



**PLANNING COMMISSION
MEETING AGENDA
SPECIAL/STUDY MEETING**

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

April 23, 2013

7:00 P.M.

Council Board Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – April 9, 2013
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT
7. PLANNING AND ZONING REPORT

POSTPONED ITEM

8. PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 403) – Proposed Fifth Third Bank ATM, Northeast Corner of John R and 14 Mile Road, Oakland Plaza, Section 36, Currently Zoned CB (Community Business) District

OTHER BUSINESS

9. PUBLIC COMMENT – Items on Current Agenda
10. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Tagle called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on April 9, 2013 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Edward Kempen
Tom Krent
Philip Sanzica
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Absent:

Michael W. Hutson

Also Present:

R. Brent Savidant, Planning Director
Susan Lancaster, Assistant City Attorney
Richard K. Carlisle, Carlisle/Wortman Associates, Inc.
Ben Carlisle, Carlisle/Wortman Associates, Inc.

2. APPROVAL OF AGENDA

Resolution # PC-2013-04-028

Moved by: Edmunds
Seconded by: Schultz

RESOLVED, To approve the Agenda as published

Yes: All present (8)
Absent: Hutson

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2013-04-029

Moved by: Krent
Seconded by: Kempen

RESOLVED, To approve the minutes of the March 26, 2013 Special/Study meeting as published.

Yes: Edmunds, Kempen, Krent, Sanzica, Schepke, Schultz, Strat
Absent: Hutson
Abstain: Tagle

MOTION CARRIED

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

POSTPONED ITEM

5. PRELIMINARY SITE PLAN REVIEW (File Number SP 981) – Proposed Troy Shoppes, South side of Big Beaver, West of Crooks (1475 W Big Beaver), Section 29, Currently Zoned BB (Big Beaver) District

Ben Carlisle summarized the application.

Jordon Jonna, AF Jonna Development Corporation, addressed issues identified at the previous Planning Commission meeting at which this item was under consideration. Mr. Jonna pointed out to the Planning Commission that he considered all comments made by the Planning Commission at the previous meeting and revised the site plan accordingly.

Mr. Jonna presented building materials.

Resolution # PC-2013-04-030

Moved by: Schultz

Seconded by: Edmunds

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Troy Shoppes, located on the south side of Big Beaver, west of Crooks (1475 W. Big Beaver), Section 29, within the BB (Big Beaver) district, be granted, subject to the following conditions:

- 1) Provide cross access agreement as part of Final Site Plan submittal.
- 2) Either widen the proposed stairwell linking the building to the Big Beaver sidewalk or add an additional stairwell.

Yes: All present (8)

Absent: Hutson

MOTION CARRIED

STUDY ITEM

6. MASTER PLAN UPDATE

Richard Carlisle initiated the discussion, including explaining the State requirement that communities must update their Master Plan every 5 years or make a finding that an update is not necessary. The Master Plan was adopted in 2008.

Ben Carlisle summarized major items for consideration. These included:

- Maple Road
- Big Beaver Corridor
- Changing demographics
- City owned property

The Planning Commission was asked to identify areas of the Master Plan that needed to be revised. General discussion followed.

Some items mentioned by Planning Commission members included:

- Have there been constraints to development and if so, what are those constraints?
- Some larger properties need focus.
- Demographic data update is critical.
- Leisure time/recreation activities are important.
- Rochester Road needs focus.
- Importance of transit/trails.
- Revisit Maple Road Corridor Study completed by students from LTU.
- Provide more housing options

OTHER BUSINESS

7. **PUBLIC COMMENTS** – For Items on Current Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENTS**

There were general Planning Commission comments.

The Regular meeting of the Planning Commission adjourned at 8:20 p.m.

Respectfully submitted,

John J. Tagle, Chair

R. Brent Savidant, Planning Director

DATE: April 18, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 403) – Proposed Fifth Third Bank ATM, Northeast Corner of John R and 14 Mile Road, Oakland Plaza, Section 36, Currently Zoned CB (Community Business) District

The petitioner Gerald G. Weber, Architect submitted the above referenced Special Use Approval and Preliminary Site Plan Review application for a proposed ATM facility within an existing retail center parking lot.

The item was considered at the March 26, 2013 Planning Commission Special/Study meeting but was postponed due to lack of information. The public hearing was also postponed to April 23, 2013.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the application. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.
3. Minutes from March 26, 2013 Planning Commission Special/Study meeting

cc: Applicant
File/ SU 403

G:\SPECIAL USE\SU 403 Fifth Third Bank ATM Sec 36\PC Memo 04 23 2013.docx

PROPOSED RESOLUTION

SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 403) – Proposed Fifth Third Bank ATM, Northeast Corner of John R and 14 Mile Road, Oakland Plaza, Section 36, Currently Zoned CB (Community Business) District

Resolution # PC-2013-04-

Moved by:

Seconded by:

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Fifth Third Bank ATM, Northeast Corner of John R and 14 Mile Road, Oakland Plaza, Section 36, Currently Zoned CB (Community Business) District be granted, subject to the following conditions:

- 1) Show NO PARKING sign on site plan.
- 2) Reduce lighting levels to no more than 10-foot candles under the canopy between 11:00 p.m. and sunrise.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED

Fifth Third Bank, Oakland Plaza

City of Troy Planning Department

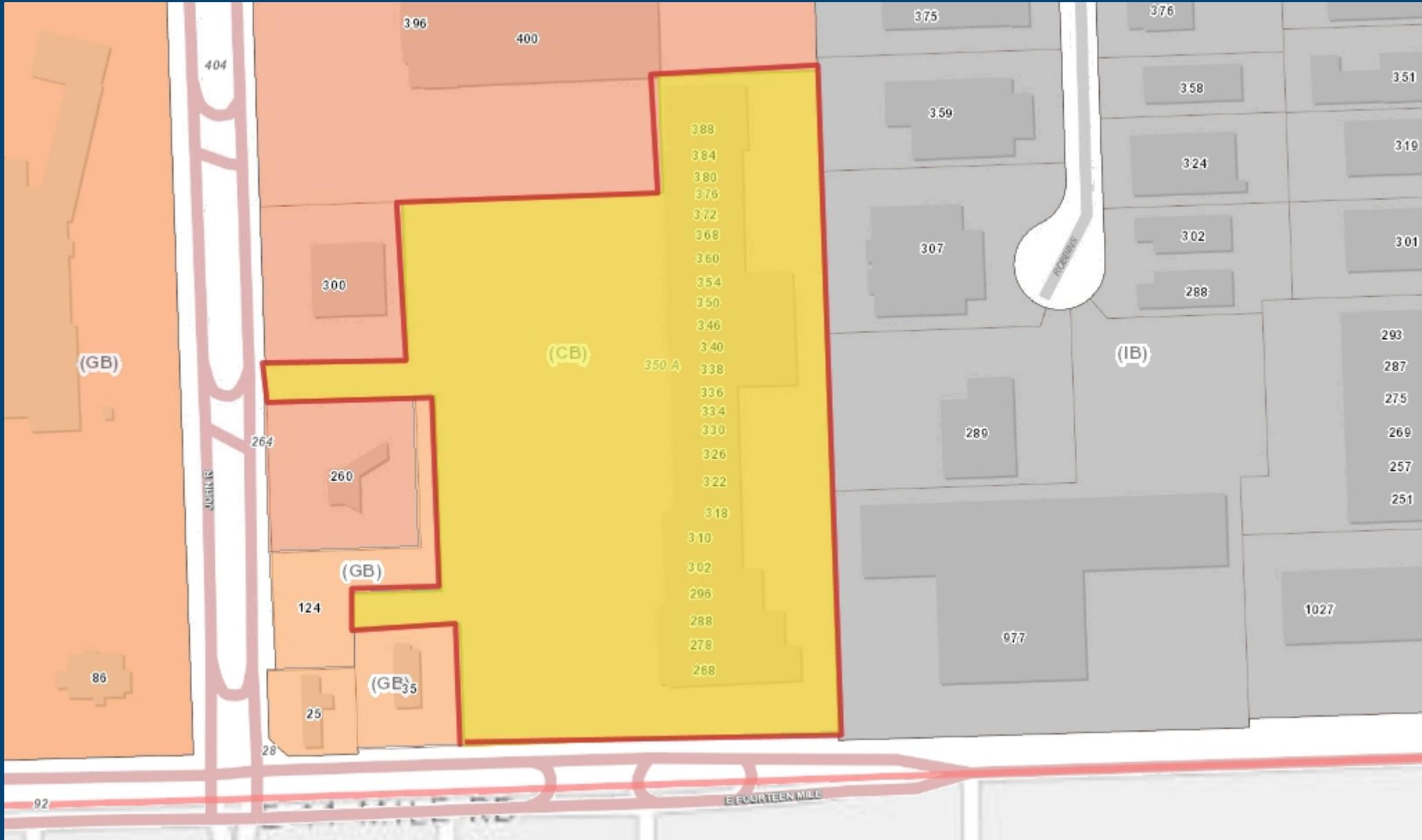


592 0 296 592Feet

Scale 1:3,554

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 3/5/2013



592 0 296 592Feet

Scale 1: 3,554



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: April 11, 2013

Preliminary Site Plan and Special Use Review For City of Troy, Michigan

Applicant:	Fifth Third Bank
Project Name:	ATM at Oakland Plaza
Plan Date:	February 18, 2013
Location:	Northeast Corner 14 Mile and John R
Zoning:	CB, Community Business
Action Requested:	Preliminary Site Plan and Special Use Approval
Required Information:	Deficiencies noted

PROJECT AND SITE DESCRIPTION

We received a site plan for the relocation of a freestanding ATM within the Oakland Plaza development adjacent to 14 Mile Road. The project cover sheet notes that this is a relocation of an ATM; however it appears that this is a new ATM. Drive-up and drive-through facilities are listed as a special use in the CB district. This is considered a drive-up use.

Location of Subject Property

The property is located on the north side of 14 Mile Road within parking lot of Oakland Plaza development.



Size of Subject Property:

The overall size of the subject property has not been provided. The area proposed for the ATM is depicted will consume approximately 1,560 sq/ft of parking lot area.

Current and Proposed Uses of Subject Parcel:

Commercial (Oakland Plaza)

Current Zoning:

The property is currently zoned CB, Community Business.

Direction	Zoning	Use
North	CB, Community Business	Oakland Plaza
South	Madison Heights	ABL Electronic Services / Toys R Us
East	IB, Integrated Business	Hanson's
West	CB, Community Business	Burger King

PRIOR PLANNING COMMISSION CONSIDERATION

This item was considered by the Planning Commission at March 26, 2013 meeting. At that meeting the matter was continued in order for the applicant to address items identified in the March 18th planning report. These items include:

1. *Resubmit site plan in standard format.*
2. *Verify that mature landscaping will not be altered.*
3. *Provide curbing adjacent to drive aisle.*
4. *Modify stacking spaces to meet minimum Ordinance requirements.*
5. *Provide an additional stacking space.*
6. *Stripe off each parking space adjacent to the proposed drive-through lane and sign as NO PARKING*
7. *Confirm that lighting levels will be reduced to no more than 10-foot candles under the canopy between 11:00 p.m. and sunrise.*
8. *Reduce lighting levels below 1.0 footcandle along 14-Mile.*

Please see our March 18, 2013 memo for a full site plan review.

RESUBMITTAL

The applicant has resubmitted a site plan and accompanying documents to address those aforementioned issues:

1. **Resubmit site plan in standard format.**

The applicant has resubmitted the site plan in a standard format that permits us to confirm property lines and setbacks.

Items to be Addressed: None.

2. **Verify that mature landscaping will not be altered.**

The submitted site plan indicates that the mature landscaping along 14 Mile Road will not be altered. All work will be conducted within areas of the site that have already been graded and asphalted. There is no proposed work in the parkway along 14 Mile Road.

Items to be Addressed: None.

3. **Provide curbing adjacent to drive aisle.**

The submitted site plan indicates that the area that is adjacent to the drive-aisle will be curbed.

Items to be Addressed: None.

4. **Modify stacking spaces to meet minimum Ordinance requirements.**

The applicant has amended the site plan to provide the necessary stacking space width and length.

Items to be Addressed: None.

5. Provide an additional stacking space.

The applicant has amended the site plan to provide the necessary four (4) stacking spaces.

Items to be Addressed: None.

6. Stripe off each parking space adjacent to the proposed drive-through lane and sign as NO PARKING

The submitted site plan shows the necessary striping. NO PARKING signs shall be shown on site plan.

Items to be Addressed: Show NO PARKING sign on site plan.

7. Confirm that lighting levels will be reduced to no more than 10-foot candles under the canopy between 11:00 p.m. and sunrise.

A recessed canopy light is proposed to illuminate the ATM at night. The photometric under the canopy is 20-foot candles, which is the maximum permitted lighting level. The applicant is seeking relief from the Planning Commission to maintain the 20-foot candle level 24 hours a day. The applicant notes the need for 20-foot candle reading based on company policy; however based on the submitted "Fifth Third ATM and Night Depository Lighting Design Standards" official company policy document, a 10-foot candle reading at night is sufficient. The applicant has not provided safety documentation and thus maintaining a 10-foot candle requirement during night hours offers a balance between safety needs and not over lighting the area.

Items to be Addressed: Reduce lighting levels to no more than 10-foot candles under the canopy between 11:00 p.m. and sunrise.

8. Reduce lighting levels below 1.0 footcandle along 14-Mile.

Due to ambient lighting along 14-Mile Road if the applicant were to reduce the lighting level between 11:00 p.m. and sunrise, the footcandle level readings along 14-Mile Road are sufficient.

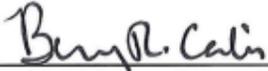
Items to be Addressed: None.

SUMMARY OF FINDINGS

We recommend preliminary site plan approval provided that the following items are addressed and resubmitted as part of the final site plan submittal:

- 1) Show NO PARKING sign on site plan.
- 2) Reduce lighting levels to no more than 10-foot candles under the canopy between 11:00 p.m. and sunrise.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

#225-02-1311

Cc: Fifth Third Bank, 38 Fountain Square Plaza, Cincinnati, OH 45263
Brad Athey, Project Manager, 3574 East Kemper Road, Cincinnati, OH 45241
Gerald G. Weber, Architect, 13711 Madison Avenue, Lakewood, OH 44107
Erik Haugsnes, Tenant Coordinator, 111 East Wacker, Suite 2400, Chicago, IL 60601

SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW

10. **PUBLIC HEARING - SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 403)** – Proposed Fifth Third Bank ATM, Northeast Corner of John R and 14 Mile Road, Oakland Plaza, Section 36, Currently Zoned CB (Community Business) District

Mr. Carlisle recommended that the applicant address the outstanding issues as outlined in his report, dated March 18, 2013, prior to granting Preliminary Site Plan and Special Use approval. He asked the Assistant City Attorney for advice on the scheduled Public Hearing.

Ms. Lancaster suggested postponing the Public Hearing to a date certain so that no re-notification is required.

Gerald Weber, project architect, 13711 Madison Avenue, Lakewood, Ohio, was present to represent the petitioner.

In order to allow staff time for review, it was determined to postpone the item to the April Planning Commission study meeting.

Mr. Weber said the bank is concerned from a safety and security standpoint about dimming the lights at 11 pm to sunrise, per the Zoning Ordinance requirement. He said the bank is a 24-hour operation. Mr. Weber also addressed the foliage/vegetation on site near the ATM operation.

Mr. Savidant said the Zoning Ordinance allows the Planning Commission to grant relief of the requirement to dim lights on a case-by-case basis.

Resolution # PC-2013-03-025

Moved by: Schultz

Seconded by: Hutson

RESOLVED, To postpone the item to the April 23, 2013 Special/Study meeting, or until such time as the applicant has submitted the appropriate information to staff in time for review.

Yes: All present (5)

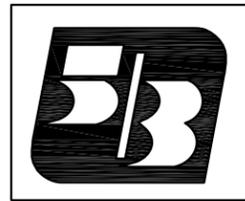
Absent: Edmunds, Sanzica, Strat, Tagle

MOTION CARRIED

The Public Hearing is postponed to April 23, 2013.

ATM Relocation

FOR:



Fifth Third Bank

XTEM OAKLAND PLAZA ATM

North East Corner 14 Mile and John R
Troy, Michigan
48083

CONTACTS:

Owner

Fifth Third Bank
38 Fountain Square Plaza
Cincinnati, OH 45263
(616) 653-5561

Project Manager

Brad Athey
Optivia
3574 East Kemper Road
Cincinnati, Ohio 45241
513-554-8770

Architect:

Gerald G. Weber, Architect
13711 Madison Avenue
Lakewood, Ohio 44107
216-226-6009
Fax 216-521-2206

Tenant Coordinator

Erik Haugsnes
Vice President
111 East Wacker, Suite 2400
Chicago, IL 60601
(312) 915-3002 phone
(312) 915-3784 fax
haugsnee@urbanretail.com

As Agent for Owners:

URBANCAL OAKLAND PLAZA, LLC

INDEX OF DRAWINGS		11-19-12 Owner	12-26-12 Permit	2-18-13 Review per	2-18-13 Planning	4-2-13 Review per													
T-1	TITLE SHEET	•	•	•	•														
C-1	LOCATION PLAN	•		•															
C-2	SITE PLAN	•	•	•	•														
C-3	ENLARGED SITE PLAN	•	•	•	•														
A-1	FLOOR PLAN	•		•															
A-2	BOLLARD PLAN	•		•															
A-3	SECTIONS AND ELEVATIONS	•		•															
E1	UTILITY PLAN	•	•	•	•														
E2	ELECTRICAL PLAN	•		•															
E3	ELECTRICAL DETAILS	•		•															
PP1	PHOTOMETRIC PLAN - NEW DRAWING ADDED 4-2-13					•													
S-1	COUVRETTE CANOPY STRUCTURAL	•		•															
C-1 THRU 9	COUVRETTE CANOPY DRAWINGS (FOR REFERENCE ONLY)	•																	
	ATM SPECIFICATION SHEETS (FOR REFERENCE ONLY)	•		•															
	NEW CANOPY AND ATM ELEVATIONS (FOR REFERENCE ONLY)	•		•															

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF MATERIAL DISCREPANCIES FOUND ON THE DRAWINGS OR ANY EXISTING CONDITIONS FOUND ON THE SITE WHICH CONFLICT WITH CONDITIONS AS SHOWN IN THE CONTRACT DOCUMENTS.
- DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS INDICATED ON DRAWINGS TAKE PRECEDENCE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE A FULL TIME SUPERINTENDENT AT ALL TIMES WHEN WORK IS BEING PERFORMED.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
- THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ARCHITECT & ENGINEER ARE RESPONSIBLE FOR HIS/HER OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS, CONTRACTOR IS TO COMPLY WITH ALL EXISTING CONDITIONS. ALL ERRORS, OMISSIONS AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT & ENGINEERS OF ANY RESPONSIBILITY. ANY CHANGE FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THESE DRAWINGS ARE NOT TO BE SCALED. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR IS TO COMPLY WITH ALL CODES AND SAFETY REGULATIONS.
- ATM AND CANOPY WILL BE SUPPLIED BY DEDICATED POWER AND TELEPHONE.

CONSTRUCTION DOCUMENTS AS INSTRUMENTS OF SERVICE ARE GIVEN IN CONFIDENCE AND REMAIN THE PROPERTY OF FIFTH THIRD BANK. THE USE OF THESE CONSTRUCTION DOCUMENTS FOR PURPOSES OTHER THAN THE SPECIFIC PROJECT NAMED HEREIN IS STRICTLY PROHIBITED.

FIFTH THIRD BANK AND WEBER ARCHITECTURE ARE NOT RESPONSIBLE FOR ANY ALTERATIONS OR MODIFICATIONS MADE TO THESE DRAWINGS BY OTHERS.

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS AND VERIFICATION OF ALL EXISTING CONDITIONS. DRAWINGS MAY NOT REPRESENT THE EXACT SIZE OR DIMENSION OF EXISTING CONDITIONS.

Date:	Issued For:
11-19-12	Owner's Review and Permit
12-26-12	Revised per Owner's Review
2-18-13	Planning Commission Submission
4-2-13	Revised per City Review



GERALD G. WEBER
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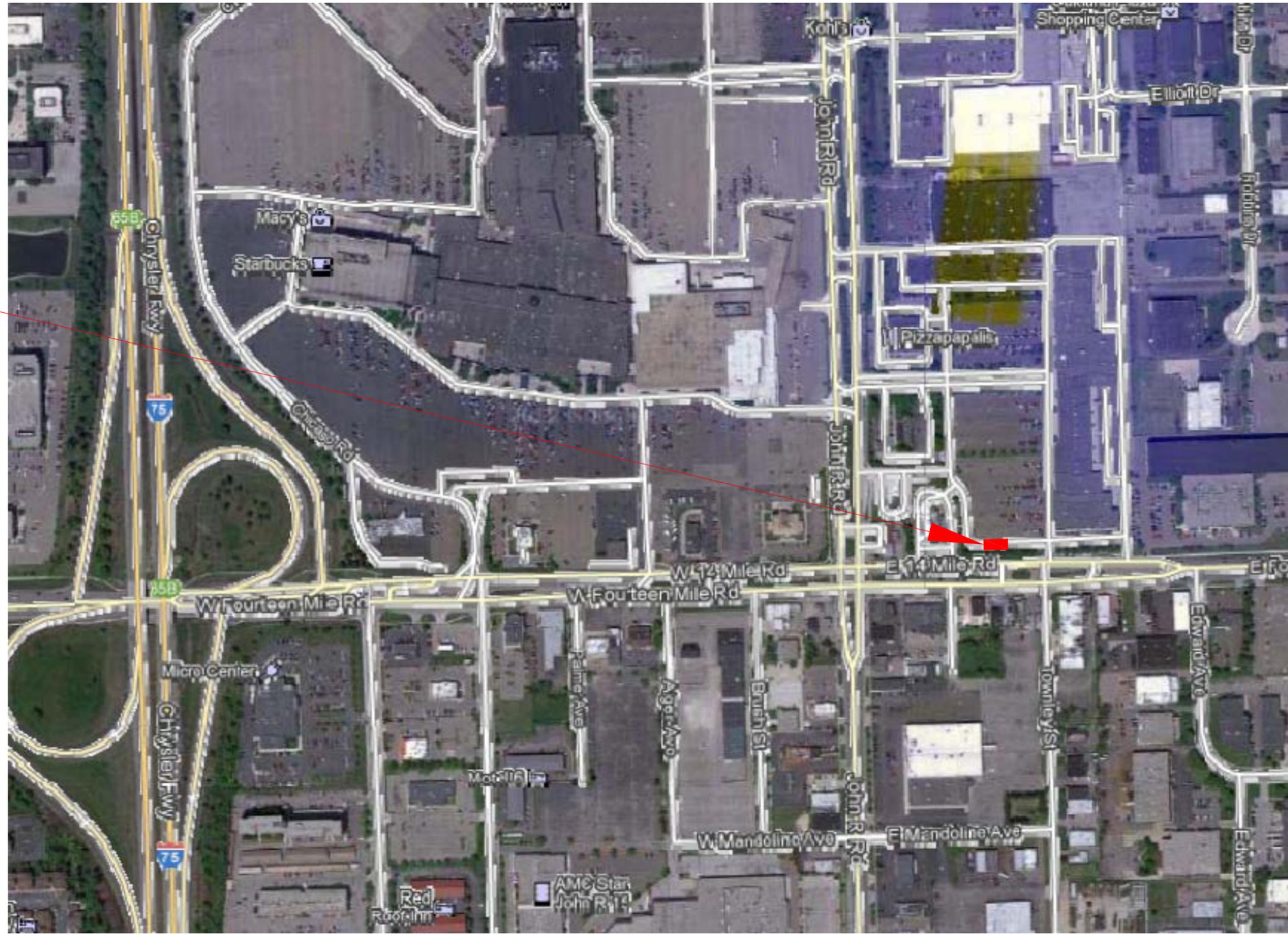
Project:

**Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation**
14 Mile and John R
Troy, MI

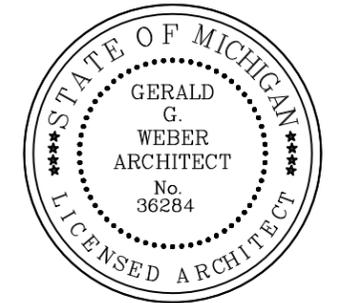
Drawing Name:
Title

Project No: 12046
Drawing No: T1

SITE



Date:	Issued For:
11-19-12	Owner's Review and Permit
12-26-12	Revised per Owner's Review
2-18-13	Planning Commission Submission



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Project:
**Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation
14 Mile and John R
Troy, MI**

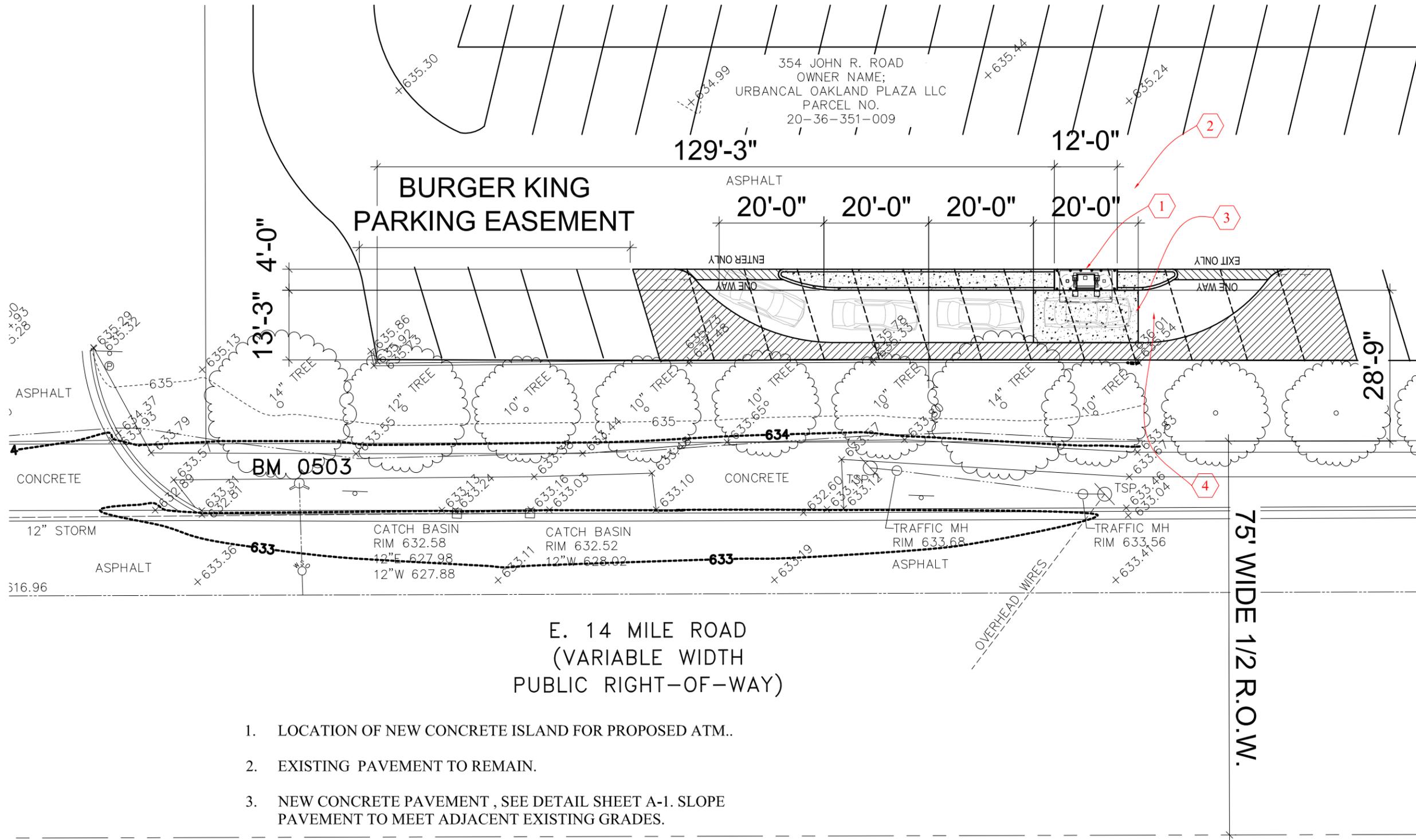
Drawing Name:
Location Plan

Project No: 12046
Drawing No: C-1

LOCATION PLAN

SCALE: NONE





E. 14 MILE ROAD
(VARIABLE WIDTH
PUBLIC RIGHT-OF-WAY)

1. LOCATION OF NEW CONCRETE ISLAND FOR PROPOSED ATM..
2. EXISTING PAVEMENT TO REMAIN.
3. NEW CONCRETE PAVEMENT , SEE DETAIL SHEET A-1. SLOPE PAVEMENT TO MEET ADJACENT EXISTING GRADES.
4. PATCH AND REPAIR ALL PAVEMENT DISTURBED BY CONSTRUCTION TO MATCH EXISTING GRADE AND THICKNESS.

CONTACT THE LOCAL UNDERGROUND UTILITY LOCATING COMPANY PRIOR TO THE START OF ANY EXCAVATION, TRENCHING, OR DIRECTIONAL BORING, TO VERIFY NO EXISTING UTILITIES OR SERVICES ARE DISRUPTED AS PART OF THIS PROJECT.

SITE PLAN

SCALE: 1" = 20'-0"



Date:	Issued For:
11-19-12	Owner's Review and Permit
12-26-12	Revised per Owner's Review
2-18-13	Planning Commission Submission
3-25-13	Revised per City Review
4-2-13	Revised per City Review



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Project:
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XTEM Oakland Plaza
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14 Mile Road and John R
Troy, MI

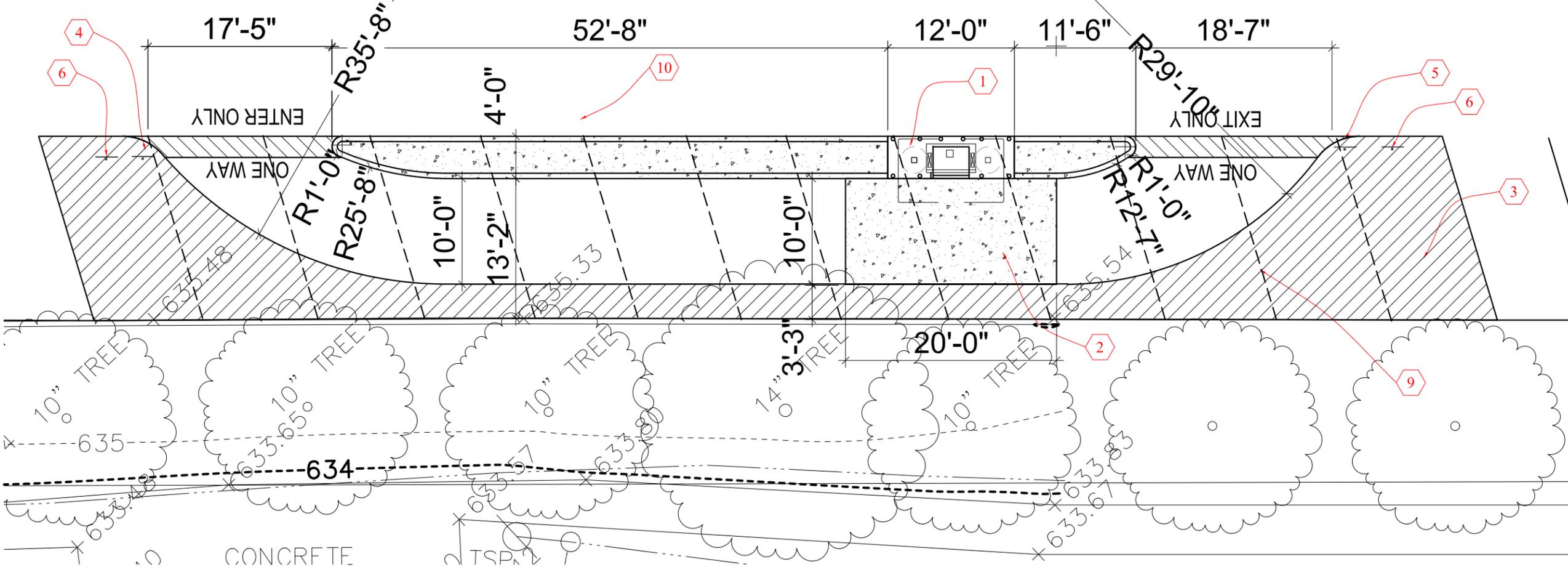
Drawing Name:
Site Plan

Project No: 12046
Drawing No: C-2



PAVEMENT STRIPING

SCALE: 1/4" = 1'-0"



Date:	Issued For:
11-19-12	Owner's Review and Permit
12-26-12	Revised per Owner Review
2-18-13	Planning Commission Submission
4-2-13	Revised per City Review



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SITE PLAN

SCALE: 3/32" = 1'-0"



- CONCRETE ISLAND WITH NEW ATM, SURROUND, AND CANOPY.
- NEW CONCRETE DRIVE, SEE SHEET A-1 FOR NOTES.
- ARROWS AND PAVEMENT STRIPING, ORANGE/YELLOW, 6" LINES.
- SIGN ON 72" POLE: ENTRANCE ONLY ONE WAY TRAFFIC.
- SIGN ON 72" POLE: EXIT ONLY/ONE WAY TRAFFIC.
- SIGN ON POLE: NO PARKING.
- 18" PAVEMENT LETTERS: ONE WAY/ENTER, ORANGE/YELLOW.
- 18" PAVEMENT LETTERS: ONE WAY/EXIT ONLY, ORANGE/YELLOW.
- PAINT EXISTING PARKING STRIPING BLACK TO MATCH EXISTING ASPHALT PAVEMENT.

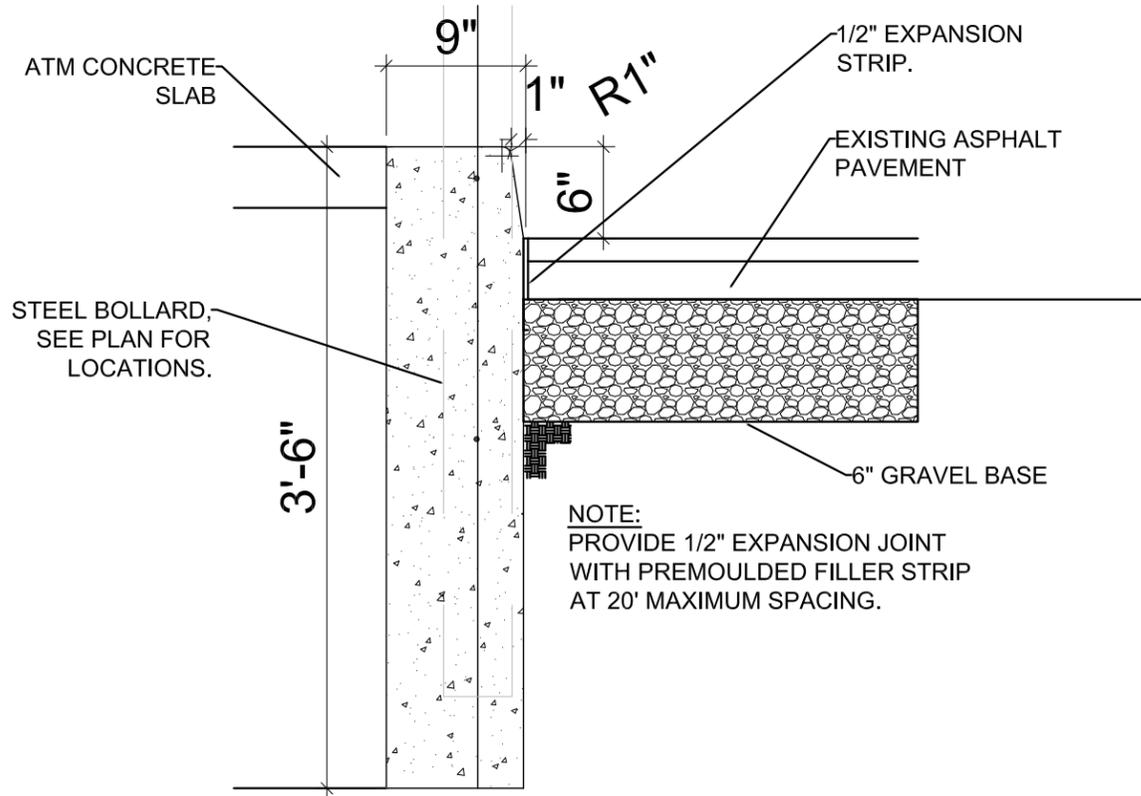
NOTE: ALL EXISTING LANDSCAPING WILL NOT BE DISTURBED. IF ANY LANDSCAPING IS DAMAGED DUE TO THIS PROJECTS CONSTRUCTION, IT IS TO BE REPAIRED AND/OR REPLACED TO MATCH EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

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Project:
Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation
14 Mile and John R
Troy, MI

Drawing Name:
Enlarged
Site Plan

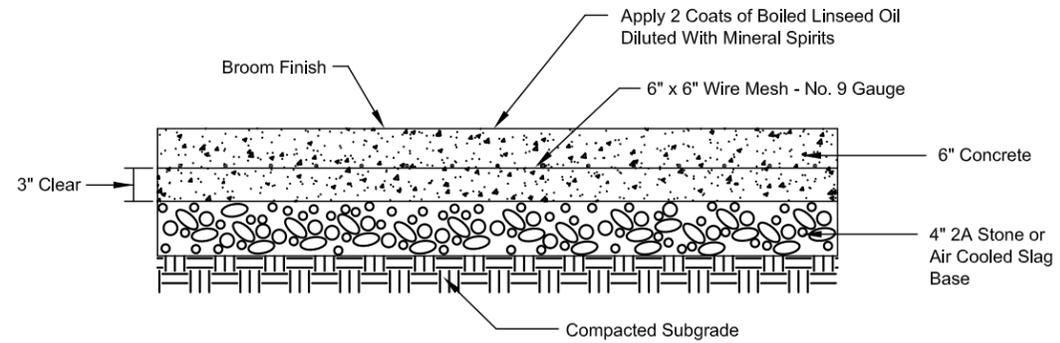
Project No: 12046
Drawing No: C-3



CONCRETE CURB AND PAVEMENT DETAIL
SCALE: SCALE: 1" = 1'-0"

1. STEEL POST FOR CANOPY.
2. LINE OF COLUMN FOOTING BELOW.
3. NCR ATM AND SURROUND BY OTHERS.
4. NEW 4" Ø CONCRETE FILLED STEEL PIPE BOLLARD WITH PLASTIC COVER, COLOR GRAY. TYPICAL FOR TEN (10) LOCATIONS. SEE SHEET A-2, BOLLARD PLAN.
5. ATM SURROUND FEED AREA, VERIFY EXACT LOCATION WITH ATM SURROUND MANUFACTURER.
6. BLOCKOUT AREA FOR CANOPY BASE PLATE. SEE CANOPY DETAILS.

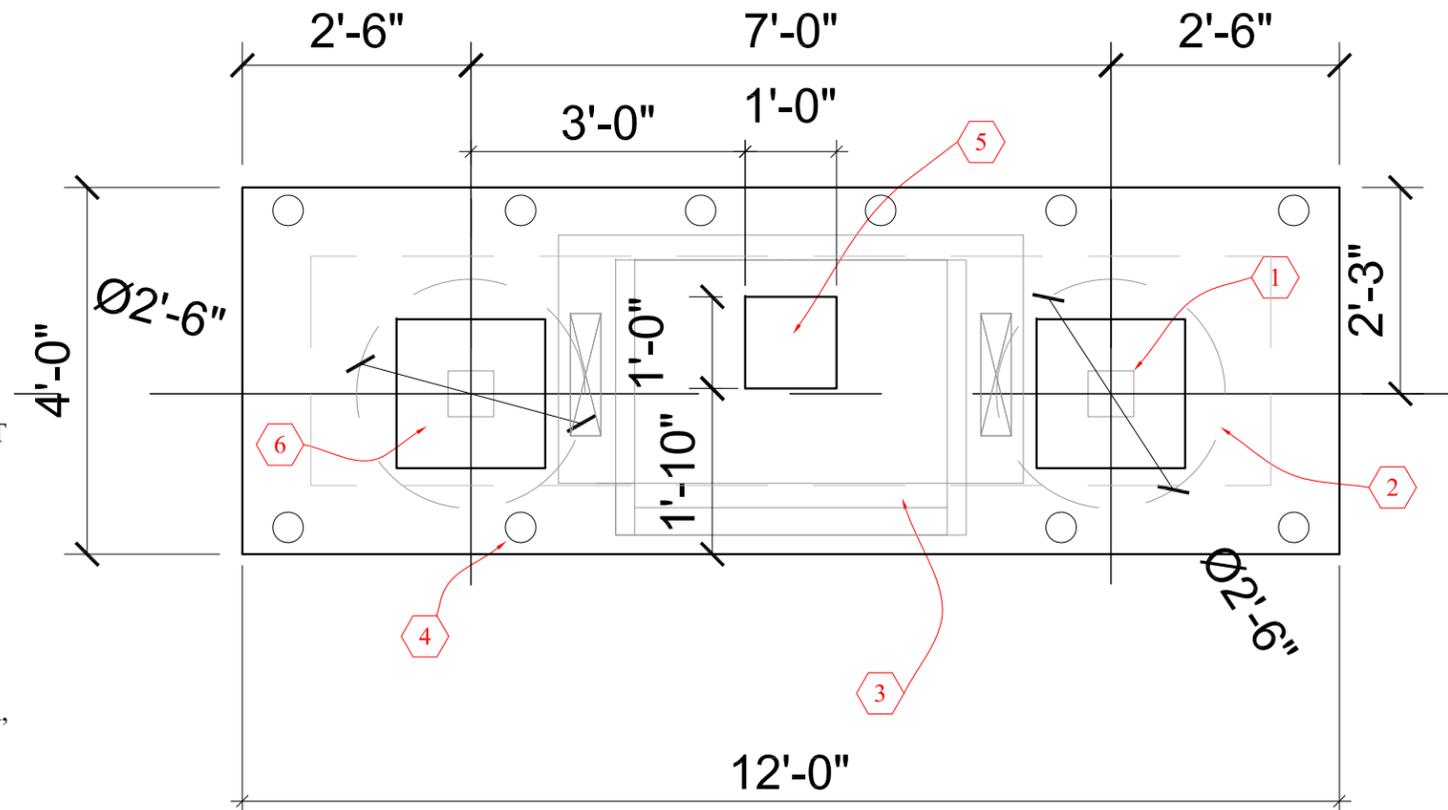
NOTE:
CONTRACTOR TO COORDINATE ALL WORK WITH PROPERTY OWNER, FIFTH THIRD BANK, THE ATM SUPPLIER, AND THE CANOPY SUPPLIER.



NOTE: A tooled construction joint shall be placed every 4' O.C.
An expansion joint shall be placed every 20' O.C.

6" CONCRETE DRIVE DETAIL

Not to Scale



PLAN

SCALE: 1/2" = 1'-0"



Date: 11-19-12
2-18-13
Issued For: Owner's Review and Permit Planning Commission Submission



GERALD G. WEBER ARCHITECT

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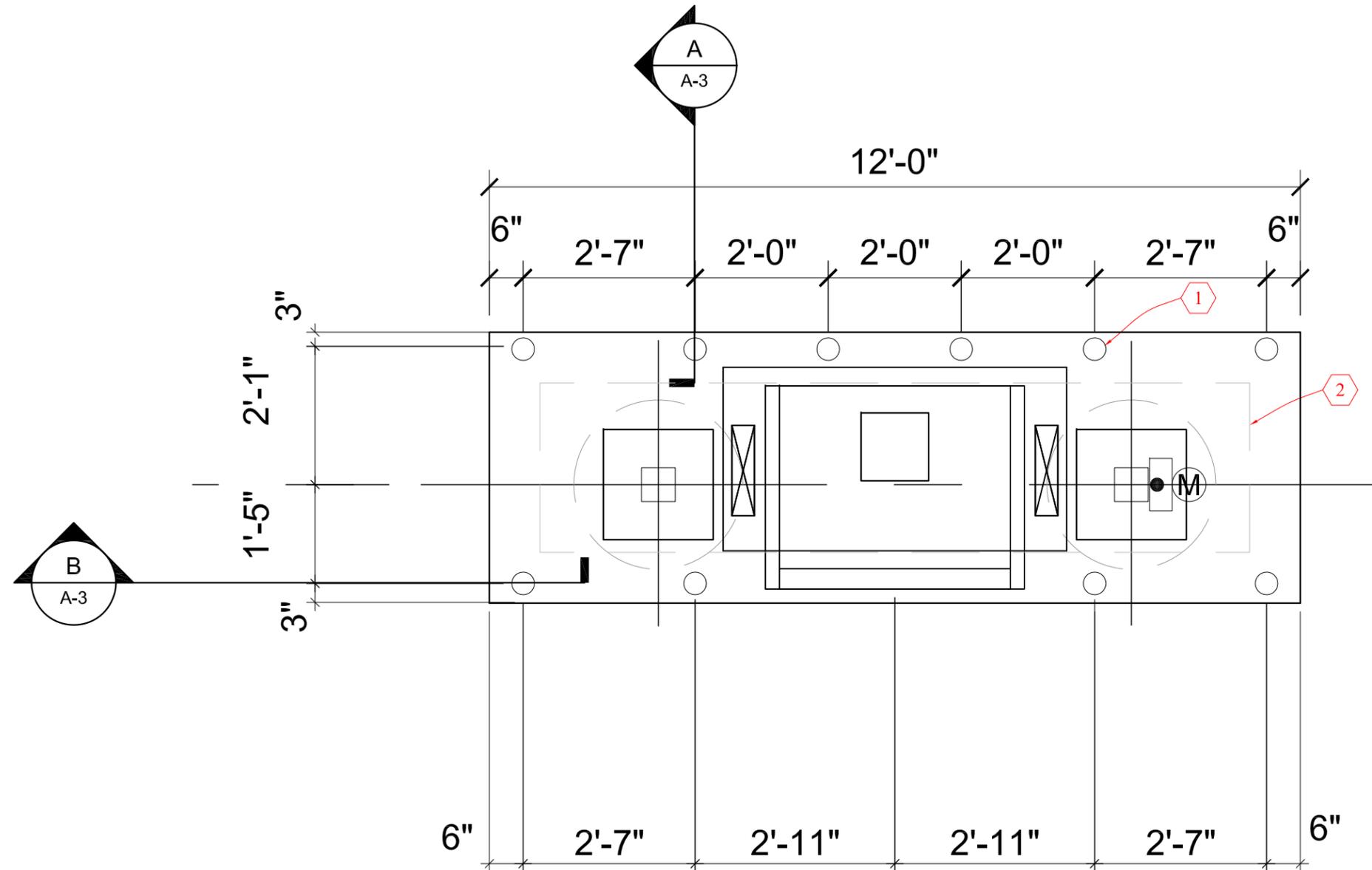
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Project:
**Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation**
14 Mile and John R
Troy, MI

Drawing Name:
Floor Plan

Project No: 12046
Drawing No: A-1

Date: 11-19-12
 Issued For: Owner's Review and Permit
 2-18-13 Planning Commission Submission



1. NEW 4" Ø CONCRETE FILLED STEEL PIPE BOLLARD WITH PLASTIC COVER, COLOR GRAY. TYPICAL FOR TEN (10) LOCATIONS.
2. INSIDE EDGE OF FOOTING

BOLLARD PLAN

SCALE: 1/2"=1'-0"



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Project:

**Fifth Third Bank
 XTEM Oakland Plaza
 ATM Relocation
 14 Mile and John R
 Troy, MI**

Drawing Name:
Bollard Plan

Project No: 12046
 Drawing No: A-2

Date: 11-19-12 Issued For: Owner's Review and Permit
 2-18-13 Planning Commission Submission



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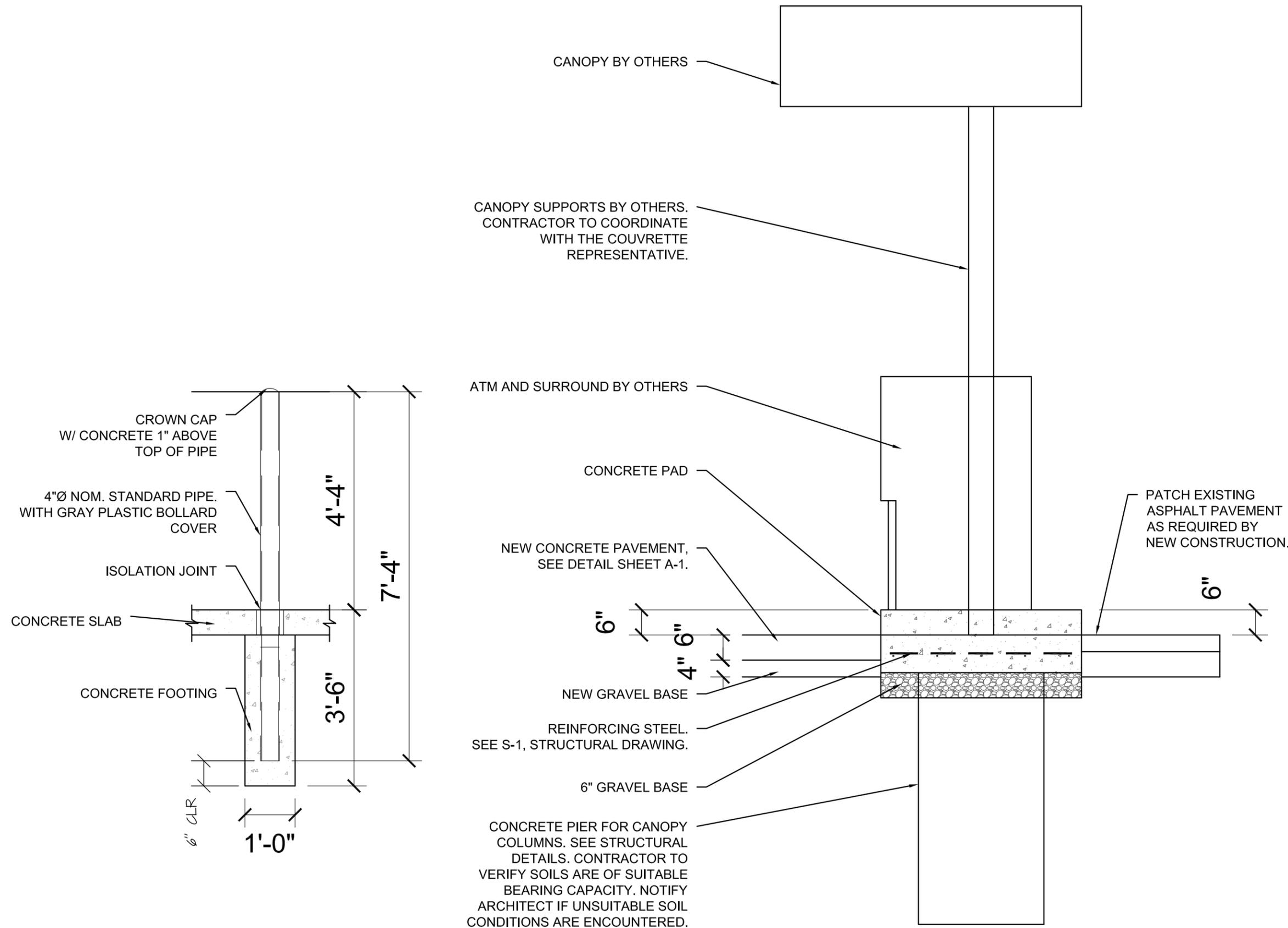


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Project:
Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation
 14 Mile and John R
 Troy, MI

Drawing Name:
Sections

Project No: 12046
 Drawing No: A-3



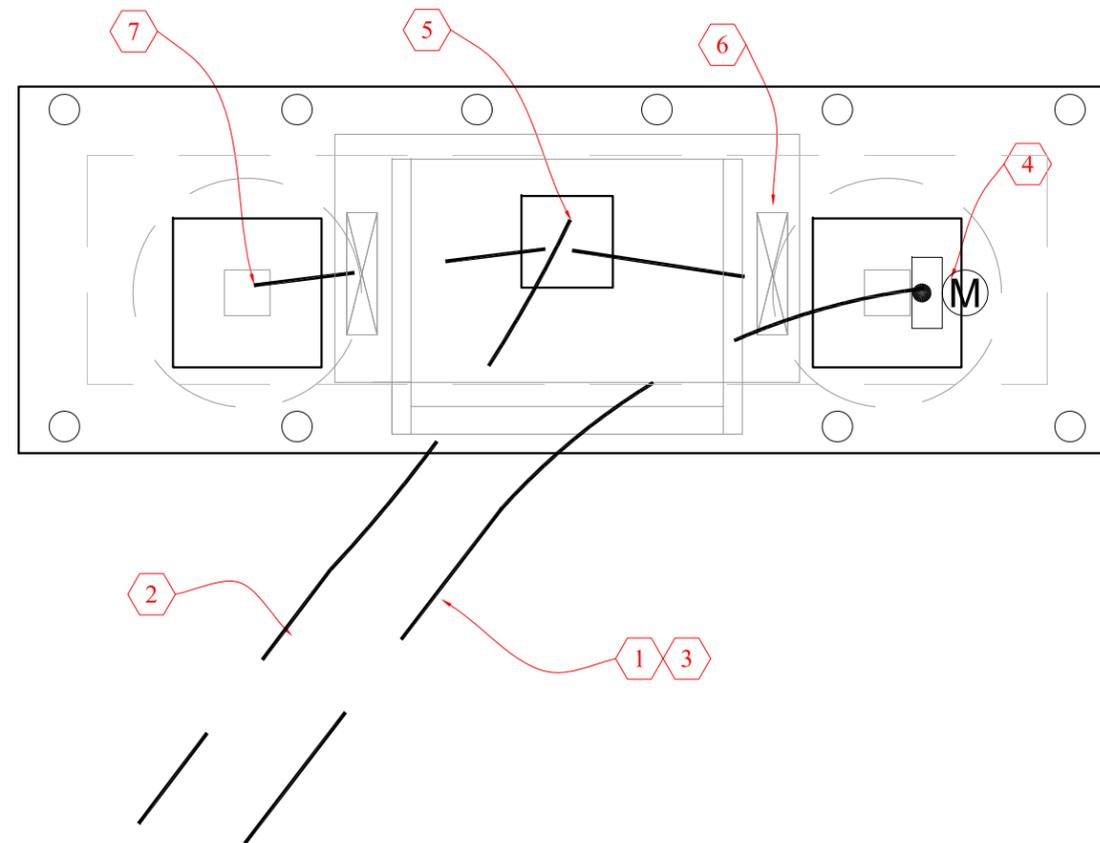
B **Bollard Detail**
 Scale: 1/2" = 1'-0"

A **Section**
 Scale: 1/2" = 1'-0"

Date:	Issued For:
11-19-12	Owner's Review and Permit
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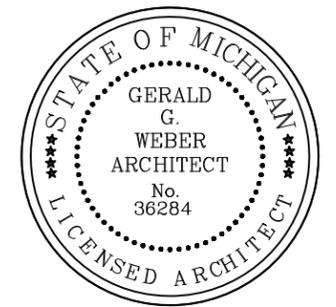
1. INSTALL NEW 2" CONDUIT AND POWER FOR ATM PER DIEBOLD SPECIFICATIONS TO EXISTING POLE. VERIFY POWER REQUIREMENTS FROM EXISTING POLE, SEE SHEET E-1. METER TO BE MOUNTED ON CANOPY POST ON EXIT SIDE OF THE CANOPY.
2. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY TO EXTEND LINES TO NEW ATM. CONTRACTOR TO INSTALL NEW 2" CONDUIT TO EXISTING POLE FOR TELEPHONE CONNECTION.
3. ELECTRICAL WIRING, TYPES, SIZES, OCPD, CONDUIT...TO BE IN ACCORDANCE WITH NFPA 70, OBC 2701.1.
4. METER AND ELECTRICAL PANEL ON CANOPY POST AT EXIT SIDE OF CANOPY.
5. ATM FEED AREA, SEE ATM DRAWINGS.
6. ATM SURROUND FEED AREA, VERIFY EXACT LOCATION WITH ATM SURROUND MANUFACTURER.
7. CANOPY FEED THROUGH COLUMN.

NOTE:
CONTRACTOR TO COORDINATE ALL WORK WITH PROPERTY OWNER, FIFTH THIRD BANK, THE ATM SUPPLIER, AND THE CANOPY SUPPLIER. REFER TO COUVRETTE DRAWINGS FOR ADDITIONAL INFORMATION.



PLAN

SCALE: 1/2"=1'-0"



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Project:

**Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation**
14 Mile and John R
Troy, MI

Drawing Name:
Electrical Plan

Project No: 12046
Drawing No: **E-2**

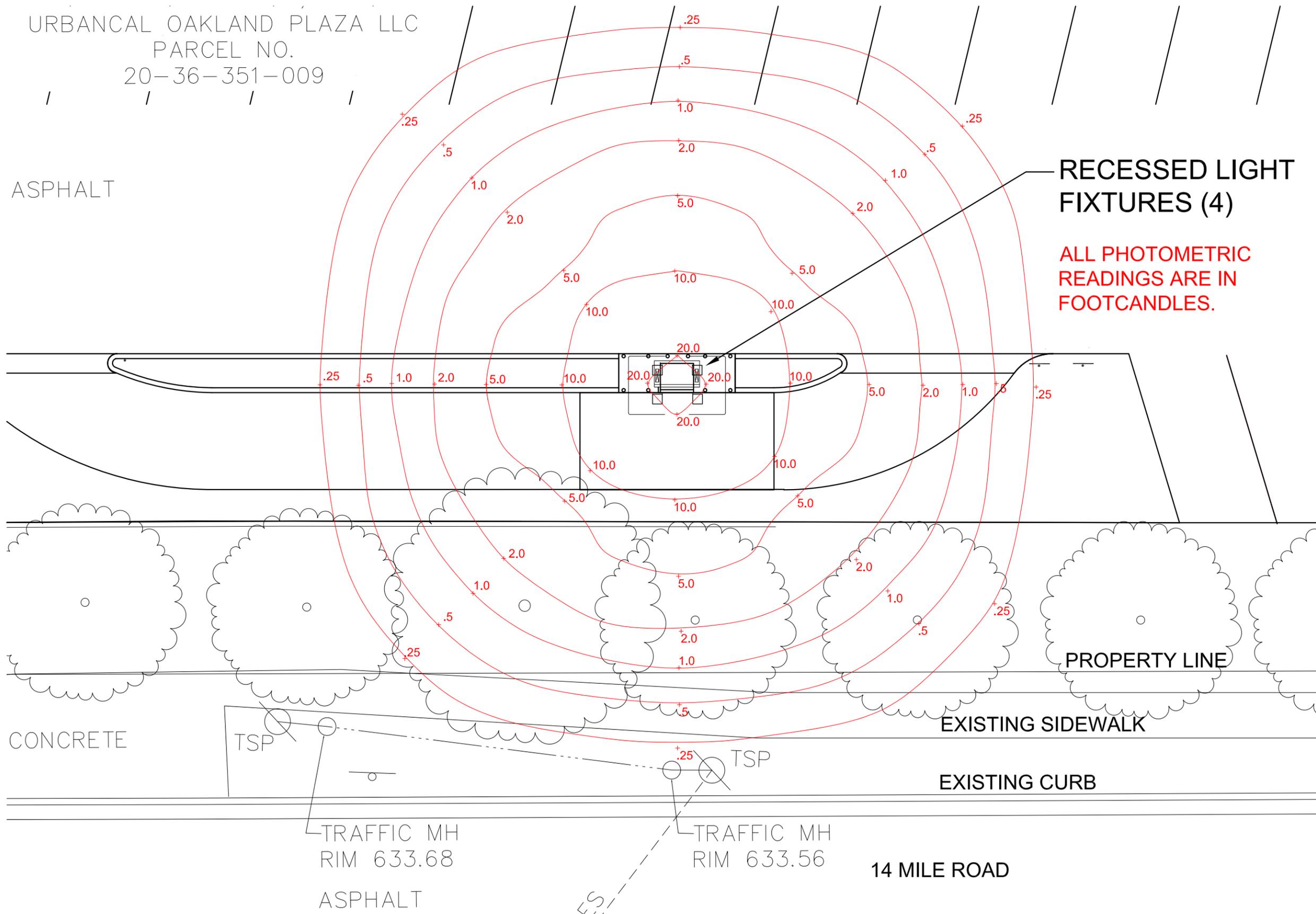
URBANCAL OAKLAND PLAZA LLC
PARCEL NO.
20-36-351-009

Date: 4-2-13 Issued For: Photometric Plan

ASPHALT

RECESSED LIGHT FIXTURES (4)

ALL PHOTOMETRIC READINGS ARE IN FOOTCANDLES.



CONCRETE

PROPERTY LINE

EXISTING SIDEWALK

EXISTING CURB

TRAFFIC MH
RIM 633.68
ASPHALT

TRAFFIC MH
RIM 633.56

14 MILE ROAD

SITE PLAN

SCALE: 1" = 20'-0"



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Project:
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XTEM Oakland Plaza
ATM Relocation
14 Mile Road and John R
Troy, MI

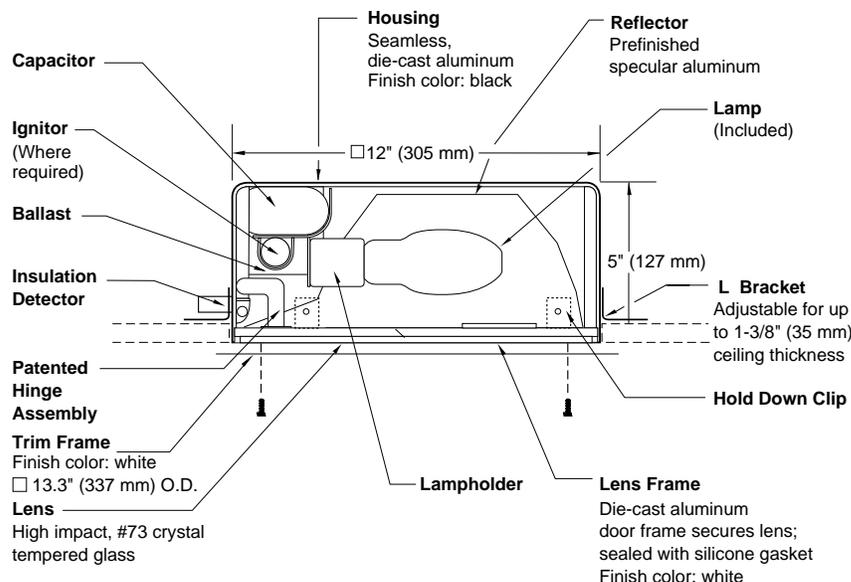
Drawing Name:
Photometric
Site Plan

Project No: 12046
Drawing No: PP-1

RECESSED MOUNT

12" (305 mm) RECESSED CANOPY LIGHT

RCO-12 SERIES



SPEC #	WATTAGE	CATALOG #
PULSE START METAL HALIDE		
	125W PSMH	MRC0612-(a)(b)
	150W PSMH	MRC0615-(a)(b)
METAL HALIDE		
	50W MH	MRC0405-(a)(b)
	70W MH	MRC0407-(a)(b)
	100W MH	MRC0410-(a)(b)
	175W MH	MRC0417-(a)(b)
HIGH PRESSURE SODIUM		
	35W HPS	MRC0503-(a)(b)
	50W HPS	MRC0505-(a)(b)
	70W HPS	MRC0507-(a)(b)
	100W HPS	MRC0510-(a)(b)
	150W HPS	MRC0515-(a)(b)
FLUORESCENT		
	26W FL	MRC0226-(a)(b)

Specify (a) Voltage & (b) Options.

(a) VOLTAGE SUFFIX KEY	
1	120V (Standard)
2	277V (PSMH; 50 – 175W MH; 50 – 150W HPS; 26W FL)
3	208V (PSMH; 50 – 175W MH; 50 – 150W HPS)
4	240V (PSMH; 50 – 175W MH; 50 – 150W HPS)
6	347V (Canada Only) (PSMH; 50 – 175W MH; 70 – 150W HPS)

For voltage availability outside the US and Canada, see Bulletin TD-9 or contact your Ruud Lighting authorized International Distributor.

(b) OPTIONS (factory-installed)	
A	Acrylic Drop Prismatic Lens (1.8" [44 mm] Deep) (maximum wattage 100W)
-(a)F	Fusing
Q	Quartz Standby (includes 100W quartz lamp)

Specify (a) Single Voltage — See Voltage Suffix Key

GENERAL DESCRIPTION

Recessed Canopy luminaire for HID lamp, totally enclosed. Reflector is specular aluminum. Housing is seamless, die-cast aluminum. Includes four adjustable steel "L" brackets for mounting to various ceiling thicknesses and four hold down clips to prevent fixture movement during trim installation. Rough-in 12.3" (311 mm) sq. hole required for fixture installation. Two 1/2" conduit openings provided for wire supply. A maximum of 4 No. 12 AWG (2 in/2 out) through branch circuit conductors suitable for at least 150°C allowed on fixtures 100W or less. Fixtures are provided with a UL listed insulation detector, which will deactivate fixture if inadvertently covered with insulation. Lens assembly consists of rigid aluminum frame and high-impact, #73 crystal tempered glass.

ELECTRICAL

Fluorescent fixture supplied with a 26W quad compact fluorescent lamp. HID fixture includes clear, medium-base lamp. Pulse-rated porcelain enclosed, 4kv-rated screw-shell-type lampholder with spring-loaded center contact. Fixtures require a minimum 150°C temperature feed wire. Lamp ignitor included where required. Ballast assemblies are high-power factor and use the following circuit types:

Electromagnetic
26W FL

Reactor
120V: 35 – 150W HPS

HX — High Reactance
50 – 100W MH; 50 – 150W HPS

CWA — Constant Wattage Autotransformer
125 & 150W PSMH; 175W MH

LABELS

ANSI lamp wattage label supplied, visible during relamping. UL Listed in the US and Canada for wet locations. 150 & 175W not UL Listed for feed-thru wiring.

FINISH

Exclusive DeltaGuard® finish features an E-coat epoxy primer, with white ultra-durable powder topcoat for the lens frame and trim frame, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

PATENT

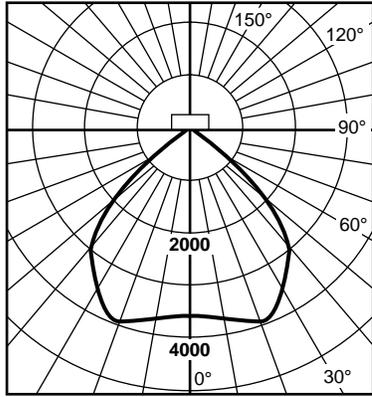
US 4,689,729

ACCESSORIES

LPF-12 2 x 2 Lay-in Panel

Metal Halide

Lamp: 175 Watt (Clear) – 14,000 lumens
 Lens: #73 Crystal Tempered Glass
 Test Distance: 26' (8 m)
 Certified Test Report: Lighting Sciences Inc. No. LSI 9562



Candlepower Summary

Angle	Along	45	Across
0	3580	3580	3580
5	3515	3520	3618
10	3672	3677	3736
15	3868	3867	3863
20	3802	3987	3950
25	3510	3992	3833
30	3075	3817	3556
35	2602	3378	3270
40	2058	2720	2911
45	1480	2055	2334
50	1031	1415	1667
55	704	1024	1193
60	515	698	779
65	384	463	496
70	259	324	347
75	209	233	280
80	152	163	196
85	68	71	98
90	0	4	4

Efficiency = 63.2%; SC = 1.2; S/MH = 1.2

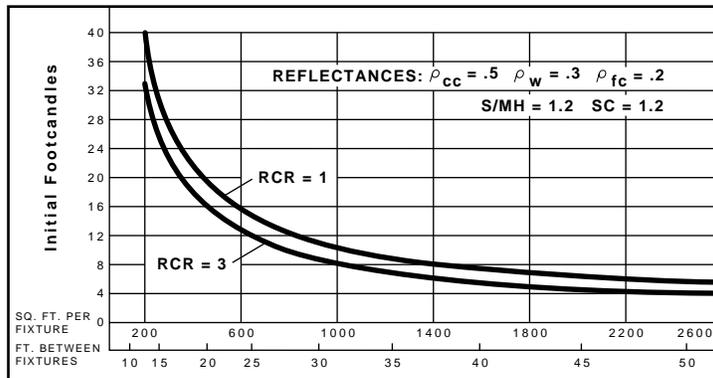
Zonal Lumens and Percentages

Zone	Lumens	% Lamp	% Fixture
0-30	3292	23.5	37.2
0-40	5316	38.0	60.1
0-60	7925	56.6	89.6
0-90	8840	63.1	100.00
90-120	0.0	0.0	0.0
90-130	0.0	0.0	0.0
90-150	0.0	0.0	0.0
90-180	0.0	0.0	0.0
0-180	8841	63.2	100.00

Coefficients of Utilization

Effective Floor Cavity Reflectance = 0.20

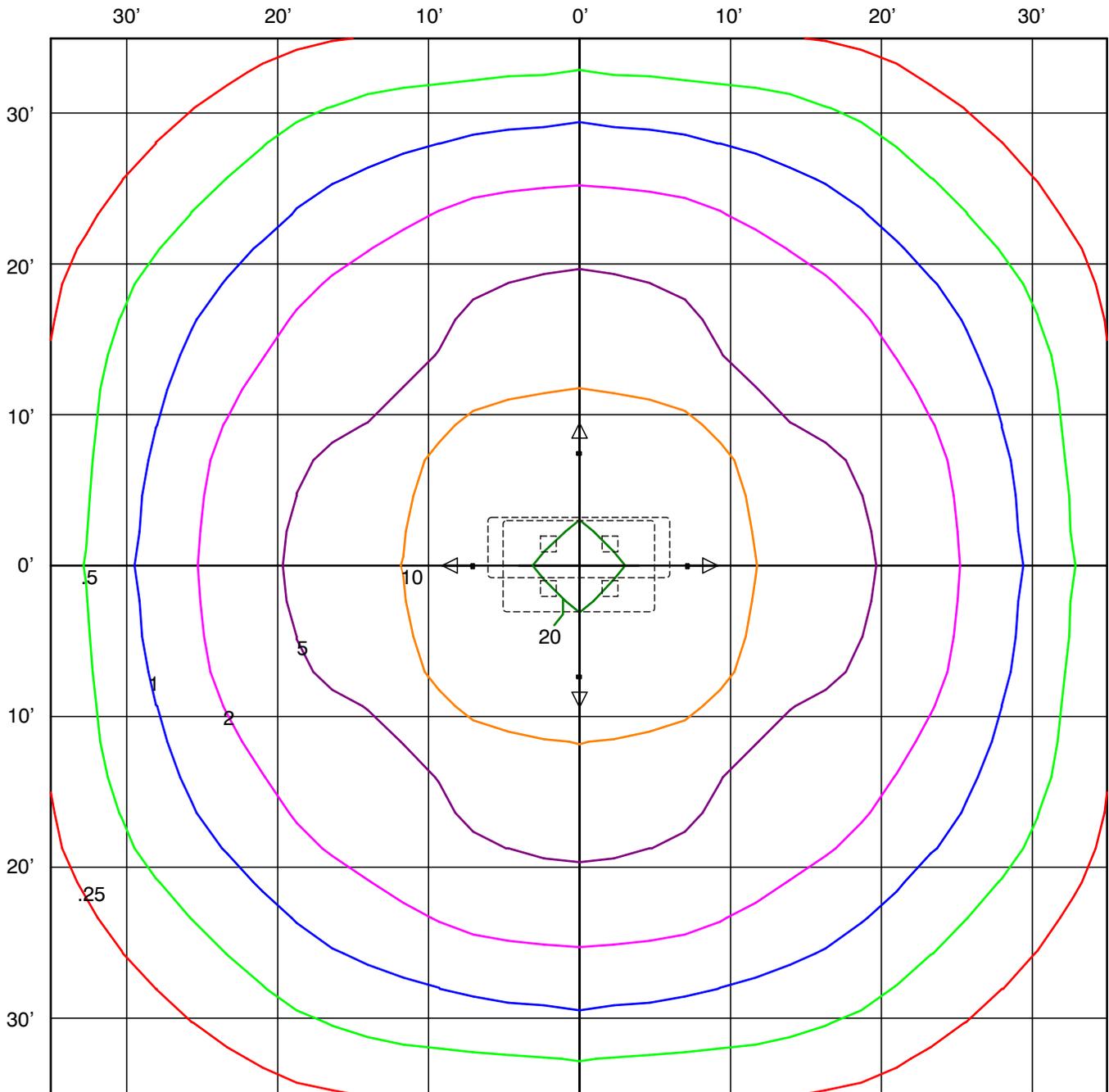
CC	80				70				50				30				10			
	70	50	30	10	70	50	30	10	50	30	10	50	30	10	50	30	10			
WALL																				
RCR																				
1	0.70	0.67	0.65	0.63	0.68	0.66	0.64	0.62	0.63	0.61	0.60	0.61	0.59	0.58	0.58	0.57	0.56			
2	0.64	0.60	0.56	0.53	0.63	0.59	0.55	0.53	0.57	0.54	0.51	0.55	0.52	0.50	0.53	0.51	0.49			
3	0.59	0.54	0.49	0.46	0.58	0.53	0.49	0.45	0.51	0.47	0.44	0.49	0.46	0.44	0.48	0.45	0.43			
4	0.55	0.48	0.43	0.40	0.54	0.48	0.43	0.39	0.46	0.42	0.39	0.45	0.41	0.38	0.43	0.40	0.38			
5	0.51	0.44	0.39	0.35	0.50	0.43	0.38	0.35	0.42	0.38	0.34	0.41	0.37	0.34	0.39	0.36	0.34			
6	0.47	0.40	0.35	0.31	0.46	0.39	0.34	0.31	0.38	0.34	0.31	0.37	0.33	0.30	0.36	0.33	0.30			
7	0.44	0.36	0.31	0.28	0.43	0.36	0.31	0.28	0.35	0.31	0.27	0.34	0.30	0.27	0.33	0.30	0.27			
8	0.41	0.33	0.28	0.25	0.40	0.33	0.28	0.25	0.32	0.28	0.25	0.31	0.27	0.25	0.31	0.27	0.24			
9	0.39	0.31	0.26	0.23	0.38	0.30	0.26	0.23	0.30	0.25	0.22	0.29	0.25	0.22	0.28	0.25	0.22			
10	0.36	0.28	0.24	0.21	0.35	0.28	0.24	0.21	0.27	0.23	0.20	0.27	0.23	0.20	0.26	0.23	0.20			



QUICK CALCULATOR: Use this chart to determine the number and spacing of Ruud 12" (305 mm) Canopy Lights with 175W MH lamp. Numbers and spacing for other wattages may be determined as follows: 50W multiply by 0.24; 70W multiply by 0.39; 100W multiply by 0.64.



RUUD LIGHTING



RUUD LIGHTING
 MAC410
 12" AREA CUTOFF / FORWARD THROW
 100 WATT MH, CLEAR

Horizontal Footcandles
 Scale: 1 Inch = 10 Ft.
 Light Loss Factor = 0.65
 Total Lumens Per Luminaire = 8100
 Mounting Height = 11.00 Ft
 Maximum Calculated Value = 20.85 Fc
 Arrangement: 4 @ 90 Degrees
 Arm Length = 4 Ft

GENERAL STRUCTURAL NOTES

NOTE TO PLAN EXAMINER

THIS DRAWING WAS PREPARED FOR THE MOST SEVERE CONDITIONS THAT EXIST IN THE IDENTIFIED STATE FOR EITHER SNOW, WIND, OR EARTHQUAKE LOADS. THEREFORE, THIS FOUNDATION IS APPROPRIATE FOR USE IN ANY PART OF THE STATE. LOADS SHOWN MAY EXCEED THOSE REQUIRED FOR THE LOCAL JURISDICTION.

CODE AND SPECIFICATIONS

- 2011 EDITION OF THE MICHIGAN BUILDING CODE .
- ACI 301-05, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS.
- AISC CODE OF STANDARD PRACTICE, 2000 EDITION.

DESIGN LOADS

1. ROOF LOADS

GROUND SNOW LOAD, P_g20 PSF
 FLAT-ROOF SNOW LOAD, P_f35 PSF
 SNOW EXPOSURE FACTOR, C_e1.3
 SNOW LOAD IMPORTANCE FACTOR, I1
 THERMAL FACTOR, C_t1.2

2. WIND LOAD

BASIC WIND SPEED.....90 MPH (3 SEC GUST)
 WIND EXPOSURE.....EXPOSURE D
 IMPORTANCE FACTOR.....1.0
 GUST EFFECT FACTOR, G0.85
 NET FORCE COEFFICIENT, C_f±1.3
 DESIGN PRESSURE.....±30 PSF

3. EARTHQUAKE LOAD

SEISMIC IMPORTANCE FACTOR, I_E1.0
 MAPPED SPECTRAL RESPONSE ACCELERATION, S_S3.0
 MAPPED SPECTRAL RESPONSE ACCELERATION, S_11.09
 SITE CLASS.....D
 DESIGN SPECTRAL RESPONSE COEFFICIENTS
 S_{DS}1.0
 S_{D1}0.6
 SEISMIC DESIGN CATEGORY.....D
 BASIC SEISMIC FORCE RESISTING SYSTEM = CANTILEVERED STEEL COLUMNS
 R2.5
 DESIGN BASE SHEAR $V = C_s W = 0.4W$2750 LBS
 ANALYSIS PROCEDURE = EQUIVALENT LATERAL FORCE PROCEDURE

SAFETY

- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF JOB SITE SAFETY OF ALL PERSONS AND PROPERTY IN, ON, OR NEAR THE CONSTRUCTION SITE DURING PERFORMANCE OF THE PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

FOUNDATIONS

- NEW FOUNDATION PRESUMPTIVE BEARING PRESSURE = 1500 PSF
- SET COLUMN ANCHOR BOLTS WITH A TEMPLATE PRIOR TO PLACING CONCRETE.

REINFORCING STEEL

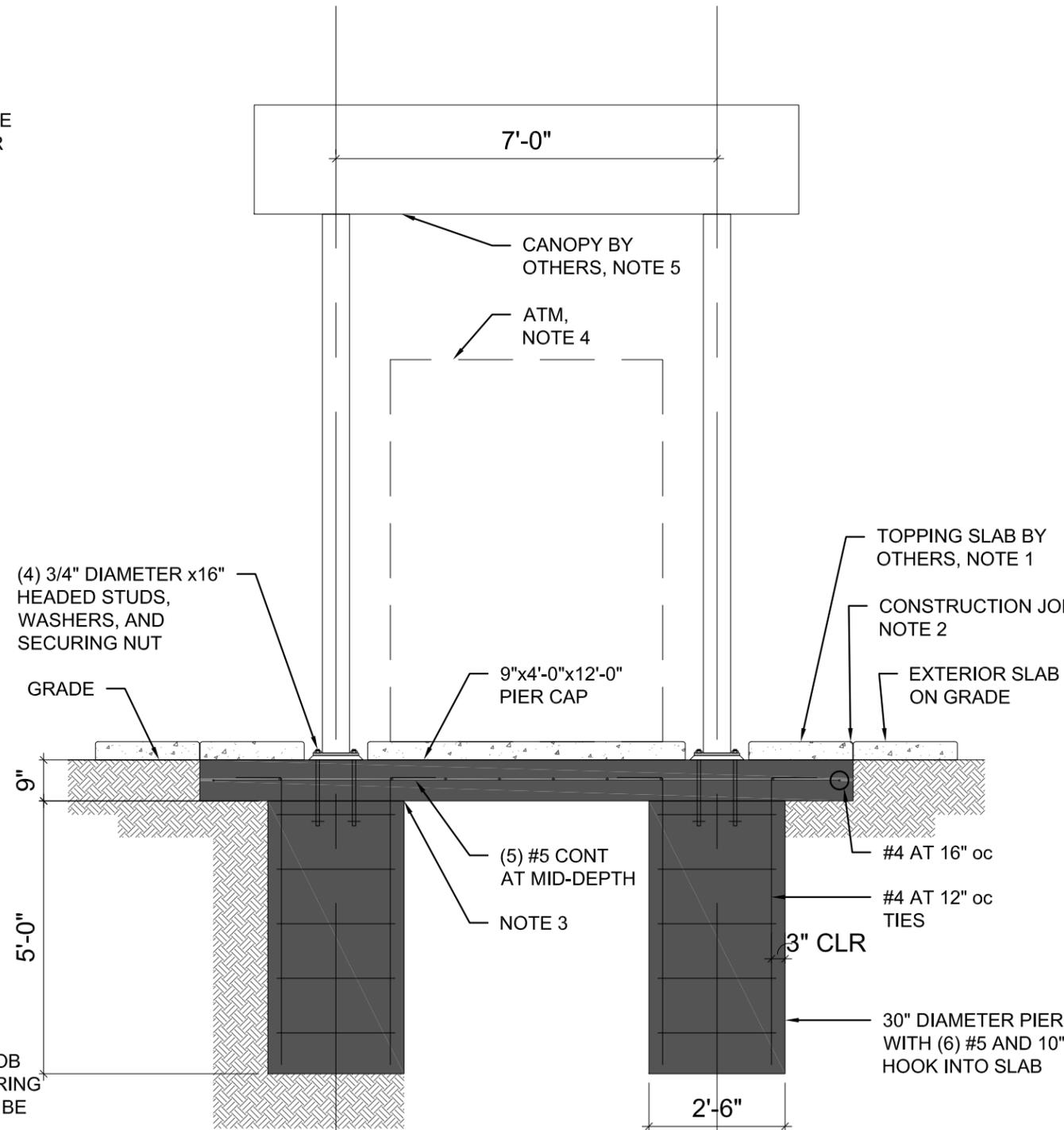
- DEFORMED REINFORCING BARS, ASTM 615. 60 KSI YIELD.

CONCRETE

- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE
- MINIMUM CONCRETE STRENGTH 4,000 PSI AT 7 DAYS.

STRUCTURAL STEEL

MATERIAL: ANCHOR BOLTS.....ASTM A307

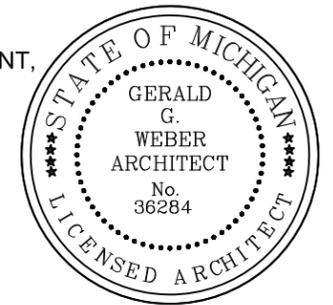


Section Thru Piers
 1
 3/8"=1'-0"

NOTES:

- CONTRACTOR HAS OPTION TO PLACE TOPPING SLAB INTEGRAL WITH PIER CAP WITHIN THE DIMENSIONS OF THE PIER CAP.
- CONTRACTOR TO PLACE CONSTRUCTION JOINT AROUND ALL SIDES OF PIER CAP TO SEPARATE EXTERIOR SLAB ON GRADE AND PIER CAP.
- CONTRACTOR HAS OPTION TO PLACE CONSTRUCTION JOINT BETWEEN PIER AND PIER CAP.
- DESIGN IS BASED ON SUPPORTING AN ATM NOT TO EXCEED 3000 LBS.
- DESIGN IS BASED ON A 6FTX10NX2FT COUVRETTE CANOPY NOT TO EXCEED 12'-0" HIGH AND 3400 LBS.

Date: 11-19-12
Issued For: Owner's Review and Permit
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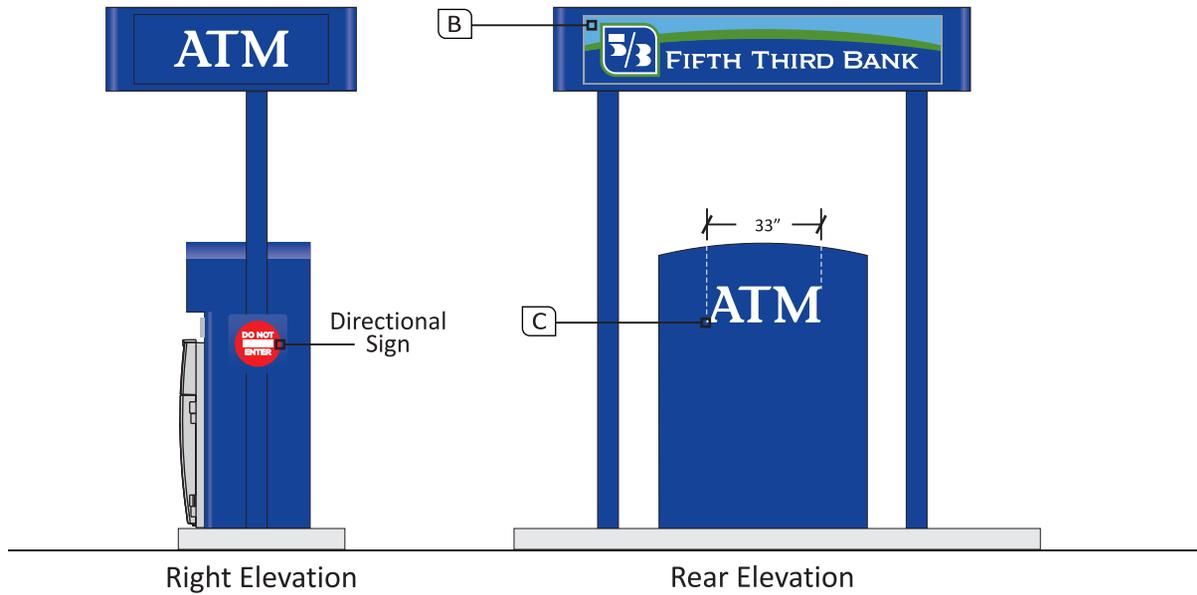
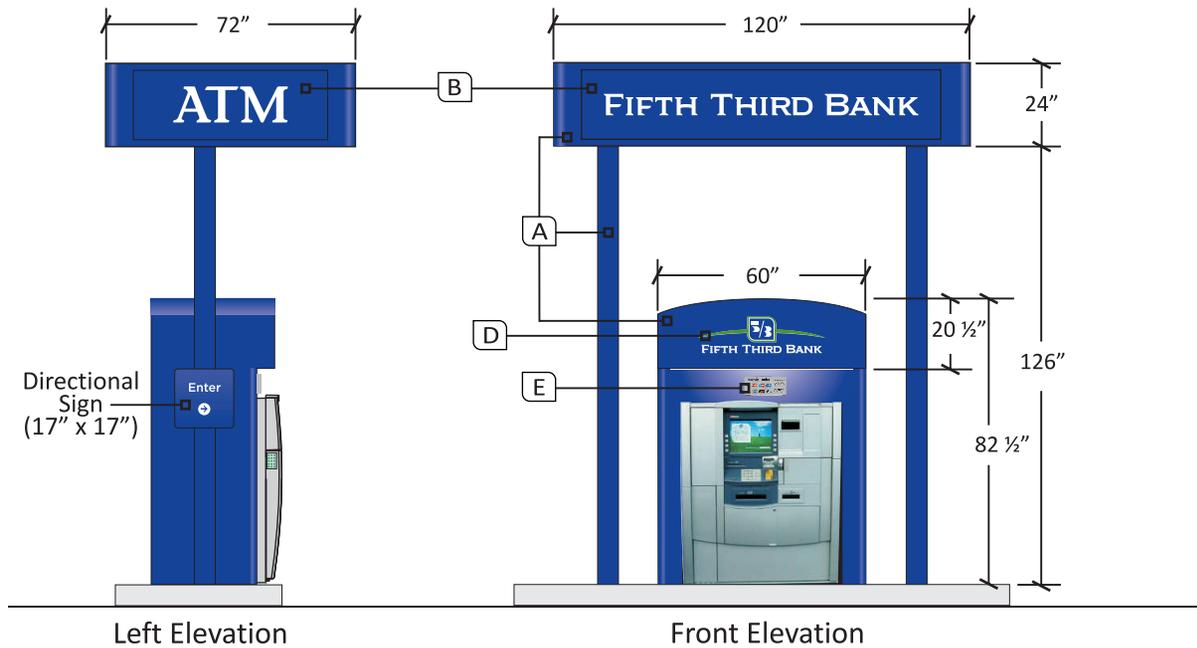
Project:
Fifth Third Bank
XTEM Oakland Plaza
ATM Relocation
 14 Mile and John R
 Troy, MI

Drawing Name:
Structural

Project No: 12046
Drawing No: S-1

Branding Detail

- A** Sapphire Blue Paint
Spec: Match of MP55619
Finish: Egg Shell/Satin
- B** Backlit Graphics (applied to white plex)
Color: Sapphire Blue
Spec: 3M #3632-8607
Color: Sky Blue
Spec: 3M #3632-8043
Color: Vivid Green
Spec: 3M #3632-156
- C** Non-Backlit Vinyl Graphics
Color: White
Spec: 3M #680-10 White (reflective)
Color: Red
Spec: 3M #680-72
- D** Backlit Graphics (push-through acrylic letters)
Color: Sapphire Blue
Spec: 3M #3632-8607
Color: Sky Blue
Spec: 3M #3632-8043
Color: Vivid Green
Spec: 3M #3632-156
- E** Horizon Frame & Graphic Insert (# HG_)



Branding Calculation:

Front Canopy Face

FIFTH THIRD BANK

$$90.7 \times 6.1 = 3.8 \text{ sq./ft.}$$

Front Surround Face



$$37 \times 10.6 = 2.7 \text{ sq./ft.}$$

Total Signage Area = 6.5 sq./ft.



PROJECT NAME:	FIFTH THIRD BANK_BRANDING STANDARDS			△		
LOCATION:	OAKLAND PLAZA			△		
ADDRESS:				△		
CITY, STATE, ZIP:	TROY, MI			△		
PRODUCT:	FREESTANDING CAN_HSUR_750_SIGN CALC	DRAWN BY:	JR	DATE:	1/25/13	REV DATE DESCRIPTION

All designs depicted herein are the sole property of Fifth Third Bank, created specifically for branding application. Use of this information for any purpose other than the intended use is strictly prohibited without written consent of owner.







Fifth Third ATM and Night Depository Lighting Design Standards (Effective as of 11/01/2011)

Based on the state regulations identified within the Fifth Third geographic footprint and detailed in Exhibit A herein; Fifth Third has adopted the following **baseline (minimum)** lighting standard for ATM and Night Depository installations.

- A minimum of 10 foot-candles at the face of the ATM or night deposit unit and extending in an unobstructed direction wrapping outward 5 feet.
- A minimum of 2 foot-candles wrapping outward 50 feet in all unobstructed directions from the face of the ATM or night deposit unit, including specified "Future" ATM locations.
- If the ATM or night deposit unit is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, there shall be a minimum of 2 foot-candles along the first 40 unobstructed feet of the adjacent side of the building.
- The above stated minimum lighting requirements must be provided 30 minutes after sunset to 30 minutes before sunrise.

Factors that must be considered in the design and installation of the security lighting at each site are, but not limited to, the following:

- Light sources should properly illuminate the specific area while providing some ambient illumination benefits.

- Light sources should provide evenly distributed ambient lighting and be installed to avoid heavy shadow effects.
- Lighting should be designed to account for minimum one year bulb/fixture degradation.
- Light sources should be located properly to produce the maximum effect. Where higher minimum ATM lighting levels are mandated by state code, the state statute will preempt local building codes and the 5/3 baseline.
- Light spillover onto adjacent properties within 50 feet requirement shall be adhered to unless otherwise prohibited by local ordinance. Denials as a result of local codes are to be documented in project file and noted on inspection form.
- Negative environmental conditions (i.e.: landscaping*, utility poles, sign poles, or other objects) creating shadow effects due to light fixture placement, should be avoided or corrected.
- *Mature landscape plans must be incorporated into photometric designs so as to eliminate the likelihood of light blockage or shadows.
 - The height of any landscaping or other obstructions (within the required 50 foot minimum 2 foot-candles area) must not exceed 3 feet .
 - Exceptions include:
 - Trees no higher than (10) ten feet in total height.
 - Trees greater than (10) ten feet and within the 50 foot radius shall be trimmed to have a minimum height of (6) six feet to the underside of the tree canopy.
 - Obstructions required by law.
- All lighting required to meet the designed light levels, inclusive of drive-thru canopy lighting, site lighting, and Interior ATM Vestibule (if applicable) shall turn on one half hour after sunset and turn off one half before sunrise.
- If an ATM or Night Deposit Unit is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, 2 foot-candles along the first 40 unobstructed feet of the adjacent side of the building.
- ATMs must be equipped with a reflective surface or mirror that allows the customer to see behind them while using the device.

Note: To ensure these standards are up to date, 5/3 Corporate Facilities shall coordinate an annual review with 5/3 Legal, for related statutory requirements.

Post Construction Verification

Upon final completion of a project in which an ATM or Night Depository has been installed, or the surrounding area modified, , each site must be inspected by a qualified lighting consultant (as approved by Fifth Third) or Civil Engineer to ensure compliance with the “Lighting Assessment Guidelines” as detailed herein. Upon completion of the site inspection, an *ATM and Night Depository Lighting Inspection Form* shall be completed and submitted to the Project Manager for review.

If unsatisfactory results are found, the consultant shall review these results with the Project Manager and recommend adjustments to the existing lighting system so as to achieve optimal performance. Once the necessary work has been performed, the consultant shall re-inspect the location to ensure that the facility meets the minimum ATM and Night Depository Lighting Design Standards. Following a passing evaluation, the consultant will then submit a revised *ATM & Night Deposit Lighting Inspection Form*.



Typical ATM Site Lighting Plan

Fifth Third Bank ATM Lighting Assessment Guideline

Foot-candles Measuring:

Basic to the process of measuring foot-candles is the availability and use of the proper measuring device. The light meter must be reliable and capable of measuring to 0.01 foot-candles and shall be calibrated annually to manufacturer's specifications.

Typical Equipment Requirements

Foot candles (Fc) / Lux 20, 200, 2000, 20,000

Resolution 0.01Fc / 0.01Lux

Basic Accuracy \pm (3%rdg + 10 digits)

Spectral Response CIE Photopic curve

Sample rate 2.5 readings per second

Temperature Coefficient 0.1 x stated accuracy / °C (<18°C or > 28°C);

0.056 x stated accuracy / °F (<64.4°F or > 82.4°F)

Light Measurement means and methods:

1. Obtain a site plan for the subject property. If a site plan is not available, create a hand sketch (as close to scale as possible) including all relevant building dimensions and distances to the ATM(s), Night Deposit, and any ancillary structures.
2. Identify (as best as possible) the location of all existing light sources, inclusive of all pole and wall mounted fixtures. Include fixture count, total wattage of light being provided from the bulb(s), approximate height of fixture, and approximate age of light source (bulb).
 - a. Determine and note height from the underside of the Drive Up Canopy
 - b. Provide specific inventory of canopy fixtures inclusive of items above.
 - c. Provide general list and location of any other ancillary light sources such as street lights, neighboring properties, etc and if lights are operating at time of light level measurements.
3. Locate all ancillary objects, or structures on the site including signs, fire protection systems, mechanical equipment, masonry walls or dividers, landscape having height higher than 24inches in height, etc. Include the height of such ancillary structure or object on the plan.
4. Obtain digital photos of Building, General Site, Drive-up Canopy, ATM and Night Deposit.
5. Confirm and record the type and operating hours of any lighting control systems or devices (if applicable). Identify which fixtures are controlled by each separate zone (if applicable).
6. Beginning no sooner than one hour after sunset and ending no later than one hour before sunrise (i.e. it must be dark out), and using properly calibrated equipment, perform foot-candle readings/measurements at the face the ATM/Night Depository, outward at 5' then continuing at 10 foot increments to a distance of 50' and at 45 degree radials (see Exhibit B). Repeat process for each individual ATM/Night Deposit.
 - a. Measurements are to be taken by holding the light meter horizontal to the ground at a distance of 36 inches vertically from the ground and arms length horizontally from the user's body (so as to not cast shadows). The lighting device must first reach average performance levels. Measurements should, therefore, be taken no sooner than one hour after the light fixture has been turned on.
7. Provide photometric plan based on the information collected in items 1 thru 6 above and provide lighting improvement recommendations. Recommendations should be based on utilizing fixtures equal or superior to the existing fixtures and complementary of the current aesthetic.



Note any light obstructions (fences, walls, etc): _____

Note any "other" adjacent property or municipal light fixtures in the area that may be contributing to the recorded measured readings (a.k.a. any fixtures not under control of this property, which if not operating, could negatively affect the recorded readings): _____

Note any specific Municipal requirements regarding Lighting: _____

Verified exterior lighting including Drive-thru canopy lights and site lighting turn on one half hour after sunset and off one half hour before sunrise: Yes No

❖ **Attachments**

- Include Municipal Denial of Fifth Third Lighting Specifications if Applicable.
- Other Lighting Requirements per Local Municipal Jurisdiction.
- Dimensioned Site plan, indicating light sources and obstacles.
- Digital Site Photos



FIFTH THIRD BANK

EXHIBIT A

STATE REGULATION REFERENCE



ATM & NIGHT DEPOSITORY LIGHTING DESIGN STANDARDS

Mandatory Minimum Security Standards Required by State Statutes

In order to ensure safety and convenience of consumers using ATM and Night Deposit facilities, numerous states and municipalities have passed laws mandating minimum standards for lighting, landscaping, visibility, and security reviews.

Currently, the only states that have enacted ATM lighting specifications are shown in the figure on the following page. ATM safety regulations, of which lighting regulations are a subset, are state-specific rather than federally mandated, and typically take precedent over local zoning ordinances.

Being the first states to pass such laws, the California and New York laws have become the model followed by other states.

The available recorded laws are as follows:

- California (Cal. Fin. Code § 13000-070)*
- New York (N.Y. Admin. Code § 10-160)*
- Nevada (Nev. Rev. Stat. Ann. §§ 660.115–.235)*
- Washington (Wash. Rev. Code Ann. § 19.174)*
- Oregon (Or. Rev. Stat. § 714.280–.315)*
- Georgia (Ga. Code. Ann. §§ 7-8-1 to 8-8)*
- Maryland (Md. Code Ann., Fin. Inst. § 1207)*
- Florida (Fla. Stat. Ann. §§ 655.960–.965)*

	ATM & Night Deposit Minimum Foot-candles within 5' (See Note #1)	ATM & Night Deposit Minimum Foot-candles within 50' (See Note #2)	Additional Requirements (See Note #3)
California	10	2	✓
Florida	10	2	
Georgia	10	2	✓
Illinois	10	2	
Maryland	10	2	✓
Nevada	10	2	✓
New Jersey	10	2	
New York	10	2	✓
Oregon	10	2	✓
Texas	10	2	✓
Washington	10	2*	✓
Baseline	10	2	✓

States with Minimum ATM Lighting Standards

- (1) There shall be a minimum of 10 foot-candles at the face of the ATM or night deposit Unit and extending in an unobstructed direction outward 5 feet.
- (2) There shall be a minimum of 2 foot-candles within 50 feet in all unobstructed directions from the face of the ATM or night deposit Unit.
*There shall be a minimum of 2 foot-candles within 60 feet in all unobstructed directions from the face of the ATM or night deposit Unit.
- (3) If the ATM or night deposit Unit is located within 10 feet of the corner of a building and is generally accessible from the adjacent side, 2 foot-candles along the first 40 unobstructed feet of the adjacent side of the building.

EXHIBIT B **FOOT-CANDLE MEASUREMENT GRID**

