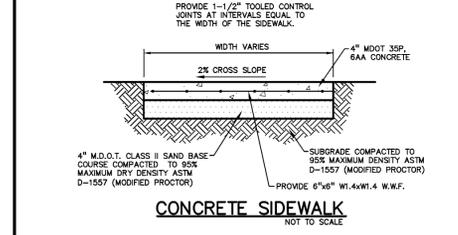
BOLLARD DETAIL
NOT TO SCALE



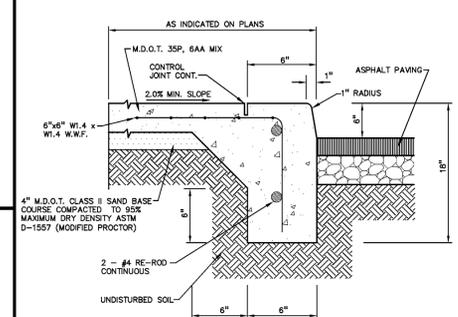
18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



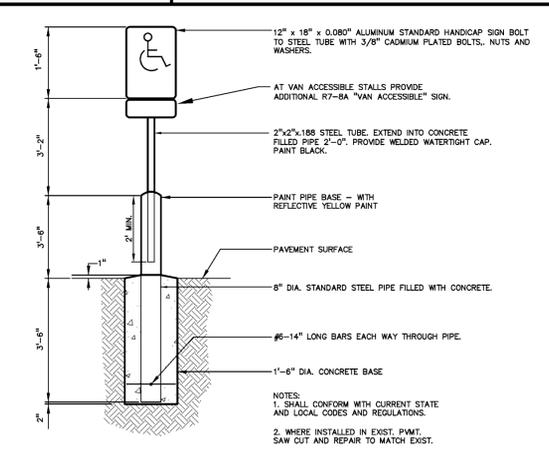
SIGN AND POST INSTALLATION IN LANDSCAPED AREAS
NOT TO SCALE



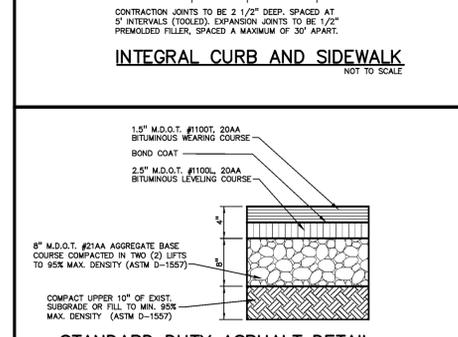
CONCRETE SIDEWALK
NOT TO SCALE



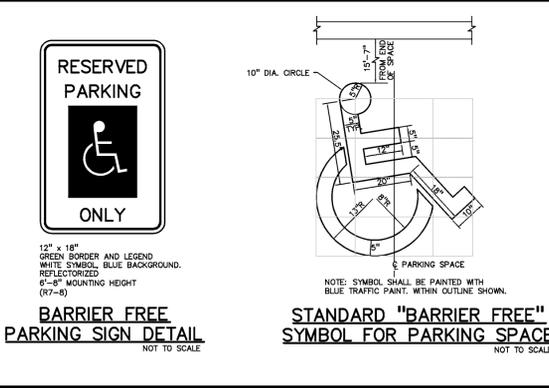
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



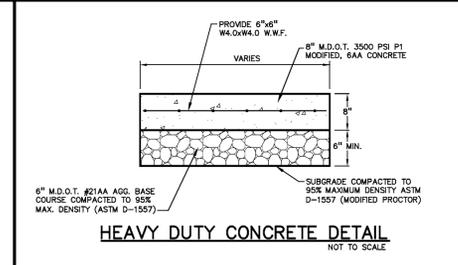
SIGN AND POST INSTALLATION IN PAVED AREAS
NOT TO SCALE



STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)
NOT TO SCALE



RESERVED PARKING BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE

| NO. | BY | CHK | DESCRIPTION | DATE |
|-----|----|-----|-------------|------|
| | | | | |
| | | | | |

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2430 Rochester Ct, Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

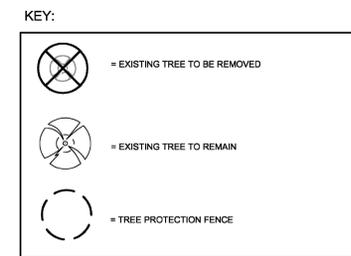
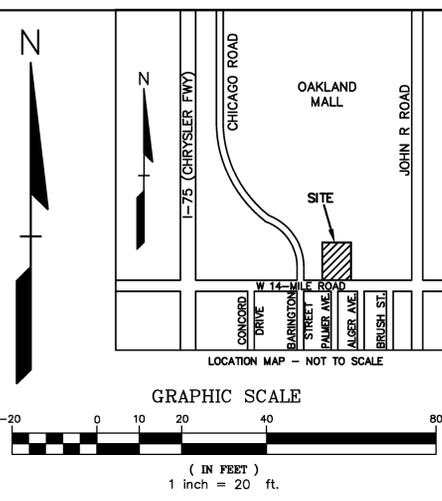
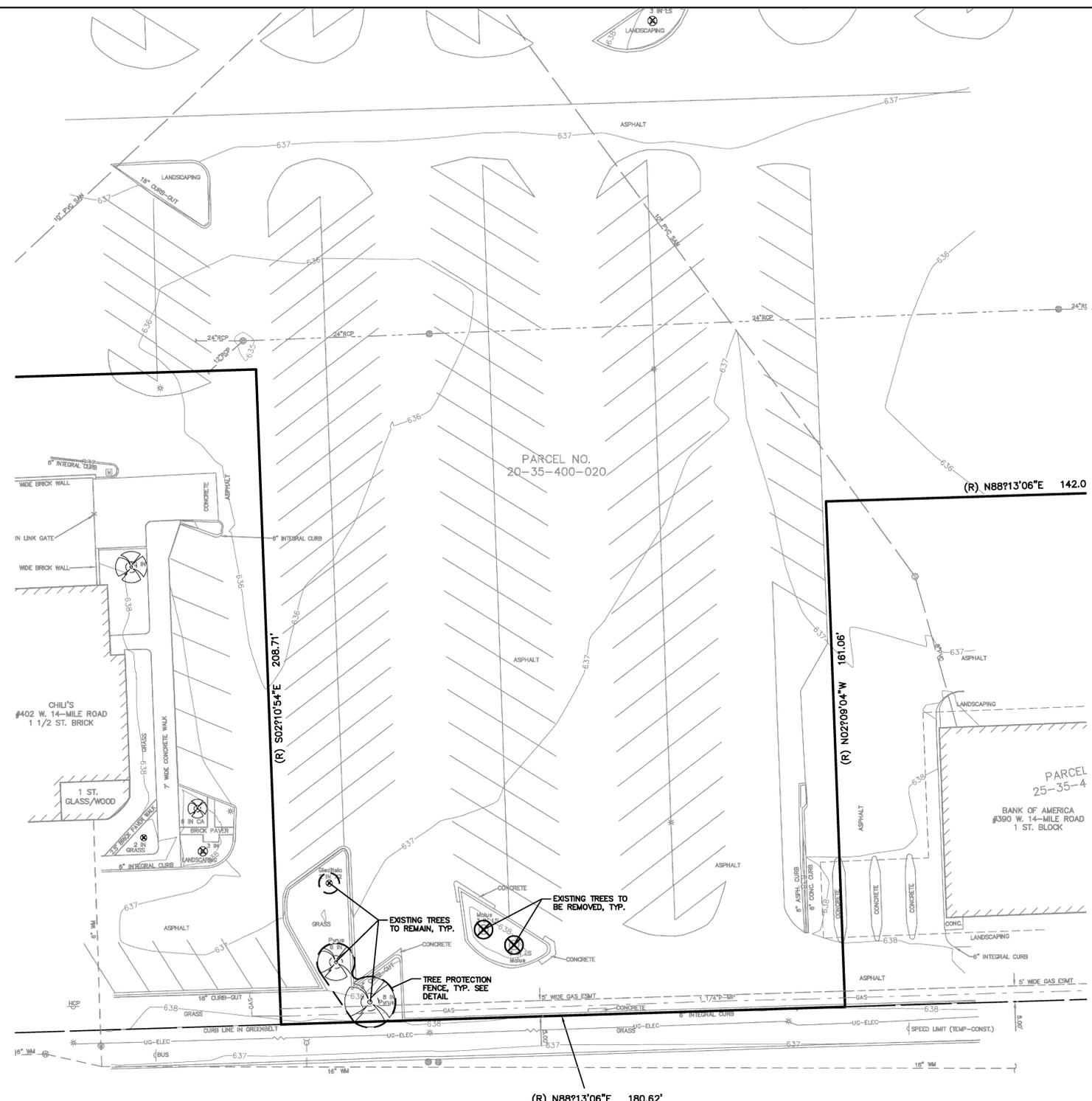
URBAN RETAIL PROPERTIES
111 EAST WACKER, SUITE 2400
CHICAGO, IL 60601
NOTES AND DETAILS
OAKLAND MALL OUTLOT 'C'
PART OF THE SE 1/4 OF SECTION 35, T. 2N., R. 11E.,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN
DES. RLS DN. RLS SUR. MICHIGAN P.M.
JPB
1-2020-03-20-2021 OAKLAND MALL OUTLOT 'C' - PAVING SITE PLAN - 03-20-21

ORIGINAL ISSUE DATE: JAN. 10, 2013
PEA JOB NO. 2012-211

SCALE: NONE
DRAWING NUMBER:

PRELIMINARY NOT FOR CONSTRUCTION

P-6



| NO. | BY | CHK | DESCRIPTION | DATE |
|-----|----|-----|-------------|------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

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 website: www.peainc.com

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 CHICAGO, IL 60601

TREE PRESERVATION & INVENTORY PLAN
OAKLAND MALL OUTLOT 'C'
 PARCEL NO. 20-35-400-020
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

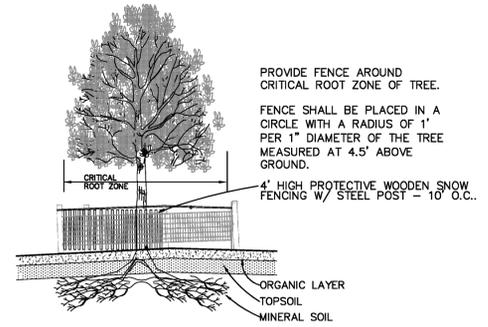
DES. RLS DN. RLS SUR. DLCLJW P.M. JPB
 © 2013 PROFESSIONAL ENGINEERING ASSOCIATES, INC. PREP: 08/12/2011

ORIGINAL ISSUE DATE: JAN. 10, 2013
 PEA JOB NO. 2012-211
 SCALE: 1" = 20'
 DRAWING NUMBER:
L-2

14 MILE ROAD
 (WIDTH VARIABLE - PUBLIC)

EXISTING TREE LIST:

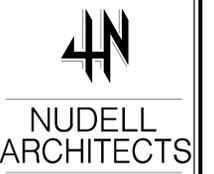
| SIZE | COMMON NAME | SCIENTIFIC NAME | CONDITION |
|---------|---------------|------------------------------------|-----------|
| 2" TWIN | Honeylocust | <i>Gleditsia triacanthos</i> | Fair |
| 6" | Bradford Pear | <i>Pyrus calleryana 'Bradford'</i> | Fair |
| 8" | Bradford Pear | <i>Pyrus calleryana 'Bradford'</i> | Fair |
| 3" | Crab | <i>Malus species</i> | Fair |
| 3" | Crab | <i>Malus species</i> | Fair |



TREE PROTECTION DETAIL
 NOT TO SCALE

XREF: L:\2012211\DWG\TOPBASE-12211.DWG
 XREF: L:\2012211\DWG\SITE PLAN\F-BASE-12211.DWG
 XREF: L:\2012211\DWG\SITE PLAN\BLK-12211.DWG

4/14/2011 10:48:00 AM



31690 W. Twelve Mile Road
Farmington Hills, Michigan 48334
t 248 324 8800 f 248 324 5560

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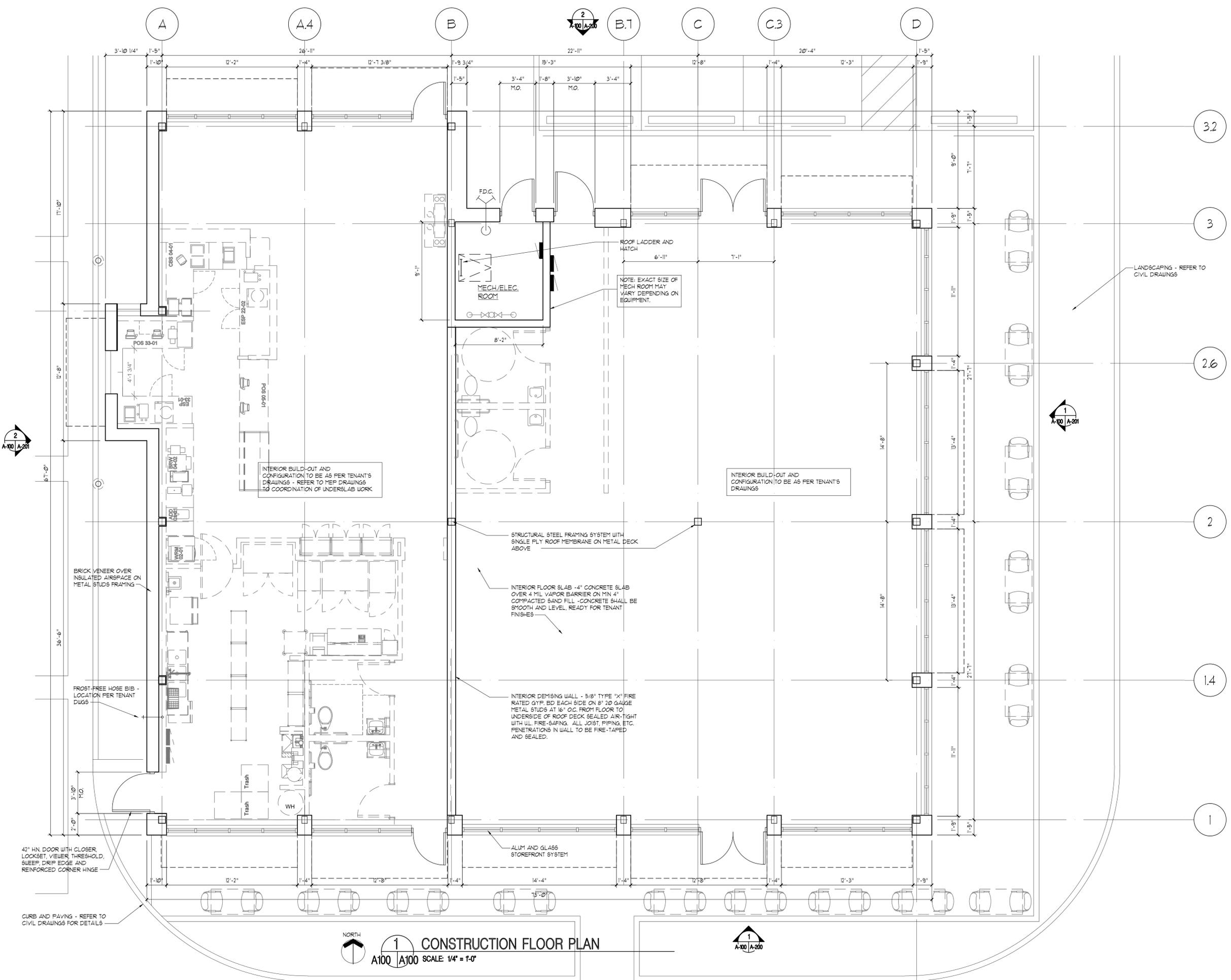
project title
**Oakland Mall
Outlot 'C'**
Oakland Mall
Troy, MI

sheet title
**CONSTRUCTION
FLOOR PLAN**
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

project number
2011-164
drawn AB
checked JRJ
approved JHN

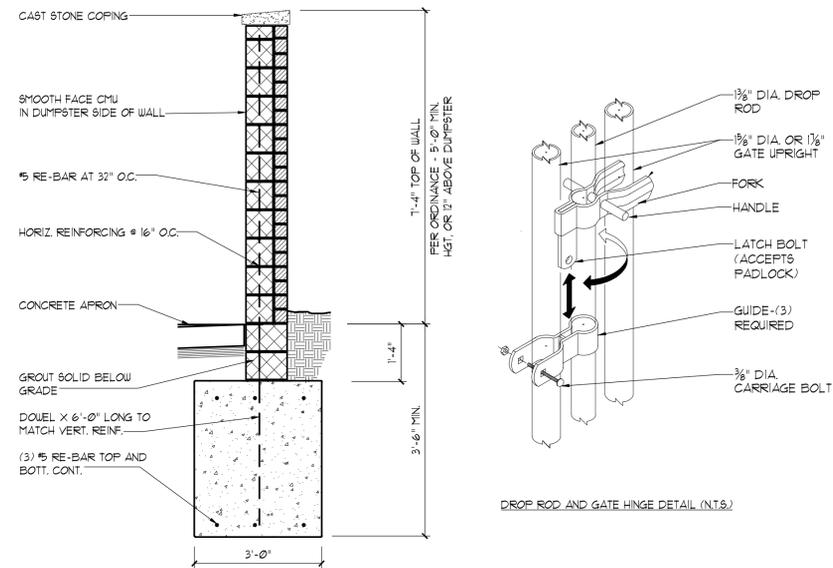
issued for date
REVIEW 12-7-12
REVIEW 12-11-12
30% REVIEW 12-21-12
SITE PLAN SUBM. 1-10-13

sheet
A100

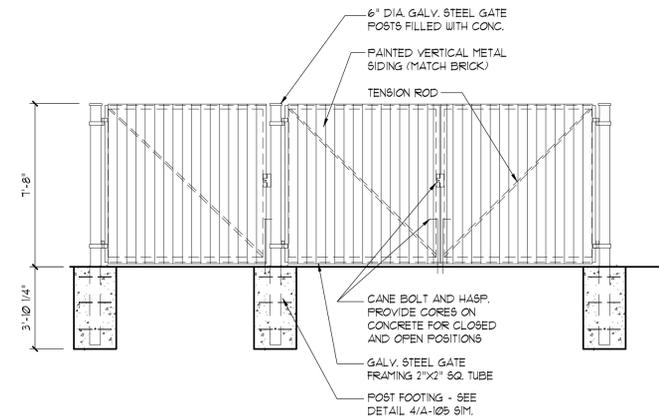
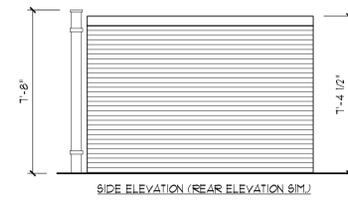


1 CONSTRUCTION FLOOR PLAN
A100 | A100 SCALE: 1/4" = 1'-0"

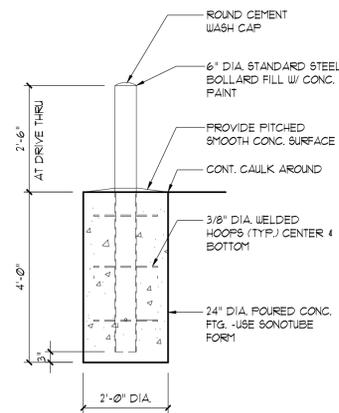




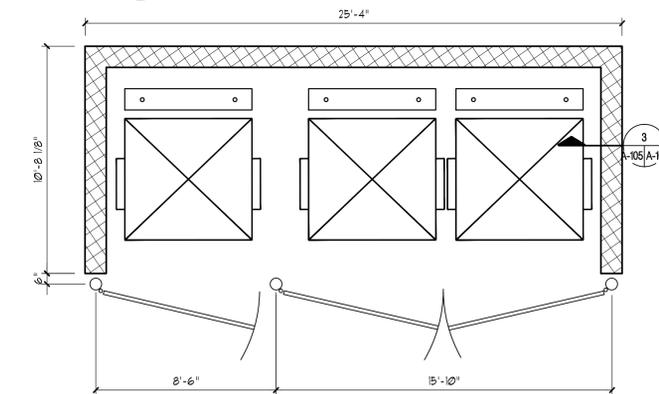
3 DUMPSTER ENCLOSURE SECTION
 A100 | A105 SCALE: 1/2" = 1'-0"



2 DUMPSTER ENCLOSURE ELEVATIONS
 A100 | A105 SCALE: 1/4" = 1'-0"



4 PIPE BOLLARD DETAIL
 A100 | A105 SCALE: 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
 A100 | A105 SCALE: 1/4" = 1'-0"

4N

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 Suite 5100
 Chicago, Illinois 60601
 312-955-2000

project title
**Oakland Mall
 Outlot 'C'**
 Oakland Mall
 Troy, MI

sheet title
**SECTIONS AND
 DETAILS**

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 USE FIGURED DIMENSIONS ONLY

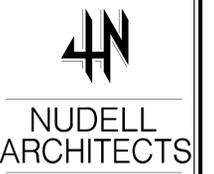
project number
2011-164

drawn AB
 checked JRJ
 approved JHN

issued for _____ date
 REVIEW 12-7-12
 REVIEW 12-11-12
 30% REVIEW 12-21-12
 SITE PLAN SUBM. 1-10-13

sheet
A105

4/14/2012 11:00 AM



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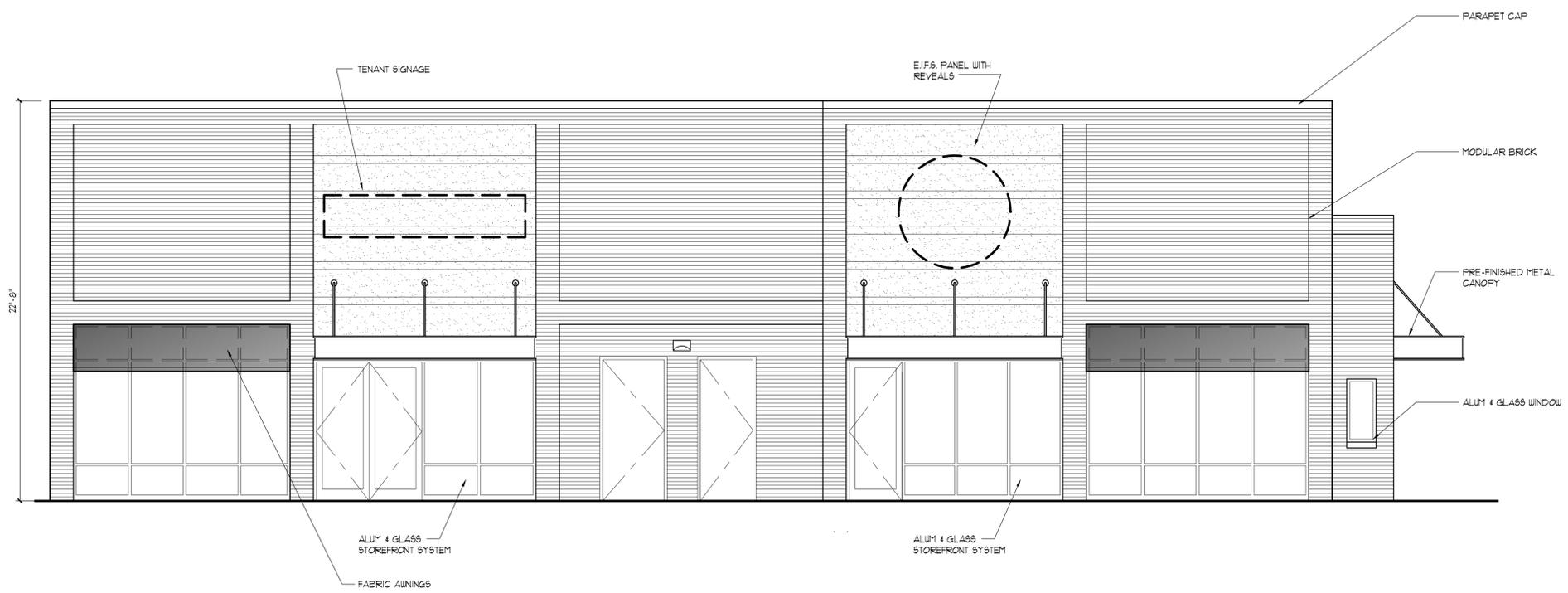
project title
**Oakland Mall
Outlot 'C'**
Oakland Mall
Troy, MI

sheet title
**PROPOSED
ELEVATIONS**
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS ONLY

project number
2011-164
drawn AB
checked JRJ
approved JHN

issued for date
REVIEW 12-7-12
REVIEW 12-11-12
30% REVIEW 12-21-12
SITE PLAN SUBM. 1-10-13

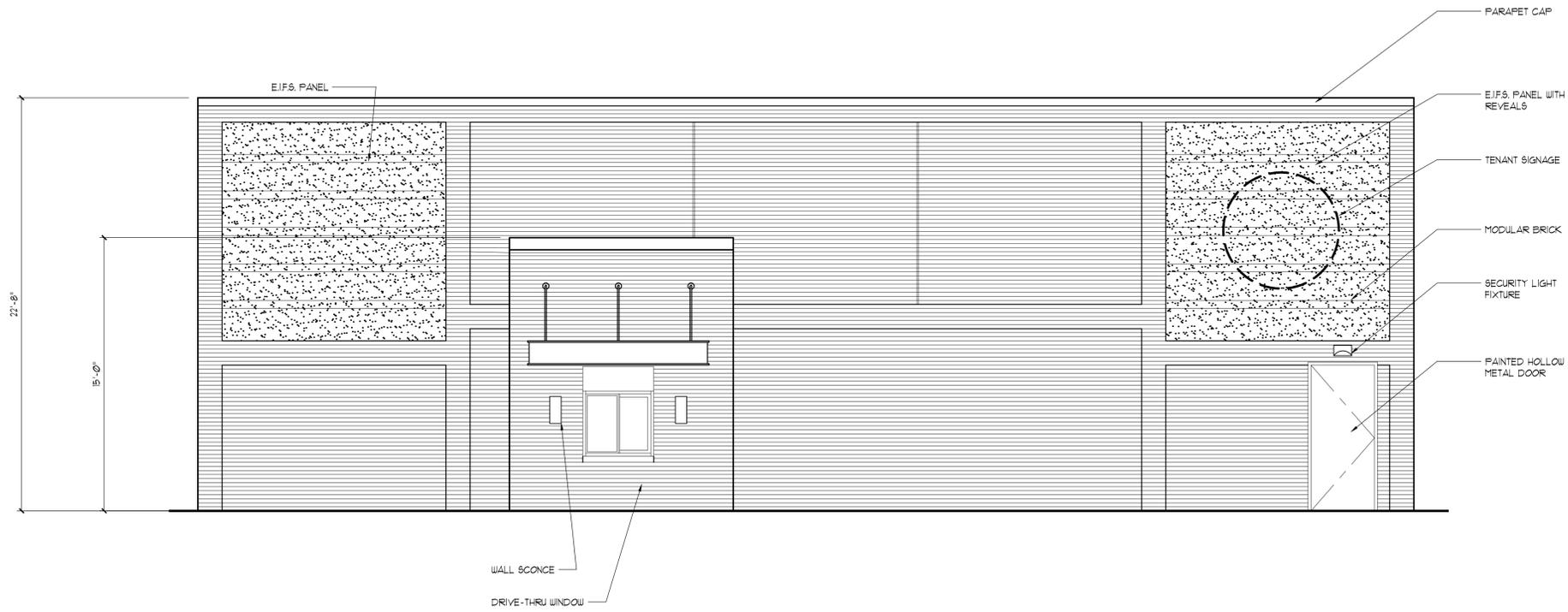
sheet
A200



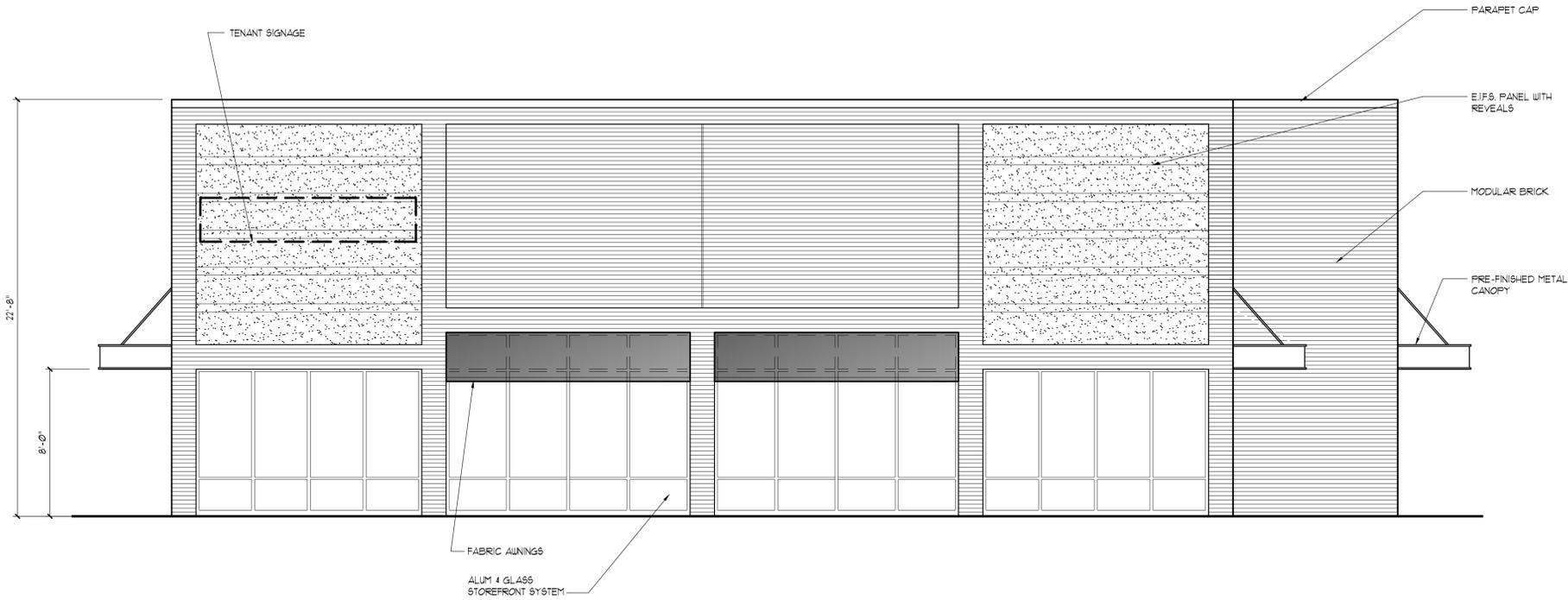
2 NORTH ELEVATION
A100 | A200 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
A100 | A200 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A100 | A201 SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
A100 | A201 SCALE: 1/4" = 1'-0"



PROPOSED RENDERING

STARBUCKS COFFEE & QDOBA - OAKLAND MALL OUTLOT - TROY MI

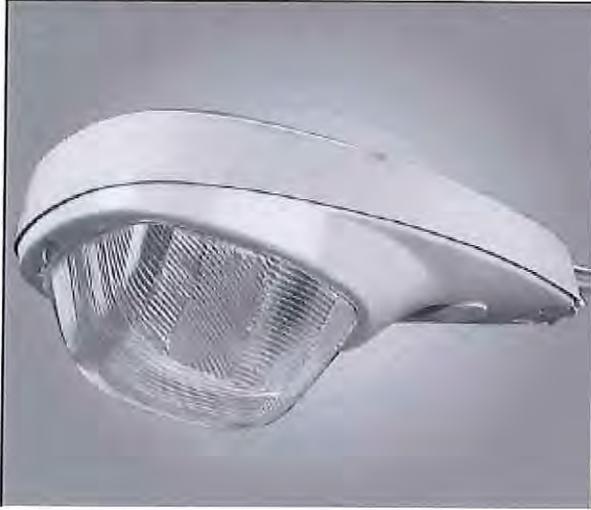
JANUARY 8, 2013
JHN# 2011-164

FOR REFERENCE ONLY. EXISTING
POLE MOUNTED AREA LIGHT TO BE
RECOATED AND REUSED.

TYPE "E" Roadway Series 327

Roadway Lighting — with Power Door
1000W HPS, 400-1000W MH

PRODUCT OVERVIEW



Features:

Rugged die-cast aluminum housing is powder-coated for durability and corrosion resistance

Four-bolt mast arm mount provides easy, secure installation and adjustability for arms from 1- 1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter and extra security on high-vibration applications.

Die-cast trigger latch on lens door frame enables easy and secure one-hand opening for re-lamping and maintenance.

Large surface area "breathing seal" gasket seals the optical chamber to prevent intrusion by insects and environmental contaminants. Heat-resistant gasket material remains effective over the life of the fixture.

Photocontrol receptacle is adjustable without tools.

NEMA wattage label, terminal block, and NEMA photocontrol receptacle are standard.

All electrical components warranted by American Electric Lighting's 6-year guarantee

E39 mogul socket standard

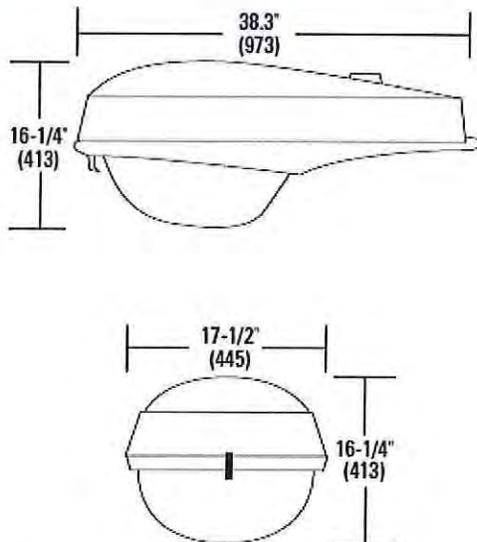
Suitable for -30°C MH / -40°C HPS

Complies with ANSI: C136.2, C136.10, C136.14, C136.15

Applications:

- Roadways
- Residential streets
- Storage areas
- Parking lots
- Campuses
- Parks

DIMENSIONS



Effective Projected Area (EPA)
The EPA for the Horizontal Luminaire Series 327 is 1.96 sq. ft.
Approx. Wt. = 60 lbs.

PREFERRED SELECTION CATALOG NUMBERS

- 327 X1S CA MT1 R3 DG
- 327 X1M CA MT1 R3 DG

Roadway Series 327

Roadway Lighting — with Power Door

1000W HPS, 400-1000W MH

ORDERING INFORMATION

Example: 3 27 X1M CA MT1 R3 DG LC

| Series | Wattage / Source | | Ballast | Voltage | Distribution |
|----------------|--------------------------------|---------------|-------------------|---|---|
| 327 Power Door | 40 400W 75 750W X1 1000W | S HPS M MH | CA CWA SC SCWA | 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V MT1 Multi-tap Wired 120V MT2 Multi-tap Wired 240V MT7 Multi-tap Wired 277V 5T4 5-tap wired 480V ¹ | R1 Roadway Type I R2 Roadway Type II R3 Roadway Type III Refer to optic distribution matrix below for compatibility. |

Ⓔ See ballast matrix for EISA compliant options

| |
|--------|
| Optics |
|--------|

DG Drop Glass
Prismatic Refractor

| Options |
|---------|
|---------|

| | |
|--|--|
| <p>Paint²</p> <p>(blank) Gray (standard)</p> <p>BK Black</p> <p>BZ Bronze</p> <p>WH White</p> <p>UP Unpainted</p> <p>Terminal Block</p> <p>(blank) Terminal Block (standard)</p> <p>T2 Wired to L1 & L2 Positions</p> <p>T3 3 Wire Operation (L1, N, L2 Position)³</p> <p>Fusing⁴</p> <p>SF Single Fuse (120, 277)</p> <p>DF Double Fuse (208, 220, 240, 480V)</p> <p>Photocontrol Receptacle</p> <p>(blank) NEMA Photocontrol Receptacle (standard)</p> <p>NR No Photocontrol Receptacle⁵</p> | <p>Lamp</p> <p>LC Lamp Included, Clear</p> <p>LD Lamp Included Deluxe/Coated</p> <p>Misc.</p> <p>PC Photocontrol Included per Voltage Specified⁵</p> <p>BL Bubble Level</p> <p>SS Stainless Steel Fasteners (external)</p> <p>PL Distribution Pattern Indicator Label</p> <p>LA Lightning Arrestor (Void UL/CSA Certified Options)</p> <p>SH Shorting Cap⁸</p> |
|--|--|

Notes:

- 1 Limited availability, please contact your local American Electric Lighting representative
- 2 Other colors available, please contact your local American Electric Lighting representative.
- 3 T3 option only available with 240,480,DT2, DT4, MT2
- 4 Not available with MT voltages, Voids UL/CSA listing
- 5 Other colors available, please contact your local American Electric Lighting representative
- 6 PC and SH not available with NR option.

Optic Distribution

| | R1DG | R2DG | R3DG |
|-----|------|------|------|
| 40S | - | - | ▲ |
| 40M | - | - | ▲ |
| 75S | - | - | ▲ |
| 75M | ▲ | ▲ | ▲ |
| X1S | ▲ | ▲ | ▲ |
| X1M | ▲ | ▲ | ▲ |

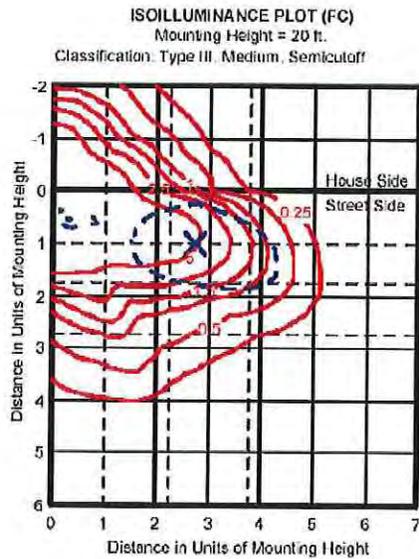
BALLAST MATRIX

Roadway 327

| Watts | 120 | 208 | 240 | 277 | 5T4 | 480 | MT1 | MT2 | MT7 |
|-------|-------|-------|-------|-------|-----|-------|-------|-------|-------|
| 40S | CA | CA | CA | CA | CA | CA | CA | CA | CA |
| ④ 40M | SC | SC | SC | SC | - | SC | SC | SC | SC |
| 75S | CA | CA | CA | CA | - | CA | - | - | - |
| 75M | SC,CA | SC,CA | SC,CA | SC,CA | - | SC,CA | SC,CA | SC,CA | SC,CA |
| X15 | CA,CT | CA,CT | CA,CT | CA,CT | CA | CA,CT | CA | CA | CA |
| X1M | CA | CA | CA,SC | CA | CA | CA | CA | CA | CA |

PHOTOMETRICS

327 X1M R3 DG

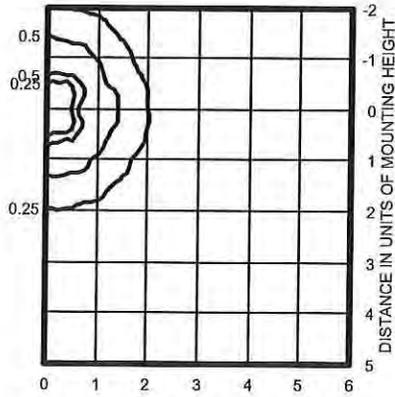


× Maximum Intensity
--- 1/2 Maximum Intensity

ASB Metal Halide, High Pressure Sodium Bollard

ASBX 100M R5

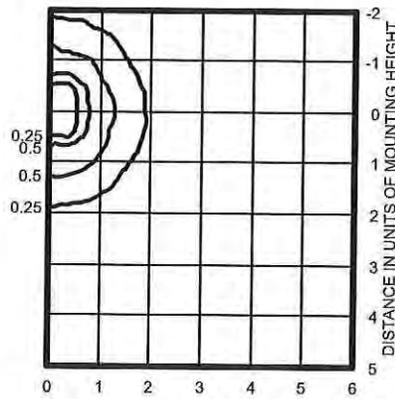
TEST NO: LTL14580



100W lamp, rated 7900 lumens. Footcandle values based on 3' mounting height.
Classification: Unclassified (Type IV, Very Short), Cutoff

ASBX 100M CYB

TEST NO: LTL14581



100W lamp, rated 7900 lumens. Footcandle values based on 3' mounting height.
Classification: Type IV, Short, Cutoff

TYPE "OB"

DATE: _____ TYPE: _____

FIRM NAME: _____

PROJECT: _____

LiteForms

For conversion to millimeters,
multiply inches by 25.4

Not to Scale



8" Surface Mount Cross Baffle

CFSCB813EB CFSCB818EB CFSCB826EB

Two 13W Twin Tube, 18W Quad
Tube, or 26W CFL Quad Tube
120V-277V

APPLICATIONS:

The CFSCB series is a surface mounted cross baffle luminaire for low ceiling applications with limited plenum space. The shallow depth combined with a concealed lamp source makes the surface cross baffle the ideal luminaire for a wide variety of architectural spaces including commercial, retail and hospitality applications.

HOUSING:

Seamless aluminum housing with powder coat finish. Spun aluminum top with provision for direct mounting to 3 1/2" or 4" outlet box. Spun aluminum bottom. Specify: brushed aluminum, matte black, bronze, matte white or Prescolite's exclusive Zet, metallic silver.

REFLECTOR:

Specular clear or champagne gold Alzak reflector with parabolic cross baffle. Overlap self-flange standard.

BALLAST:

One (1) compact fluorescent Class 'P' electronic multi-volt, multi-watt ballast suitable for operating 13W twin tube, 18W quad tube, or 26W quad tube lamps.

LAMP:

Two (2) 13W twin tube with 2GX7 base, two (2) 18W quad tube with G24q-2 base, or two (2) 26W quad tube with G24q-3 base lamps. Lamps furnished by others.

SOCKET:

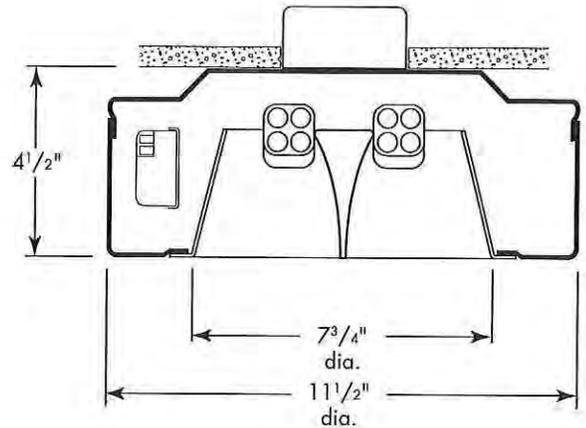
Two (2) injection molded sockets suitable for 13W twin tube, 18W quad tube, or 26W quad tube lamps.

INSTALLATION:

Easy installation onto standard J-box.

LABELS:

UL listed or UL/CSA listed with CDN option for damp locations and through wiring

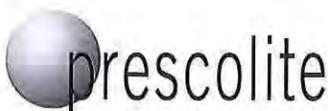


CATALOG NUMBER:

EXAMPLE: CFSCB826EBBZ-STCB8CLSS

| CYLINDERS | CYLINDER OPTIONS | CYLINDER OPTIONS | CYLINDER FINISHES | REFLECTORS | REFLECTOR OPTIONS | ACCESSORIES |
|--|---|--|--|---|---|--|
| <input type="checkbox"/> CFSCB813EB Ceiling mount cross baffle (2) 13W 4-pin twin tube <input type="checkbox"/> CFSCB818EB Ceiling mount cross baffle (2) 18W 4-pin quad tube <input type="checkbox"/> CFSCB826EB Ceiling mount cross baffle (2) 26W 4-pin quad tube | <input type="checkbox"/> CDN Canadian Electrical code compliant ballast disconnect <input type="checkbox"/> MW26 Max Wattage label, 26W <input type="checkbox"/> FSDFA Fuse kit installed at factory <input type="checkbox"/> RIF1 Radio interference filter (single circuit) line voltage <input type="checkbox"/> SYL2 Osram Sylvania Ballast (available only for standard EB option) <input type="checkbox"/> DM Electronic dimming ballast (contact factory for wall control system compatibility) | <input type="checkbox"/> 7DM Advance Mark 7 Dimming Ballast to 5%, 4-wire, 0-10V, analog (120V-277V) <input type="checkbox"/> XDM Advance Mark 10 Dimming Ballast to 5%, 2-wire line voltage <input type="checkbox"/> ECDM1 Lutron EcoSystem or 3-wire line voltage dimming ballast (120-277V). Dims to 5%. <input type="checkbox"/> SMT Philips Advance SmartMate® ballast | <input type="checkbox"/> BA Brushed Aluminum <input type="checkbox"/> BL Matte Black <input type="checkbox"/> BZ Bronze <input type="checkbox"/> WH Matte White <input type="checkbox"/> Z "Zet" Metallic Silver | <input type="checkbox"/> STCB8CL Specular clear Alzak <input type="checkbox"/> STCB8CG Champagne Gold Alzak <input type="checkbox"/> STCB8WH Painted white reflector <input type="checkbox"/> STCB8CLWW Specular clear wall wash | <input type="checkbox"/> SS Semi-specular reflector <input type="checkbox"/> WT Painted white trim | <input type="checkbox"/> FSDFI Fuse kit for field installation |

1. Not available in 13W
2. Available for Osram Sylvania Quick 60+® Limited Warranty when used with Osram lamp(s). See www.prescolite.com for details.



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In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
Web: www.prescolite.com • Tech Support: (888) 777-4832

LFO-CFL-019

PHOTOMETRIC DATA

LiteForms® - 8" Surface Mount Cross Baffle CFSCB813EB/CFSCB818EB/CFSCB826EB

BALLAST DATA

| | 13W | | | 18W | | | 26W | | |
|---------------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| | 120V | 277V | 347V | 120V | 277V | 347V | 120V | 277V | 347V |
| Total System Watts | 27W | 28W | N/A | 38W | 38W | 36W | 57W | 57W | 58W |
| Input Current (Amps) | 0.22 | 0.1 | | 0.32 | 0.14 | 0.11 | 0.48 | 0.21 | 0.17 |
| Input Frequency | 50/60Hz |
| Power Factor | >97% | >97% | | >97% | >97% | >97% | >97% | >97% | >97% |
| Ballast Factor | 1 | 1 | | >98% | >98% | 1 | >98% | >98% | 1 |
| Total Harmonic Distortion | <10% | <10% | | <10% | <10% | <10% | <10% | <10% | <10% |
| Total Harmonic Distortion | -18°C (0°F) |

LAMP DATA

| | 13W Twin | 18W Quad | 26W Quad |
|------------------------|--------------|--------------|--------------|
| Rated Watts | 13W Twin | 18W Quad | 26W Quad |
| Rated Lumens | 900 | 1250 | 1800 |
| Efficacy (LPW) | 69 | 69 | 69 |
| Rated Life | 10,000 hours | 10,000 hours | 10,000 hours |
| CRI | 82 | 82 | 82 |
| Minimum Starting Temp. | 0° F | 0° F | 0° F |

LUMINANCE DATA IN CANDELA/SQ. METER

| Angle in Vertical | Average 0° | Average 45° | Average 90° |
|-------------------|------------|-------------|-------------|
| 45° | 6685 | 8391 | 13893 |
| 55° | 864 | 2161 | 400 |
| 65° | 0 | 0 | 0 |
| 75° | 0 | 0 | 0 |
| 85° | 0 | 0 | 0 |

CFSCB826EB-STCB8CL with Clear Alzak Reflector and Cross Baffle

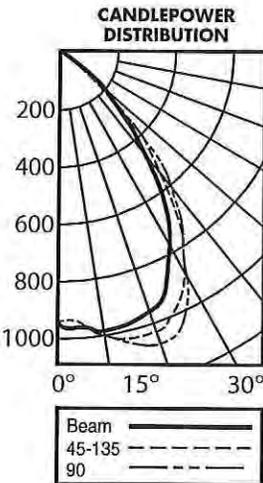
Two 26W Quad
Spacing Criteria:
0° = 1.2
90° = 1.3
Efficiency: 43.1%

AVERAGE INITIAL FOOTCANDLES

Multiple Units (Square Array)
Ceiling 80% Wall 50% Floor 20%

26W Quads

| SPACING | RCR1 | RCR3 | RCR7 |
|---------|------|------|------|
| 6.0 | 42 | 35 | 26 |
| 7.0 | 31 | 26 | 19 |
| 8.0 | 23 | 20 | 14 |
| 9.0 | 18 | 16 | 11 |
| 10.0 | 15 | 13 | 9 |



CANDLEPOWER SUMMARY

| Angle | 0° | 45° | 90° |
|-------|-----|-----|-----|
| 0 | 647 | 647 | 647 |
| 5 | 683 | 681 | 676 |
| 15 | 684 | 716 | 743 |
| 25 | 602 | 661 | 739 |
| 35 | 397 | 468 | 522 |
| 45 | 143 | 180 | 299 |
| 55 | 15 | 38 | 7 |
| 65 | 0 | 0 | 0 |
| 75 | 0 | 0 | 0 |
| 85 | 0 | 0 | 0 |

Test No. PL5125

COEFFICIENTS OF UTILIZATION Zonal Cavity Method

| Room Cavity Ratio | % Effective Ceiling Cavity Reflectance | | | | | | | | | | | | | | |
|-------------------|--|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|--------------------|-----|--|
| | 80% | | | 70% | | | 50% | | | 30% | | | 10% | | |
| | 20% Effective Floor Cavity Reflectance | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | % Wall Reflectance | | |
| | 70 | 50 | 30 | 10 | 70 | 50 | 30 | 10 | 50 | 30 | 10 | 50 | 30 | 10 | |
| 1 | .49 | .48 | .47 | .46 | .48 | .47 | .46 | .45 | .45 | .44 | .44 | .43 | .43 | .42 | |
| 2 | .47 | .45 | .43 | .41 | .46 | .44 | .42 | .41 | .42 | .41 | .40 | .41 | .40 | .39 | |
| 3 | .44 | .42 | .39 | .38 | .43 | .41 | .39 | .38 | .40 | .38 | .37 | .39 | .38 | .36 | |
| 4 | .42 | .39 | .37 | .35 | .41 | .38 | .36 | .34 | .37 | .36 | .34 | .37 | .35 | .34 | |
| 5 | .40 | .36 | .34 | .32 | .39 | .36 | .33 | .32 | .35 | .33 | .31 | .34 | .32 | .31 | |
| 6 | .38 | .34 | .31 | .29 | .37 | .33 | .31 | .29 | .33 | .31 | .29 | .32 | .30 | .29 | |
| 7 | .35 | .31 | .29 | .27 | .35 | .31 | .28 | .27 | .30 | .28 | .27 | .30 | .28 | .26 | |
| 8 | .33 | .29 | .26 | .24 | .33 | .29 | .26 | .24 | .28 | .26 | .24 | .28 | .26 | .24 | |
| 9 | .31 | .27 | .24 | .22 | .31 | .27 | .24 | .22 | .26 | .24 | .22 | .26 | .24 | .22 | |
| 10 | .29 | .25 | .22 | .20 | .29 | .25 | .22 | .20 | .24 | .22 | .20 | .24 | .22 | .20 | |

CFSCB826EB-STCB8CL

Test No. PL5125

NOTES

☉ Denotes a Virtual Source reflector.

Refer to www.prescolite.com for additional photometric tests (IES Files).



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Hubbell Lighting, Inc.



ASW1 LED

LED Wall Luminaire



DESIGNLIGHTS
CONSORTIUM



AERIS

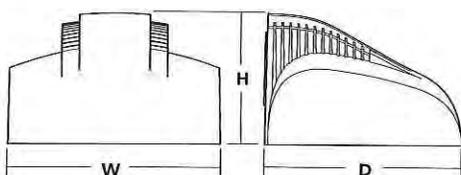
Specifications

Width: 15"
(38.1 cm)

Depth: 13-3/4"
(34.9 cm)

Height: 9-1/4"
(25.5 cm)

Weight (max): 34 lbs
(15.4 kg)



Catalog
Number

Notes

Type

TYPE "OC"

Hit the Tab key or mouse over the page to see all interactivelink

Introduction

The Aeris™ family combines sleek, fluid forms and crisp edges into a striking architectural aesthetic that can be echoed throughout entire sites.

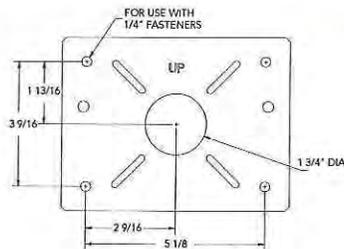
The ASW1 LED integrates the latest LED technology with the designer aesthetic of the Aeris™ family for stylish, high-performance illumination that lasts. The ASW1 LED is ideal for replacing 100-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: ASW1 LED 1 63B350/40K SR4 MVOLT DDBTXD

| ASW1 LED | | | | | | | |
|----------|------------------------------|--|--|--|--|---|--|
| Series | Light Engines | Performance Package ¹ | Distribution | Voltage | Mounting | Options | Finish (required) |
| ASW1 LED | 1 One engine (49 or 63 LEDs) | 350 mA options: 49B350/30K 3000K 49B350/40K 4000K 49B350/50K 5000K 63B350/30K 3000K 63B350/40K 4000K 63B350/50K 5000K 530 mA options: 63B530/30K 3000K 63B530/40K 4000K 63B530/50K 5000K | SR2 Type II SR3 Type III SR4 Type IV | MVOLT ² 120 ² 208 ² 240 ² 277 ² 347 480 | Shipped included (blank) Surface mount Shipped separately BBW Surface-mounted back box (for conduit entry) ³ | Shipped installed SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ PE Photoelectric cell, button type ^{5,6} DMG 0-10V dimming driver (no controls) ⁷ DFL Diffusing lens Shipped separately³ VG Vandal guard WG Wire guard | DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white |

Drilling



Accessories

Ordered and shipped separately.

| | |
|-----------------|-------------------------------------|
| ASW1BBW DDBXD U | Back box accessory (specify finish) |
| ASW1WGU | Wire guard accessory |
| ASW1VGU | Vandal guard accessory |

NOTES

- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 3000K (30K) and 5000K (50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options) or photocontrol (PE option).
- Also available as a separate accessory; see Accessories information at left.
- Single fuse (SF) requires 120 or 277 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option.
- Must be ordered with fixture; cannot be field installed.
- Not available with 347 or 480V.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Contact factory for performance data on any configurations not shown here.

| Light Engines | Drive Current (mA) | Performance Package | System Watts | Dist. Type | 40K (4000K, 67 CRI) | | | | |
|----------------|--------------------|---------------------|--------------|------------|---------------------|---|---|---|-----|
| | | | | | Lumens | B | U | G | LPW |
| 1 (49 LEDs) | 350 | 49B350/--K | 58W | SR2 | 4882 | 1 | 0 | 1 | 84 |
| | | | | SR3 | 4557 | 1 | 0 | 1 | 79 |
| | | | | SR4 | 4497 | 1 | 0 | 1 | 78 |
| 1 (63 LEDs) | 350 | 63B350/--K | 73W | SR2 | 5846 | 1 | 0 | 1 | 80 |
| | | | | SR3 | 6254 | 1 | 0 | 1 | 86 |
| | | | | SR4 | 6071 | 1 | 0 | 1 | 83 |
| 1 (63 LEDs) | 530 | 63B530/--K | 109W | SR2 | 7957 | 2 | 0 | 2 | 73 |
| | | | | SR3 | 8188 | 2 | 0 | 2 | 75 |
| | | | | SR4 | 8124 | 2 | 0 | 2 | 75 |

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | Lumen Multiplier |
|---------|------------------|
| 0°C | 1.02 |
| 10°C | 1.01 |
| 20°C | 1.00 |
| 25°C | 1.00 |
| 30°C | 1.00 |
| 40°C | 0.99 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the ASW1 LED 1 63B530 platform in a 30°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|-----|--------|--------|---------|
| Lumen Maintenance Factor | 1.0 | 0.95 | 0.92 | 0.87 |

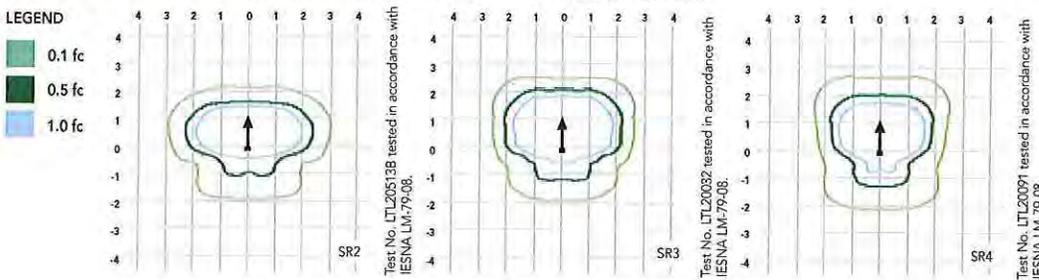
Electrical Load

| Light Engines | Drive Current (mA) | System Watts | Current (A) | | | | | |
|---------------|--------------------|--------------|-------------|------|------|------|------|------|
| | | | 120 | 208 | 240 | 277 | 347 | 480 |
| 1 (49) | 350 | 58W | 0.54 | 0.31 | 0.27 | 0.23 | 0.19 | 0.13 |
| 1 (63) | 350 | 73W | 0.68 | 0.39 | 0.34 | 0.29 | 0.23 | 0.17 |
| | 530 | 109W | 1.01 | 0.58 | 0.50 | 0.44 | 0.35 | 0.25 |

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's ASW1 LED homepage.

Isofootcandle plots for the ASW1 LED 1 63B530/40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The ASW1 LED is a high performance, high efficacy, long life luminaire that is ideally suited for lighting building entries, walk ways and surrounding areas adjacent to commercial exteriors.

CONSTRUCTION

Single-piece, die-cast aluminum housing. Die-cast doorframe has impact-resistant, tempered glass lens. Doorframe is fully sealed with a closed-cell silicone gasket.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded refractive acrylic lenses housed behind the door frame lens are available in three distributions. Light engines are available in standard 4000K (67 CRI) or optional 3000K (80 CRI) or 5000K (67 CRI) configurations.

ELECTRICAL

Light engine consists of 49 or 63 high-efficacy LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low for 120-277V

operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Universal mounting plate with integral mounting bolts supports the fixture for easy, one-person installation. Suitable for downward orientation only.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. **US Patent No. D500,569. Canada Patent No. 107561.**

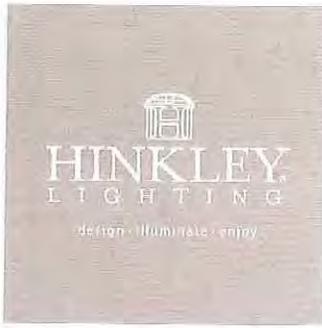
WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.

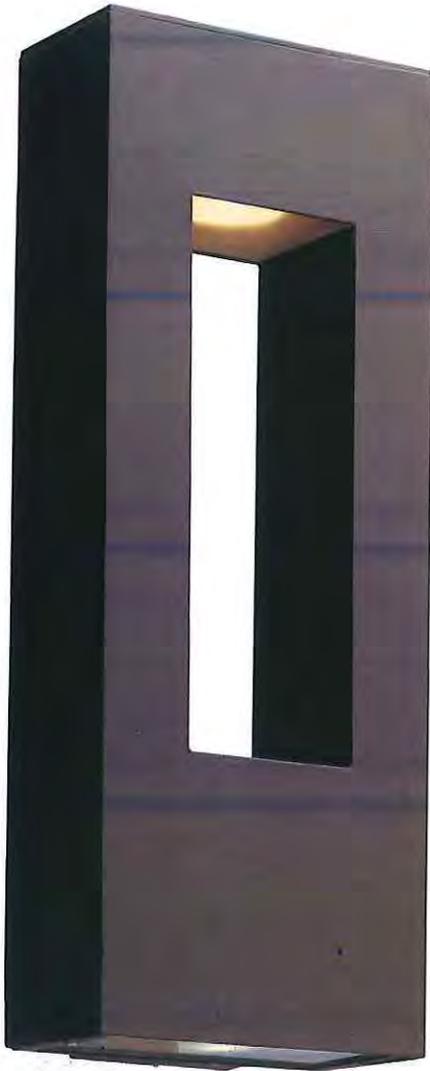


TYPE "OD"



Product Specifications Atlantis 1649 BZ

The Hinkley Atlantis outdoor lantern features a Bronze (BZ) finish and an etched glass lens.

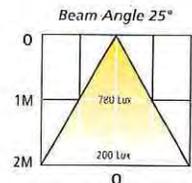
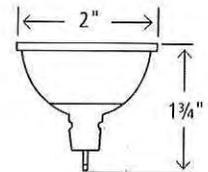


| | |
|-----------------------|--|
| Item | 1649 BZ |
| Finish | Powder Coated Bronze |
| Width | 9" |
| Height | 24" |
| Extension | 4" |
| Top to Outlet | 20 ³ / ₄ " |
| Back Plate Dimensions | 4 ¹ / ₂ "W, 6 ¹ / ₂ "H |
| Bulbs | (2) 4w LED MR-16 |
| Other | |

Lamp Specifications

| | |
|-----------------------|---------------|
| Model | LMR16-3-30K25 |
| Base | GU5.3 |
| Color Temperature | 3000K |
| Color Rendering Index | 80 |
| Beam Angle | 25° |
| Luminous Flux | 180Lm |

LMR16-3-30K25



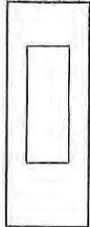
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assembly instructions

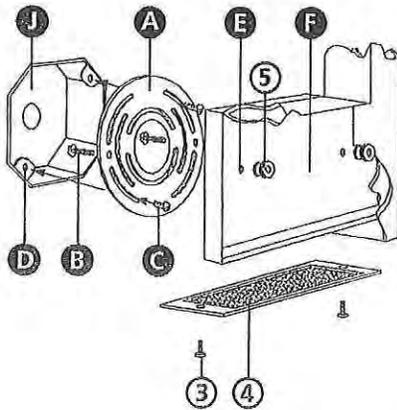
Family: Atlantis | Item No. 1648TT/BZ
1649TT/BZ

1648/1649



▼ start here

Drawing 1 - Fixture Mounting



1

1. Find a clear area in which you can work.
2. Unpack fixture and glass from carton.
3. Carefully review instructions prior to assembly.

***** The construction of this fixture will be accomplished by first attaching the mounting strap to the junction box, making all necessary electrical connections, mounting the fixture to the wall, and then lamping the fixture.**

2

1. Prepare mounting strap (A) by threading the two 8-32 x 1 mounting screws (B) into the back of the mounting strap (A) - see **Drawing 1**.
 - Be sure the holes into which the screws are threaded match the spacing of holes (E) in the backplate (F).
2. Attach mounting strap (A) to junction box (J) by threading 2 screws (C) provided into holes (D) of junction box (J).
3. Un-thread the 2 screws (3) from the bottom lens cover (4) and remove lens cover (4).

SAFETY WARNING: READ WIRING AND GROUNDING INSTRUCTIONS (I.S. 18) AND ANY ADDITIONAL DIRECTIONS. TURN POWER SUPPLY OFF DURING INSTALLATION. IF NEW WIRING IS REQUIRED, CONSULT A QUALIFIED ELECTRICIAN OR LOCAL AUTHORITIES FOR CODE REQUIREMENTS.

3

- Make electrical connections from supply wire to fixture lead wires. Refer to instruction sheet (I.S. 18) and follow all instructions to make all necessary wiring connections. Then refer back to this sheet to continue installation of this fixture.

4

1. To mount fixture, line up holes (E) in backplate (F) and slide fixture over both 8-32 x 1 screws (B) - see **Drawing 1**.
2. While holding fixture in place, thread the two 8-32 battery nuts (5) provided onto screws (B) and tighten with pliers.

5

1. Bottom of fixture can now be lamped accordingly.
2. Re-place bottom lens cover (4) and secure with the 2 screws (3).
3. To lamp top of fixture. remove lens cover (4) by un-threading 2 screws (3).
4. Top of fixture can now be lamped accordingly.
5. Replace lens cover and secure with the 2 screws (3).

Note: Maximum wattage for 1648 fixture is 2-12 Volt, 20w/MR-16.

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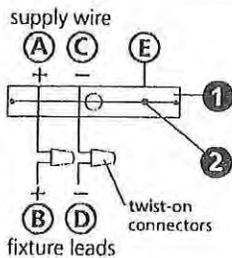


design • illuminate • enjoy

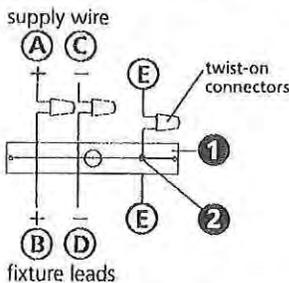
I.S. 18 wiring | grounding instructions

I.S. 18

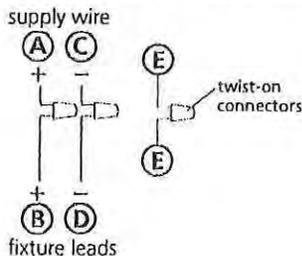
Drawing 1 - Flush Mount



Drawing 2 - Chain Hung



Drawing 3 - Post-Mount



SAFETY WARNING: READ WIRING AND GROUNDING INSTRUCTIONS (I.S. 18) AND ANY ADDITIONAL DIRECTIONS. TURN POWER SUPPLY OFF DURING INSTALLATION. IF NEW WIRING IS REQUIRED, CONSULT A QUALIFIED ELECTRICIAN OR LOCAL AUTHORITIES FOR CODE REQUIREMENTS.

wiring instructions

Indoor Fixtures

1. Connect positive supply wire (A) (typically black or the smooth, unmarked side of the two-conductor cord) to positive fixture lead (B) with appropriately sized twist on connector - see Drawings 1 or 2.
2. Connect negative supply wire (C) (typically white or the ribbed, marked side of the two-conductor cord) to negative fixture lead (D).
3. Please refer to the **grounding instructions** below to complete all electrical connections.

Outdoor Fixtures

1. Connect positive supply wire (A) (typically black or the smooth unmarked side of the two-conductor cord) to positive fixture lead (B) with appropriately sized twist on connector - see Drawings 2 or 3.
2. Connect negative supply wire (C) (typically white or the ribbed, marked side of the two-conductor cord) to negative fixture lead (D).
3. Cover open end of connectors with silicone sealant to form a watertight seal.
 - If installing a wall mount fixture, use caulk to seal gaps between the fixture mounting plate (backplate) and the wall. This will help prevent water from entering the outlet box. If the wall surface is lap siding, use caulk and a fixture mounting platform specially.
4. Please refer to the **grounding instructions** below to complete all electrical connections.

grounding instructions

Flush Mount Fixtures

For positive grounding in a 3-wire electrical system, fasten the fixture ground wire (E) (typically copper or green plastic coated) to the fixture mounting strap (1) with the ground screw (2) - see Drawing 1.

Note: On straps for screw supported fixtures, first install the two mounting screws in strap. Any remaining tapped hole may be used for the ground screw.

Chain Hung Fixtures

Loop fixture ground wire (E) (typically copper or green plastic coated) under the head of the ground screw (2) on fixture mounting strap (1) and connect to the loose end of the fixture ground wire directly to the ground wire of the building system with appropriately sized twist-on connectors - see Drawing 2.

Post-Mount Fixtures

Connect fixture ground wire (E) (typically copper or green plastic coated) to power supply ground with appropriately sized twist-on connector inside post. Cover open end of connector with silicone sealant to form a watertight seal - see Drawing 3.

DATE: February 7, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 979) – Proposed Galleria of Troy, North side of Big Beaver between Wilshire and I-75, Section 21, Currently Zoned BB (Big Beaver) District

The petitioner Galleria of Toy LLC submitted the above referenced Preliminary Site Plan Approval application for two restaurants, a retail building and future hotel(s) within the Big Beaver corridor.

The property is currently zoned BB (Big Beaver) District. The Planning Commission is responsible for granting Preliminary Site Plan Approval for this item. The Planning Commission reviewed the site plan on December 11, 2012 but did not take action.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and the recommendations included therein.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from December 11, 2012 Planning Commission Regular meeting (excerpt).

G:\SITE PLANS\SP 979 Galleria of Troy LLC Sec 21\SP-979 PC Memo 02 12 2013.docx

PRELIMINARY SITE PLAN REVIEW

PRELIMINARY SITE PLAN REVIEW (File Number SP 979) – Proposed Galleria of Troy, North side of Big Beaver between Wilshire and I-75, Section 21, Currently Zoned BB (Big Beaver) District

Resolution # PC-2012-02-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Galleria of Troy, located on the north side of Big Beaver between Wilshire and I-75, Section 21, within the BB (Big Beaver) district, be granted, for the following reasons:

_____) or

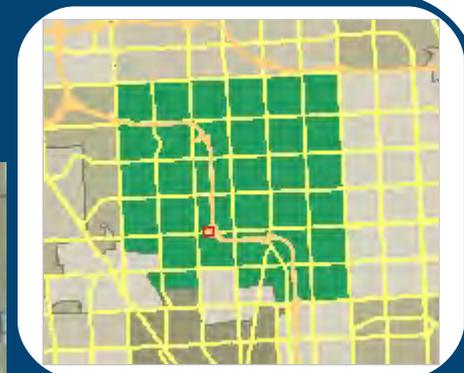
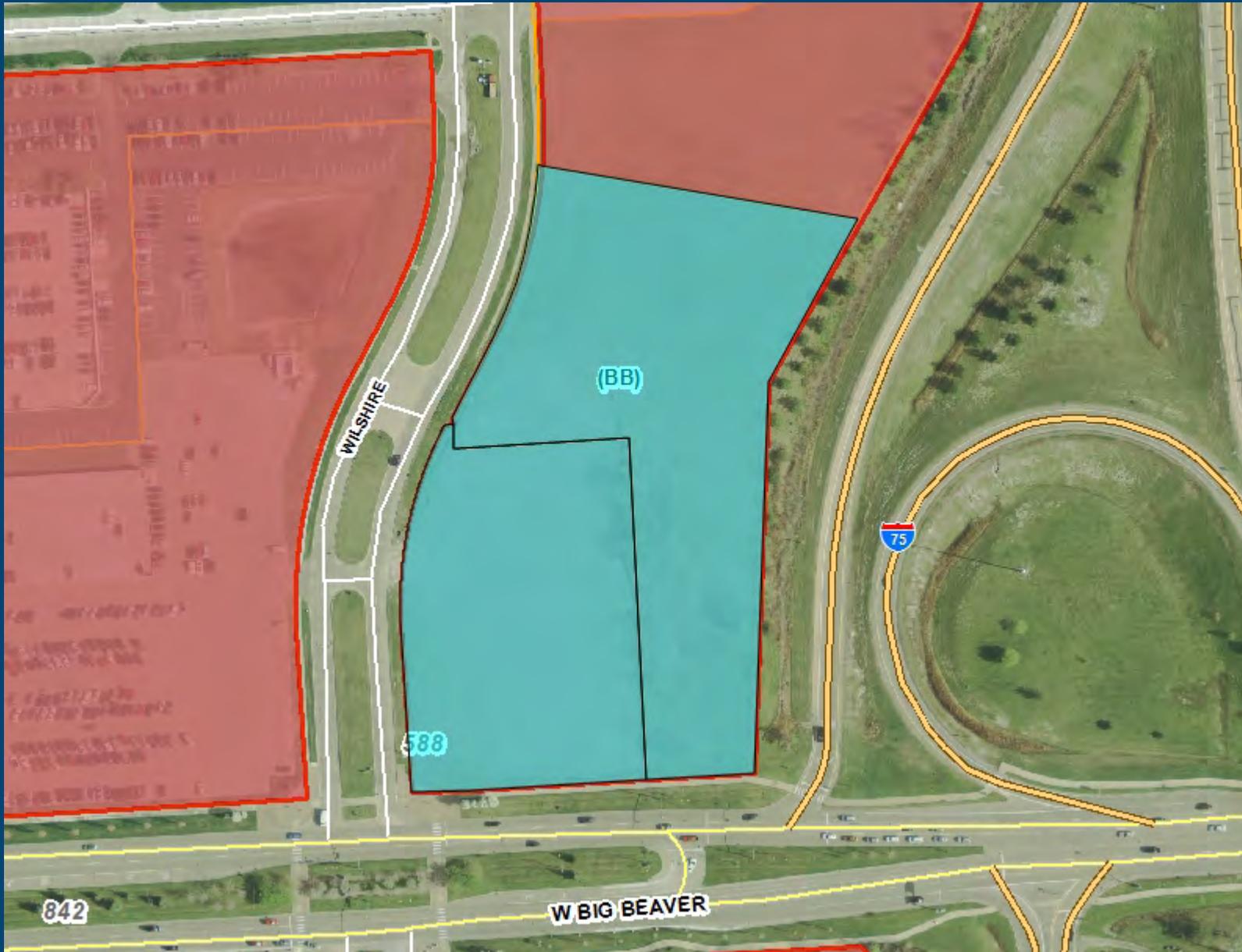
(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

MOTION CARRIED/FAILED



Legend

- I-75
- Road Centerline**
 - Major Road
 - Industrial Road
 - Local Road
- Current Zoning Ordinance**
 - (PUD) Planned Unit Development
 - (CF) Community Facilities District
 - (EP) Environmental Protection District
 - (BB) Big Beaver Road (Form Based)
 - (MRF) Maple Road (Form Based)
 - (NN) Neighborhood Nodes (A-U)
 - (CB) Community Business
 - (GB) General Business
 - (IB) Integrated Industrial Business District
 - (O) Office Building District
 - (OM) Office Mixed Use
 - (P) Vehicular Parking District
 - (R-1A) One Family Residential District
 - (R-1B) One Family Residential District
 - (R-1C) One Family Residential District
 - (R-1D) One Family Residential District
 - (R-1E) One Family Residential District
 - (RT) One Family Attached Residential District
 - (MR) Multi-Family Residential
 - (MHP) Manufactured Housing
 - (UR) Urban Residential
 - (RC) Research Center District
 - (PV) Planned Vehicle Sales
- Ponds and Basins
- Streams and Creeks
- Parcels
- Aerial Photos - 2010**
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

343 0 172 343Feet

Scale 1: 2,059





CARLISLE/WORTMAN ASSOCIATES, INC.
Community Planners /Landscape Architects

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Clarkston, MI 48346
248-625-8480
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Revised: February 4, 2013

Preliminary Site Plan Review For City of Troy, Michigan

| | |
|------------------------------|---|
| Applicant: | Group 10 Management |
| Project Name: | Galleria of Troy |
| Plan Date: | January 25, 2013 |
| Location: | Northeast corner of Big Beaver Road and Troy Center Drive Drive |
| Zoning: | BB, Big Beaver Form-based district |
| Action Requested: | Preliminary Site Plan Approval |
| Required Information: | Deficiencies noted |

PROJECT AND SITE DESCRIPTION

We received a site plan and accompanying documents for a proposed commercial development at the parcel located at the northeast corner of Big Beaver and Wilshire/Troy Plaza Drive. The applicant is proposing a restaurant, retail, and hotel development on the existing vacant 5.9 acre site. The applicant proposes to develop the site in two phases. The proposed first phase is the development of three pad sites that front on Big Beaver Road. The front eastern pad will be a Carrabbas Italian Grill, the front western pad will be a Bonefish Grill, and the user(s) of the front middle pad has not been determined. The applicant has labeled the middle pad as retail; however in discussions with the applicant they have indicated that this pad might include some restaurant uses. Access to this phase will be via two (2) curb cuts off Troy Center Drive.

The second phase will be the development of the back end of the site for hotel use. The applicant has not submitted a site plan but has indicated the potential for up to two (2) hotels. The applicant has not

indicated the timing of the second phase. This second phase is not included in this review and will require a future site plan review at the time of proposed buildout.

The property is zoned Big Beaver Form-Based District. The proposed development and mix of uses are by-right and only require Site Plan Review approval from the Planning Commission.

Location of Subject Property:

Northeast corner of Big Beaver Road and Troy Center Drive

Proposed Uses of Subject Parcel:

First Phase: Restaurant and Retail

Second Phase: Hotel

Current Use of Subject Property:

Vacant

Current Zoning:

The property is currently zoned Big Beaver Form Based Code, site type A.



| Direction | Zoning | Use |
|-----------|---------------------------|------------------|
| North | BB, Big Beaver Form Based | Vacant / Parking |
| South | BB, Big Beaver Form Based | Commercial |
| East | I-75 | I-75 |
| West | BB, Big Beaver Form Based | Commercial |

MASTER PLAN

The site was identified in the Big Beaver Corridor Study as one of five Corridor “Gateway” locations. The plan calls for:

- Building from lot line to lot line along the right-of-way rather than continuing to be a collection of isolated towers.
- Multiple level buildings which includes vertically integrated mixed-use commercial, office and residential towers.
- The use of prominent ground floor retail, restaurants and cafes allows visual interest and activity for visitors and residents.
- Contain parking in structures that are shared by surrounding developments.
- Parking in rear and not visible from major throughfares.
- Buildings set close to the street.

Though desired by the Master Plan a single large building or multiple storied buildings along Big Beaver at this site might not be achievable. However, there is an opportunity to develop a well-integrated site that includes creative yet consistent designed buildings. While we recognize that there are a multitude of different architectural styles and patterns along Big Beaver, creating site integration, cohesiveness, and a consistent design pattern both between and among this site is important. Because of its high visibility and prominence along Big Beaver, a key to site integration and cohesiveness, is a consistent building design pattern as well as the treatment and interaction between the buildings and the public/semi-public space along Big Beaver.

Items to be Addressed: Address site plan issues to ensure development is consistent with Master Plan.

BUILDING ORIENTATION AND OVERALL SITE LAYOUT

Through a semi-public plaza/streetscape design along Big Beaver, the applicant has provided some site integration. However, site cohesiveness and integration is predicated on a common design element for the buildings fronting along Big Beaver. Due to corporate desires, building design/frontage consistency might be more difficult (see floor plans and elevation section for more detail).

In addition, the Planning Commission requested consideration of moving the hotel portion of the development closer to Big Beaver and putting portions of the restaurant/retail and hotel parking behind the hotel building. The applicant should address if this was considered and if so, why it is not achievable.

Items to be Addressed: Address concept of moving hotel building closer to Big Beaver.

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

The site is being developed with three Building Form A buildings. Building Form A is a permitted building form for Site Type C. Table 5.03.B1 establishes the dimensional requirements for the building form A:

| | Required / Allowed | Provided | Compliance |
|---------------------------|---|--|---|
| Front (Big Beaver) | 10 foot build-to-line | Carrabas: 30 feet | Within Planning Commission allowance (see below) |
| | | Retail: 35 feet | Does not comply |
| | | Bonefish: 30 feet | Within Planning Commission allowance (see below) |
| Front (Troy Center Drive) | 10 foot build-to-line | Bonefish: 30 feet | Within Planning Commission allowance (see below) |
| Rear | 30 foot minimum | 500 feet | Complies |
| Side | 0 foot | 25.50 feet | Complies |
| Landscape Area | 20 percent | 25% | Complies |
| Open Space | 30 percent | 44.9 % | Complies |
| Building Height | Minimum 14 feet Maximum 45 feet | 18 feet | Complies |
| Parking | Big Beaver: Not located in front yard and screening | Not located in front yard and screened | Complies |
| | Troy Center Drive: Not located in front yard and screened | Parking is located in front yard | Does not comply (see parking section below for more details). |

The Planning Commission may adjust the required building line to a maximum of 30-feet beyond the property line for projects incorporating a permanent space for an outdoor café, public space, or a cross access drive with an adjacent parcel. The Carrabas and Bonefish has been setback 30 feet to incorporate a plaza/streetscape and outdoor seating. The retail building is setback 35 feet, which is outside of the allowable 30-foot setback. The retail building must be moved up closer to Big Beaver Road.

In the form-based districts, all parking shall be located in a side or rear yard. Parking is located behind the buildings that front along Big Beaver Road. However, because this is a corner site, the parking must be located behind the front building line along Troy Center Drive Road. The parking along Troy Center Drive Road must be located at least 30-feet from the property line. In addition, a requirement of the

Big Beaver form-based district requires that along corner lots, parking shall be not occupy more than fifty (50) percent of the site’s cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less. The parking along Troy Center Drive Drive exceeds the allowable 100 feet in length. The applicant shall reduce the total amount of parking located along Troy Center Drive Drive.

Items to be Addressed: 1). Move retail building closer to Big Beaver Road; 2). Reduce parking along Troy Center Drive; and 3). For remaining parking along Troy Center Drive, setback parking at least thirty feet back.

PARKING

For the various uses Section 13.06.G of the Zoning Ordinance requires:

| | Required | Provided |
|--|-----------------------------------|-------------------------------|
| Restaurant: 1 space per 2 seats | 459 seats= 230 spaces | 267 spaces |
| Retail: 1 space per 250 gross sq/ft | 8,960 sq/ft = 36 spaces | |
| Total | 266 spaces | |
| Barrier Free | 7 | 8 |
| Bicycle Parking | 2 | 0 |
| Loading | 0 | 0 |
| Total | 266 automobile + 2 bicycle | 267 spaces + 0 bicycle |

The applicant has provided the necessary automobile parking; however as noted the parking location along Troy Center Drive is not permitted.

Items to be Addressed: Incorporate bicycle parking as part of the pedestrian realm on Big Beaver.

SITE ACCESS, and CIRCULATION

Access to the site is provided via two curb-cuts off Troy Center Drive. The front row of parking (adjacent to building) is primarily reserved for handicapped and “to go” parking spaces. The traffic engineering department has confirmed that access and circulation is sufficient. The hotel phase of the development will have to consider traffic, access, and circulation from this first phase.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

We find that the applicant has made significant improvements to the elevations, particularly the retail building and Bonefish. However we do provide the following architectural comments:

Bonefish Grill:

- The trash enclosure area is located at the northeast corner of the building which is directly adjacent to the pedestrian walkway. If the applicant is not able to provide a common trash enclosure area for all three (3) buildings, the applicant should either relocate the Bonefish trash enclosure area inside the building or relocate the outdoor trash enclosure to the northwest corner of the building.
- E.I.F. should not be used as primary material and rather used as accent material. There is a significant amount of EIF on all elevations.
- Consider adding more height or variety in roof.
- Include greater massing and bulk where possible for the Bonefish and Carrabbas' building. The second story for these buildings could include a small lounge, bar, or outdoor roof patio.

Retail Building:

- Is the balcony accessible directly from building? Who is the future tenant of the corresponding space?
- Should the balcony seating be provided on west balcony?
- Provide more details about public art. Is what shown on the elevations the actual piece provided?
- Explain vision in regards to amount of different materials and mix of horizontal and vertical elements.
- Does the brick (color, type, etc) of the retail building match Bonefish?

Carrabba's:

- The chosen building design and material use is not consistent with the Big Beaver Design Guidelines. Specifically, the Big Beaver Design Guidelines state that all buildings on Big Beaver should be "unique and attractive structures built of high-quality materials and should avoid being "branded" so as to allow for their adaptation to future tenants."
- The Carrabbas color scheme is bright and does not correspond nor consistent with the retail building or Bonefish. Match color scheme of retail building and Bonefish.
- Match brick of retail building and Bonefish.
- Add transparency along west and north elevation.
- E.I.F. wall on south elevation (fronting Big Beaver) should be revised.
- Elevations do not show access to the trash enclosure area.
- Consider adding more height or variety in roof.
- Include greater massing and bulk where possible for the Bonefish and Carrabbas' building. The second story for these buildings could include a small lounge, bar, or outdoor roof patio.

Design Consistency:

Though free-standing buildings, there is an opportunity to provide a consistent design pattern for all three. While there are elements of the Bonefish and the retail building appear to have some consistency, the Carrabbas appears "branded" to the national prototype and does not appear to carry any of the common design elements.

The applicant should indicate the use of materials and design features that provide design consistency between the retail building, Bonefish and Carrabbas. In addition, as requested by the Planning Commission, the applicant did not provide a color rendering along the entire length of Big Beaver

showing all three buildings and their relationship to Big Beaver. Such perspective should be submitted and should include the proposed streetscape and pedestrian realm area. The purpose of the rendering is to ensure design interest and consistency along Big Beaver.

Items to be Addressed: 1). Address architectural comments for each building; 2) Provide narrative indicating the use of materials and design features that provide design consistency between the retail building, Bonefish and Carrabbas; and 3). Provide color rendering along entire length of Big Beaver.

PEDESTRIAN CIRCULATION

The applicant is greatly improving external and internal site pedestrian circulation. The applicant is providing a 7-foot wide pedestrian spine through the site, which connects the commercial portion of the development to the future hotel use. In addition, the applicant is proposing a full sidewalk along the entire length of Troy Center Drive.

Along Big Beaver, the applicant is proposing a significant benefit via pedestrian enhancements by improving the “Pedestrian Realm (area between building and roadway)” with the following features:

- 30-feet in depth of pedestrian area
- Landscape planter boxes
- Public art in front of retail buildings
- Future outdoor seating
- Lighting
- Trash cans
- Benches at restaurant building.

Primary Corridor B (204' ROW)



Streets Sites Structures
City of Troy
IDDA

23

As shown in the Big Beaver Design Guidelines, the applicant should incorporate additional features in the pedestrian realm:

- Paving or alternative material for expanded sidewalk to differentiate public and semi-public spaces
- Benches along Big Beaver
- Pedestrian style pole lighting in pedestrian realm
- Bike rack

With slight improvements, these pedestrian amenities along Big Beaver not only advance the intent of the Master Plan and provide a significant site amenity.

Items to be Addressed: Incorporate additional elements into the pedestrian realm as outline in the Big Beaver Design Guidelines.

LANDSCAPING

The applicant has provided a landscape plan. The plan provides all necessary calculations regarding greenbelt, street trees, and parking lot landscaping requirements.

| | <u>Required:</u> | <u>Provided:</u> | <u>Compliance:</u> |
|--|-----------------------|---|---|
| <u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way. | Big Beaver: 13 | 13 | Compliant |
| | Troy Center Drive: 15 | 15 | Compliant |
| <u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material. | 20% | The applicant indicates 45%; however they should separate hardscape and softscape | Provide hardscape and softscape calculation |
| <u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval. | 33 trees | 33 trees | Compliant |

While not required the applicant has proposed 11 trees along the eastern property line, which is adjacent to I-75. While it appears that the applicant has provided the required site landscaping, hardscape and softscape calculations should be provided.

Trash Enclosure:

The trash enclosure for the Carrabbas and Bonefish are located adjacent to the building. The Bonefish trash enclosure details have been provided. The Carrabbas enclosure details have not been provided. The trash enclosure for the retail building is located in the along the front row of parking. Details of retail building trash enclosure have not been indicated.

The quality of the site layout and elevations from the parking lot are marred by the trash enclosures. The applicant is encouraged to incorporate the trash enclosure as part of the building or provide one common site trash enclosure location along the east property line (adjacent to I-75).

Items to be Addressed: 1). Provide hardscape and softscape calculations; and 2). Reconfigure trash enclosure locations.

LIGHTING

The proposed site lighting consists of twelve (12) pole mounted lights. The applicant has not indicated any building light fixtures. In addition, the applicant does not include details for the pedestrian realm light fixtures and photometrics.

The applicant should resubmit the lighting and photometric with all site and building lighted included.

Items to be Addressed: 1). Provide building lighting fixtures; 2) Provide pedestrian realm fixtures; and 3). Resubmit photometric calculations with all site and building lighting included.

DESIGN STANDARDS

The Big Beaver design standards provide the Planning Commission with direction when reviewing the proposed design features of this development.

Façade Variation.

The maximum linear length of an uninterrupted building façade facing public streets and/or parks shall be thirty (30) feet. **Through the use of material changes, projections, façade articulation and fenestration, the all buildings comply with this standard.**

Pedestrian Access / Entrance.

- a. **Primary Entrance:** The primary building entrance shall be clearly identifiable and useable and located in the front façade parallel to the street. **All elevations, including all retail building tenant spaces, are assessable from Big Beaver.**
- b. **Pedestrian Connection.** The pedestrian connection shall be fully paved and maintained surface not less than five (5) feet in width. **Through the pedestrian amenities along Big Beaver and the pedestrian spine through the site, the applicant exceeds this requirement.**
- c. **Additional Entrances.** In addition to the primary façade facing front façade and/or the right-of-way, if a parking area is located in the rear or side yard, must also have a direct pedestrian access to the parking area that is of a level of materials quality and design emphasis at least equal to that of the primary entrance. **Complies**

Ground Story Activation.

The first floor of any front façade facing a right-of-way shall be no less than fifty (50) percent windows and doors, and the minimum transparency for facades facing a side street, side yard, or parking area shall be no less than 30 percent of the façade. Transparency alternatives are permitted up to 80% of the 50% total along the front of buildings, and up to 100% of the sides of buildings. The minimum transparency requirement shall apply to all sides of a building that abut an open space, including a side yard, or public right-of-way. Transparency requirements shall not apply to sides which abut an alley.

The applicant shall confirm that they meet the transparency requirement for all buildings. It appears that the north, east, and west elevations of the Carrabbas does not meet this requirement.

Transitional Features

- a. *Transitional features are architectural elements, site features, or alterations to building massing that are used to provide a transition between higher intensity uses and low- or moderate-density residential areas. These features assist in mitigating potential conflicts between those uses. Transitional features are intended to be used in combination with landscape buffers or large setbacks.*

Due to proximity of other commercial uses, the commercial development is not a more intense use which would require transitional features.

Site Access and Parking

- a. *Required Parking. Off-street parking shall be provided in accordance with the standards set forth in Article 13, Site Design Standards. **The applicant is providing the permitted parking.***
- b. *Location.*
 - I. *When parking is located in a side yard (behind the front building line) but fronts on the required building line, no more than fifty (50) percent of the total site's linear feet along the required building line or one hundred (100) feet, whichever is less, shall be occupied by parking. **Not Applicable***
 - II. *For a corner lot, shall be no more than fifty (50) percent of the site's cumulative linear feet along the required building lines or one hundred (100) feet, whichever is less, shall be occupied by parking. The building shall be located in the corner of the lot adjacent to the intersection. **The parking along Troy Center Drive exceeds the allowable 100 feet in length. The applicant shall reduce the total amount of parking located along Troy Center Drive.***
 - III. *For a double frontage lot or a lot that has frontage on three (3) streets, the cumulative total of all frontages occupied by parking shall be no more than sixty-five (65) percent of the total site's linear feet along a required building line or one hundred and twenty-five (125) feet, whichever is less. **Not Applicable***
 - IV. *Where off-street parking is visible from a street, it should be screened in accordance with the standards set forth in Section 13.02.C. **The applicant has screened their parking lot in compliance with section 13.0.2.C.***

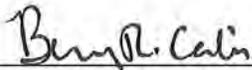
Items to be Addressed: 1). Confirm transparency requirement for all buildings; and 2). Comply with parking along Troy Center Drive.

SUMMARY OF FINDINGS

We support the conceptual development of this site, and find that the plan and development details are more consistent with the vision along Big Beaver and the requirements of Big Beaver form-based district. However, we recommend that the following items be address and/or resubmitted prior to Preliminary Site Plan Approval:

Commercial

- 1) Address site plan issues to ensure development is consistent with Master Plan.
- 2) Address concept of moving hotel building closer to Big Beaver.
- 3) Move retail building closer to Big Beaver Road.
- 4) Reduce parking along Troy Center Drive.
- 5) For remaining parking along Troy Center Drive, setback parking at least thirty feet back.
- 6) Incorporate bicycle parking as part of the pedestrian realm on Big Beaver.
- 7) Address architectural comments for each building.
- 8) Provide narrative indicating the use of materials and design features that provide design consistency between the retail building, Bonefish and Carrabbas.
- 9) Provide color rendering along entire length of Big Beaver.
- 10) Incorporate additional elements into the pedestrian realm as outline in the Big Beaver Design Guidelines.
- 11) Provide hardscape and softscape calculations.
- 12) Reconfigure trash enclosure locations.
- 13) Provide building lighting fixtures.
- 14) Provide pedestrian realm fixtures.
- 15) Resubmit photometric calculations with all site and building lighting included.
- 16) Confirm transparency requirement for all buildings.
- 17) Comply with parking along Troy Center Drive.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

PRELIMINARY SITE PLAN REVIEW

7. **PRELIMINARY SITE PLAN REVIEW (File Number SP 979)** – Proposed Galleria of Troy, North side of Big Beaver between Wilshire and I-75, Section 21, Currently Zoned BB (Big Beaver) District

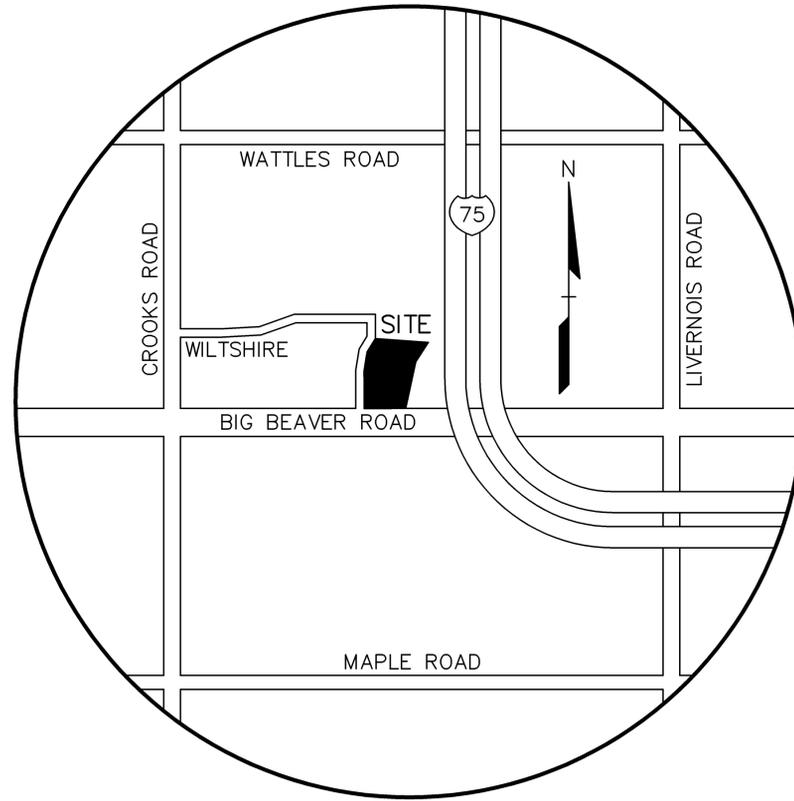
Mr. Carlisle reported that the site plans were not submitted in time to provide a full site plan review. The petitioner is here this evening to get preliminary comments from the Board. Mr. Carlisle gave a brief background of the proposed development.

James Butler of Professional Engineering Associates and Elizabeth Abernethy of Bloomin' Brands, Tampa, Florida, were present.

The following was discussed:

- Phase 1 (3 restaurants), Phase 2 (hotel).
- Building design/architecture, aesthetics, cohesiveness.
- Urban feel.
- Crucial location; gateway to Troy.
- Plaza, common ties with lighting and hardface.
- Eye catching features.
- Patio elements.
- Center pad; greater height and mass; an anchor; a draw.
- Outdoor features; fountain, water, art, public display.
- Parking lot; provide landscaping, other elements to break up asphalt.
- Dumpster locations.
- 'Sound' studies; buffer traffic noise.
- Stormwater mitigation.
- Hotel layout.
- Future submission:
 - Examples/photographs of both restaurant brands at an existing site.
 - Complete photographs/display boards of whole project, not individual restaurants.

PRELIMINARY SITE PLANS FOR
THE GALLERIA OF TROY
 NORTHEAST CORNER OF BIG BEAVER ROAD AND TROY CENTER DRIVE
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS:

- COVER SHEET
- P-1.0 TOPOGRAPHIC SURVEY
- P-2.0 OVERALL SITE PLAN
- P-2.1 PRELIMINARY SITE PLAN – SOUTH
- P-2.2 PRELIMINARY SITE PLAN – NORTH
- P-3.1 PRELIMINARY GRADING PLAN – SOUTH
- P-3.2 PRELIMINARY GRADING PLAN – NORTH
- P-4.0 PRELIMINARY UTILITY PLAN
- P-5.1 NOTES AND DETAILS

- L-1.1 OVERALL LANDSCAPE PLAN

- A-1.00 RETAIL 'A' SCHEMATIC FLOOR PLAN
- A-5.00 RETAIL 'A' SCHEMATIC EXTERIOR ELEVATIONS

- A-1.1 BONEFISH GRILL FLOOR PLAN
- A-2.1 BONEFISH GRILL EXTERIOR ELEVATIONS AND DETAILS
- A-2.2 BONEFISH GRILL EXTERIOR ELEVATIONS

- A-1 CARRABBA'S FLOOR PLAN
- A-2 CARRABBA'S EXTERIOR ELEVATIONS

- E-101 SITE PHOTOMETRIC PLAN
- E-102 FIXTURE SPEC SHEETS

PETITIONER/PROPERTY OWNER:

GROUP 10 MANAGEMENT
 30500 NORTHWESTERN HIGHWAY, SUITE #525
 FARMINGTON HILLS, MI, 48334
 PHONE: (248) 855-2100
 FAX: (248) 855-1080
 CONTACT: KENNY KOZA

CIVIL ENGINEER/LANDSCAPE ARCHITECT:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
 2430 ROCHESTER CT., SUITE 100
 TROY, MI, 48063
 PHONE: (248) 689-9090
 FAX: (248) 689-1044
 CONTACT: JAMES P. BUTLER, P.E./JEFFREY T. SMITH R.L.A.

LEGAL DESCRIPTION
 PARCEL ID 88-20-21-326-008, 88-20-21-326-009
 (Per First American Title Insurance Company Commitment #CM-486587)

Land in the City of Troy, Oakland County, Michigan, described as follows:

Part of the Southeast 1/4 of the Southwest 1/4 of Section 21, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, being more particularly described as: Commencing at the Southwest corner of said Section 21; thence North 87 degrees 28 minutes 55 seconds East along the South line of said Section 21, 1644.21 feet and North 02 degrees 31 minutes 05 seconds West, 102.00 feet to the North Right-of-Way line of Big Beaver (204 feet wide) and the POINT OF BEGINNING; thence along said line South 87 degrees 28 minutes 55 seconds West 386.22 feet to a point on the East Right-of-Way line of Troy Center Drive (120 feet wide); thence along said line, North 02 degrees 31 minutes 05 seconds West 198.00 feet; thence 234.99 feet along a curve to the right, radius 440.00 feet, central angle 30 degrees 36 minutes 01 seconds, chord bearing North 12 degrees 46 minutes 55 seconds East, 232.21 feet; thence North 28 degrees 04 minutes 58 seconds East 110.76 feet; thence 209.72 feet along a curve to the left, radius 510.00 feet, central angle 23 degrees 33 minutes 41 seconds, chord bearing North 16 degrees 18 minutes 05 seconds East 208.25 feet; thence South 79 degrees 31 minutes 26 seconds East 370.39 feet to a point on the West Right-of-Way line of I-75; thence along said line South 30 degrees 30 minutes 43 seconds West 217.24 feet; thence South 02 degrees 42 minutes 49 seconds West 450.89 feet to the POINT OF BEGINNING. Containing 5.909 Acres

| No. | Date | Description |
|-----|----------|---------------------------|
| 1 | 07/29/13 | ISSUE FOR PERMITS |
| 2 | 07/29/13 | REVISED PER CITY COMMENTS |
| 3 | 07/29/13 | REVISED PER CITY COMMENTS |
| 4 | 07/29/13 | REVISED PER CITY COMMENTS |
| 5 | 07/29/13 | REVISED PER CITY COMMENTS |
| 6 | 07/29/13 | REVISED PER CITY COMMENTS |
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CAUTION!
 THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONTRACTOR/CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ADOPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION, AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY AND PROTECTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND FOR OBTAINING ALL NECESSARY INFORMATION FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM ALL APPLICABLE AGENCIES.

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 Fax: (248) 689-1044
 website: www.peainc.com

GROUP 10 MANAGEMENT
 30500 NORTHWESTERN HIGHWAY, SUITE #525
 FARMINGTON HILLS, MICHIGAN, 48334

COVER SHEET
 THE GALLERIA OF TROY
 PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N, R. 11E.
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JPB P.M.
 SUR. N&F
 DN. PB
 SUR. N&F

ORIGINAL
 ISSUE DATE: NOV. 12, 2012
 PEA JOB NO. 2012-070
 SCALE: NONE
 DRAWING NUMBER:
COVER

BENCHMARKS
(USSS DATUM)

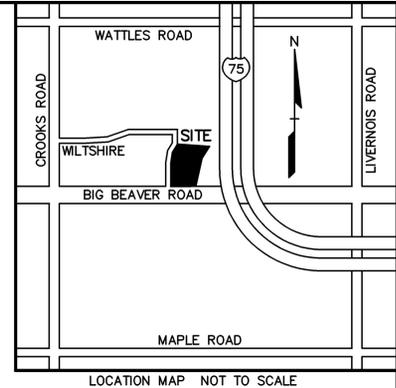
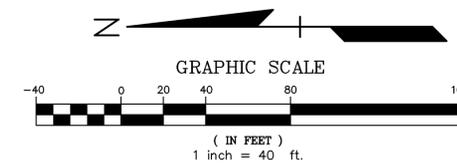
BM #NF-100
ARROW ON HYDRANT ON THE WEST SIDE OF TROY
CENTER DRIVE, ±525 FEET NORTH OF BIG BEAVER ROAD.
ELEV. 699.50

BM #NF-200
ARROW ON HYDRANT ON THE WEST SIDE OF TROY
CENTER DRIVE, ±1025 FEET NORTH OF BIG BEAVER ROAD.
ELEV. 700.75

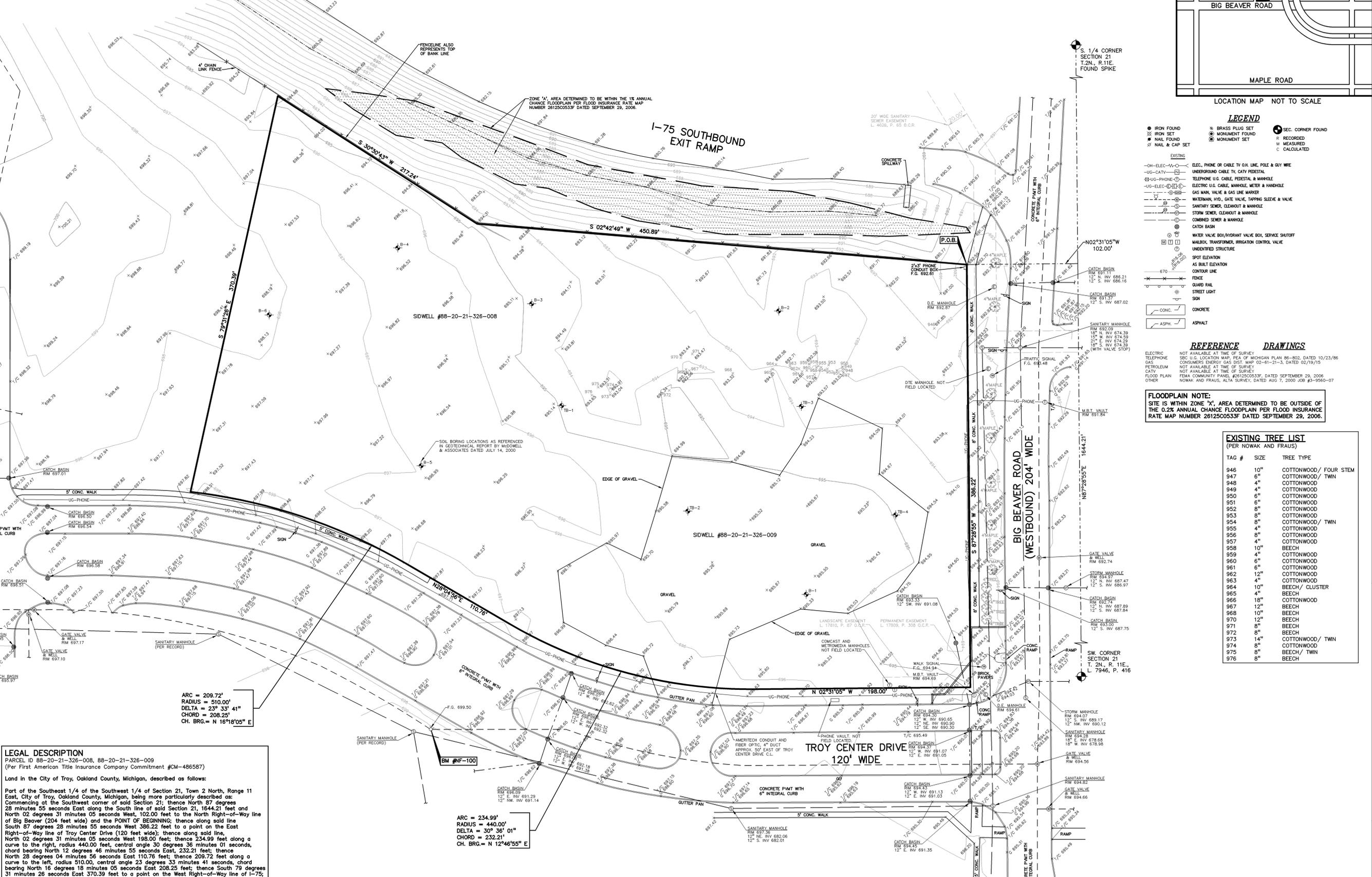
TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

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CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES ARE SHOWN ON THIS DRAWING AS PROVIDED BY THE SURVEYOR. THE USER OF THIS DRAWING IS ADVISED THAT THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION AND COMPLETE RESPONSIBILITY FOR JOB SITE AND PROPERTY DAMAGE TO THE EXTENT OF THE CONTRACT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS AGREEMENT SHALL BE MADE TO APPLY TO ALL CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND HOLD DESIGN PROFESSIONAL WORKERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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Fax: (248) 689-1044
website: www.peainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERS HIGHWAY, SUITE #225
PARKINGTON HILLS, MICHIGAN, 48364

TOPOGRAPHIC SURVEY OF THE GALLERIA OF TROY
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N, R. 11E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JPB
DN. JPB
SUR. JPB
N&F. JPB
P.M. JPB

ORIGINAL
ISSUE DATE: NOV. 12, 2012
PEA JOB NO. 2012-070
SCALE: 1" = 40'
DRAWING NUMBER:
P-1.0

NOT FOR CONSTRUCTION

BENCHMARKS
(USSS DATUM)

BM #NF-100
ARROW ON HYDRANT ON THE WEST SIDE OF TROY CENTER DRIVE, ±525 FEET NORTH OF BIG BEAVER ROAD. ELEV. 699.50

BM #NF-200
ARROW ON HYDRANT ON THE WEST SIDE OF TROY CENTER DRIVE, ±1025 FEET NORTH OF BIG BEAVER ROAD. ELEV. 700.76

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET P-5.1 FOR ON-SITE PAVING DETAILS.
- REFER TO CONSTRUCTION PLANS FOR ON-SITE SIDEWALK RAMP DETAILS.
- NO PARKING-FIRE LANE SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TROY CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
- THIS SITE DRAINS TO A PROPOSED UNDERGROUND DETENTION SYSTEM.

TOPOGRAPHIC AND BOUNDARY SURVEY DISCLAIMER:

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CURB DROP AND RAMP LEGEND:

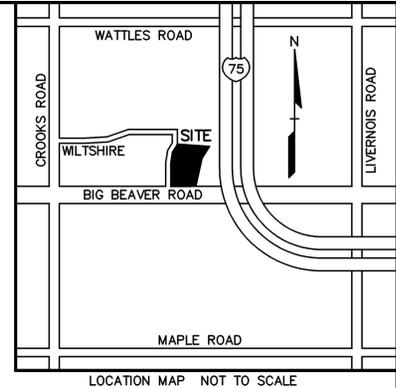
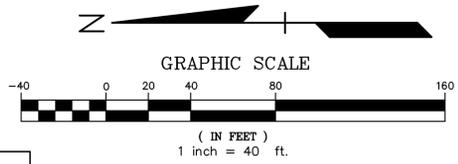
CURB DROP AND RAMP "TYPE P" (P)
 CURB DROP AND RAMP "TYPE R" (R)
 CURB DROP AND RAMP "TYPE D" (D)
 CURB DROP AND RAMP "TYPE F" (F)

REFER TO CONSTRUCTION PLANS FOR M.D.O.T. STANDARD RAMP DETAILS

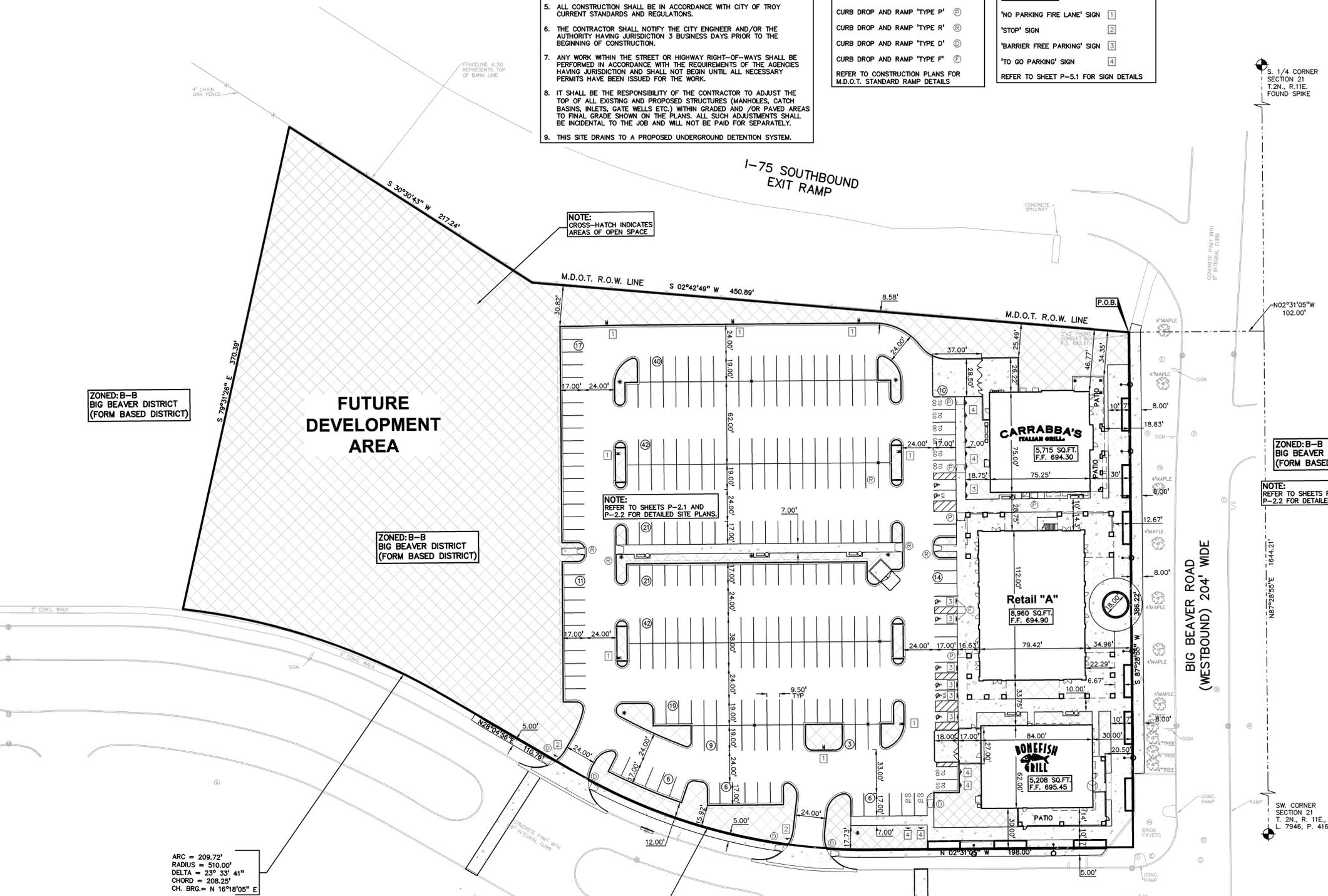
SIGN LEGEND:

'NO PARKING FIRE LANE' SIGN (1)
 'STOP' SIGN (2)
 'BARRIER FREE PARKING' SIGN (3)
 'TO GO PARKING' SIGN (4)

REFER TO SHEET P-5.1 FOR SIGN DETAILS



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LEGEND

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| ● IRON FOUND | ● BRASS PLUG SET | ● SEC. CORNER FOUND |
| ⊗ IRON SET | ● MONUMENT FOUND | ● RECORDED |
| ⊗ NAIL FOUND | ● MONUMENT SET | ● MEASURED |
| ⊗ NAIL & CAP SET | | ● CALCULATED |

EXISTING

- OH-ELEC-44-0-0 ELEC. PHONE OR CABLE TV OH. LINE, POLE & BUY WIRE
- UG-CATV-0-0 UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE-0-0 TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC-0-0-0 ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS MAN. VALVE & GAS LINE MARKER
- WATER MAIN, VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- AS BUILT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN

PROPOSED

- CONC. CONCRETE
- ASPH. ASPHALT
- STD. STD. STANDARD HEAVY DUTY
- DUTY DUTY DEEP STRENGTH

REFERENCE DRAWINGS

ELECTRIC TELEPHONE: NOT AVAILABLE AT TIME OF SURVEY

GAS: CONSUMERS ENERGY GAS DIST. MAP 02-01-21-3, DATED 02/19/15

PETROLEUM: NOT AVAILABLE AT TIME OF SURVEY

CATV: NOT AVAILABLE AT TIME OF SURVEY

FLOOD PLAN: FEMA COMMUNITY PANEL #26125C0533F, DATED SEPTEMBER 29, 2006

OTHER: NOWAK AND FRAUS, ALTA SURVEY, DATED AUG. 7, 2000 JOB #3-9560-07

FLOODPLAIN NOTE:
SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0533F DATED SEPTEMBER 29, 2006.

SITE DATA TABLE:

ZONING: EXISTING ZONING: B-B (BIG BEAVER DISTRICT)

SITE AREA:
GROSS AND NET SITE AREA = 5.909 ACRES

FORM 'D' BUILDING SETBACKS:

| | | | |
|-------------|---------|----------|---------------------------------|
| FRONT YARD: | 10 FEET | REQUIRED | 12.67 FEET MINIMUM (RETAIL 'A') |
| SIDE YARD: | 0 FEET | REQUIRED | 25.49 FEET MINIMUM (CARRABBA'S) |
| REAR YARD: | 40 FEET | REQUIRED | NOT APPLICABLE (OVER 500 FEET) |

BUILDING COVERAGE:
MAXIMUM ALLOWABLE BUILDING COVERAGE = 30%
PROPOSED BUILDING COVERAGE = (19,883 SQ.FT./5,909 AC) = 7.7%

OPEN SPACE:
MINIMUM OPEN SPACE REQUIRED = 15%
PROPOSED OPEN SPACE = (115,685 SQ.FT./5,909 AC) = 44.9%

BUILDING INFORMATION:

| | | | |
|--------------------------|--------------|---------------------------|--------------|
| CARRABBA'S RESTAURANT | 5,715 SQ.FT. | BONEFISH GRILL RESTAURANT | 5,208 SQ.FT. |
| 235 SEATS (24 ON PATIO) | | 224 SEATS (44 ON PATIO) | |
| BUILDING HEIGHT = 25'-2" | | BUILDING HEIGHT = 25'-8" | |

RETAIL BUILDING:
TOTAL 8,960 SQ.FT.
BUILDING HEIGHT = 32'

PARKING CALCULATIONS:

RESTAURANT:
TOTAL SEATING CAPACITY (INDOORS AND OUTDOORS) = 459 SEATS
REQUIRED PARKING = 1 SPACE PER 2 SEATS = 230 SPACES

RETAIL:
BUILDING AREA = 8,960 SQ.FT.
REQUIRED PARKING = 1 SPACES 250 SQ.FT. G.F.A. = 36 SPACES

TOTAL REQUIRED PARKING = 266 SPACES
TOTAL PARKING PROVIDED = 267 SPACES INCLUDING 8 H/C SPACES

LEGAL DESCRIPTION

PARCEL ID 88-20-21-326-008, 88-20-21-326-009
(Per First American Title Insurance Company Commitment #CM-486587)

Land in the City of Troy, Oakland County, Michigan, described as follows:

Part of the Southeast 1/4 of the Southwest 1/4 of Section 21, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, being more particularly described as: Commencing at the Southwest corner of said Section 21; thence North 87 degrees 28 minutes 55 seconds East along the South line of said Section 21, 1644.21 feet and North 02 degrees 31 minutes 05 seconds West, 102.00 feet to the North Right-of-Way line of Big Beaver (204 feet wide) and the POINT OF BEGINNING; thence along said line South 87 degrees 28 minutes 55 seconds West 386.22 feet to a point on the East Right-of-Way line of Troy Center Drive (120 feet wide); thence along said line, North 02 degrees 31 minutes 05 seconds West 198.00 feet; thence 234.59 feet along a curve to the right, radius 440.00 feet, central angle 30 degrees 36 minutes 01 seconds, chord bearing North 12 degrees 46 minutes 55 seconds East, 232.21 feet; thence North 28 degrees 04 minutes 58 seconds East 110.76 feet; thence 209.72 feet along a curve to the left, radius 510.00 feet, central angle 23 degrees 33 minutes 41 seconds, chord bearing North 16 degrees 18 minutes 05 seconds East 208.25 feet; thence South 79 degrees 31 minutes 26 seconds East 370.39 feet to a point on the West Right-of-Way line of I-75; thence along said line South 30 degrees 30 minutes 43 seconds West 217.24 feet; thence South 02 degrees 42 minutes 49 seconds West 450.89 feet to the POINT OF BEGINNING. Containing 5.909 Acres

LEGEND

ARC = 209.72'
RADIUS = 510.00'
DELTA = 23° 33' 41"
CHORD = 208.25'
CH. BRG. = N 16° 18' 05" E

ARC = 234.99'
RADIUS = 440.00'
DELTA = 30° 36' 01"
CHORD = 232.21'
CH. BRG. = N 12° 46' 55" E

NOT FOR CONSTRUCTION

REF: L:\2012070\DWG\TOPD-12070.DWG
REF: L:\2012070\DWG\SITE PLAN\326-008-12070.DWG
REF: L:\2012070\DWG\SITE PLAN\326-009-12070.DWG

CAUTION!
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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

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GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE #225
PARKING LOT HILLS, MICHIGAN, 48324

OVERALL SITE PLAN
THE GALLERIA OF TROY
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N, R. 11E,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JPB
DN. JPB
SUR. JPB
N&F. JPB
P.M. JPB

ORIGINAL
ISSUE DATE: NOV. 12, 2012

PEA JOB NO. 2012-070

SCALE: 1" = 40'

DRAWING NUMBER:
P-2.0

BENCHMARKS
(USSS DATUM)

BM #NF-100
ARROW ON HYDRANT ON THE WEST SIDE OF TROY CENTER DRIVE, ±525 FEET NORTH OF BIG BEAVER ROAD. ELEV. 699.50

BM #NF-200
ARROW ON HYDRANT ON THE WEST SIDE OF TROY CENTER DRIVE, ±1025 FEET NORTH OF BIG BEAVER ROAD. ELEV. 700.75

GENERAL NOTES:

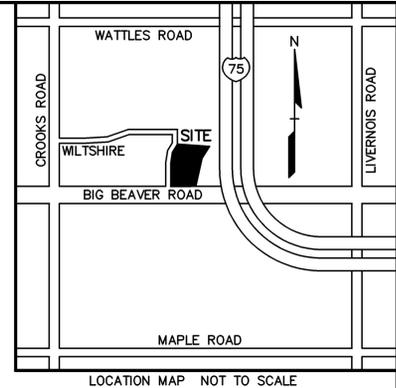
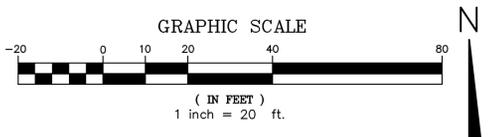
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEET P-5.1 FOR ON-SITE PAVING DETAILS.
- REFER TO CONSTRUCTION PLANS FOR ON-SITE SIDEWALK RAMP DETAILS.
- 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TROY CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
- THIS SITE DRAINS TO A PROPOSED UNDERGROUND DETENTION SYSTEM.

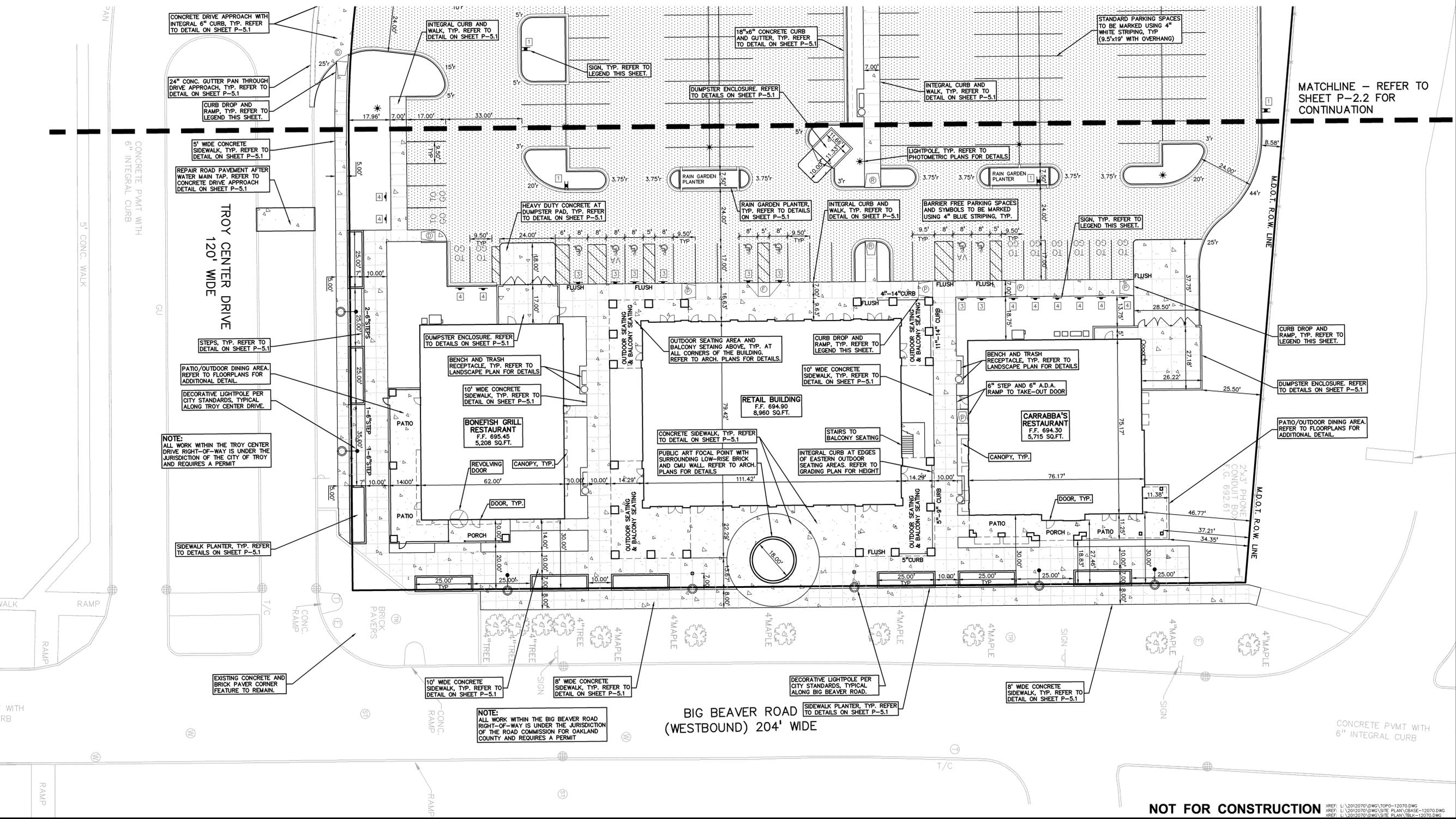
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| NO. | DATE | DESCRIPTION |
|-----|----------|---------------------------|
| 1 | 07/29/12 | ISSUED PER CITY COMMENTS |
| 2 | 07/30/12 | REVISED PER CITY COMMENTS |
| 3 | 08/01/12 | REVISED PER CITY COMMENTS |
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PARKING LOT HILLS, MICHIGAN, 48324

PRELIMINARY SITE PLAN - SOUTH
THE GALLERIA OF TROY
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N., R. 11E.
CITY OF TROY, OKLAND COUNTY, MICHIGAN

DES. JPB
DN. JPB
SUR. JPB
P.M. JPB

ORIGINAL
ISSUE DATE: NOV. 12, 2012

PEA JOB NO. 2012-070

SCALE: 1" = 20'

DRAWING NUMBER:
P-2.1

NOT FOR CONSTRUCTION

BENCHMARKS
(USSS DATUM)

BM #NF-100
ARROW ON HYDRANT ON THE WEST SIDE OF TROY CENTER DRIVE, ±525 FEET NORTH OF BIG BEAVER ROAD. ELEV. 699.50

BM #NF-200
ARROW ON HYDRANT ON THE WEST SIDE OF TROY CENTER DRIVE, ±1025 FEET NORTH OF BIG BEAVER ROAD. ELEV. 700.76

CURB DROP AND RAMP LEGEND:

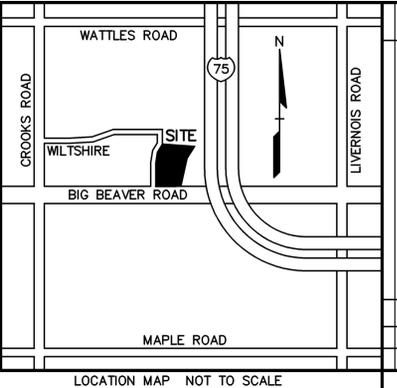
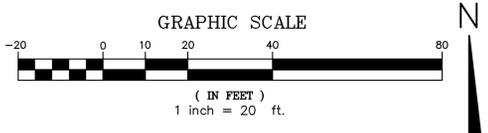
CURB DROP AND RAMP "TYPE P" (P)
 CURB DROP AND RAMP "TYPE R" (R)
 CURB DROP AND RAMP "TYPE D" (D)
 CURB DROP AND RAMP "TYPE F" (F)

REFER TO CONSTRUCTION PLANS FOR M.D.O.T. STANDARD RAMP DETAILS

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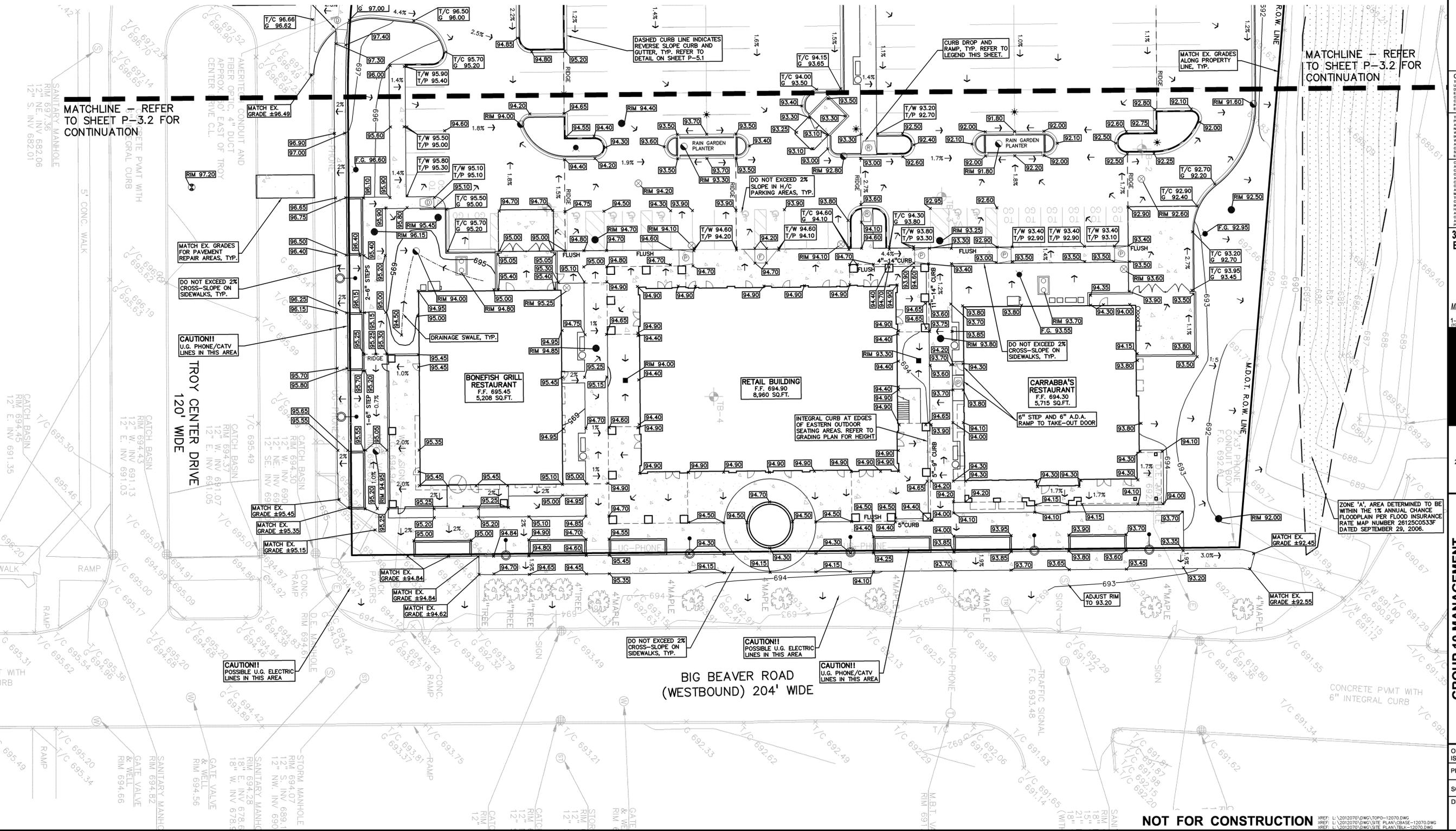
SYMBOLS: GRADING

PROPOSED SPOT GRADE ELEVATION
 ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 ADD 600 TO ALL 4-DIGIT ELEVATIONS TO OBTAIN ACTUAL ELEVATION.

—695— PROPOSED CONTOUR LINE

GENERAL GRADING AND EARTHWORK NOTES:

REFER TO SHEET P-3.2 FOR GENERAL GRADING AND EARTHWORK NOTES



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THE GALLERIA OF TROY
 PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N., R. 11E.
 CITY OF TROY, OKLAHOMA COUNTY, MICHIGAN

DES. JPB
 DN. JPB
 SUR. JPB
 INF. JPB
 P.M. JPB

ORIGINAL
 ISSUE DATE: NOV. 12, 2012

PEA JOB NO. 2012-070

SCALE: 1" = 20'

DRAWING NUMBER:
P-3.1

NOT FOR CONSTRUCTION

REF: L:\2012070\DWG\TOPD-12070.DWG
 REF: L:\2012070\DWG\SITE PLAN\USA4F-12070.DWG
 REF: L:\2012070\DWG\SITE PLAN\BLK-12070.DWG

BENCHMARKS
(USSS DATUM)

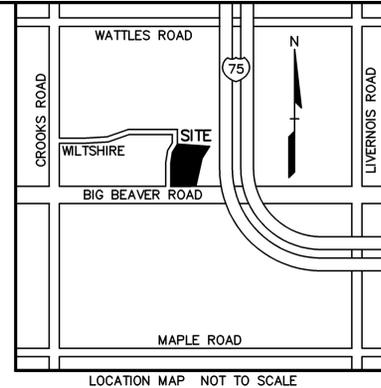
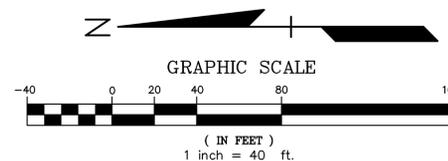
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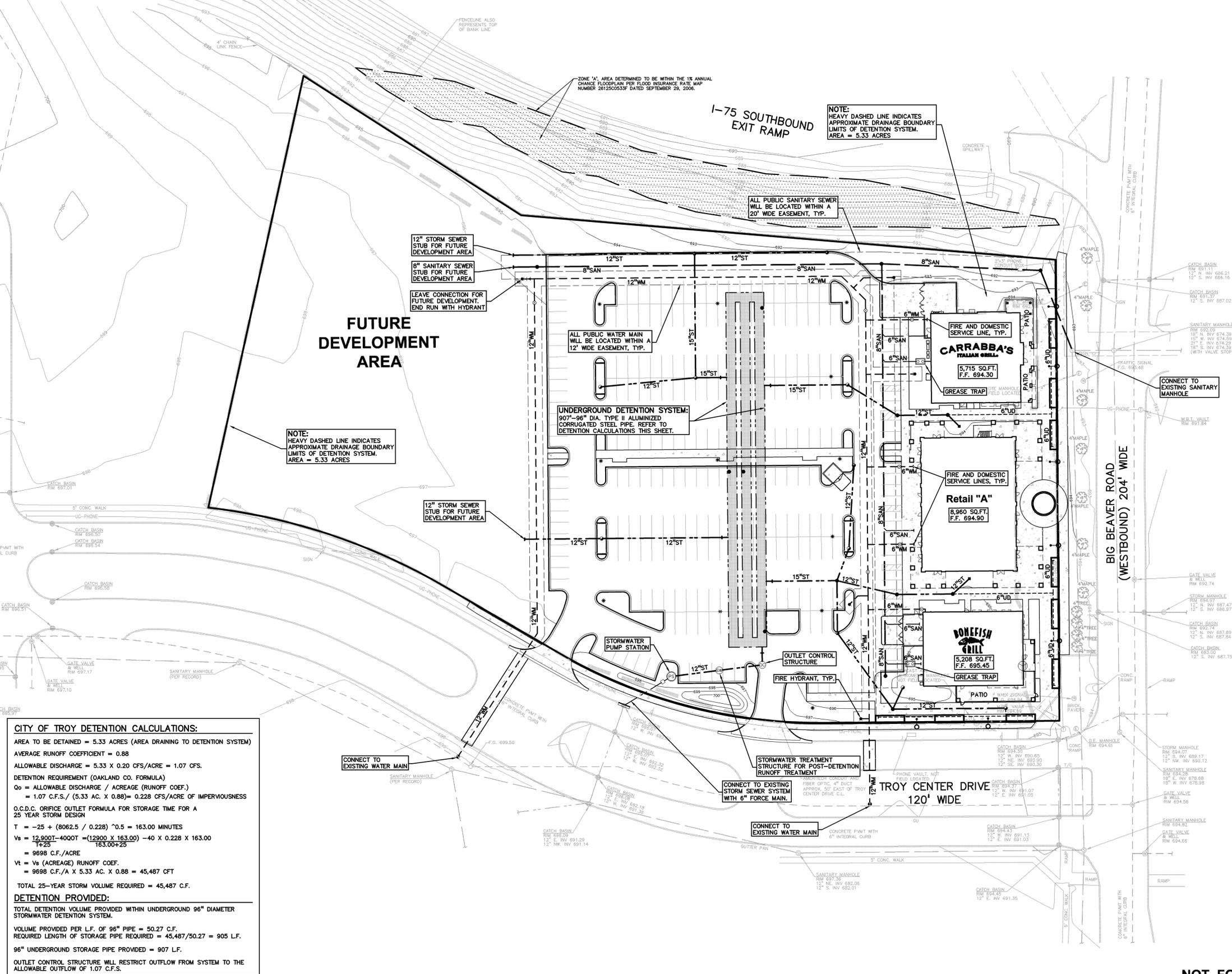
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| 98 | 07/29/13 | REVISED PER CITY COMMENTS |
| 99 | 07/29/13 | REVISED PER CITY COMMENTS |
| 100 | 07/29/13 | REVISED PER CITY COMMENTS |



NOTE:
HEAVY DASHED LINE INDICATES APPROXIMATE DRAINAGE BOUNDARY LIMITS OF DETENTION SYSTEM. AREA = 5.33 ACRES

NOTE:
HEAVY DASHED LINE INDICATES APPROXIMATE DRAINAGE BOUNDARY LIMITS OF DETENTION SYSTEM. AREA = 5.33 ACRES

UNDERGROUND DETENTION SYSTEM:
907"-96" DIA. TYPE II ALUMINIZED CORRUGATED STEEL PIPE. REFER TO DETENTION CALCULATIONS THIS SHEET.

ALL PUBLIC SANITARY SEWER WILL BE LOCATED WITHIN A 20' WIDE EASEMENT, TYP.

ALL PUBLIC WATER MAIN WILL BE LOCATED WITHIN A 20' WIDE EASEMENT, TYP.

12" STORM SEWER STUB FOR FUTURE DEVELOPMENT AREA

8" SANITARY SEWER STUB FOR FUTURE DEVELOPMENT AREA

LEAVE CONNECTION FOR FUTURE DEVELOPMENT. END RUN WITH HYDRANT

FUTURE DEVELOPMENT AREA

NOTE:
HEAVY DASHED LINE INDICATES APPROXIMATE DRAINAGE BOUNDARY LIMITS OF DETENTION SYSTEM. AREA = 5.33 ACRES

CITY OF TROY DETENTION CALCULATIONS:

AREA TO BE DETAINED = 5.33 ACRES (AREA DRAINING TO DETENTION SYSTEM)

AVERAGE RUNOFF COEFFICIENT = 0.88

ALLOWABLE DISCHARGE = 5.33 X 0.20 CFS/ACRE = 1.07 CFS.

DETENTION REQUIREMENT (OAKLAND CO. FORMULA)

$Q_0 = \text{ALLOWABLE DISCHARGE} / \text{ACREAGE (RUNOFF COEF.)}$

$= 1.07 \text{ C.F.S.} / (5.33 \text{ AC.} \times 0.88) = 0.228 \text{ CFS/ACRE OF IMPERVIOUSNESS}$

O.C.D.C. ORIFICE OUTLET FORMULA FOR STORAGE TIME FOR A 25 YEAR STORM DESIGN

$T = -25 + (8062.5 / 0.228)^{0.5} = 163.00 \text{ MINUTES}$

$V_s = \frac{12,900T - 4000T}{74.28} = \frac{12900(163.00) - 4000(163.00)}{74.28} = 45,487 \text{ C.F.}$

$V_t = V_s (\text{ACREAGE}) \text{ RUNOFF COEF.}$

$= 9698 \text{ C.F./ACRE}$

$V_t = 9698 \text{ C.F./A} \times 5.33 \text{ AC.} \times 0.88 = 45,487 \text{ C.F.}$

TOTAL 25-YEAR STORM VOLUME REQUIRED = 45,487 C.F.

DETENTION PROVIDED:

TOTAL DETENTION VOLUME PROVIDED WITHIN UNDERGROUND 96" DIAMETER STORMWATER DETENTION SYSTEM

VOLUME PROVIDED PER L.F. OF 96" PIPE = 50.27 C.F.

REQUIRED LENGTH OF STORAGE PIPE REQUIRED = 45,487/50.27 = 905 L.F.

96" UNDERGROUND STORAGE PIPE PROVIDED = 907 L.F.

OUTLET CONTROL STRUCTURE WILL RESTRICT OUTFLOW FROM SYSTEM TO THE ALLOWABLE OUTFLOW OF 1.07 C.F.S.

CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE BASED ON RECORD DRAWINGS OR OTHER EXPRESSED OR IMPLIED AS TO THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE INFORMATION TO OTHERS, WITHOUT THE PRIOR WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL COMMON-LAW RIGHTS OF CONTRACT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED. © 2013 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THE CONTRACTOR SHALL BE MADE TO BE RESPONSIBLE AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR SHALL HOLD DESIGN PROFESSIONAL ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

Know what's Below before you dig

Mississauga System, Inc.

1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES

2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE #225
FARMINGTON HILLS, MICHIGAN, 48334

PRELIMINARY UTILITY PLAN
THE GALLERIA OF TROY
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N, R. 11E.
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JPB
DN. JPB
SUR. JPB
INF. JPB
P.M. JPB

ORIGINAL ISSUE DATE: NOV. 12, 2012
PEA JOB NO. 2012-070
SCALE: 1" = 40'
DRAWING NUMBER:
P-4.0

NOT FOR CONSTRUCTION

REF: L:\2012070\DWG\TOPD-12070.DWG
REF: L:\2012070\DWG\SITE PLAN\2612500533-12070.DWG
REF: L:\2012070\DWG\SITE PLAN\BLK-12070.DWG

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
2. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (811) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
5. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
6. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MMUTCD".
9. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.
10. ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

PAVING NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
4. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
6. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

GENERAL UTILITY NOTES:

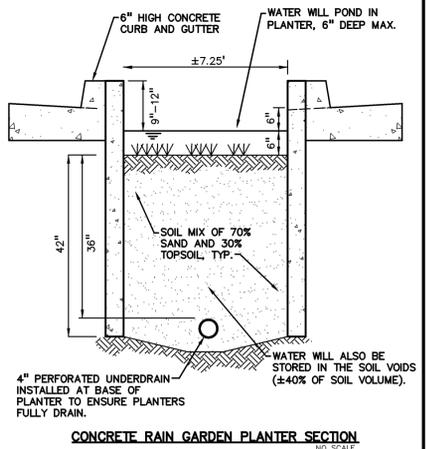
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF TROY.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
5. EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.
6. REFER TO CITY OF TROY STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

RAIN GARDEN PLANTER NARRATIVE:

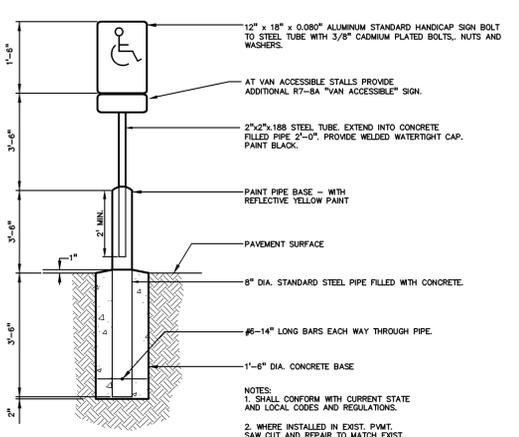
STORM RUNOFF FLOWS FROM THE PAVEMENT AREAS TO THE CONCRETE CURB AND GUTTER. THE CURB AND GUTTER CHANNELS FLOW TOWARDS ONE OF THE SPILLWAYS LOCATED AROUND THE PLANTER. THE PLANTERS WILL BE SIZED TO STORE AND PRE-TREAT THE "FIRST FLUSH" VOLUME FROM AREAS TRIBUTARY TO THE PLANTER. CALCULATIONS WILL BE PROVIDED ON THE CONSTRUCTION PLANS FOR EACH PLANTER.

THE STORMWATER PLANTERS WILL STORE RUNOFF TO A MAXIMUM DEPTH OF 6" AND ALLOW IT PERCOLATE INTO THE SOIL. THIS PROVIDES FILTERING OF THE RUNOFF THROUGH PERCOLATION AND THROUGH ABSORPTION BY THE PLANT MATERIALS. IF THE VOLUME OF RUNOFF EXCEEDS THE PLANTER STORAGE VOLUME IT WILL OVERFLOW VIA THE CATCH BASIN RIM LOCATED WITHIN THE PLANTER. THE PLANTERS ARE DESIGNED TO TREAT THE FIRST FLUSH VOLUME FROM SURFACE DRAINAGE ONLY.

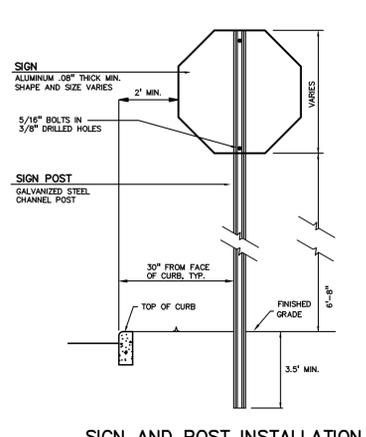
THIS METHOD OF PRE-TREATING SURFACE DRAINAGE HAS BEEN PROVEN SUCCESSFUL IN URBAN SETTINGS AND SHOULD REDUCE THE VOLUME OF STORMWATER RUNOFF ENTERING THE CITY'S SEWER SYSTEM FOR SOME OF THE RAINFALL EVENTS ON AN ANNUAL BASIS BY ALLOWING MORE STORMWATER TO PERCOLATE INTO THE GROUND RATHER THAN BE COLLECTED IN A STORM SEWER SYSTEM. HIGHER INTENSITY STORMS WILL CAUSE THE PLANTERS TO OVERFLOW INTO THE STORM SYSTEM WHERE THE RUNOFF WILL BE STORED IN UNDERGROUND OVER-SIZED PIPES AND RELEASED TO THE CITY SEWER SYSTEM AT A REDUCED RATE.



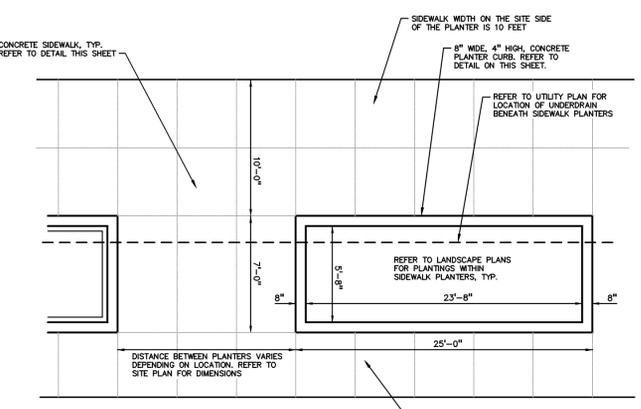
CONCRETE RAIN GARDEN PLANTER SECTION
NOT TO SCALE



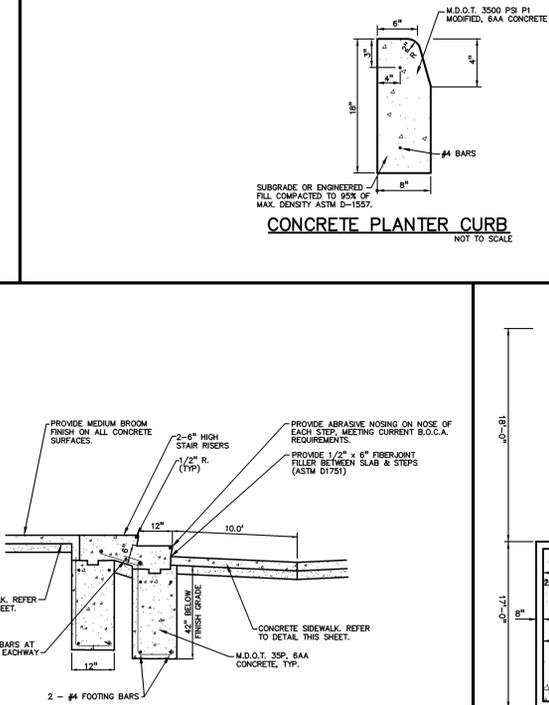
SIGN AND POST INSTALLATION IN PAVED AREAS
NOT TO SCALE



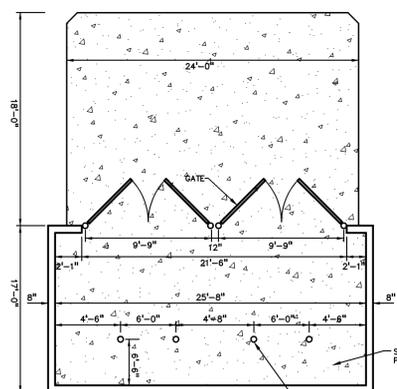
SIGN AND POST INSTALLATION IN LANDSCAPED AREAS
NOT TO SCALE



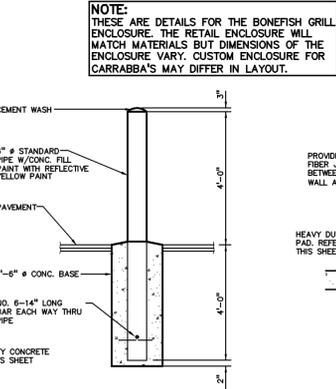
SIDEWALK PLANTER DETAIL
NOT TO SCALE



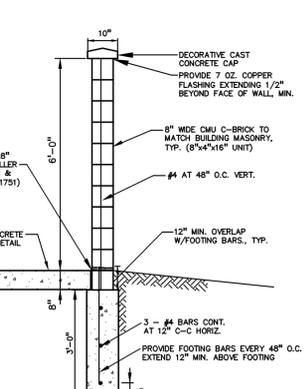
CONCRETE STAIRS DETAIL
TO BE USED ALONG TROY CENTER DRIVE, WEST OF THE BONIFER RESTAURANT



DOUBLE DUMPSTER ENCLOSURE DETAIL



6" DIA. GUARD POST DETAIL



DUMPSTER ENCLOSURE WALL CROSS SECTION



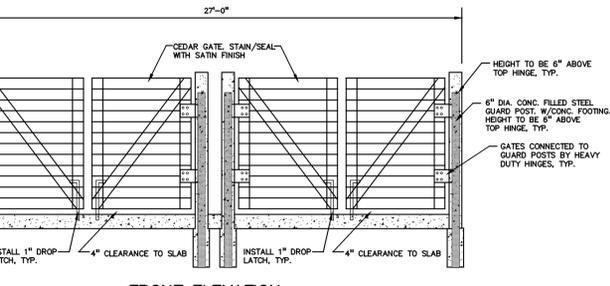
TO GO PARKING SIGN DETAIL
NOT TO SCALE



NO PARKING SIGN DETAIL
NOT TO SCALE



STOP SIGN DETAIL
NOT TO SCALE



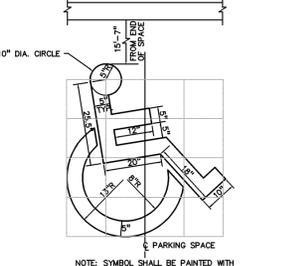
FRONT ELEVATION

TRASH ENCLOSURE DETAILS
NOT TO SCALE

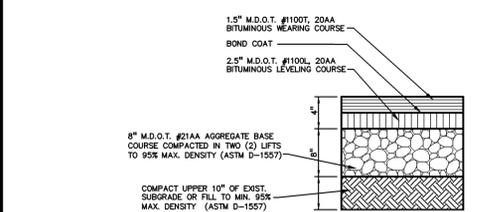
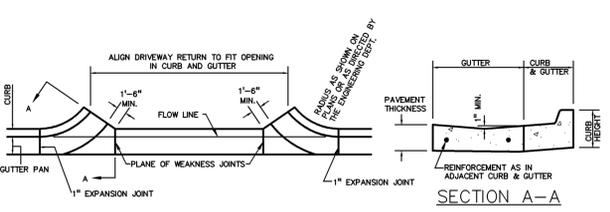
M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE



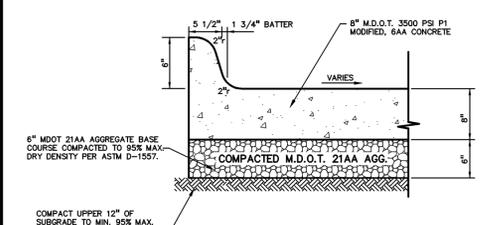
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



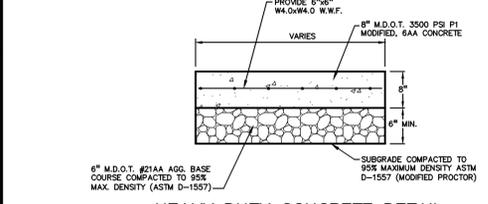
STANDARD "BARRIER FREE" SYMBOL FOR PARKING SPACE
NOT TO SCALE



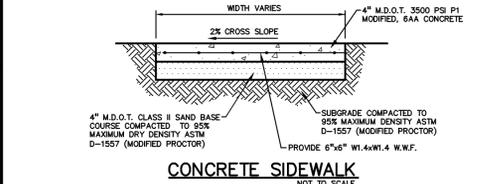
STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)



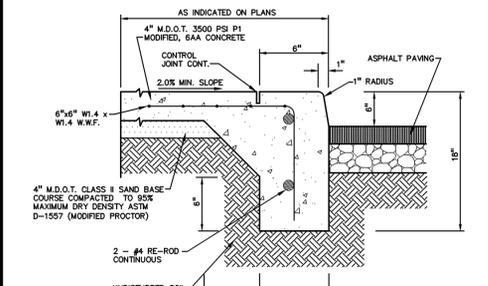
DRIVE APPROACH CONCRETE PAVEMENT
(TO BE USED FOR RIGHT-OF-WAY PAVEMENT)



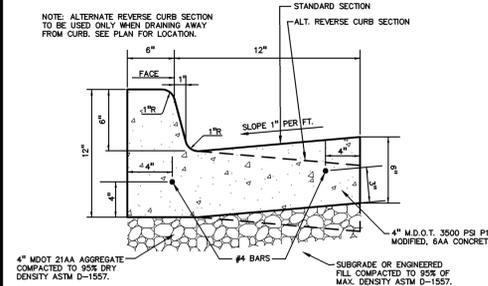
HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE



CONCRETE SIDEWALK
NOT TO SCALE



INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE

| NO. | DATE | DESCRIPTION |
|-----|----------|----------------------------|
| 1 | 07/29/13 | DATE |
| 2 | JFB | REVISION PER CITY COMMENTS |
| 3 | JFB | REVISION PER CITY COMMENTS |
| 4 | JFB | REVISION PER CITY COMMENTS |
| 5 | JFB | REVISION PER CITY COMMENTS |
| 6 | JFB | REVISION PER CITY COMMENTS |
| 7 | JFB | REVISION PER CITY COMMENTS |
| 8 | JFB | REVISION PER CITY COMMENTS |
| 9 | JFB | REVISION PER CITY COMMENTS |
| 10 | JFB | REVISION PER CITY COMMENTS |

CAUTION!!
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Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE #225
PARKING HILLS, MICHIGAN, 48364

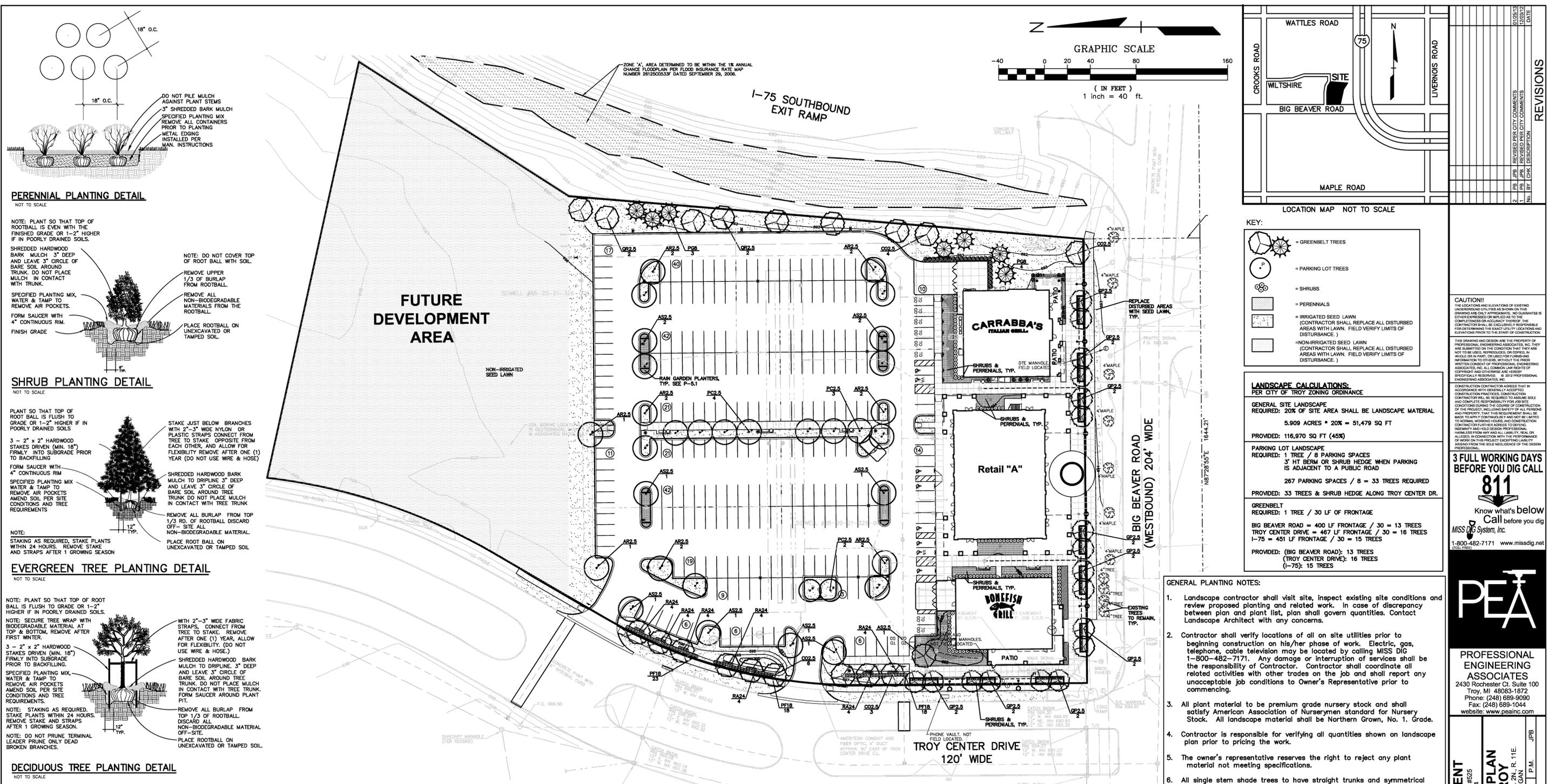
NOTES AND DETAILS OF TROY
PART OF THE SOUTHWEST 1/4 OF SECTION 21, T. 2N, R. 11E,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JFB
DN. JFB
SUR. JFB
N&F. JFB
P.M. JFB

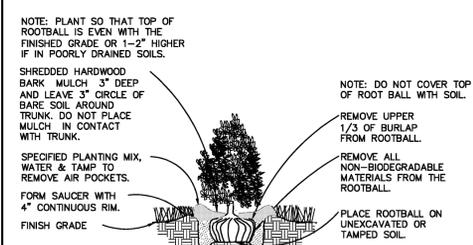
ORIGINAL ISSUE DATE: NOV. 12, 2012
PEA JOB NO. 2012-070
SCALE: NONE
DRAWING NUMBER:
P-5.1

NOT FOR CONSTRUCTION

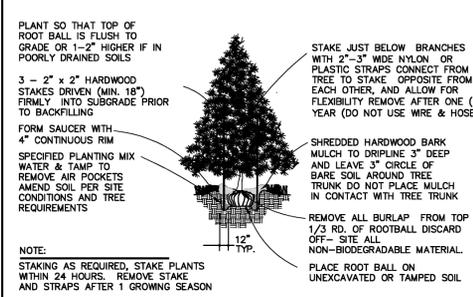
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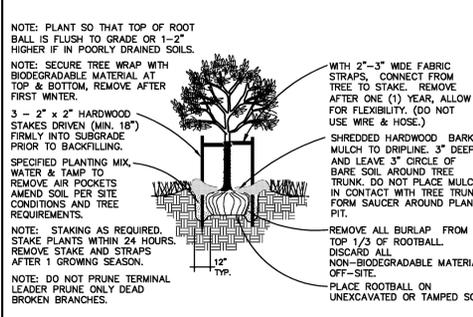
PERENNIAL PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TREE LIST:

| QUANTITY | KEY SYMBOL | COMMON NAME | SCIENTIFIC NAME | SIZE | SPEC COMMENTS |
|----------|------------|--------------------------------|--|-----------|----------------|
| 14 | AR2.5 | Red Maple | <i>Acer rubrum</i> | 2.5" Cal. | B&B Native |
| 11 | AS2.5 | Sugar Maple | <i>Acer saccharum 'Green Mountain'</i> | 2.5" Cal. | B&B Native |
| 14 | CO2.5 | Common Hackberry | <i>Celtis occidentalis</i> | 2.5" Cal. | B&B Native |
| 18 | GP2.5 | Princeton Sentry Ginkgo (Male) | <i>Ginkgo biloba 'Princeton Sentry'</i> | 2.5" Cal. | B&B Non-Native |
| 9 | PC2.5 | Cleveland Select Pear | <i>Pyrus calleryana 'Cleveland Select'</i> | 2.5" Cal. | B&B Non-Native |
| 7 | PG8 | Black Hills Spruce | <i>Picea glauca 'Densata'</i> | 8' Ht. | B&B Non-Native |
| 4 | QR2.5 | Red Oak | <i>Quercus rubra</i> | 2.5" Cal. | B&B Native |

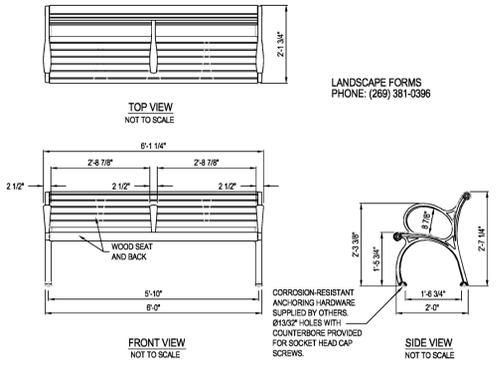
54% Native Trees

SHRUB PLANT LIST:

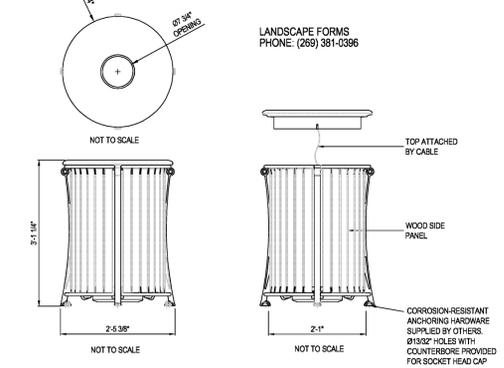
| QUANTITY | KEY SYMBOL | COMMON NAME | SCIENTIFIC NAME | SIZE | SPEC COMMENTS |
|----------|------------|--------------------------|---|----------|---------------|
| 59 | PF18 | McKay's White Potentilla | <i>Potentilla fruticosa 'McKay's White'</i> | 18" Ht. | Cont. Native |
| 28 | RA24 | Gro Low Sumac | <i>Rhus aromatica 'Gro-Low'</i> | 24" Sprd | Cont. Native |

100% Native Shrubs

BENCH: PLAINWELL WOOD TYPE (IPE)
COLOR: DARK BROWN OR BLACK POWDER COATED

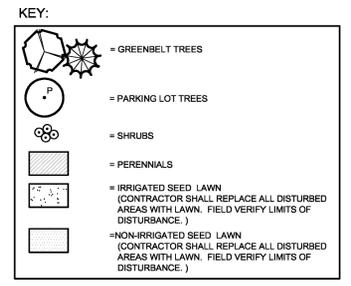


TRASH CONTAINER: PLAINWELL WOOD TYPE (IPE) 30" DIA. X 38" HIGH
COLOR: DARK BROWN OR BLACK POWDER COATED



PLAINWELL BENCH (WITHOUT) CENTER ARM, 72" LENGTH

PLAINWELL LITTER RECEPTACLE, TOP OPENING



LANDSCAPE CALCULATIONS:
PER CITY OF TROY ZONING ORDINANCE

GENERAL SITE LANDSCAPE:
REQUIRED: 20% OF SITE AREA SHALL BE LANDSCAPE MATERIAL.
5.909 ACRES * 20% = 51,479 SQ FT
PROVIDED: 116,970 SQ FT (45%)

PARKING LOT LANDSCAPE:
REQUIRED: 1 TREE / 8 PARKING SPACES
3" HT BERM OR SHRUB HEDGE WHEN PARKING IS ADJACENT TO A PUBLIC ROAD
267 PARKING SPACES / 8 = 33 TREES REQUIRED
PROVIDED: 33 TREES & SHRUB HEDGE ALONG TROY CENTER DR.

GREENBELT:
REQUIRED: 1 TREE / 30 LF OF FRONTAGE
BIG BEAVER ROAD = 400 LF FRONTAGE / 30 = 13 TREES
TROY CENTER DRIVE = 487 LF FRONTAGE / 30 = 16 TREES
I-75 = 451 LF FRONTAGE / 30 = 15 TREES
PROVIDED: (BIG BEAVER ROAD): 13 TREES
(TROY CENTER DRIVE): 16 TREES
(I-75): 15 TREES

- GENERAL PLANTING NOTES:**
- Landscape contractor shall visit site, inspect existing site conditions and review proposed planting and related work. In case of discrepancy between plan and plant list, plan shall govern quantities. Contact Landscape Architect with any concerns.
 - Contractor shall verify locations of all on site utilities prior to beginning construction on his/her phase of work. Electric, gas, telephone, cable television may be located by calling MISS DIG 1-800-482-7171. Any damage or interruption of services shall be the responsibility of Contractor. Contractor shall coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to Owner's Representative prior to commencing.
 - All plant material to be premium grade nursery stock and shall satisfy American Association of Nurserymen standard for Nursery Stock. All landscape material shall be Northern Grown, No. 1, Grade.
 - Contractor is responsible for verifying all quantities shown on landscape plan prior to pricing the work.
 - The owner's representative reserves the right to reject any plant material not meeting specifications.
 - All single stem shade trees to have straight trunks and symmetrical crowns.
 - All single trunk shade trees to have a central leader; trees with forked or irregular trunks will not be accepted.
 - All multi stem trees shall be heavily branched and have symmetrical crowns. One sided trees or those with thin or open crowns shall not be accepted.
 - All evergreen trees shall be heavily branched and full to the ground, symmetrical in shape and not sheared for the last five growing seasons.
 - All trees to have clay or clay loam balls, trees with sand balls will be rejected.
 - No machinery is to be used within the drip line of existing trees; Hand grade all lawn areas within the drip line of existing trees.
 - All tree locations shall be staked by Landscape Contractor and are subject to the approval of the landscape Architect prior to installation of the plant material.
 - It is mandatory that positive drainage is provided away from all buildings.
 - All planting beds shall receive 4" shredded hardwood bark mulch, see specifications. Shredded palette and died mulch will not be accepted.
 - All landscaped areas shall receive 3" compacted topsoil.
 - Maintenance: All plant material shall be maintained in good condition by mowing, watering, mulch, etc., so as to present a healthy neat and orderly appearance free from refuse and debris.

NOT FOR CONSTRUCTION

REVISIONS

| NO. | DATE | BY | CHKD. | DESCRIPTION |
|-----|----------|-----|-------|---------------------------|
| 1 | 07/26/13 | JPB | | REVISED PER CITY COMMENTS |
| 2 | | JPB | | REVISED PER CITY COMMENTS |

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

Know what's below
Call before you dig
MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

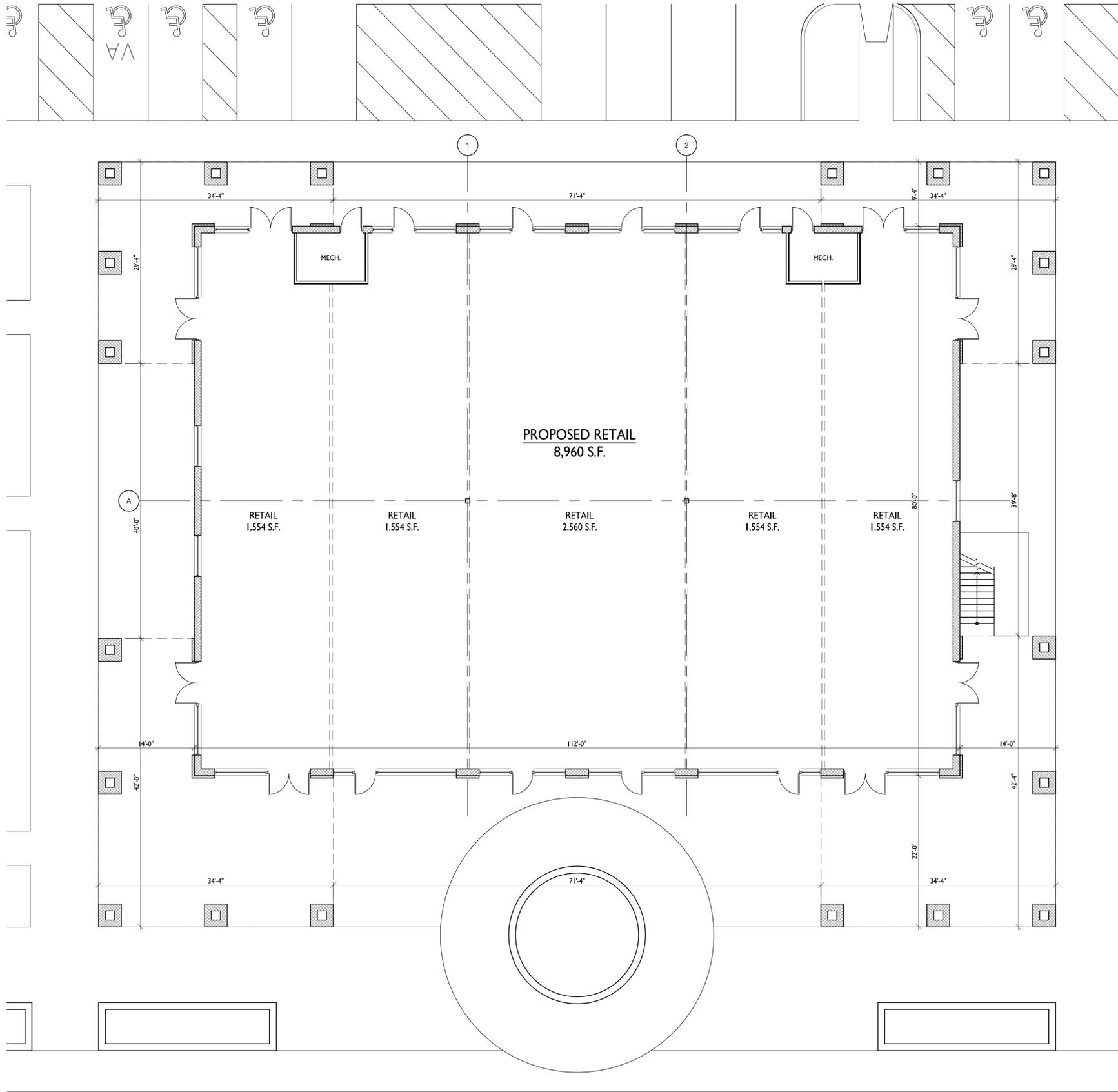
GROUP 10 MANAGEMENT
30500 NORTHWESTERN HIGHWAY, SUITE #625
FARMINGTON HILLS, MICHIGAN 48334

OVERALL LANDSCAPE PLAN
PART OF THE GALLERIA OF TROY
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

DES. JPB
DN. JPB
SUR. N&F
DATE: NOV. 12, 2012

SCALE: 1" = 40'

DRAWING NUMBER: **L-1.1**




SCHEMATIC FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BOWERS ASSOCIATES
 ARCHITECTURE DESIGN
 2400 SOUTH HURON PARADISEWAY • ANN ARBOR, MI 48104
 P: 734.769.4210
 WWW.BOWERSARCH.COM

CONSULTANT + NAME

PROJECT + INFORMATION
PROPOSED HOTEL DEVELOPMENT
 BIG BEAVER ROAD
 TROY, MICHIGAN

PROJECT + NUMBER
12-213

ISSUE + DATE
 21 JAN 2013 OWN. REV.

SHEET + TITLE
 SCHEMATIC FLOOR PLAN
 12213MAST.dwg

SHEET + NUMBER
A1.00



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



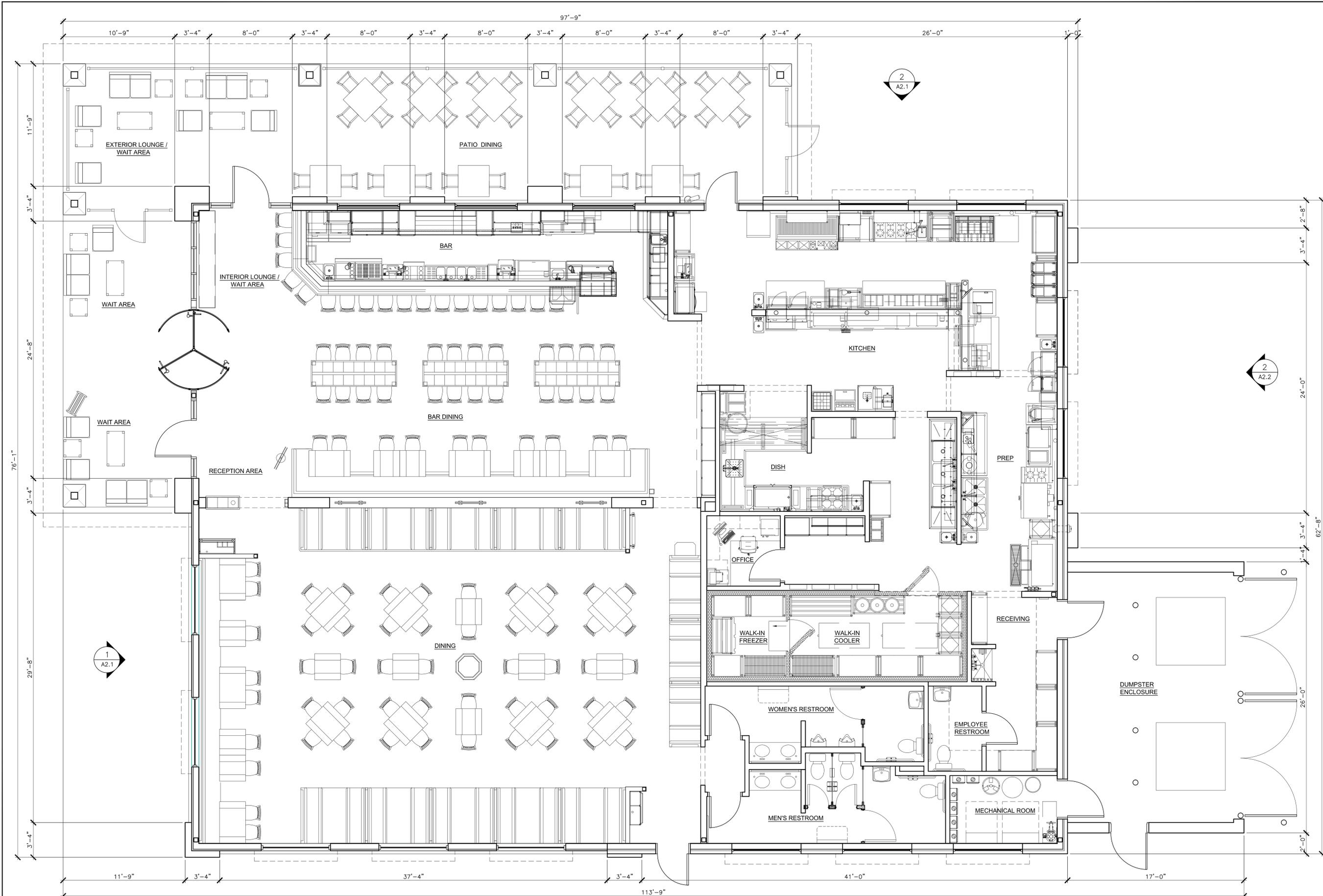
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

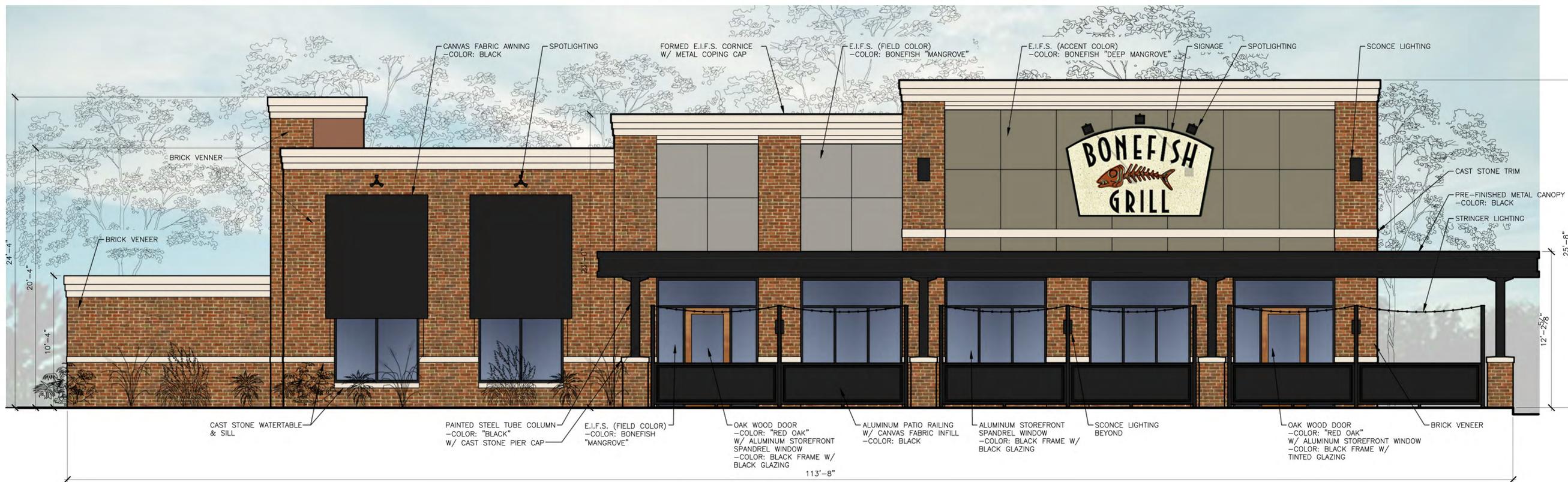


1 FLOOR PLAN
A1.1 1/4" = 1'-0"

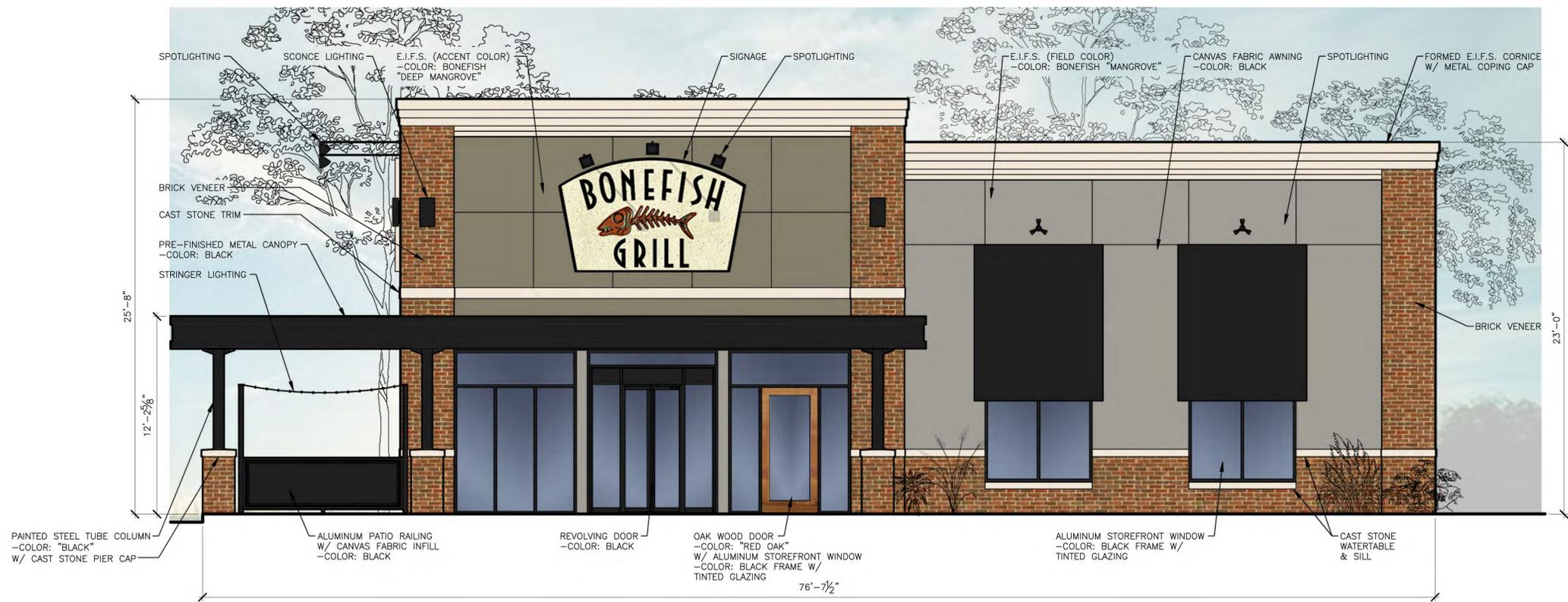




| | |
|------------|---------|
| DRAWN BY | DWM |
| CHECKED BY | HCG |
| DATE | 1/21/13 |
| REVISIONS | |



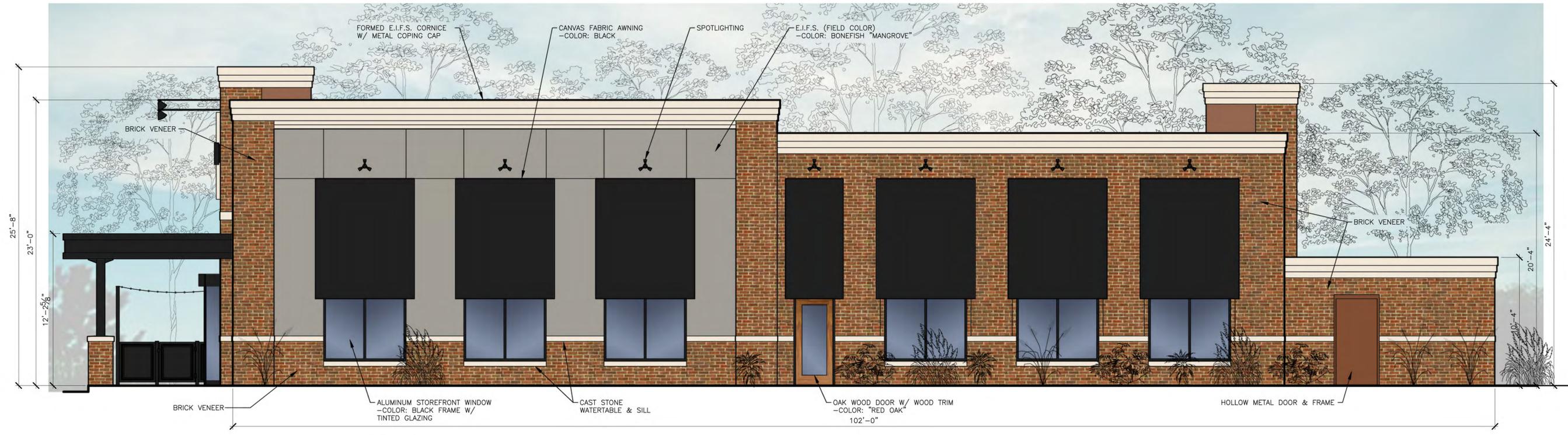
2 SIDE - WEST ELEVATION
A2.1 1/4" = 1'-0"



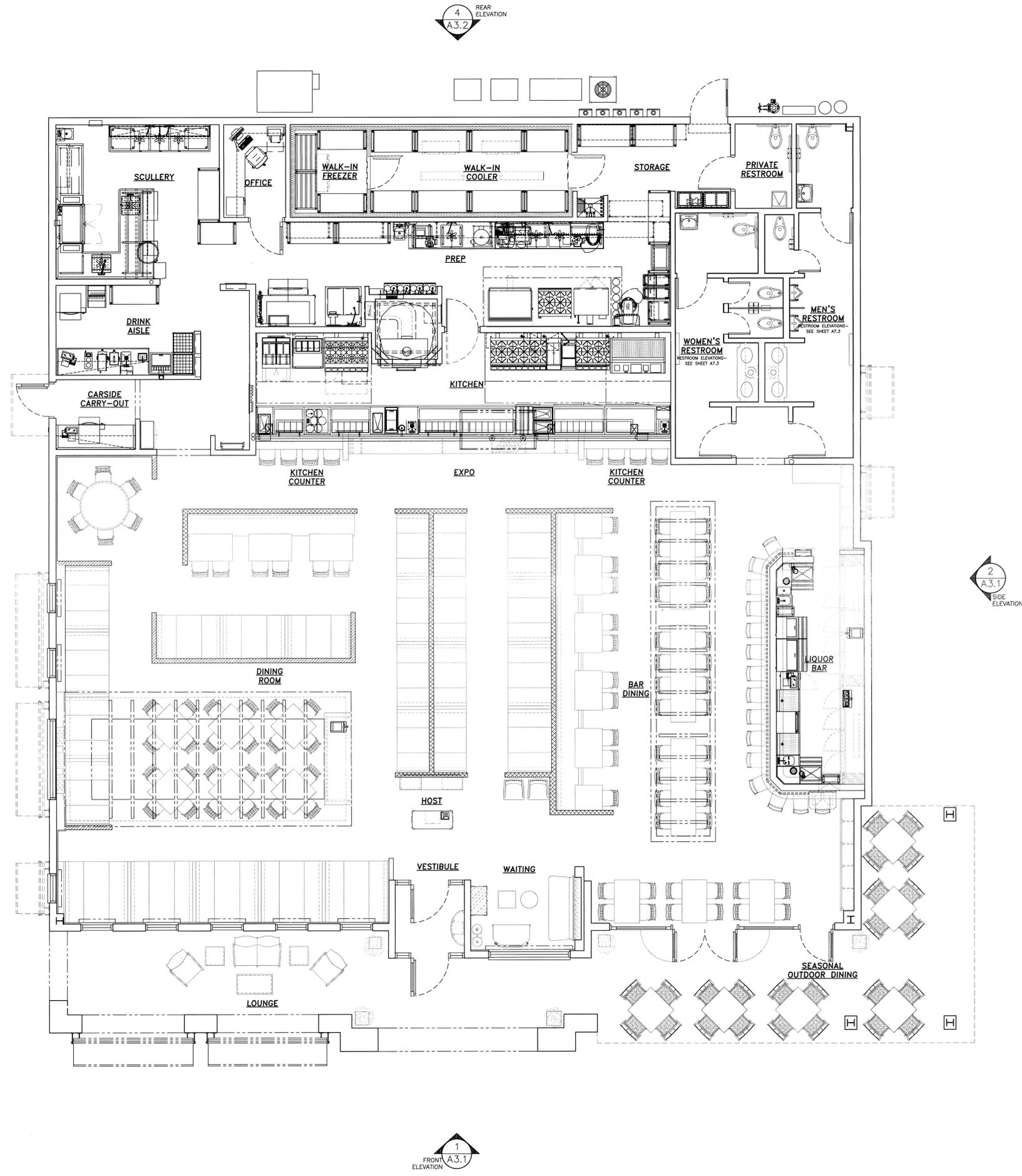
1 FRONT - SOUTH ELEVATION
A2.1 1/4" = 1'-0"



2 REAR - NORTH ELEVATION
A2.2 1/4" = 1'-0"



1 SIDE - EAST ELEVATION
A2.2 1/4" = 1'-0"



4
REAR
ELEVATION
A3.2

3
SIDE
ELEVATION
A3.2

2
SIDE
ELEVATION
A3.1

1
FRONT
ELEVATION
A3.1

JON W. SAMMER
ARCHITECT, AIA
3921 OLD LEE HWY
SUITE 72-B
FAIRFAX, VIRGINIA 22030
(703) 591-0747

SUBMISSION AND REVISION DATES

| NUM. | DESCRIPTION |
|------------|---------------------|
| 11/09/2012 | PLANNING SUBMISSION |

REVISION SYMBOLS
 DOES NOT APPLY TO THIS SHEET
 APPLIES TO THIS SHEET

CARRABBA'S
ITALIAN GRILL

TROY, MICHIGAN

SEAL:
[Signature]
11/2/12

I CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MICHIGAN. LICENSE NUMBER 1301047298. EXPIRATION DATE 10/31/2013.

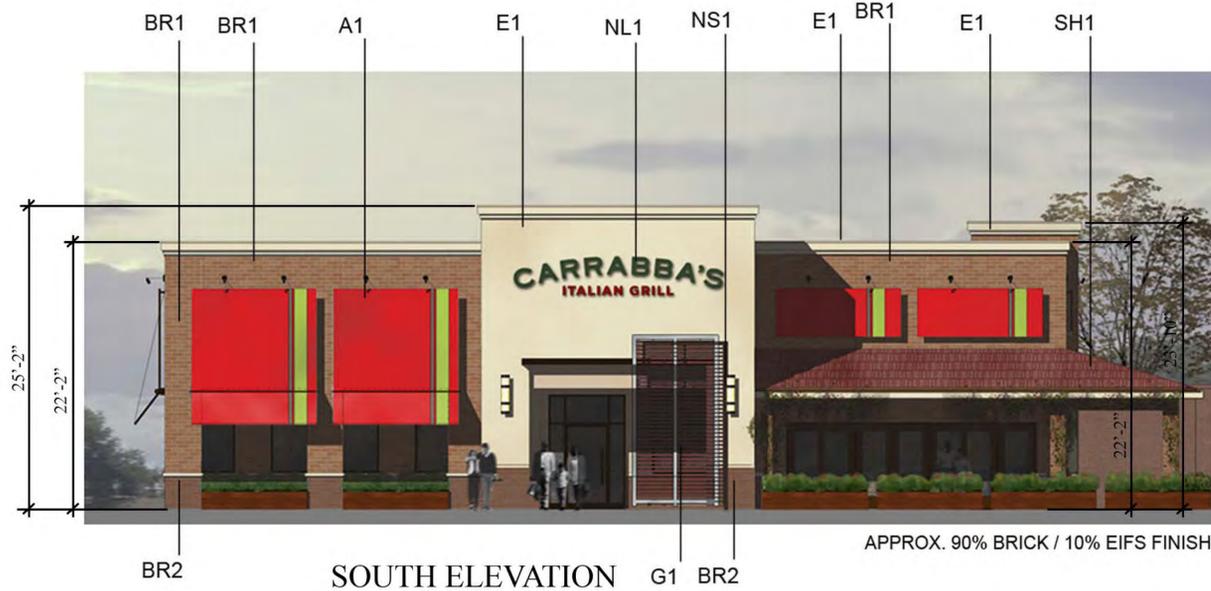
SCALE: 1/4" = 1'-0"

PROJECT NO. CBTR_1211

SHEET TITLE: FLOOR PLAN

SHEET: A1

PROPOSED CARRABBA'S ITALIAN GRILL TROY, MICHIGAN



FINISHES:

E1 EIFS WALLS:
SHERWIN WILLIAMS COLOR
"ACCESSIBLE BEIGE"

A1 FABRIC AWNING
BY OTHERS

SH1 SHINGLE ROOF

G1 IPEI GRILL

E2 EIFS WALLS:
SHERWIN WILLIAMS COLOR
"BASKET BEIGE"

E3 EIFS WALLS:
SHERWIN WILLIAMS COLOR
"SUPERIOR BRONZE"

BR2 DARK BRICK
VENEER

NL1 NEW CARRABBA'S
LOGO

CS1 NEW CAR SIDE

BR1 MEDIUM BRICK
VENEER

NS1 NEW SCONCES



DATE: 01/23/2013

JON W. SAMMER, AIA

3921 OLD LEE HIGHWAY,
SUITE 72-B
FAIRFAX, VIRGINIA 22030
703-591-0747

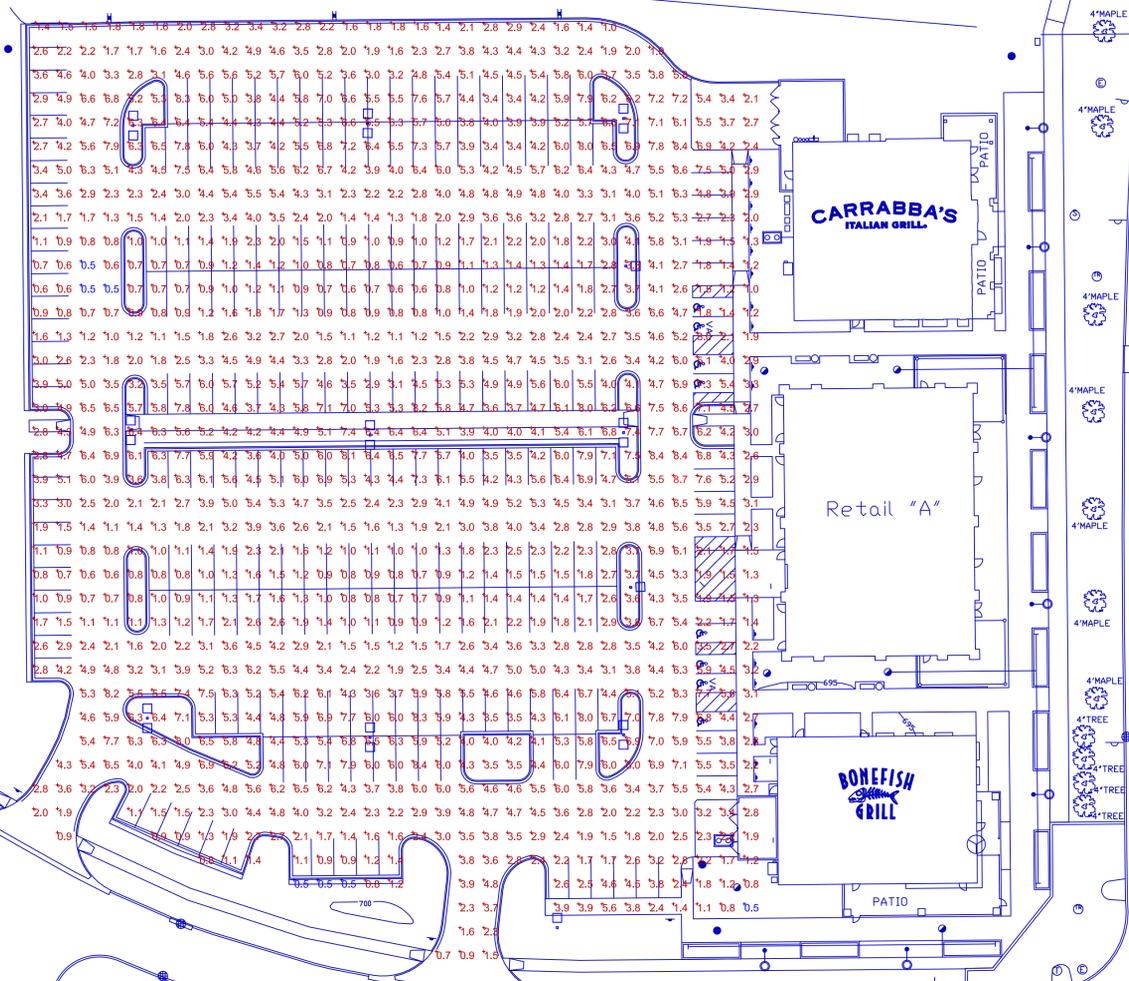
*** FINISH CALCULATIONS EXCLUDE FENESTRATION, AWNINGS AND ANY SIGNAGE

| STATISTICS | | | | | | |
|--------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Calc Zone #1 | + | 3.6 fc | 8.7 fc | 0.5 fc | 17.4:1 | 7.2:1 |

| LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------|-------|-----|----------------|---|---|------------------|--------|------|-------|
| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LF | Watts |
| □ | A | 3 | KSF2 400M R3 | Specification Area Luminaire, 400W Metal Halide, R3 Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA | ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION | KSF2_400M_R 3ies | 38000 | 0.72 | 456 |
| □ | B | 9 | KSF2 400M R3 | Specification Area Luminaire, 400W Metal Halide, R3 Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA | ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION | KSF2_400M_R 3ies | 38000 | 0.72 | 912 |

| LUMINAIRE LOCATIONS | | | | | | | | | | | |
|---------------------|-------|--------|------------|------|------|-------------|-----|--------|--------|-----|--|
| No. | Label | X | Location Y | Z | MH | Orientation | TIR | X | Aim Y | Z | |
| 1 | B | 4614.0 | 5286.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 2 | B | 4613.0 | 5158.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 3 | B | 4821.0 | 5157.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 4 | B | 4821.0 | 5289.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 5 | B | 4713.0 | 5287.0 | 27.5 | 27.5 | 181.0 | 0.0 | | | | |
| 6 | B | 4714.0 | 5156.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 7 | B | 4620.0 | 5037.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 8 | B | 4821.0 | 5030.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 9 | B | 4714.0 | 5029.0 | 27.5 | 27.5 | 180.0 | 0.0 | | | | |
| 10 | A | 4793.0 | 4949.0 | 27.5 | 27.5 | 0.0 | 0.0 | 4793.0 | 4950.4 | 0.0 | |
| 11 | A | 4824.0 | 5092.0 | 27.5 | 27.5 | 87.7 | 0.0 | 4825.4 | 5092.1 | 0.0 | |
| 12 | A | 4822.0 | 5227.0 | 27.5 | 27.5 | 90.0 | 0.0 | 4823.4 | 5227.0 | 0.0 | |

FUTURE DEVELOPMENT AREA (HOTEL)



I-75 SOUTHBOUND EXIT RAMP

S. 1/4 CORNER SECTION 21 T.2N., R.11E. FOUND SPIKE

N02°31'05"W 102.00'

N67°28'55"E 1644.21'

SW. CORNER SECTION 21 T. 2N., R. 11E., L. 7946, P. 416

SITE PHOTO-METRIC PLAN
SCALE: 1" = 36'-0"



PEA
PROFESSIONAL ENGINEERING ASSOCIATES, INC.
DESIGN, INC.
2430 WOODBURN SUITE 100
TROY, MICHIGAN 48063
PH 248-689-9090
FX 248-689-1044

CONSULTANT + NAME
EPD
ELECTRICAL POWER & DESIGN, INC.
18840 WOODBURN #6240
TROY, MI 48063
PH 313-537-3090
FX 313-537-6826

PROJECT + INFORMATION
PARKING LOT

PROJECT + NUMBER
EPD# 2519

ISSUE + DATE
11-10-12 REVIEW
12-03-12 CITY REVIEW

SHEET + TITLE
SITE PHOTO-METRIC

SHEET + NUMBER
E101

© copyright Peas & Associates, Inc.

DATE: January 31, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – REZONING APPLICATION (File Number Z 742) – Proposed 1071 Villa Park (part of Parcel ID #88-20-02-301-010), East side of Rochester Road, South of South Boulevard, Section 2, From R-1D (One Family Residential) District to RT (One-Family Attached Residential) District

The subject property was rezoned to CR-1 (One Family Cluster) district in 1972. The zoning classification was supposed to be changed from CR-1 to RT during the comprehensive rewrite of the Zoning Ordinance in 2011. The property was rezoned in error to the R-1D (One Family Residential) district in April 2011 when the comprehensively rewritten Zoning Ordinance was adopted. This rezoning will correct the error.

The use of the subject property is Rochester Villas, a multi-family residential development consisting of attached one-family dwelling units. Under the current zoning classification, Rochester Villas is considered a legal nonconforming use, since attached dwelling units are not permitted in R-1D.

This item was discussed informally at a Planning Commission Special/Study meeting. There was a consensus among Planning Commission members at the meeting that rezoning the parcel to RT was appropriate.

The subject property is within the Rochester Road classification of the Master Plan, which contemplates this type of residential development.

City Management recommends approval of the rezoning for the following reasons:

1. The rezoning is consistent with the City of Troy Master Plan.
2. The rezoning is consistent with abutting zoning districts and land uses.
3. The rezoning will eliminate the nonconforming status of the subject property.
4. The rezoning will correct an administrative error.

There will be a public hearing on this item at the February 12, 2013 Planning Commission Regular meeting.

Attachments:

1. Maps/Legal Description
2. City of Troy Master Plan (excerpt)

PROPOSED RESOLUTION

REZONING APPLICATION (File Number Z 742) – Proposed 1071 Villa Park (part of Parcel ID #88-20-02-301-010), East side of Rochester Road, South of South Boulevard, Section 2, From R-1D (One Family Residential) District to RT (One-Family Attached Residential) District

Resolution # PC-2013-02-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the R-1D to RT rezoning request, located on the east side of Rochester Road, south of South Boulevard (1071 Villa Park), in Section 2, being approximately 34.169 acres in size, be approved for the following reasons:

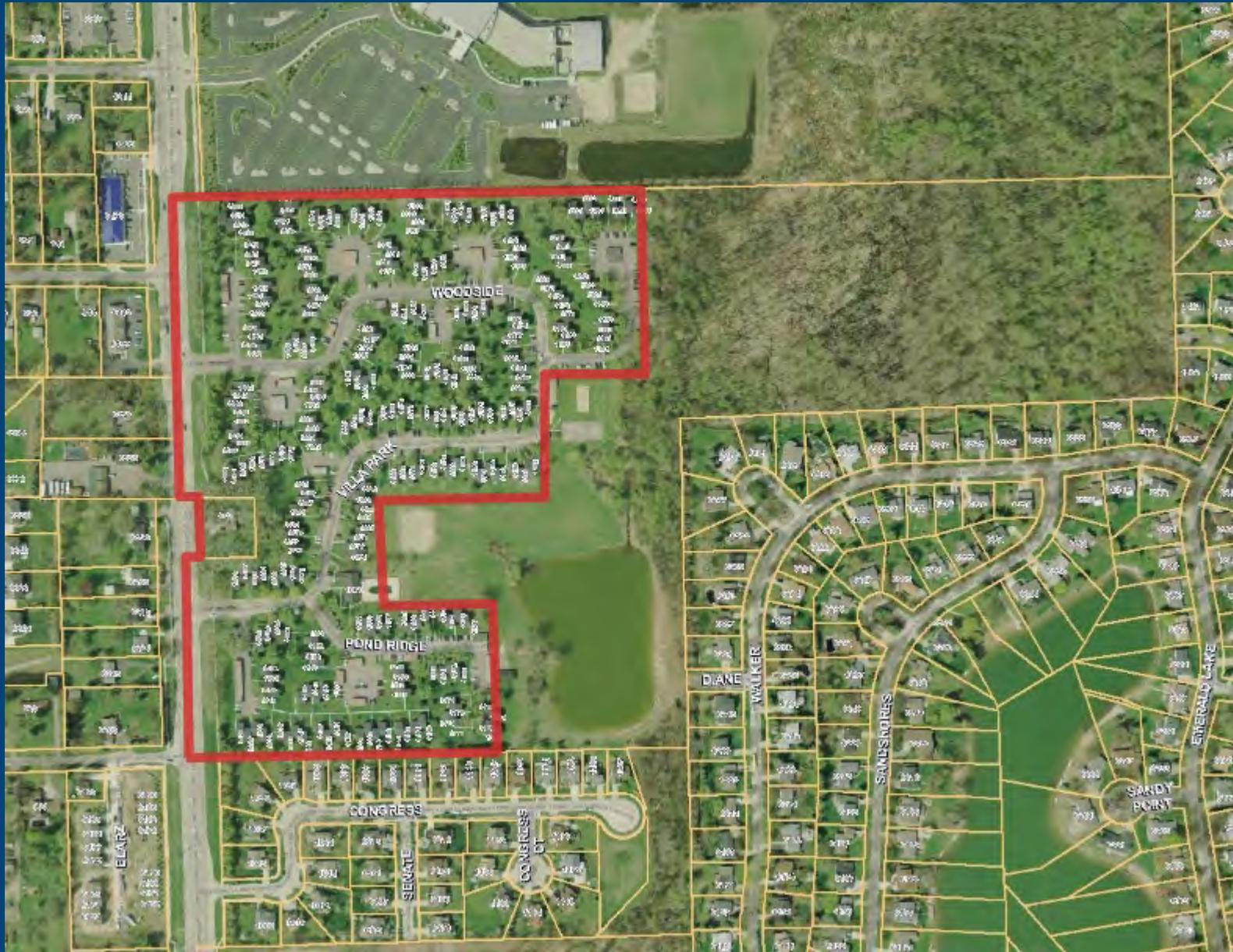
1. The rezoning is consistent with the City of Troy Master Plan.
2. The rezoning is consistent with abutting zoning districts and land uses.
3. The rezoning will eliminate the nonconforming use status of the subject property.
4. The rezoning will correct an administrative error.

Yes:

No:

Absent:

MOTION CARRIED / FAILED



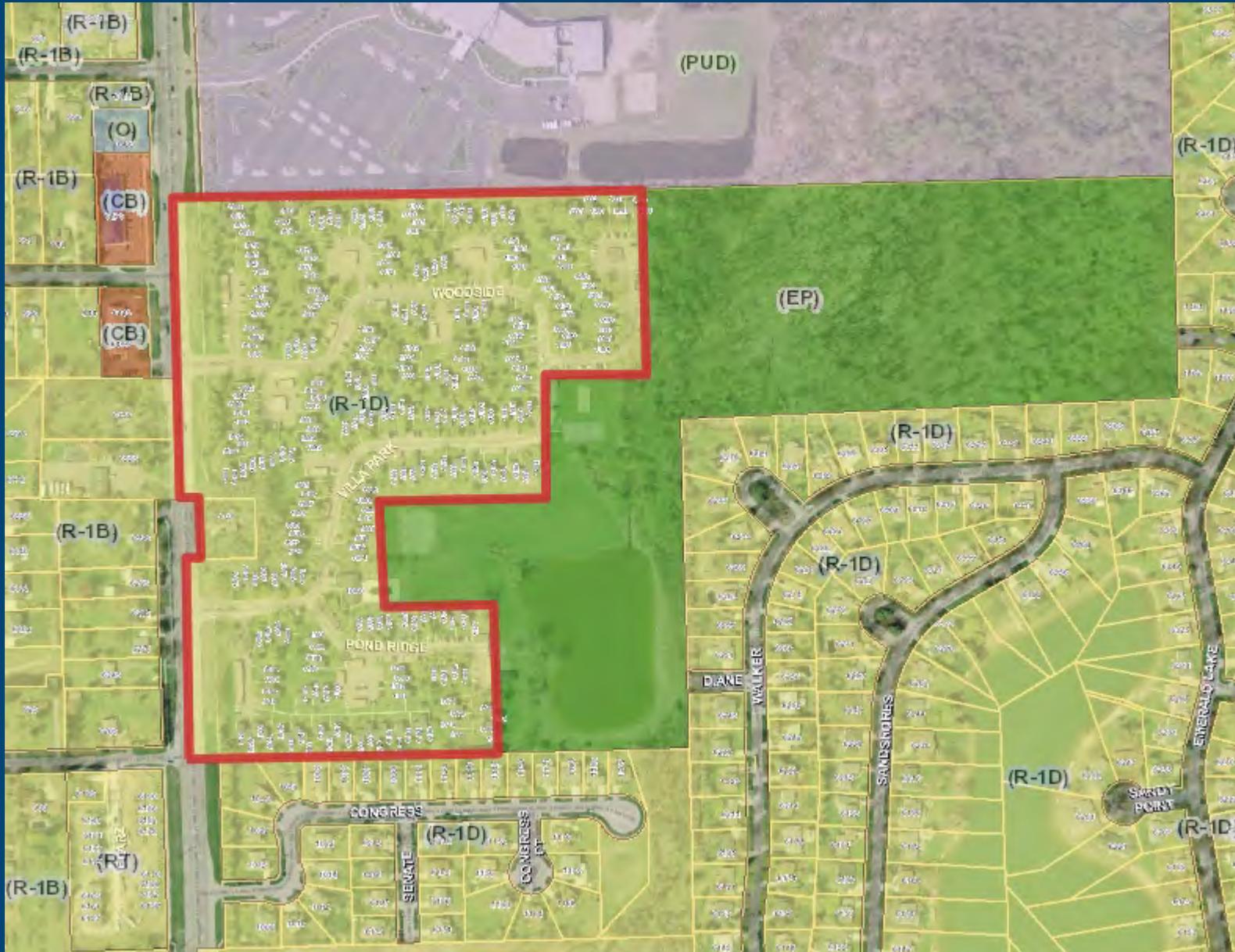
Legend

1,085 0 542 1,085 Feet

Scale 1: 6,509

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 1/31/2013



Legend

Form Based Zoning (Current)

-  (PUD) Planned Unit Development
-  (CF) Community Facilities District
-  (EP) Environmental Protection District
-  (BB) Big Beaver Road (Form Based)
-  (MRF) Maple Road (Form Based)
-  (NN) Neighborhood Nodes (A-U)
-  (CB) Community Business
-  (GB) General Business
-  (IB) Integrated Industrial Business District
-  (O) Office Building District
-  (OM) Office Mixed Use
-  (P) Vehicular Parking District
-  (R-1A) One Family Residential District
-  (R-1B) One Family Residential District
-  (R-1C) One Family Residential District
-  (R-1D) One Family Residential District
-  (R-1E) One Family Residential District
-  (RT) One Family Attached Residential District
-  (MR) Multi-Family Residential
-  (MHP) Manufactured Housing
-  (UR) Urban Residential
-  (RC) Research Center District
-  (PV) Planned Vehicle Sales

1,085 0 542 1,085 Feet

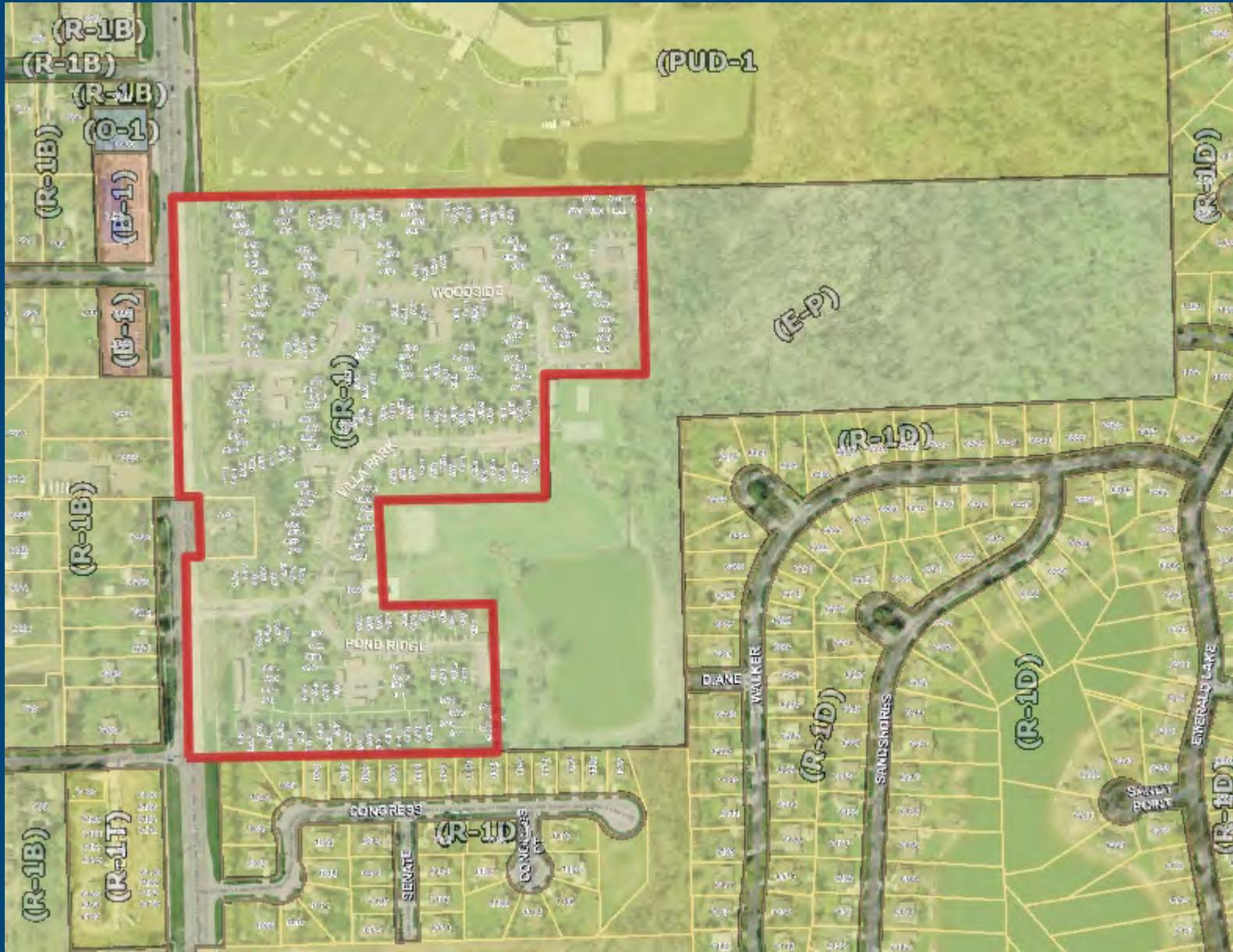
Scale 1: 6,509

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 1/31/2013

1071 Villa Park - Previous Zoning

City of Troy Planning Department



Legend

Zoning (Old)

-  (PUD) Planned Unit Development
-  (B-1) Local Business District
-  (B-2) Community Business District
-  (B-3) General Business District
-  (R-C) Research Center District
-  (C-F) Community Facilities District
-  (C-J) Consent Judgment
-  (E-P) Environmental Protection District
-  (R-EC) Residential Elder Care
-  (P-1) Vehicular Parking District
-  (H-S) Highway Service District
-  (M-1) Light Industrial District
-  (O-1) Office Building District
-  (O-M) Office Mid-Rise District
-  (OSC) Office Service Commercial District
-  (CR-1) One Family Residential Cluster District
-  (R-1A) One Family Residential District
-  (R-1B) One Family Residential District
-  (R-1C) One Family Residential District
-  (R-1D) One Family Residential District
-  (R-1E) One Family Residential District
-  (R-1T) One Family Attached Residential District
-  (R-2) Two Family Residential District
-  (R-M) Multiple Family Residential Medium Dens
-  (RM-1) Multiple Family Residential District (Low
-  (RM-2) Multiple Family Residential District (Mid
-  (RM-3) Multiple Family Residential District (High

1,085 0 542 1,085 Feet

Scale 1: 6,509

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 1/31/2013

(PUD)

S88° 56'09"E
1312.41

S88° 56'09"E
1350.00

Proposed Rezoning Parcel R-1D to RT

Area=29.663 Acres
(EP)

Area=34.169 Acres

S01° 03'51"W
591.97
(R-1D)

W 1/4 Cor.
Sec. 2
T2N-R11E

Center Post
Sec. 2
T2N-R11E

Rochester Rd.

N00° 33'34"E
162.33
N89° 26'26"W
43.00
N00° 33'34"E
160.00
S89° 26'26"E
43.00

N88° 55'09"W
280.00

N89° 59'57"W
1323.32

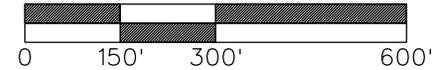
(R-1D)

S01° 01'53"W
260.00
N89° 09'41"W
460.00
S89° 09'41"E
300.00

S01° 01'53"W
875.42



Graphic Scale: 1"=300'



N89° 09'41"W
863.13

N89° 09'41"W
460.00

(R-1D)

CITY OF TROY

OAKLAND COUNTY, MICHIGAN

Rochester Villas Proposed
Rezoning Sketch
Parcel #88-20-02-301-010

FILE: Rezoning_Sketch_Planning_Dept_01092013.DGN

| | | | |
|--------------|--------------------------|-----------|---------------|
| SCALE | DRAWN BY | NAME | DATE |
| HOR. 1"=300' | CHECKED BY | NAME | DATE XX-XX-XX |
| VER. 1"=X' | | SHEET NO. | JOB NO. |
| | STEVEN J. VANDETTE, P.E. | 10F1 | N/A |
| | CITY ENGINEER | | |

DATE REV.

CONTRACT NO.

N/A

Document Prepared By
George J. Ballard III, P.S.
Land Surveyor

NOTE: Sketch was prepared from best available records.
No field work was completed.

Thursday, January 10, 2013

Section 2, Part of the NW 1/4 & SW 1/4
Parcel: Part of #88-20-02-301-010
Owner: Rochester Villas

Description of Proposed Rezoning: (Taken from best available records)

Part of the Northwest $\frac{1}{4}$ and the Southwest $\frac{1}{4}$ of Section 2, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan. Beginning at the West $\frac{1}{4}$ Corner of said section; thence North 00 degrees 14 minutes 38 seconds East, along the west section line, 637.07 feet; thence South 88 degrees 56 minutes 09 seconds East 1312.41 feet; thence South 00 degrees 17 minutes 57 seconds West 513.23 feet; thence North 88 degrees 55 minutes 09 seconds West 280.00 feet; thence South 01 degrees 01 minutes 53 seconds West 300.00 feet; thence North 89 degrees 09 minutes 41 seconds West 460.00 feet; thence South 01 degrees 01 minutes 53 seconds West 260.00 feet; thence South 89 degrees 09 minutes 41 seconds East 300.00 feet; thence South 01 degrees 01 minutes 53 seconds West 420.00 feet to the north line of "Cherryhurst Subdivision", as recorded in Liber 209, Pages 31-34 of Oakland County Records; thence North 89 degrees 09 minutes 41 seconds West, along said north line, 863.13 feet to the west line of said section 2; thence North 00 degrees 33 minutes 34 seconds East, along said west line, 537.85 feet; thence South 89 degrees 26 minutes 26 seconds East 43.00 feet; thence North 00 degrees 33 minutes 34 seconds East 160.00 feet; thence North 00 degrees 33 minutes 34 seconds East 160.00 feet; thence North 89 degrees 26 minutes 26 seconds West 43.00 feet to the west line of said section 2; thence North 00 degrees 33 minutes 34 seconds East, along said west line, 162.33 feet to the point of beginning, containing 34.169 acres, more or less. The West 33.00 feet of which is currently being used for road purposes.

Rochester Road: Green Corridor



- *Regional model for a green corridor*
- *A strong focus on access management*
- *Heightened emphasis on strong stormwater management techniques*
- *Retail catering to regional traffic*
- *Innovative site design techniques applied through PUD use to allow for redevelopment for shallow lots*

Rochester Road carries high volumes of traffic causing backups at intersections. The abutting development pattern from Big Beaver Road north to Long Lake Road is a continuous row of highway-oriented commercial uses. North of Long Lake Road, the land use pattern evolves, becoming a mix of commercial and office near the intersections and older single-family homes and multiple-family complexes in between.

If Rochester Road is to have a defined role and pleasing character in the City, it must undergo a significant transformation over time. Ultimately, the Rochester Road Corridor will become a regional showcase for effective stormwater management and enhancement of the natural environment, while encouraging a combination of high-quality land uses. Effective landscaping focused on

native plantings, and improved land use and access management along Rochester will create a green corridor that provides a high level of service for motorists, and which provides an effective natural buffer between high traffic volumes and people visiting adjacent properties. The creation of this green corridor would occur primarily in the right-of-way along road frontages and in the median of a future boulevard.

While the emphasis on innovative stormwater management is specifically called on for the Rochester Road Corridor, new low-impact techniques are to be encouraged elsewhere throughout the City of Troy. As noted in Chapter 7, innovative stormwater management is a priority for the community. Rochester Road will play an important role in this City-wide initiative by proving a regional showcase for such techniques.

New construction along the corridor may include detention and retention basins that work together from site-to-site with other features to create a continuous, linear landscape feature. By connecting properties, the basins create visual relief from traffic. **Low impact development methods will be used throughout the corridor to filter stormwater runoff.** Rochester Road will also be characterized by effective new signage, high-quality lighting, and effective, complementary site and architectural design.

Uses along Rochester Road will include a variety of mixed uses, established in a “pulsing” pattern where the most intense mixed-use or exclusively non-residential development will occur near the Neighborhood Nodes situated along its main intersections. Lower-impact uses, such as small scale retail or condominiums should be encouraged along the corridor frontage between these nodes.

DATE: February 8, 2013
TO: Planning Commission
FROM: R. Brent Savidant, Planning Director
SUBJECT: ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 245) – Sober Living Facility

An organization, Great Lakes Recovery Community, is interested in using a property in Troy as a sober living facility. The use is presently not permitted in the City of Troy. The Planning Commission identified the need for this type of facility and initiated the process to amend the Zoning Ordinance to permit this use.

It is important to remember that a text amendment is applicable to all similarly-zoned properties in Troy.

To assist the Planning Commission in making an informed decision, members were invited to tour a similar operating facility in Shelby Township on January 17. The Planning Commission discussed this issue conceptually at the January 22, 2013 Special/Study meeting.

The attached memo prepared by Carlisle/Wortman Associates, Inc. includes a definition for this type of facility (“recovery center”) plus potential Zoning Ordinance provisions. A copy of this memo was provided to representatives of Great Lakes Recovery Community for their input, and they provided some constructive comments. These comments are attached for your information.

Please be prepared to discuss this matter at the February 12, 2013 Planning Commission Regular meeting.

Attachments:

1. Report prepared by CWA
2. Email from David Lord, dated February 7, 2013

G:\ZOTAs\ZOTA 245 Recovery Centers\PC Memo 02 12 2013.doc

From: dlord64@aol.com
To: [Brent Savidant](mailto:Brent.Savidant@troymi.gov)
Cc: bcarlisle@cwaplan.com; [Susan M Lancaster](mailto:Susan.M.Lancaster@troymi.gov); psmith@pioneerounseling.com
Subject: Re: Recovery Center Zoning Memo
Date: Thursday, February 07, 2013 11:22:59 PM

Brent, Here are some of our thoughts for your consideration...

1. In order for the City of Troy to assure greater control of the use provision within the Zoning Ordinance, we feel that would serve particularly helpful refine the definition of a Recovery Center as follows:

Recovery Center: A temporary residential living arrangement for seven (7) or more persons leaving an institutional OR MEDICAL setting recovering from drug or alcohol addiction OR REQUIRING A HIGHER LEVEL OF CARE THAN OUTPATIENT SERVICES BUT LESS THAN AN INSTITUTIONAL OR MEDICAL SETTING and in need of a supportive living arrangement in order to ACHIEVE AND MAINTAIN ENDURING STABILITY AND INDEPENDENT FUNCTIONING. These are persons who are receiving therapy and counseling from LICENSED OR CERTIFIED PROFESSIONAL STAFF AND TRAINED NON PROFESSIONAL OR PARAPROFESSIONAL STAFF to help them recuperate from the effects of drug or alcohol addiction OR DUAL DIAGNOSIS. Recovery Center may provide limited supportive services to residents only, including: mental health services; clinical rehabilitation services; social services; financial management services; legal services; and other similar supportive services. Residency is limited to a specific number of months, TYPICALLY 24 MONTHS OR LESS. This definition does not constitute halfway houses for those released from prison or a homeless situation.

2. With regard to the proposed Specific Use Provisions, we would suggest the following:

A.) There are many of the residents (30% or more) who don't have a drivers license so we feel that the parking ratio/bed should be reduced accordingly. As such, we recommend that the provision be described as follows:

"Parking: 1 space for each 1.5 beds and (1) off-street parking space per employee and/or caregiver at largest shift shall be provided."

B.) I believe that the minimum lot area requirement for a Convalescent Care Facility is 2,000 SF per adult (excluding employees and/or caregivers) under the existing Zoning Ordinance, which we suggest be the same lot area requirement for a "Recovery Center Adult serving between seven (7) or more persons." We feel that 2,000 SF is reasonable and 2,500 SF is too restrictive.

Last, in reviewing the Use Table, it appears that we'll need to rezone the property...to "OM" or one of the Residential zoning districts. We'd like to gain a better understanding and/or your thoughts of what might be our best approach to rezone and obtain the necessary approvals use the propose Rochester Court property(s) for our intended use.

We, likewise, want a clear & definitive use provision established in your Zoning Ordinance to set professional standards and requirements for a Recovery Center in the City of Troy...so we're on the same page with you! To that end, we hope that our suggestions above will be favorably. Please let us know your thoughts. Hopefully, we'll have an opportunity to hear back from you before the meeting next Tuesday.

Thank you,
David Lord

-----Original Message-----

From: Brent Savidant <SavidantB@troymi.gov>
To: dlord64 <dlord64@aol.com>
Cc: Ben Carlisle <bcarlisle@cwaplan.com>; Susan M Lancaster <LancasteSM@troymi.gov>
Sent: Wed, Feb 6, 2013 11:55 am
Subject: Recovery Center Zoning Memo

David:

This memo will be presented and discussed with the Planning Commission. Please review, as we are interested in your thoughts. Please share with Paul.

Brent



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MEMORANDUM

TO: R. Brent Savidant, AICP, Planning Director

FROM: Ben Carlisle, AICP

DATE: February 6, 2013

RE: Sober Living Zoning Ordinance Amendments

An organization, Great Lakes Recovery Community, is interested in using a property in Troy as a structured and professionally administered residential treatment facility to serve infirmed persons suffering from a primary substance use disorder diagnosis or dual diagnoses of substance use disorder/addiction and psychiatric illness. The use is not specifically listed in the Schedule of Regulations of the City of Troy Zoning Ordinance.

Section 4.05 of the Zoning Ordinance gives the Zoning Administrator the authority to determine which district a use is permitted in. The Zoning Administrator may refer a proposed use to the Planning Commission for determination of the appropriate district(s) in which said use may be permitted. Furthermore, the Adult Foster Care Facility Licensing Act, 218 of 1979, clearly states that an establishment commonly described as an alcohol or a substance abuse rehabilitation center is not classified as an adult foster care facility. Thus this type of facility is not defined nor regulated under that act. Though the applicant notes they are working with the State, currently this is essentially a non-state regulated group home facility. However, since persons recovering from alcohol and drug addiction are considered to be handicapped, they have certain protections under the Americans with Disabilities Act and the Federal Fair Housing Act. Thus, any regulation that treats sober living homes less favorably than similar uses may be considered exclusionary and difficult to justify.

On January 22, 2013 the Planning Commission met to discuss the interpretation and appropriate districts of such use. After lengthy discussion, the Planning Commission directed staff to define the use; add the use to the schedule of uses (Section 4.21) as not-permitted, permitted, or special use based on appropriateness in each district; and add any necessary specific use regulations. This memo is a recommendation of draft language based on the best practices and the direction of the Planning Commission:

BEST PRACTICES:

Zoning studies and associated regulations for sober living or recovery centers were limited. Through research we identified three communities that defined similar uses and adopted associated regulations:

Saint Paul, Minnesota

The City Council directed a Sober House Zoning Study in May 2005, after the Council was informed that the number of sober houses locating in the city was on the rise. The study found that similar to Troy, the Ordinance did not list the use nor provide a similar use. As a result of the study, the City Council passed an ordinance addressing the following:

- Added definition:

A dwelling unit occupied by more than four persons, all of whom are in recovery from chemical dependency and considered handicapped under the Federal Fair Housing Act Amendments of 1988. It provides a non-institutional residential environment in which the residents willingly subject themselves to written rules and conditions, including prohibition of alcohol and drug use (except for prescription medications obtained and used under medical supervision), intended to encourage and sustain their recovery. The residents of a sober house are similar to a family unit, and share kitchen and bathroom facilities and other common areas of the unit. Sober houses are financially self-supporting. This definition does not include facilities that receive operating revenue from governmental sources. Sober houses do not provide on-site supportive services to residents, including the following: mental health services; clinical rehabilitation services; social services; medical, dental, nutritional and other health care services; financial management services; legal services; vocational services; and other similar supportive services.

- Added application procedure
- Limited sober houses in residential districts to ten or less residents
- Requires a Special Use for any facility over 17 residents
- Incorporated parking standards of 1.5 parking space per resident
- Created minimum lot area as the minimum lot area of the district plus 800 sq/ft per resident
- Set concentration distance: No sober living facility may be located within 300 of another

Los Angeles, CA

In 2011, Los Angeles adopted an ordinance that defined sober houses and similar facilities as “Alcoholism or Drug Abuse Recovery or Treatment Facility.” Defined as *any premises, place or building licensed by the State of California that provides 24-hour residential nonmedical services to adults who are recovering from problems related to alcohol, drug or alcohol and drug misuse or abuse, and who need alcohol and drug recovery treatment or detoxification services.* In addition to the definition, the ordinance adopted the following standards:

- If located in residential neighborhood, the facility is consistent with the residential character
- Security lighting must be shielded
- Occupancy limit of two residents for every bedroom

Champaign County, IL

In 2010, the County adopted an ordinance allowing recovery centers. These facilities were limited to agricultural zoning districts as a special use and they must be operated by and located on the same property as a church or temple. The following additional standards were adopted:

- Must be served by public transportation

- The maximum number of residents allowed at one time shall be the smaller of the following numbers:
 - 10% of the maximum occupancy of the main worship area of the associated church or temple
 - 30 persons
- The minimum required lot area shall be:
 - 20,000 square feet if served by a connected to sanitary sewer system
 - 30,000 square feet plus 7,000 square feet per resident if not served by a connected sanitary sewer system
- Facility shall include 24 hour supervision

It appears that these regulations were adopted for a specific property and/or applicant.

Shelby Township:

Great Lakes Recovery Center operates a six-woman facility in Shelby Township, which the Planning Commission visited. I contacted Glenn Wynn, Planning Director of Shelby Township. Mr. Wynn was not aware of the facility and noted that there are no specific use and regulations of this facility in the ordinance. Since they are under seven (7) persons, they are considered a State Regulated Adult Residential facility. Mr. Wynn also noted that they have not received any complaints or any correspondence from the neighborhood regarding the use.

TROY ZONING AMENDMENT:

Based on the direction of the Planning Commission and review of best practices, we recommend naming these facilities “recovery center” and adding following zoning amendments:

Definition:

Recovery Center: A temporary residential living arrangement for seven (7) or more persons leaving an institutional setting recovering from drug or alcohol addiction and in need of a supportive living arrangement in order to readjust to living outside the institution. These are persons who are receiving therapy and counseling from support staff who are present when residents are present, to help them recuperate from the effects of drug or alcohol addiction. Recovery center may provide limited supportive services to residents only, including: mental health services; clinical rehabilitation services; social services; financial management services; legal services; and other similar supportive services. Residency is limited to a specific number of weeks or months. This definition does not constitute halfway houses for those released from prison or a homeless situation.

The intent of the definition is to distinguish between recovery center and more service-intensive, government-licensed housing facilities occupied by residents with a higher level of dependence, and to reduce the existing lack of clarity about what constitutes a “legitimate” recovery center. This definition would not include dwelling units occupied by six (6) or less residents, which are covered by the standard definition of family, and by-right in single-family residential.

Use Table:

| | R1A-R1E | RT | MR | UR | MHP | CF | EP | CB | GB | IB | O | OM | RC | PV | P |
|---|---------|----|----|----|-----|----|----|----|----|----|----|----|----|----|----|
| Recovery Center | S | S | S | S | NP | NP | NP | NP | NP | S | NP | S | NP | NP | NP |
| For Comparison Purposes only | | | | | | | | | | | | | | | |
| Senior assisted/independent living | P | P | P | P | NP | P | NP | P | P | P | NP | P | NP | NP | NP |
| Multiple-family dwellings (2-8 stories) | NP | NP | P | P | NP | NP | NP | NP | NP | P | NP | NP | NP | NP | NP |
| Convalescent centers | NP | NP | S | S | NP | P | NP | P | P | P | P | P | NP | NP | NP |
| Adult foster care, family home | P | P | P | P | P | P | NP |
| Adult foster care, Small group home | S | S | S | S | S | S | NP |
| Adult foster care, large group home | S | S | S | S | S | S | NP |
| Adult foster care, congregate facility | S | S | S | S | S | S | NP |

Specific Use Provisions:

Recovery Center:

- A. Recovery Center serving six (6) persons or less. A Recovery Center serving six (6) persons or less shall be considered a single-family use of property.
- B. Recovery Center Adult serving between seven (7) or more persons.
 - 1. A site plan, prepared in accordance with Article 8 shall be required to be submitted.
 - 2. Frontage on either a major or minor arterial street shall be required.
 - 3. Parking: 1 space per bed and (1) off-street parking space per employee and/or caregiver at largest shift shall be provided.
 - 4. Appropriate licenses with the State of Michigan shall be maintained.
 - 5. The subject parcel shall meet the minimum lot area requirements for the zoning district in which it is located provided there is a minimum site area of twenty-five hundred (2,500) square feet per adult, excluding employees and/or caregivers.
 - 6. Facility may include ancillary facilities are allowed such as multi-purpose recreational rooms and meeting rooms.

Benjamin R. Carlisle

CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP