



**PLANNING COMMISSION
MEETING AGENDA
SPECIAL/STUDY MEETING**

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
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planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

June 25, 2013

7:00 P.M.

Council Board Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – June 11, 2013 Regular Meeting
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT
7. PLANNING AND ZONING REPORT

SITE CONDOMINIUM DEVELOPMENT

8. PRELIMINARY SITE PLAN REVIEW – Proposed Cedar Pines Woods Site Condominium, 8 units/lots, East side of Crooks, South of Benjamin (6622 Crooks), Section 4, Currently Zoned R-1B (One Family Residential) District

STUDY ITEMS

9. BIG BEAVER KILMER PLANNED UNIT DEVELOPMENT (File Number PUD 010) – Proposed Revisions to Residential Portion
10. ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 245) – Sober Living Facilities
11. PUBLIC COMMENT – Items on Current Agenda
12. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Tagle called the Regular meeting of the Troy City Planning Commission to order at 7:00 p.m. on June 11, 2013 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Edward Kempen
Tom Krent (exited at 8:00 p.m.)
Philip Sanzica
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Absent:

Michael W. Hutson

Also Present:

R. Brent Savidant, Planning Director
Lori Grigg Bluhm, City Attorney
Ben Carlisle, Carlisle/Wortman Associates, Inc.
Ryan Dinius, Carlisle/Wortman Associates, Inc.
Frank Boudon, Student Representative
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2013-06-043

Moved by: Schultz
Seconded by: Strat

RESOLVED, To approve the Agenda as prepared.

Yes: All present (8)
Absent: Hutson

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2013-06-044

Moved by: Edmunds
Seconded by: Krent

RESOLVED, To approve the minutes of the May 28, 2013 Special/Study meeting as published.

Yes: All present (8)
Absent: Hutson

MOTION CARRIED

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

POSTPONED ITEMS

5. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 401) – Proposed Midwest Industrial Metals Inc., 2222 Stephenson Highway, Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle reviewed revisions to the site plan and specifically addressed the Code Enforcement report and proposed screening. Mr. Carlisle finds the proposed screening to be sufficient. He noted that because it is a Special Use application, the Board may require additional screening if it determines there is an additional need to protect public health, safety and welfare. Mr. Carlisle recommended that the Board grant approval of the Special Use and Preliminary Site Plan application with a condition that the east elevation door(s) remain closed except for access.

Robert Stefani, representative of the applicant, and the applicant, Mark Hewines, were present. Mr. Stefani stated the applicant has made a great effort to bring the site into compliance. He confirmed that the back lot would be paved within 21-30 days.

Mr. Savidant confirmed he forwarded to the Board the email message sent by Mr. Stefani regarding the lot paving.

Chair Tagle opened the floor for public comment.

Marvin Reinhardt, 1281 Dorre, Troy, addressed concerns with noise, traffic and air quality.

Mike Damman of A. J. Damman Company, 1180 E. Big Beaver, Troy, agreed there have been improvements to the site. He asked if approval could be subject to the completion of the asphalt and repair of the fence.

Chair Tagle closed the floor for public comment.

Mr. Savidant said there is no need to condition approval on the asphalt paving because it is noted on the site plan and compliance to the site plan is required prior to the issuance of any permits.

Members Schultz and Edmunds indicated their preference to require a masonry wall on a portion of the south wall.

Resolution # PC-2013-06-045

Moved by: Krent

Seconded by: Strat

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Midwest Industrial Metals Inc., 2222 Stephenson Highway, Section 26, currently Zoned IB (Integrated Industrial and Business) District, be granted, subject to the following conditions:

1. East elevation doors to remain closed except for access purposes.

Yes: Kempen, Krent, Sanzica, Schepke, Strat, Tagle

No: Edwards, Schultz

Absent: Hutson

MOTION CARRIED

6. **SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 404) – Proposed United Ventures II LLC, West of John R, North of Maple (1861 Birchwood), Section 26, Currently Zoned IB (Integrated Industrial and Business) District**

Mr. Carlisle reviewed the revised plans and reported the City’s Traffic Consultant continues to find the site to be compromised in terms of circulation and maneuverability of trucks, and cited no specific number of vehicles or parking spaces that would be acceptable. Based on those findings and that of the City’s Traffic Engineer, Mr. Carlisle recommended that the Board postpone the application to provide the applicant time to resubmit a site plan and other associated plans which reduce the proposed number of vehicles to be stored on site.

Further, Mr. Carlisle brought attention to the notation on the site plan of a portable toilet located in the northeast corner of the parcel. He indicated the applicant is open to the Board’s recommendation if a portable toilet would be required on site.

There was discussion on:

- Potential future users.
- Reduction of parking spaces.
- Monitoring site for site plan compliance and code violations.
- Purview of Planning Commission to require a portable toilet.

The petitioner, John Wernis, and project engineer, Nathan Robinson of Horizon Engineering, were present. The gentlemen addressed the ratio of employee parking to work vehicles, shuttle transportation of employees to the site, staggering crew work times and maneuverability plans.

Chair Tagle opened the floor for public comment.

There was no one present who wished to speak.

Chair Tagle closed the floor for public comment.

Resolution # PC-2013-06-046

Moved by: Edmunds

Seconded by: Strat

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed United Ventures II LLC, West of John R, North of Maple (1861 Birchwood), Section 26, currently Zoned IB (Integrated Industrial and Business) District, be granted, subject to the following conditions:

1. A maximum of eight (8) work vehicles (truck/trailer combination) and a minimum of sixteen (16) parking spaces.
2. Provide a portable toilet as noted on the site plan, and service and maintenance of same.

Yes: All present (8)

Absent: Hutson

MOTION CARRIED

7. **SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 407) – Proposed 1-800 Mini Storage, East side of Rochester, South of Wattles (3846 Rochester), Section 23, Currently Zoned GB (General Business) District**

Mr. Carlisle gave a report on the revised site plan. He specifically addressed the proposed landscaping and angle and massing studies provided by the applicant. Mr. Carlisle said the applicant addressed concerns with respect to the impact on single family residential and the compatibility on Rochester Road. He said the site plan meets all the requirements of the Zoning Ordinance. Mr. Carlisle recommended that the Board grant approval of the Preliminary Site Plan and Special Use application.

[Tom Krent exited meeting at 8:00 p.m.]

The petitioner, Ed Hersch, and project architect, Joe Guido, were present.

Chair Tagle opened the floor for public comment.

The following persons spoke in opposition of the application.

- William Jenuwine, 1274 Tennyson, Troy (circulated photograph representative of 5-story building height in relation to single family home)
- John Robertson, 3705 Hawthorne, Troy (questioned distribution of public comment at Public Hearing and minutes of Public Hearing meeting)
- Kimberly Flaig, 1219 Judy, Troy (circulated photographs of existing buildings on Rochester, proposed building height in relation to height of existing flag pole)
- Mark Dziadosz, 3819 Hawthorne, Troy
- Mark Jones, 3771 Hawthorne, Troy
- David Gottschack, 1205 Judy Drive, Troy
- Dave Hummi, 3803 Hawthorne, Troy
- Bill Touissen, 1289 Judy, Troy
- Janice Hummi, 3803 Hawthorne, Troy
- Susan DiMare-Smith, 1340 Burns, Troy
- Krishna Chellemella, 3787 Hawthorne, Troy
- Joni DiMare, 1205 Judy, Troy
- Susan Brown, 1261 Judy, Troy

Concerns expressed related to:

- Height of building as relates to residential surroundings
- Effect on property values
- Outdoor storage
- Shadowing effect
- Traffic
- Landscaping/screening
- Public notification of Zoning Ordinance to allow 5-story buildings
- Lighting
- Existing vacant buildings; potential for vacant building in future
- Setting a precedent for 5-story buildings
- Site Plan approval and Code Enforcement
- Parking on site

Mr. Carlisle stated that outdoor storage is not a part of this application in front of the Board this evening and would require a separate Special Use approval. He said with the exception of twelve exterior storage units, all storage units are accessed internally, minimizing the impact of traffic and parking on site.

Mr. Savidant assured all public comment is provided to Board members and he would specifically address receipt and distribution of any public comment upon request. Mr. Savidant announced that additional signatures to the petition in opposition that was submitted at the May 14, 2013 Public Hearing were presented to the Board this evening prior to the beginning of the meeting.

Mr. Carlisle confirmed the photometric plan meets all requirements of the Zoning Ordinance and the plan was display for public view during the meeting.

Mr. Savidant addressed the procedures for Site Plan approval and code enforcement.

Ms. Bluhm clarified that City administration is responsible for code enforcement and the Planning Commission and the City Council are separate from City administration.

Chair Tagle closed the floor for public comment.

Chair Tagle requested a recess at 8:54 p.m. The meeting reconvened at 9:00 p.m.

Chair Tagle and other Board members expressed empathy toward the concerns expressed by the residents this evening and at the Public Hearing on May 14. It was declared that the application meets all requirements of the Zoning Ordinance and the City would be subject to litigation should the application be denied.

The residents were informed that many hours by the Planning Commission, City Council, administration, consultants, developers and residents were put into the writing of the Master Plan and Zoning Ordinance, and appropriate legal notification was given to the public on the adoption of both documents.

Member Schultz asked if the Board could require the applicant to step down the height of the building as a condition to site plan approval.

Ms. Bluhm replied the Board would have to find a special consideration to apply that condition to its approval.

When asked by the Board, the applicant replied it would not be economically feasible to lower the height of the building from the proposed five stories.

Resolution # PC-2013-06-047

Moved by: Schultz

Seconded by: Strat

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed 1-800 Mini Storage, East side of Rochester, South of Wattles (3846 Rochester), Section 23, Currently Zoned GB (General Business) District, be granted.

Yes: All present (7)

Absent: Hutson, Krent

MOTION CARRIED

8. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 406) – Proposed McDonald’s Restaurant, West side of Dequindre, South of Big Beaver (36895 Dequindre), Section 25, Currently Zoned NN “B” (Neighborhood Node “B”)

Mr. Carlisle gave a report on the revised site plan. He said the applicant has addressed all concerns expressed by the Board, and it is his recommendation to grant Preliminary Site Plan approval and Special Use approval with the condition to resubmit a photometric plan that is in compliance with the Zoning Ordinance.

The petitioner and project architect, Frank Martin, was present. Mr. Martin said he would provide a photometric plan that complies with the Zoning Ordinance.

Chair Tagle opened the floor for public comment.

There was no one present who wished to speak.

Chair Tagle closed the floor for public comment.

Resolution # PC-2013-06-048

Moved by: Edmunds

Seconded by: Schultz

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed McDonald’s Restaurant improvements, West side of Dequindre, South of Big Beaver (36895 Dequindre), Section 25, Currently Zoned NN “B” (Neighborhood Node “B”), be granted, subject to the following condition:

1. Resubmit a photometric plan which complies with Article 13 of the Ordinance.

Yes: All present (7)

Absent: Hutson, Krent

MOTION CARRIED

SPECIAL USE AND REQUEST AND PRELIMINARY SITE PLAN REVIEW

9. PUBLIC HEARING – SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 408) – Proposed Modern Kitchen/Bath-Tabak Stone, West side of John R, South of Big Beaver (2701-2703 John R), Section 26, Currently Zoned IB (Integrated Industrial and Business) District

Mr. Carlisle introduced Ryan Dinius, planning intern for Carlisle/Wortman and Associates. Mr. Carlisle reviewed the reported prepared by Mr. Dinius, specifically noting that an 8-foot high concrete wall is proposed when the requirement is 6 feet. He asked the applicant to address this. Mr. Carlisle recommended that the Board grant approval of the Special Use and Preliminary Site Plan with a condition that the applicant submit a lighting photometric and fixtures plan at Final Site Plan approval.

Jim Butler of Professional Engineering Associates was present to represent the petitioner. He asked consideration to install a 6-foot concrete wall, noting that the applicant is amenable to either height.

PUBLIC HEARING OPENED

No one was present to speak.

PUBLIC HEARING CLOSED

Resolution # PC-2013-06-049

Moved by: Schultz
 Seconded by: Edmunds

RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Modern Kitchen/Bath-Tabak Stone outdoor storage, West side of John R, South of Big Beaver (2701-2703 John R), Section 26, currently Zoned IB (Integrated Industrial and Business) District, be granted, subject to the following conditions:

1. Submit lighting photometric and fixtures plan at Final Site Plan approval.
2. Install a six (6') foot concrete wall.

Yes: All present (7)
 Absent: Hutson, Krent

MOTION CARRIED

OTHER BUSINESS

10. **PUBLIC COMMENTS** – For Items on Current Agenda

There was no one present who wished to speak.

11. **PLANNING COMMISSION COMMENTS**

There were general Planning Commission comments.

The Regular meeting of the Planning Commission adjourned at 9:32 p.m.

Respectfully submitted,

John J. Tagle, Chair

Kathy L. Czarnecki, Recording Secretary

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DATE: June 20, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW – Proposed Cedar Pines Woods Site Condominium, 8 units/lots, East side of Crooks, South of Benjamin (6622 Crooks), Section 4, Currently Zoned R-1B (One Family Residential) District

The petitioner Trowbridge Companies submitted the above referenced Preliminary Site Plan Approval application for a 8-unit site condominium. The property is currently zoned R-1B (One Family Residential) District. The Planning Commission is responsible for granting Preliminary Site Plan Approval for site condominium applications.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/Cedar Pines Woods Site Condominium

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PROPOSED RESOLUTION

PRELIMINARY SITE PLAN REVIEW – Proposed Cedar Pines Woods Site Condominium, 8 units/lots, East side of Crooks, South of Benjamin (6622 Crooks), Section 4, Currently Zoned R-1B (One Family Residential) District

Resolution # PC-2013-06-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Cedar Pines Woods Site Condominium, 8 units/lots, East side of Crooks, South of Benjamin (6622 Crooks), Section 4, Currently Zoned R-1B (One Family Residential) District, be granted, subject to the following:

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED

Cedar Pines Woods Site Condo

City of Troy Planning Department



Legend:

420 0 210 420 Feet

Scale 1: 2,523

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 4/30/2013



Legend:

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

420 0 210 420Feet

Scale 1: 2,523



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: June 17, 2013

Preliminary Site Condominium Review For City of Troy, Michigan

| | |
|------------------------------|---|
| Applicant: | Bruce Michael |
| Project Name: | Cedar Pines |
| Plan Date: | June 4, 2013 |
| Location: | East side of Crooks Road south of South Boulevard (to be accessed from west side of Merrick Drive). |
| Zoning: | R1-B, One-family Residential District |
| Action Requested: | Preliminary Site Condominium Approval |
| Required Information: | Deficiencies noted. |

PROJECT AND SITE DESCRIPTION

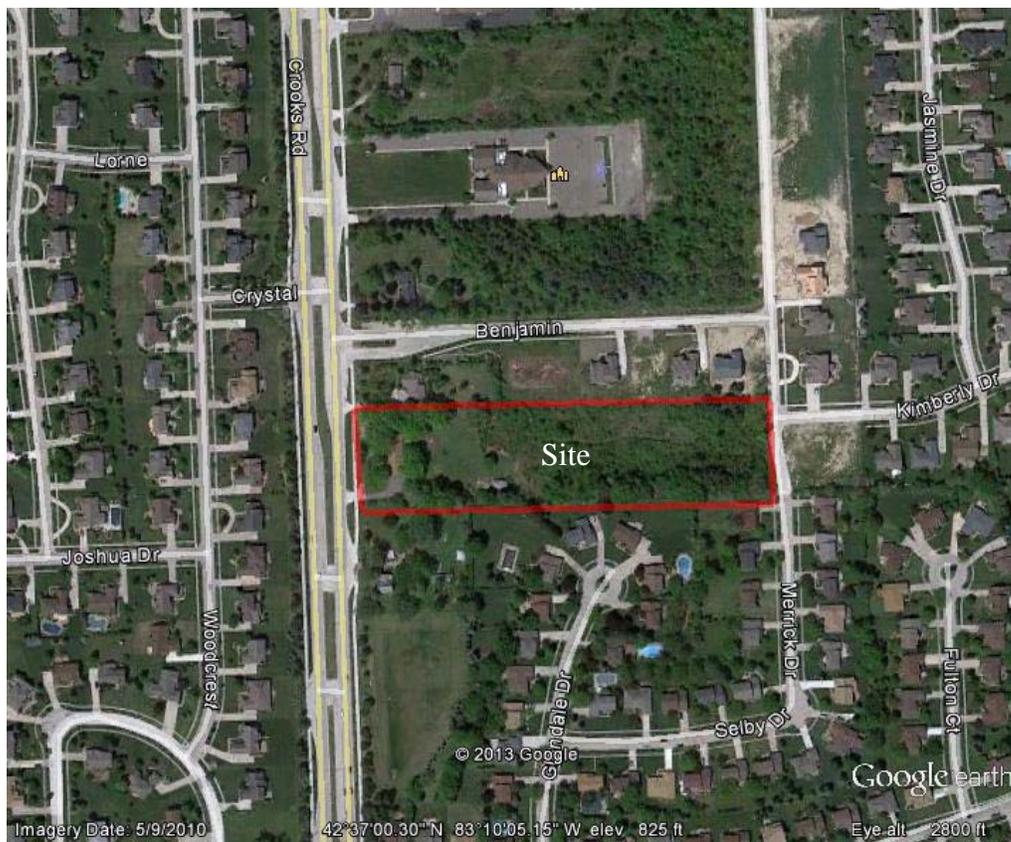
We are in receipt of a site condominium application which includes a site plan, landscape plan, topographic survey, tree preservation plan, and application forms. The 4.36 acre site includes one single family house.

The applicant is requesting approval of an eight (8) unit single family detached site condominium project. Seven (7) of the lots will be accessed of a newly created single accessed Kimberly Court cul-de-sac. Kimberly Court will be public. The existing house, which makes up lot 8, will maintain its access off Crooks Road.

Location of Subject Property:

East side of Crooks Road, south of South Boulevard

Location and Aerial Image of Subject Site



Size of Subject Property:

The parcel is 4.36 net acres in area.

Proposed Uses of Subject Parcel:

Eight (8) detached, single family homes.

Current Use of Subject Property:

The subject property currently has one (1) single family home which will be retained as Lot 8.

Current Zoning:

The property is currently zoned R-1B, One-family Residential District.

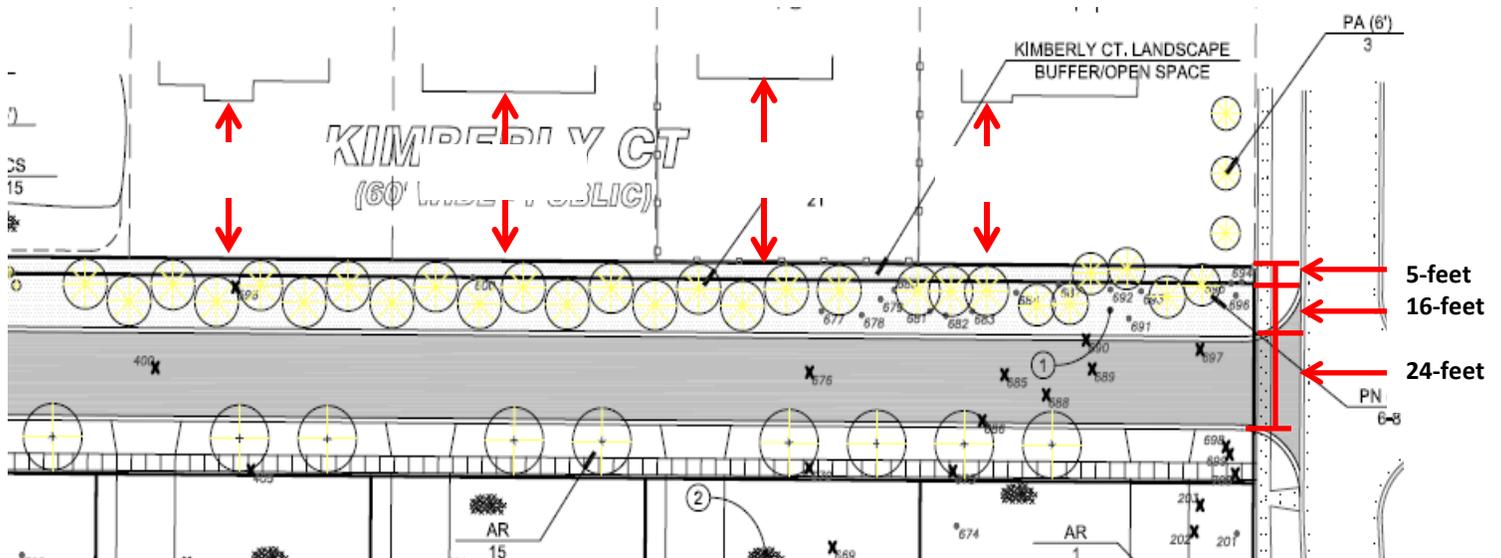
Surrounding Property Details:

| Direction | Zoning | Use |
|-----------|--|---------------------|
| North | R-1B, One-family Residential District. | Single-family homes |
| South | R-1B, One-family Residential District. | Single-family homes |
| East | R-1B, One-family Residential District | Single-family homes |
| West | R-1B, One-family Residential District. | Single-family homes |

SITE ARRANGEMENT

The proposed site condominium consists of 8-units. Lot 8, which is created to maintain the existing house on site, is approximately twice as large as the other seven (7) lots. The other seven (7) lots range in size between 13,500 square feet and 18,500 square feet.

Lots 1-7 are accessed off a single loaded cul-de-sac. The right-of-way to the created cul-de sac is five (5) feet from the rear property line of four (4) houses that front on Benjamin Drive. The edge of road pavement is approximately 21-feet from the rear property line of four (4) houses that front on Benjamin Drive. The applicant proposes to plant the 5-foot and 16-foot (21-feet total) buffer with twenty-seven evergreen trees.



Section 1.03 B. states that the purpose of the Ordinance is to “protect the character and stability of residential neighborhoods”. Furthermore, Section C states as a purpose the need to “regulate the intensity and form of land development to ensure compatibility among land uses and, where applicable, provide transition between land uses to reduce potential negative impacts.” The proposed site arrangement and location of the road in relation to the existing lots on Benjamin Drive creates numerous issues for Planning Commission consideration:

Landscape Buffer in ROW

The 5-foot wide landscape buffer along the Kimberly Court ROW and the northern property line is not wide enough to provide for significant screening. As a result, the applicant is proposing to plant within the City right-of-way in order to provide a landscape buffer for the adjacent Benjamin Road properties. Evergreen planting with the City right-of-way is not permitted. Due to the road location we understand the need to buffer; however the use of the City ROW as a buffer is not permissible. The buffer must be located on private property or within an easement. If the applicant were to relocate the road, the necessity for such significant buffering to adjacent properties would be negated.

Negative Impacts upon Adjacent Neighbors

The location of the road will have negative impacts upon the adjacent Benjamin Drive lots. Potential impacts upon include noise, emissions, privacy, and lights. The applicant has tried to address these negative impacts with screening. however issues with the buffer have been noted.

Placing a road adjacently behind existing homes is detrimental to the protection of existing residential properties. There was an expectation for the Benjamin Drive owners when they purchased their home in regards to the potential development of adjacent vacant lots. Though they may have considered the future development of homes and back yards adjacent to theirs, they would not have anticipated nor contemplated a public road. The property owners on Benjamin Drive unreasonably bear the impacts of the road for the seven (7) lots of the Cedar Pines Site Condo.

Lot 7 Maintenance Responsibility

The 5-foot strip between the right-of-way and the northern property line is part of Lot 7. The future owner of Lot 7 is responsible to maintain this 5-foot strip as well as the 16-foot wide area planted with the buffer trees. This area is approximately 550 feet x 21 feet = 11,500 sq/ft.

Lot 6 is Unbuildable.

The setbacks for Lot 6 were incorrectly determined. The applicant shows a side yard along the property line, when this is a rear setback. Based on current configuration, Lot 6 is unbuildable. The applicant will either need to remove Lot 6 or reconfigure the site plan.

Items to be Addressed: Consider site arrangement alternatives to address incompatibility with and negative impact upon adjacent properties.

SITE ARRANGEMENT ALTERNATIVES

The applicant has not shown any site arrangement alternatives that reduce impacts upon adjacent neighbors. Options for the applicant to consider are either the open space preservation option as set forth in section 10.03, or the cluster development option as set forth in section 10.04. The basic premise of either option is design flexibility for the preservation of open space. For this development the protected open space may be used as a buffer from adjacent properties.

Open Space Preservation Option

The Open Space Preservation Option is permitted for site condominium development for R1A and B zoned properties. This development option is intended to both preserve open space but also allow development flexibility and reduced development costs for difficult sites such as this. The objectives of the Open Space Preservation site development option align with the design flexibility needed to properly develop a difficult site such as this:

1. Provide a more desirable living environment by preserving the natural character of the property and open space for enjoyment by residents of the Open Space Preservation development.
2. Encourage developers to use a more creative approach in the development of residential areas.
3. Encourage a more efficient, aesthetic and desirable use of the land while recognizing a reduction in development costs and by allowing the developer to bypass natural obstacles.
4. Encourage the provision of open space so benefits may accrue directly to residents of the Open Space Preservation development and to further encourage the development of recreational facilities.
5. Ensure an Open Space Preservation development shall result in a recognizable and substantial benefit to residents of the property and to the overall quality of life in the City.

The basic perimeters of this development option are:

- Density is determined through underlying parallel plan.
- 20% open space protection. The area preserved as open space shall remain in a perpetually undeveloped state.
- Setback requirements at the perimeter of the development shall be equal to the existing underlying zoning. For this development it is 45-feet
- 25' front yard setback. If private road, the setback is from back of curb and the sidewalk may be included in setback.

Cluster Option

The Cluster Option is offered as an alternative to traditional residential development. The One-Family Cluster Option is intended to:

1. Encourage the use of property in accordance with its natural character.
2. Assure the permanent preservation of open space and other natural features.

3. Provide recreational facilities and/or open space within a reasonable distance of all residents of the One-Family Cluster development.
4. Allow innovation and greater flexibility in the design of residential developments.
5. Facilitate the construction and maintenance of streets, utilities and public services in a more economical and efficient manner.
6. Ensure compatibility of design and use between neighboring property.
7. Encourage a less sprawling form of development, thus preserving open space as undeveloped land.

The basic parameters of this development option are:

- Density is determined through underlying parallel plan.
- 30% open space protection.
- Density bonus option if the applicant were to preserve 50% open space.
- Setback requirements at the perimeter of the development shall be equal to the existing underlying zoning. For this development it is 45-feet
- 20' front yard setback. If private road, the setback is from back of curb and the sidewalk may be included in setback.

For either the open space preservation or cluster development option, the applicant should consider developing this site with a 40-foot wide private road easement rather than a 60-foot public road right-of-way. Reducing the area of the road would allow the applicant to reconfigure the road location to provide additional buffer on both the north and southern property line.

Reduce Number of Lots

The applicant may need to reduce the number of lots to three or four. Two lots can front onto Merrick Drive and the existing house may remain as one lot or be demolished and split into two lots. This would eliminate the need to build a road.

Items to be Addressed: 1). Consider site arrangement alternatives; and 2). Consider development via private road easement.

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Table 4.06.C establishes the requirements for the R-1B District. The requirements and the proposed dimensions are as follows:

| | <u>Required:</u> | <u>Provided:</u> | <u>Compliance:</u> |
|---------------------------------------|--|--|---------------------------------|
| Front | 40 foot setback | 40 foot setback | Complies |
| Rear | 45 foot setback | Lot Six has 15 foot setback | Lot Six does not comply. |
| Side | 10 foot minimum for least side setback, 25 foot minimum combined setback | 10 foot, 25 foot combined | Complies |
| Lot Size per Unit* | 15,000 square feet (for projects with sewer) | 13,574 square feet is the smallest as indicated by applicant; however the setbacks for Lot Six were incorrectly determined. Based on revised setbacks, Lot Six does not comply. | Does not Comply |
| Maximum Height | 30 feet, 2.5 story | Not identified | Not enough information |
| Lot Width* | 100 feet | 94 feet smallest, 122 feet average | Complies |
| Maximum Lot Area Covered by Buildings | 30 percent | Not identified | Not enough information |
| Minimum Floor Area per Unit | 1,400 square feet | + 3,000 square feet | Complies |

*The lot size average option has been applied.

Items to be addressed: 1). Reconfigure lot six building or reconfigure site plan; and 2). Identify maximum lot coverage

NATURAL RESOURCES

Topography – A topographic map is provided. The site slopes upward slightly towards the east. A small basin is located on the southern portion of the site near the existing accessory structure.

Woodlands – The topographic plan and aerial images indicate heavily wooded areas on the central and western portions of the site. The applicant intends to create a tree protection area adjacent to the southern edge of the site. Several trees are slated for removal to accommodate the development. The

applicant has indicated the clearing of ten trees in the northwest corner, however, of which does not appear to be necessary for development of the site. The applicant should indicate why these trees are to be removed or attempt to preserve them.

Wetlands - According to the National Wetlands Inventory map for the area, the subject site does not contain wetlands.

Items to be Addressed: Provide justification for tree removal near northwest corner of site.

SITE ACCESS AND CIRCULATION

Vehicular

Access to the site will be from Merrick Drive with a 600 foot long cul-de-sac. We have indicated our concern regarding the compatibility of the proposed road.

Pedestrian

A five (5) foot sidewalk will be provided on the southern side of Kimberly Court. Based on the current site arrangement the provision of a sidewalk along the north side of the Kimberly Court is not advisable due to landscape screening. The applicant has shown a sidewalk along Merrick Drive.

Items to be Addressed: None

STORMWATER

The applicant proposes to expand the existing retention pond in the Cedar Pines Estates (northern side of proposed Kimberly Court). The detention pond expansion is close to the southern property line. The City Engineer notes that additional details need to be provided to determine if detention pond expansion is possible. If detention pond expansion is not possible, stormwater will be maintained on site and thus site arrangement will be affected.

Items to be Addressed: Work with the Engineering Department to determine if detention pond expansion is possible.

LANDSCAPING

Site condominium and subdivision landscaping are regulated by Section 13.02.F.2.

| | Required | Provided | Compliance |
|-------------------------|---|-----------------------------|------------------------------------|
| Crooks Road Frontage | One large evergreen tree for every 50 lineal feet. 210 Feet = 4 trees | 9 trees (5 new, 4 existing) | Complies |
| Merrick Drive Frontage | One tree for every 50 lineal feet. 210 Feet = 4 trees | 8 trees (1 new, 7 existing) | Complies |
| Kimberly Court Frontage | One tree for every 50 lineal feet. 1250 feet = 25 trees | 45 new trees | Includes Evergreen Tree Screening. |

Kimberly Court frontage includes proposed evergreen tree screening. As noted above, the proposed landscaping must be modified. The applicant will be required to amend landscape plan accordingly.

Items to be Addressed: Amend landscape plan based on site plan changes.

RECOMMENDATIONS

The proposed site condominium project is neither consistent nor compatible with other developments in the community, and more importantly adjacent properties. The applicant has provided a site plan layout that creates negative impacts upon adjacent properties. The proposed development does not meet the general purpose of the Zoning Ordinance or the intent of the Site Condominium section of the ordinance.

We recommend that the applicant consider site arrangement alternatives that reduce impacts upon adjacent neighbors.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

cc:

BENJAMIN ROAD
(60' WIDE)

CEDAR PINES ESTATES

KIMBERLY CT
(60' WIDE - PUBLIC)

KIMBERLY DR
(60' WIDE)

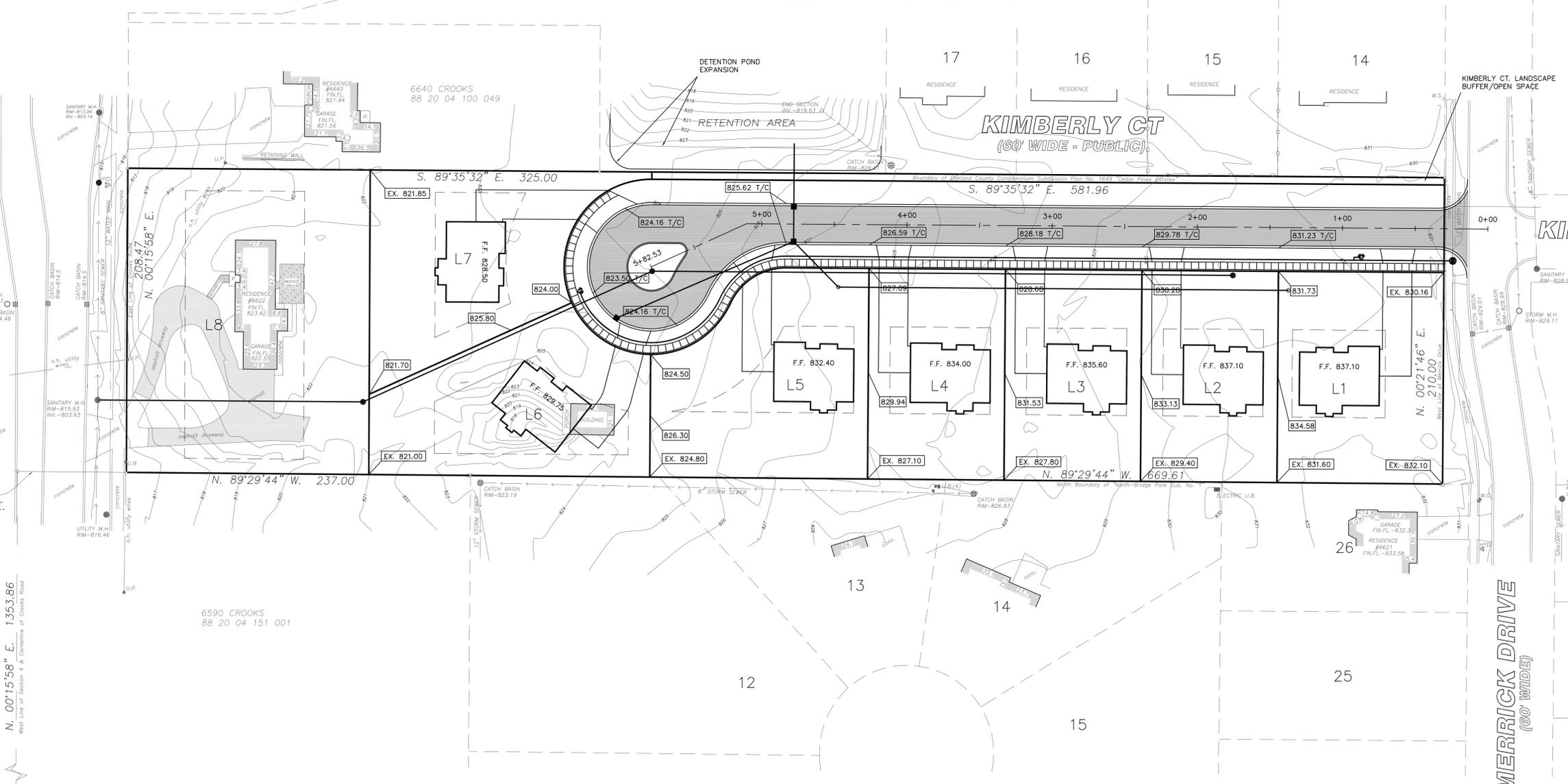
MERRICK DRIVE
(60' WIDE)

NORTH-BRIDGE PARK SUB. NO. 1

CROOKS ROAD
(150' WIDE)

11
12
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| ISSUE NO. | DATE ISSUED | DESCRIPTION |
|-----------|-------------|------------------------------|
| 1 | 4/17/2013 | PRELIMINARY SITE PLAN REVIEW |
| 2 | 6/2/2013 | REVISED PER CITY REVIEW |

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CEDAR PINES WOODS
PRELIMINARY SITE PLAN
CITY OF TROY
OAKLAND COUNTY, MICHIGAN
PRELIMINARY GRADING PLAN

PROJECT NUMBER
12140

SHEET NUMBER
C-2

SCALE: 1" = 40'

- LEGEND:**
- C.B. - CATCH BASIN
 - M.H. - MANHOLE
 - C.O. - CLEAN OUT
 - CONC. - CONCRETE
 - E.S. - END SECTION
 - F.P. - FLAG POLE
 - O.H. - OVERHEAD
 - U.G. - UNDERGROUND
 - HYD. - HYDRANT
 - GEN. - GENERATOR
 - TRANS. - TRANSFORMER
 - U.B. - UTILITY BOX
 - L.P. - LIGHT POLE
 - U.P. - UTILITY POLE
 - B.P. - BOLLARD POST
 - W.G. - WATER GATE
 - W.S. - WATER STOP
 - W.V. - WATER VALVE
 - LINE BREAK
 - ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - LIGHT POLE
 - UTILITY POLE
 - SIGN
 - FIP - FOUND IRON PIPE
 - FSB - FOUND STEEL BAR
 - SSB - SET STEEL BAR
 - SRC - SET RIVET IN CONCRETE
 - 1 ACRE - 43,560 SQUARE FEET
 - R - RECORDED
 - M - MEASURED
 - C - CALCULATED

- LEGEND**
- 000.00 = EXISTING ELEV.
 - 000.00 = PROPOSED ELEV.

Soils:
Capac sandy loam (11B), 0 to 4% and
Marlette sandy loam (10B), 1 to 6%

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BENJAMIN ROAD
(60' WIDE)

Landscape Notes

- Developer will attempt to save trees 684, 687, 692, and 693 adjacent to Cedar Pines Estates - Lot 14. If these trees can be saved, then 6 to 8 - 10' high black pines or spruces shall be planted in the location shown.
- In the event that said existing trees can't be saved, then 6 - 15' high spruces or black pines will be planted in the location shown.
- Dead and diseased trees will be removed.

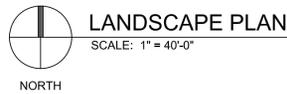
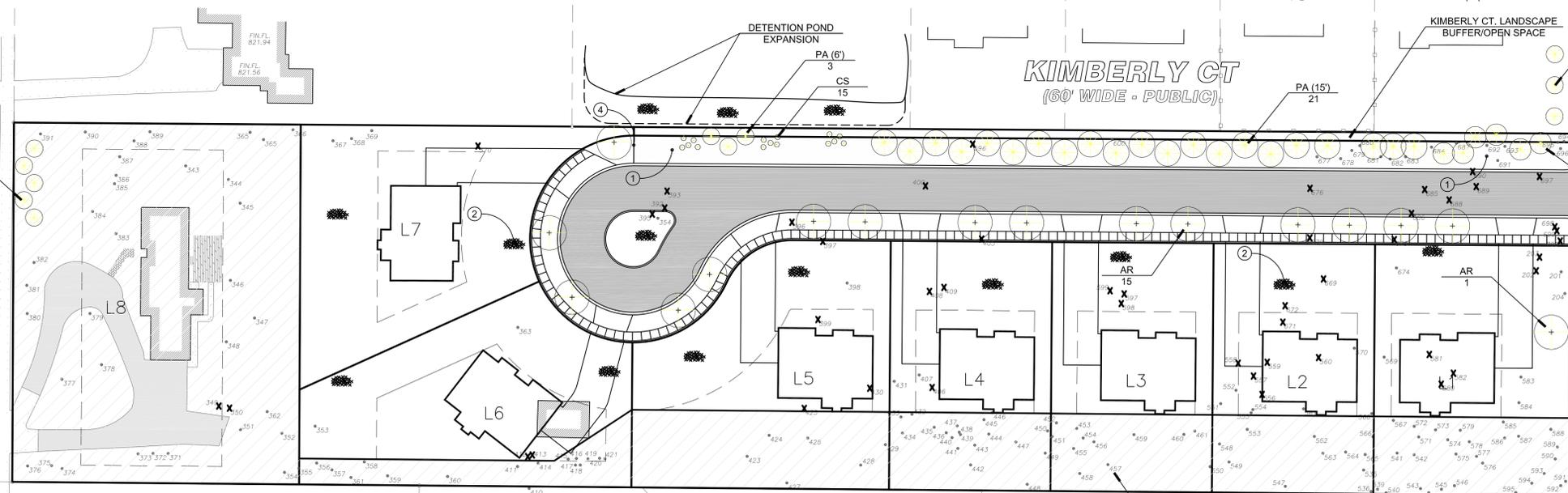
CEDAR PINES ESTATES

KIMBERLY CT
(60' WIDE - PUBLIC)

KIMBERLY DR
(60' WIDE)

CROOKS ROAD
(150' WIDE)

CEDAR PINES ESTATES



Site Data

CROOKS ROAD FRONTAGE (208 FEET)
1 LARGE EVERGREEN PER 10 FEET (21 TOTAL)
(RIGHT OF WAY / BUFFER ZONE)

MERRICK DRIVE FRONTAGE (150 FEET)
1 LARGE DECIDUOUS TREE PER 50 FEET (3 TOTAL)
(EXISTING TREES PRESERVED, 1 PROVIDED)

KIMBERLY COURT (NORTH) FRONTAGE (577 FT)
1 LARGE DECIDUOUS TREE PER 50 FEET (12 TOTAL)
(USED EVERGREENS AND SHRUBS FOR SCREENING)

KIMBERLY COURT (SOUTH) FRONTAGE (728 FT)
1 LARGE DECIDUOUS TREE PER 50 FEET (15 TOTAL)

Note Key

- 6" DEPTH SHREDDED BARK MULCH AND LANDSCAPE FABRIC/WEED BARRIER IN PLANTING BEDS, TYP.
- SODDED LAWN ON 3" DEPTH TOPSOIL, TYP.
- SEEDED LAWN ON 3" DEPTH TOPSOIL, TYP.
- STEEL EDGING BETWEEN LAWN AND LANDSCAPE BED.
- TREE TO BE REMOVED

General Notes

Conform to size and description set forth in the current edition of 'American Standard for Nursery Stock' sponsored by the American Association of Nurserymen, Inc., and approved by the American National Standards Institute, Inc.

Be true to name in conformance to 'Standardized Plant Names' Second Edition, American Joint Committee on Horticulture Nomenclature, 1942.

Be typical of their species or variety, have normal habit of growth, well-branched and densely foliated when in leaf.

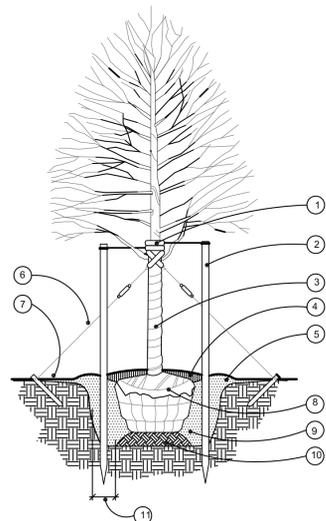
Be of sound health and vigorous appearance, free from disease, insect pests, eggs or larvae and shall have healthy, well developed root systems.

Be freshly dug and nursery grown.

Be chosen according to soil, climatic conditions and environmental factors for the purpose of development.

NOTES:

- 1/2" DIA. BLACK RUBBER HOSE W/ GUY CABLE (2) # 11 GALV. WIRE (3 PER TREE) W/ GALV. TURNBUCKLE
- 2" x 2" HARDWOOD STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED SOIL
- TREE WRAP
- SHREDDED BARK MULCH 3" DEPTH (6" DIA.)
- 6" TOPSOIL SAUCER
- GUYS AT 60° ANGLE
- FIN. GRADE SLOPED AWAY FROM TREE
- REMOVE BURLAP & CUT TWINE FROM TOP 1/3 OF BALL
- PLANT MIX
- SCARIFY SOIL TO 4" DEPTH AND RECOMPACT
- 12" MIN. BETWEEN ROOTBALL AND EDGE OF PLANT PIT

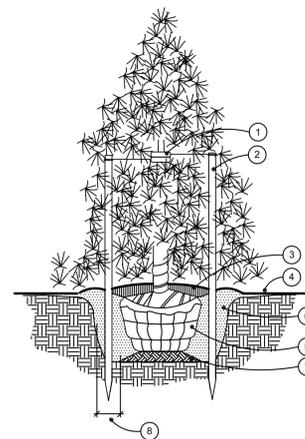


DECIDUOUS TREE PLANTING DETAIL

N.T.S.

NOTES:

- STAKE ALL EVERGREEN TREES UNDER 12' HIGH
- GUY ALL EVERGREEN TREES 12' HIGH AND OVER
- NEVER CUT CENTRAL LEADER
- PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES
- SET STAKES VERTICAL AND EVENLY SPACED
- 1/2" DIA. BLACK RUBBER HOSE W/ GUY CABLE (2) # 11 GALV. WIRE (3 PER TREE) W/ GALV. TURNBUCKLE
- 2" x 2" HARDWOOD STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED SOIL
- SHREDDED BARK MULCH 3" DEPTH (6" DIA.), CONNECT BEDS WHERE POSSIBLE
- FIN. GRADE SLOPED AWAY FROM TREE
- SLIT BURLAP AND LEAVE TIED
- PLANT MIX
- SCARIFY TO 4" DEPTH & RECOMPACT
- 12" MIN. BETWEEN ROOTBALL AND EDGE OF PLANT PIT.



EVERGREEN TREE PLANTING DETAIL

N.T.S.

Plant List:

| CODE | QTY. | MATERIAL & SIZE | COMMENTS |
|----------|------|---|---|
| AR | 16 | Acer r. 'Red Sunset' Red Sunset Maple, 2.5" cal. | B&B, single straight trunk |
| CS | 15 | Cornus sericea Red Osier Dogwood, 3 gal./30" ht. | Plant 5'-0" o.c. |
| PA (6') | 11 | Picea abies Norway Spruce, 6' ht. | B&B, branched full to ground, unshaded |
| PA (15') | 21 | Picea abies Norway Spruce, 15' ht. | Spaded, branched full to ground, unshaded |
| PN (10') | 6-8 | Pinus nigra European Black Pine, 10' ht. | Spaded, branched full to ground, unshaded |

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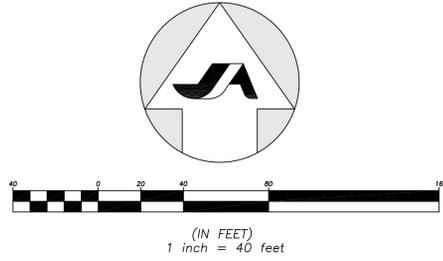
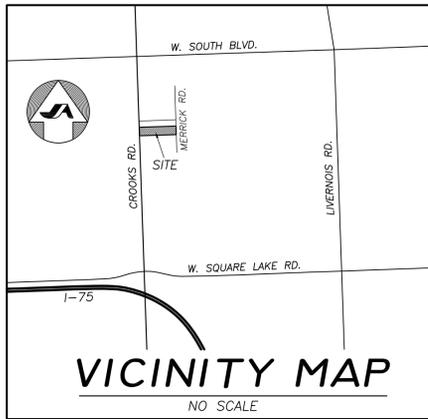
| ISSUE NO. | DATE ISSUED | DESCRIPTION |
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| 1 | 4/17/2013 | PRELIMINARY SITE PLAN REVIEW |
| 2 | 6/7/2013 | REVISED PER CITY REVIEW |

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**CEDAR PINES WOODS
PRELIMINARY SITE PLAN
CITY OF TROY
OAKLAND COUNTY, MICHIGAN
PRELIMINARY LANDSCAPE AND
TREE PRESERVATION PLAN**

PROJECT NUMBER
12140

SHEET NUMBER
C-3



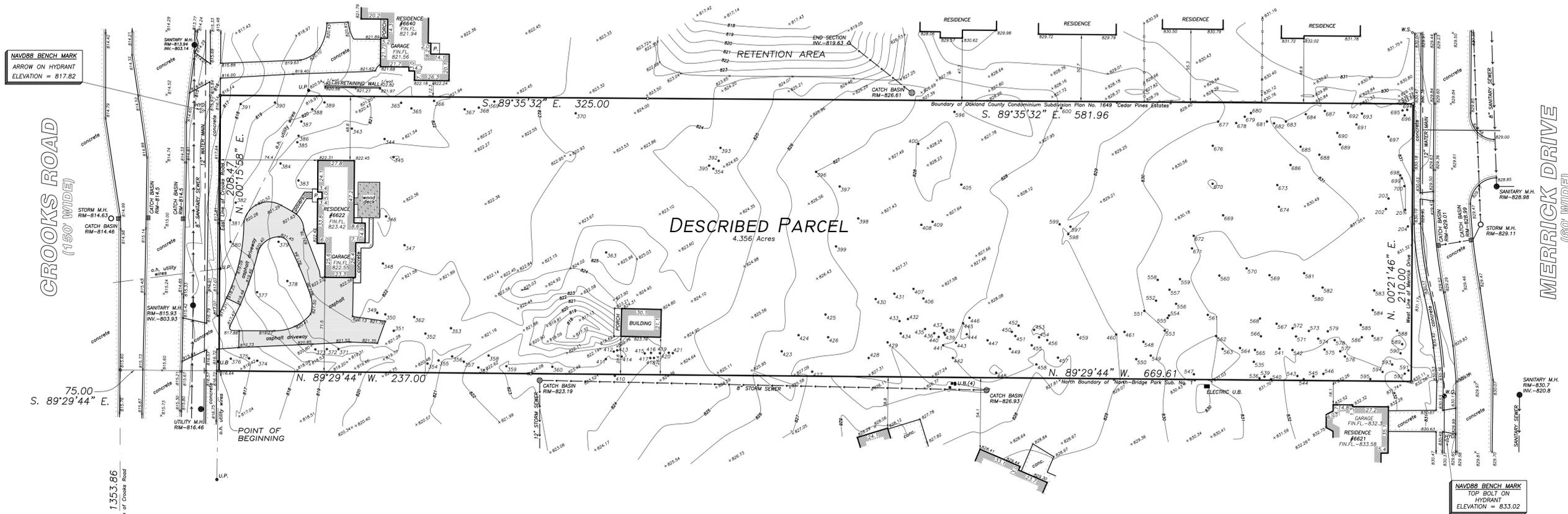
LEGAL DESCRIPTION

Part of the Northwest Quarter of Section 4, Town 2 North, Range 11 East, City of Troy, Oakland County, Michigan, described as: Commencing at the West Quarter Corner of Section 4; thence along the West Line of Section 4 and the Centerline of Crooks Road, North 00°15'58" East 1353.86 feet; thence South 89°29'44" East 75.00 feet to the Point of Beginning; thence along the East Line of Crooks Road, North 00°15'58" East 208.47 feet; thence South 89°35'32" East 325.00 feet; thence along the boundary of Oakland County Condominium Subdivision Plan No. 1649 "Cedar Pines Estates" South 89°35'32" East 581.96 feet; thence along the West Line of Merrick Drive, South 00°21'46" West 210.00 feet; thence along the North Boundary of "North-Bridge Park Sub. No. 1" as recorded in Liber 152 of Plats, Pages 39, 40, and 41, Oakland County Records, North 89°29'44" West 669.61 feet; thence continuing North 89°29'44" West 237.00 feet to the Point of Beginning. Contains 4.356 Acres. Subject to Easements and Restrictions of record.



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NAVD88 BENCH MARK
ARROW ON HYDRANT
ELEVATION = 817.82

NAVD88 BENCH MARK
TOP BOLT ON
HYDRANT
ELEVATION = 833.02

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LEGEND:

| | |
|----------------------|-----------------------------|
| C.B. - CATCH BASIN | — LINE BREAK |
| M.H. - MANHOLE | — ASPHALT PAVEMENT |
| C.O. - CLEAN OUT | — CONCRETE PAVEMENT |
| CONC. - CONCRETE | — LIGHT POLE |
| E.S. - END SECTION | — UTILITY POLE |
| F.P. - FLAG POLE | — SIGN |
| O.H. - OVERHEAD | FIP - FOUND IRON PIPE |
| U.G. - UNDERGROUND | FSB - FOUND STEEL BAR |
| HYD. - HYDRANT | SSB - SET STEEL BAR |
| GEN. - GENERATOR | SRC - SET RIVET IN CONCRETE |
| TRANS. - TRANSFORMER | 1 ACRE - 43,560 SQUARE FEET |
| U.B. - UTILITY BOX | R - RECORDED |
| L.P. - LIGHT POLE | M - MEASURED |
| U.P. - UTILITY POLE | C - CALCULATED |
| B.P. - BOLLARD POST | |
| W.G. - WATER GATE | |
| W.S. - WATER STOP | |
| W.V. - WATER VALVE | |

| ISSUE NO. | DATE ISSUED | DESCRIPTION |
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| 2 | 6/7/2013 | REVISED PER CITY REVIEW |

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**CEDAR PINES WOODS
PRELIMINARY SITE PLAN
CITY OF TROY
OAKLAND COUNTY, MICHIGAN
TOPOGRAPHIC SURVEY**

PROJECT NUMBER
12140

SHEET NUMBER
C-4



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**CEDAR PINES WOODS
PRELIMINARY SITE PLAN
CITY OF TROY
OAKLAND COUNTY, MICHIGAN**

TREE LISTING

PROJECT NUMBER
12140

SHEET NUMBER
C-5

| TAG# | SIZE | COMMON NAME | LATIN NAME |
|------|------|-----------------|------------------|
| 201 | 15" | HICKORY | CARYA OVATA |
| 202 | 7 | PINE | PINUS |
| 203 | 5 | WHITE PINE | PINUS STROBUS |
| 204 | 6 | CHERRY | PRUNUS SEROTINA |
| 343 | 19 | RED OAK | QUERCUS RUBRA |
| 344 | 10 | MAPLE | ACER |
| 345 | 30 | RED OAK | QUERCUS RUBRA |
| 346 | 27 | BLACK WALNUT | JUGLANS NIGRA |
| 347 | 15 | MAPLE | ACER |
| 348 | 26 | RED OAK | QUERCUS RUBRA |
| 349 | 18 | MAPLE | ACER |
| 350 | 14 | WHITE PINE | PINUS STROBUS |
| 351 | 12 | WHITE PINE | PINUS STROBUS |
| 352 | 15 | WHITE PINE | PINUS STROBUS |
| 353 | 18 | WHITE PINE | PINUS STROBUS |
| 354 | 21 | RED OAK | QUERCUS RUBRA |
| 355 | 14 | MAPLE | ACER |
| 356 | 15 | RED OAK | QUERCUS RUBRA |
| 357 | 20 | RED OAK | QUERCUS RUBRA |
| 358 | 16 | MAPLE | ACER |
| 359 | 20 | CHINESE ELM | ULMUS PARVIFOLIA |
| 360 | 7 | TWIN APPLE | MALUS |
| 361 | 15 | MAPLE | ACER |
| 362 | 5 | MAPLE | ACER |
| 363 | 14 | MAPLE | ACER |
| 364 | 14 | MAPLE | ACER |
| 365 | 26 | RED OAK | QUERCUS RUBRA |
| 366 | 18 | RED OAK | QUERCUS RUBRA |
| 367 | 24 | RED OAK | QUERCUS RUBRA |
| 368 | 12 | SPRUCE | PICEA |
| 369 | 12 | SPRUCE | PICEA |
| 370 | 40 | WILLOW | SALIX |
| 371 | 12 | CRABAPPLE | MALUS SYLVESTRIS |
| 372 | 12 | CRAB | MALUS SYLVESTRIS |
| 373 | 12 | CRAB | MALUS SYLVESTRIS |
| 374 | 10 | CRAB | MALUS SYLVESTRIS |
| 375 | 10 | CRAB | MALUS SYLVESTRIS |
| 376 | 10 | CRAB | MALUS SYLVESTRIS |
| 377 | 30 | RED OAK | QUERCUS RUBRA |
| 378 | 18 | MAPLE | ACER |
| 379 | 18 | MAPLE | ACER |
| 380 | 9 | WHITE PINE | PINUS STROBUS |
| 381 | 12 | WHITE PINE | PINUS STROBUS |
| 382 | 14 | WHITE PINE | PINUS STROBUS |
| 383 | 27 | RED OAK | QUERCUS RUBRA |
| 384 | 24 | MAPLE | ACER |
| 385 | 12 | MAPLE | ACER |
| 386 | 12/9 | TWIN MAPLE | ACER |
| 387 | 12 | MAPLE | ACER |
| 388 | 22 | RED OAK | QUERCUS RUBRA |
| 389 | 12 | MAPLE | ACER |
| 390 | 18 | RED OAK | QUERCUS RUBRA |
| 391 | 22 | RED OAK | QUERCUS RUBRA |
| 392 | 6 | BIRCH | BETULA |
| 393 | 6 | APPLE | MALUS |
| 394 | 5 | RED OAK | QUERCUS RUBRA |
| 395 | 4 | RED OAK | QUERCUS RUBRA |
| 396 | 16 | WHITE PINE | PINUS STROBUS |
| 397 | 10 | MAPLE | ACER |
| 398 | 9 | MAPLE | ACER |
| 399 | 7 | MAPLE | ACER |
| 400 | 7 | PINE | PINUS |
| 405 | 6 | WHITE PINE | PINUS STROBUS |
| 406 | 11 | RED OAK | QUERCUS RUBRA |
| 407 | 6/4 | TWIN MAPLE | ACER |
| 408 | 5 | ASH | FRAXINUS |
| 409 | 5 | ASH | FRAXINUS |
| 410 | 8 | TRIPLE HAWTHORN | CRATAEGUS |
| 411 | 15 | MAPLE | ACER |
| 412 | 10 | SPRUCE | PICEA |
| 413 | 10 | SPRUCE | PICEA |
| 414 | 10 | PINE | PINUS |
| 415 | 13 | SPRUCE | PICEA |
| 416 | 12 | SPRUCE | PICEA |
| 417 | 10 | WHITE PINE | PINUS STROBUS |
| 418 | 17 | WHITE PINE | PINUS STROBUS |
| 419 | 5 | SPRUCE | PICEA |
| 420 | 11 | PINE | PINUS |
| 421 | 13 | PINE | PINUS |
| 423 | 12 | TRIPLE MAPLE | ACER |
| 424 | 15 | ELM | ULMUS |
| 425 | 12 | PINE | PINUS |
| 426 | 9 | ELM | ULMUS |
| 427 | 17 | CHERRY | PRUNUS SEROTINA |
| 428 | 10/7 | TWIN MAPLE | ACER |
| 429 | 12 | ELM | ULMUS |
| 430 | 10 | MAPLE | ACER |
| 431 | 12 | MAPLE | ACER |
| 432 | 12 | MAPLE | ACER |
| 433 | 12 | MAPLE | ACER |
| 434 | 15 | PINE | PINUS |
| 435 | 15 | PINE | PINUS |
| 436 | 15 | PINE | PINUS |
| 437 | 12 | PINE | PINUS |
| 438 | 11 | PINE | PINUS |
| 439 | 13 | PINE | PINUS |
| 440 | 10 | PINE | PINUS |
| 441 | 15 | PINE | PINUS |
| 442 | 12 | PINE | PINUS |
| 443 | 14 | PINE | PINUS |
| 444 | 8 | MAPLE | ACER |
| 445 | 10 | CHERRY | PRUNUS SEROTINA |
| 446 | 8 | CHERRY | PRUNUS SEROTINA |
| 447 | 16 | WHITE PINE | PINUS STROBUS |
| 448 | 24 | QUAD. MAPLE | ACER |
| 449 | 12 | PINE | PINUS |
| 450 | 12 | PINE | PINUS |
| 451 | 12 | PINE | PINUS |
| 452 | 18 | WHITE PINE | PINUS STROBUS |
| 453 | 8 | CHERRY | PRUNUS SEROTINA |
| 454 | 9 | MAPLE | ACER |
| 455 | 11 | PINE | PINUS |
| 456 | 9 | MAPLE | ACER |
| 457 | 18 | MAPLE | ACER |
| 458 | 12 | MAPLE | ACER |
| 459 | 10 | MAPLE | ACER |
| 460 | 12 | ELM | ULMUS |
| 461 | 18 | WHITE PINE | PINUS STROBUS |

| TAG# | SIZE | COMMON NAME | LATIN NAME |
|------|-------|---------------|----------------------|
| 535 | 5" | PINE | PINUS |
| 536 | 14 | CHERRY | PRUNUS SEROTINA |
| 539 | 9 | CHERRY | PRUNUS SEROTINA |
| 540 | 13 | CHERRY | PRUNUS SEROTINA |
| 541 | 16 | WHITE PINE | PINUS STROBUS |
| 542 | 7 | PINE | PINUS |
| 543 | 8 | CHERRY | PRUNUS SEROTINA |
| 544 | 13 | TWIN CHERRY | PRUNUS SEROTINA |
| 545 | 8 | CHERRY | PRUNUS SEROTINA |
| 546 | 9 | CHERRY | PRUNUS SEROTINA |
| 547 | 30/24 | TWIN MAPLE | ACER |
| 548 | 9 | TWIN ELM | ULMUS |
| 549 | 14 | MAPLE | ACER |
| 550 | 12 | MAPLE | ACER |
| 551 | 9 | CHERRY | PRUNUS SEROTINA |
| 552 | 6 | CHERRY | PRUNUS SEROTINA |
| 553 | 9 | ELM | ULMUS |
| 554 | 9 | ELM | ULMUS |
| 555 | 19 | WHITE PINE | PINUS STROBUS |
| 556 | 7 | HAWTHORN | CRATAEGUS |
| 557 | 7 | RED CEDAR | JUNIPERUS VIRGINIANA |
| 558 | 6 | PINE | PINUS |
| 559 | 8 | RED CEDAR | JUNIPERUS VIRGINIANA |
| 560 | 16 | TWIN PINE | PINUS |
| 561 | 16 | WHITE PINE | PINUS STROBUS |
| 562 | 14 | MAPLE | ACER |
| 563 | 7 | PINE | PINUS |
| 564 | 15 | WHITE PINE | PINUS STROBUS |
| 565 | 14 | WHITE PINE | PINUS STROBUS |
| 566 | 8 | PINE | PINUS |
| 567 | 20 | WHITE PINE | PINUS STROBUS |
| 568 | 18 | WHITE PINE | PINUS STROBUS |
| 569 | 8 | ELM | ULMUS |
| 570 | 6 | ELM | ULMUS |
| 571 | 12 | PINE | PINUS |
| 572 | 12 | PINE | PINUS |
| 573 | 12 | PINE | PINUS |
| 574 | 8 | PINE | PINUS |
| 575 | 9 | PINE | PINUS |
| 576 | 11 | WHITE PINE | PINUS STROBUS |
| 577 | 15 | ELM | ULMUS |
| 578 | 14 | PINE | PINUS |
| 579 | 8 | PINE | PINUS |
| 580 | 8 | ELM | ULMUS |
| 581 | 9 | ELM | ULMUS |
| 582 | 10 | MAPLE | ACER |
| 583 | 9 | PINE | PINUS |
| 584 | 14 | WHITE PINE | PINUS STROBUS |
| 585 | 14 | PINE | PINUS |
| 586 | 12 | PINE | PINUS |
| 587 | 7 | WHITE PINE | PINUS STROBUS |
| 588 | 8 | TWIN HICKORY | CARYA OVATA |
| 589 | 9 | HICKORY | CARYA OVATA |
| 590 | 9 | HICKORY | CARYA OVATA |
| 591 | 10 | HICKORY | CARYA OVATA |
| 592 | 8 | HICKORY | CARYA OVATA |
| 593 | 19 | HICKORY | CARYA OVATA |
| 594 | 8 | PEAR | PYRUS |
| 595 | 12 | CHERRY | PRUNUS SEROTINA |
| 596 | 5 | BIRCH | BETULA |
| 597 | 7 | PINE | PINUS |
| 598 | 6 | PINE | PINUS |
| 599 | 5 | PINE | PINUS |
| 600 | 9 | ELM | ULMUS |
| 609 | 6 | PINE | PINUS |
| 670 | 5 | PINE | PINUS |
| 671 | 5 | PINE | PINUS |
| 672 | 5 | CEDAR | THUJA OCCIDENTALIS |
| 673 | 6 | ELM | ULMUS |
| 674 | 11 | MAPLE | ACER |
| 676 | 8 | QUAD. RED OAK | QUERCUS RUBRA |
| 677 | 8 | ELM | ULMUS |
| 678 | 12 | WHITE PINE | PINUS STROBUS |
| 679 | 11 | ELM | ULMUS |
| 680 | 22 | WHITE PINE | PINUS STROBUS |
| 681 | 9 | PINE | PINUS |
| 682 | 13 | PINE | PINUS |
| 683 | 15 | WHITE PINE | PINUS STROBUS |
| 684 | 16 | WHITE PINE | PINUS STROBUS |
| 685 | 21 | WHITE PINE | PINUS STROBUS |
| 686 | 9 | ELM | ULMUS |
| 687 | 20 | WHITE PINE | PINUS STROBUS |
| 688 | 21 | WHITE PINE | PINUS STROBUS |
| 689 | 21 | WHITE PINE | PINUS STROBUS |
| 690 | 12 | PINE | PINUS |
| 691 | 10 | PINE | PINUS |
| 692 | 10 | PINE | PINUS |
| 693 | 12 | PINE | PINUS |
| 694 | 8 | HICKORY | CARYA OVATA |
| 695 | 15 | HICKORY | CARYA OVATA |
| 696 | 15 | HICKORY | CARYA OVATA |
| 697 | 28 | COTTONWOOD | POPULUS |
| 698 | 9 | HICKORY | CARYA OVATA |
| 699 | 12 | HICKORY | CARYA OVATA |
| 700 | 7 | HICKORY | CARYA OVATA |

LEGEND:

- C.B. - CATCH BASIN
- M.H. - MANHOLE
- C.O. - CLEAN OUT
- CONC. - CONCRETE
- E.S. - END SECTION
- F.P. - FLAG POLE
- O.H. - OVERHEAD
- U.G. - UNDERGROUND
- HYD. - HYDRANT
- GEN. - GENERATOR
- TRANS. - TRANSFORMER
- U.B. - UTILITY BOX
- L.P. - LIGHT POLE
- U.P. - UTILITY POLE
- B.P. - BOLLARD POST
- W.G. - WATER GATE
- W.S. - WATER STOP
- W.V. - WATER VALVE
- LINE BREAK
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- LIGHT POLE
- UTILITY POLE
- SIGN
- FIP - FOUND IRON PIPE
- FSB - FOUND STEEL BAR
- SSB - SET STEEL BAR
- SRC - SET RIVET IN CONCRETE
- 1 ACRE - 43,560 SQUARE FEET
- R - RECORDED
- M - MEASURED
- C - CALCULATED

NOTE: UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

ANY INFORMATION OR DATA ON THIS DRAWING IS NOT INTENDED TO BE SUITABLE FOR REUSE BY ANY PERSON, FIRM OR CORPORATION OR ANY OTHERS ON EXTENSIONS OF THIS PROJECT OR FOR ANY USE ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION AND ADAPTATION BY THE SURVEYOR OR ENGINEER FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OF LEGAL EXPOSURE TO THE SURVEYOR OR ENGINEER.



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GENERAL NOTES:

- 2ND FLOOR JOISTS 4" O.C UNDER ALL TILE OR MARBLE FLOORS TO BE LEAD LOAD AS REQUIRED.
- ALL FORMED CONCRETE WALLS TO BE BACKFILLED WITH SANDY TYPE SOIL AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE.
- ALL FLOOR JOISTS TO BE 12 OR BETTER WITH FIN 17 X 17 CROSS BRIDGING 8'-0" O.C.
- ROOF TRUSS DESIGNED BY TRUSS MANUFACTURER TO COMPLY TO ALL FINISH DESIGN LOAD REQUIREMENTS. BRACE ROOF TRUSSES AS REQUIRED BY MANUFACTURER.
- ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHOULD REVIEW THE DRAWING AND INDICATE TO ARCHITECT PRIOR TO FABRICATION ANY CHANGE IN BEARING CONDITIONS THAT WOULD REQUIRE RE-FRAMING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.
- ALL FORMED CONCRETE FOOTING TO BE A MINIMUM OF 2'-0" BELOW FINISHED GRADE BEARING ON UNDISTURBED VIRGIN SOIL WITH A FINISH BEARING CAPACITY OF 2,000 PSF. MUST BE VERIFIED BY SOILS ENGINEER IN THE FIELD FOR FOOTING INSPECTION.
- ALL FORMED CONCRETE WALLS WITH TYPICAL FORM BACKFILL TO BE REINFORCED WITH #4 BARS @ 12" O.C. VERTICALLY WITH ONE #4 BAR TOP AND BOTTOM OF WALL HORIZONTALLY. VERIFY IN FIELD FOR FOOTING INSPECTION.
- ALL UNDOOR NUMBERS REFER TO ANDERSON 2000 SERIES UNDOORS. IF ALTERNATE UNDOOR MANUFACTURER IS USED, ALL SIZES AND SHAPES TO MATCH DIMENSIONALLY.
- ALL ENGINEERED WOOD FLOOR TRUSSES TO BE FINISHED WITH 1/2" AT 8" CONTIGUOUS RISER BRACINGS ON BOTTOM CHORD @ 8" O.C. (MATCH DIMENSIONAL STOPPING).
- THE ROOF TRUSS MANUFACTURER TO SUBMIT SHOP DRAWING TO THE DESIGNER PRIOR TO FABRICATION OF THE TRUSSES.
- ALL HORIZONTAL BEAMS TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS.
- ALL FORMED CONCRETE WALLS WITH BRICK LEDGE GREATER THAN 4" O.C. SHALL BE REINFORCED WITH #4 BARS @ 12" O.C. VERTICALLY WITH ONE #4 BAR TOP AND BOTTOM OF WALL HORIZONTALLY.
- DO NOT SCALE DRAWING. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS NOTIFY THE DESIGNER IMMEDIATELY FOR CORRECTION. BUILDER RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND FOR ADDITIONAL CLARIFICATION OR INFORMATION IS NEEDED BUILDER TO CONTACT DESIGNER AND SCHED CONSOLE.
- PROVIDE 5 POUND FELT AT UNHATED EXPOSED LUBBER.
- ALL BEDROOM UNDOORS TO MEET 2009 MICHIGAN RESIDENTIAL EGRESS CODES.
- ALL UNDOOR SILLS TO ABOVE FINISH GRADE SHALL HAVE THE BOTTOM OF THE OPENING LOCATED 4" MIN. OF 1/4" ABOVE FINISH FLOOR OF THE ROOM PER IRC 2009 SEC. R602.1.
- PROVIDE FIBER CEMENT FIBER-GLASS REINFORCED GLASS MAT GYPSUM BACKERS OR FIBER REINFORCED GYPSUM BACKERS AS BACKERS FOR TUB AND SHOWER WALL TILES AND PANELS. BACKERS MUST COMPLY WITH ASTM C 109 OR C 118 AND BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IRC 2009 SEC. R102.42.
- WHERE HANDRAILS ARE SHOWN HORIZONTAL HEIGHT IS TO BE NOT LESS THAN 34" AFF. AND MORE THAN 38" AFF. PER IRC 2009.11. GUARD RAILS TO BE NOT LESS THAN 34" AFF. PER IRC 2009.11. PROVIDE HORIZONTAL FINISH TO MATCH THE FINISH OF THE SECTION RAILLET OF THE 2009 MICHIGAN RESIDENTIAL CODE. INDICATOR COPY TO COMPLY WITH 2009 MICHIGAN RESIDENTIAL CODE (R101.1).
- DO NOT DRILL THROUGH UNDOOR DOORBELLS.
- PROVIDE A BATH VAN WHERE SHOWN ON PLAN AND VENT 4" TO EXTERIOR AS REQUIRED.
- TYPICAL ALL HABITABLE ROOMS TO HAVE PROPER LIGHT AND VENTILATION AND COMPLY WITH 2009 MICHIGAN RESIDENTIAL CODES.
- PROVIDE ELECTRICAL SMOKE DETECTORS IN ALL SLEEPING AREAS, HALLWAYS AND MECHANICAL ROOMS ON ALL FLOOR LEVELS INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE WREID TOGETHER SO AS WHEN ONE SOUNDS THEY ALL SOUND AND HAVE BATTERY BACKUP PER IRC 2009 SEC. R310.1.
- PROVIDE ADEQUATE ROOF VENTILATION AND SMOKE VENTILATION ITM AS REQUIRED. VERIFY BY CALCULATING AREA OF AREA VENTILATION PER IRC 2009 SEC. R303.2.
- TYPICALLY ALL FINISHED FORMED CONCRETE FOUNDATION WALLS MUST BE REFORCED AND FILLED WITH FOUNDATION COATING PRIOR TO BACK FILL INSPECTION.
- PROVIDE METAL FLASHING, COUNTER FLASHING AND STEPPED FLASHING WHERE NOTED AND BRICK AND SOING FEET.
- PROVIDE APPROVED SEALANT WHERE REQUIRED AND AS DETAILED BY FRG.
- VERIFY ELECTRICAL SERVICE IS ACCORDING TO ALL NEW WORK. VERIFY ALL PROPOSED ELECTRICAL OUTLETS, SWITCHES, DIMMERS, LIGHT LOCATION ETC. INCLUDING CABLE AND PHONE LINE LOCATIONS. VERIFY ALL ELECTRICAL INSTALLATION WITH OWNER AND COMPLY WITH 2009 MICHIGAN RESIDENTIAL ELECTRICAL CODES.
- VERIFY PRELACE OPTION WITH SUBDIVISION SPECIA AND WORK ORDER.
- PROVIDE 1/2" LAYER FIBERGLASS COATED ROLLED ROOFING AT ALL EAVES TO 1/4" ABOVE BUILDING. 1/2" LAYER MUST BE CEPTED TOGETHER. VERIFY WITH BUILDING DEPARTMENT.
- PROVIDE 2X6 GALVANIZED PRESSURE TREATED SILL PLATE ON SILL BEAMER WITH 1/4" ANCHOR BOLTS @ 4'-0" O.C. AND LOCATED NOT MORE THAN 12" INCHES AND NOT LESS THAN 12" INCHES FROM THE END OF EACH PLATE SECTION. EXCEPTION: USE ANCHOR STRAPS SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/4" INCH ANCHOR BOLTS.
- PROVIDE 1/2" PERFORATED TILE CONT. AT BASEMENT FLS. IN 2" (190) REVISIONS WITH 1/2" BEHIND DRAIN TILE. CONNECT TO SUMP AND STOREY NUMBER AS REQUIRED.
- 8'-0" CLEAR HEADROOM REQUIRED ON ALL STAIRS.
- GYMNEY TERMINATION MUST PROJECT 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 6 FEET.
- FIRESTOP ALL DROPS AND CHASES ELECTRICAL, PLUMBING AND HVAC.
- PROVIDE 1/2" DETAILS ON THE GARAGE SIDE OF WALLS COMMON TO RESIDENCE AND GARAGE. APPLY 1/2" TYPE 1 DETAILS TO GARAGE CEILING AREAS BELOW HABITABLE ROOMS PER IRC 2009 TABLE R605.6.
- LOWER LEVEL AREA IS CONSIDERED UNHABITABLE. ANY FUTURE ALTERATIONS TO "HOOD" LOWER LEVEL TO A HABITABLE SPACE SHALL COMPLY STRICTLY TO THE 2009 MICHIGAN RESIDENTIAL CODE. EGRESS UNDOOR AS PROVIDED. AS REQUIRED IN COMPLIANCE WITH IRC 2009 SEC. R101.1. (R605.6).
- AREAS THAT REQUIRE TEMPERED GLASS:
 - FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS.
 - FIXED AND SLIDING DOORS AND FIXED GLAZERS (IF APPLICABLE).
 - PANELS WITH A GLAZED AREA IN EXCESS OF 6 SQ. FT. WITH LOWEST EDGE LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR LEVEL.
 - ALL OTHER AREAS AS CODE REQUIRES PER 2009 MICHIGAN RESIDENTIAL CODE.
- ROOF VENTILATION WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 4" MIN. SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENTS.

NOTE: ALL CODES SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODES 4 2009 MICHIGAN RESIDENTIAL CODE BUT THE CODE IS MUCH BROADER CODES IN EACH RESPECTIVE COUNTY, CITY, VILLAGE, TOWNSHIP AND THESE PROVISIONS AND ORDINANCES.

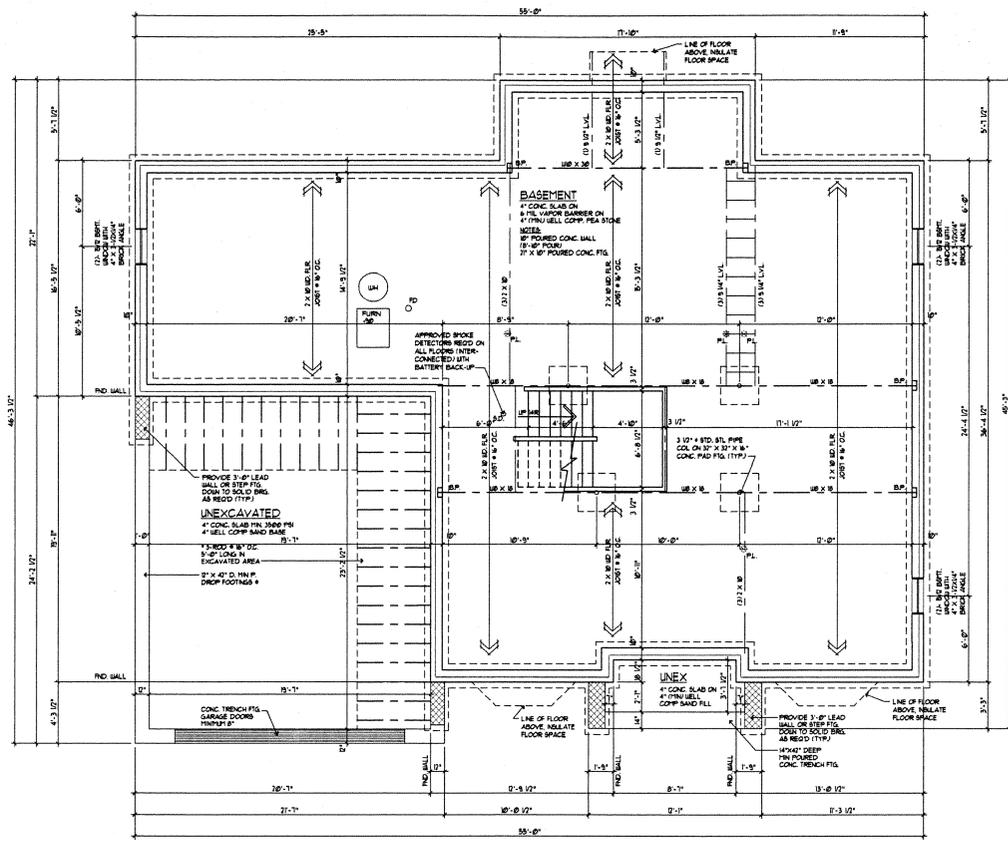
NOTE: GENERAL NOTES INDICATED ABOVE ARE JUST A SMALL PORTION OF OUR STANDARD NOTES 7 2009 MICHIGAN RESIDENTIAL CODE BUT THE CODE IS MUCH BROADER SHOULD BE STRICTLY FOLLOWED BY BUILDER, TRACER & CONTRACTOR.

- ALL STAIRWAYS SHALL BE ILLUMINATED WITH 75W T800 CANDELS OF LIGHT.
- PROVIDE UNDOOR OR PROTECTION PER 2009 ENCLOSED ACCESSIBLE SPACE UNDER SHALL HAVE WALLS UNDER 36" BR BRIDGE AND ANY SORTS PROTECTED ON THE ENCLOSED SIDE WITH 1/4" GYPSUM BOARD.
- UNEXCAVATED GARAGE SLAB SHALL COMPLY WITH TABLE R402.2 4" CONCRETE SLAB WITH 1/2" MINIMUM THICKNESS COMPRESSIVE STRENGTH OF CONCRETE ON 4" MIN. FILL COMPACTED SAND BASE.
- PROVIDE NON-ABRASIVE FINISH TO THE SURFACE OF ALL BATHING AREAS BY WALL MOUNTED RUBBER LEADS AT 1/4" O.C. 1/4" MIN. FINISH FLOOR PER IRC 2009 SEC. R101.1.
- PROVIDE 1/4" MIN. SOLID CORE FINISHED DOOR BETWEEN GARAGE AND RESIDENCE PER 20 MINUTE RATED DOORS.
- BUILDER AND SUB BRICK CONTRACTORS TO PROVIDE SLEEPING ROLES BEARING ON THE FINISHING BRICK 3" O.C. MAX. (2") PREFERRED) AT HEAD DETAILS OF UNDOORS, DOORS, BARRIER SHROUS AND GARAGE CODE. ALSO PROVIDE FLASHING TO FACE OF BRICK WITH 1/4" VERTICAL LEGS AND FOOT END DASH (LAP UNDER WATERPROOFING BARRIER) MICHIGAN RESIDENTIAL CODE 2009 SEC. R101.1. 1018. 1/4" MIN. BRICK INSPECTION WILL BE DONE PRIOR TO BRICK INSTALLATION FOR FLASHING INSPECTION.
- FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R602.1 (WOOD STRUCTURAL PANELS) UNDOOR ROOF AND WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING, BUILDING MATERIALS OF 1/2" 1/2" USE 8# COPPER NAIL (UNDOOR WALL) 8" FROM EDGES IF INTERMEDIATE SUPPORTS AND USE 8# COPPER NAIL FOR ROOF AT FRONT EDGES IF INTERMEDIATE.
- BUILDER OWNER TO PROVIDE WATERPROOFING TO CODE 8000 INFORMATION ON APPROVED PRODUCT.
- BUILDER RESPONSIBLE TO PROVIDE TRUSS DESIGN DRAWINGS IN COMPLIANCE WITH IRC 2009 AND SHALL INCLUDE AT MINIMUM THE INFORMATION SPECIFIED BELOW:
 - SIZE OF TRUSS SPAN AND SPACING
 - REQUIRED BEARING WALLS
 - LOCATION OF ALL JOINTS
 - REQUIRED BEARING WALLS
 - DEAD LOADS AS APPLICABLE
 - TOP CHORD LIVE LOAD INCLUDING SNOW LOADS
 - TOP CHORD DEAD LOAD
 - BOTTOM CHORD LIVE LOAD
 - BOTTOM CHORD DEAD LOAD
 - CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION.
 - ADJUSTMENTS TO UPPER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE.
- EACH REACTION FORCE AND DIRECTION
- JOINT CONNECTOR TYPE AND DESCRIPTION E.G. SIZE, THICKNESS OR GALLERIES AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE OTHERWISE SPECIFICALLY LOCATED RELATIVE TO THE JOINT INTERLACE.
- LUBRICANT SIZE, SPECIES AND GRADE FOR EACH MEMBER AND CONNECTION REQUIREMENTS FOR:
 - TRUSS-TO-TRUSS JOINT
 - TRUSS TO 1/2" PLT
 - FIELD SPLICES
- CALCULATED DEFLECTION RATIO AND/OR PARTIAL DESCRIPTION FOR LIVE AND TOTAL LOAD.
- MAXIMUM ALLOWED COMPRESSION FORCES IN THE TRUSS MEMBERS TO ENABLE THE BUILDING DESIGNER TO DESIGN THE BRACE CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTIGUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS.
- REQUIRED PERMANENT TRUSS BRACING LOCATION.

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER

| NO. OF SPAN(S) | NO. STORY ABOVE | ONE STORY ABOVE | TWO STORY ABOVE | 40 TO 45 PSI OR LESS NEW BARS |
|----------------|-----------------|-----------------|-----------------|-------------------------------|
| 3/2 X 3 1/2" | 0-0" | 4'-0" | 3'-0" | 1 |
| 4 X 3 1/2" | 0-0" | 6'-0" | 4'-0" | 1 |
| 5 X 3 1/2" | 0-0" | 8'-0" | 6'-0" | 2 |
| 6 X 3 1/2" | 0-0" | 10'-0" | 8'-0" | 2 |
| 7 X 3 1/2" | 0-0" | 12'-0" | 10'-0" | 4 |

- LIVE LOADS OF THE MASONRY SHALL BE PLACED IN A VERTICAL POSITION.
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8 INCHES AND ALL CELLS OF HOLLOW MASONRY LINTELS SHALL BE PROVED SOLID. REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE APPROXIMATE TYPICAL EXAMPLES. OTHER STEEL MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

BUILDER

TROWBRIDGE CONSTRUCTION

PROJECT

THE ST JAMES

Date:

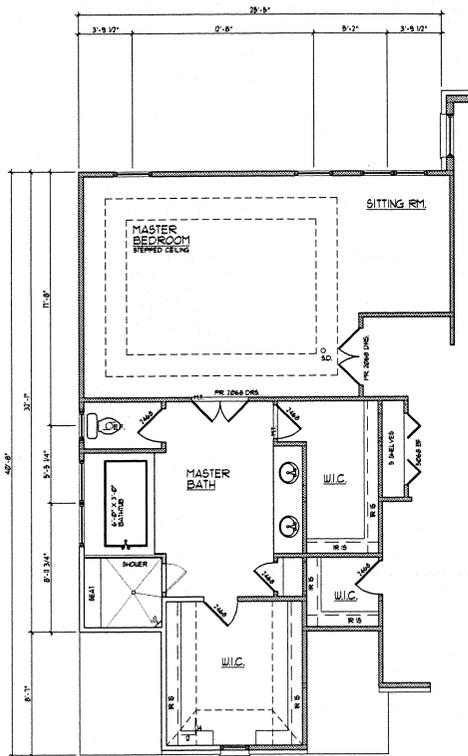
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Drawn: AP

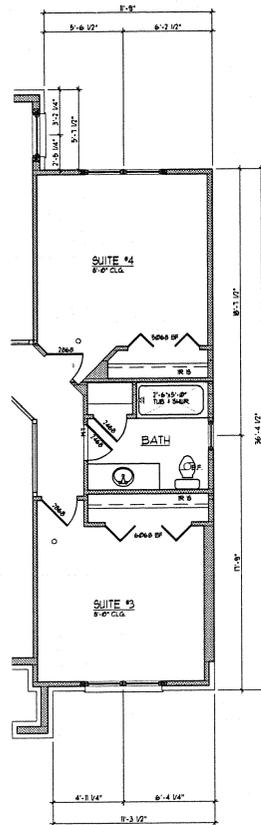
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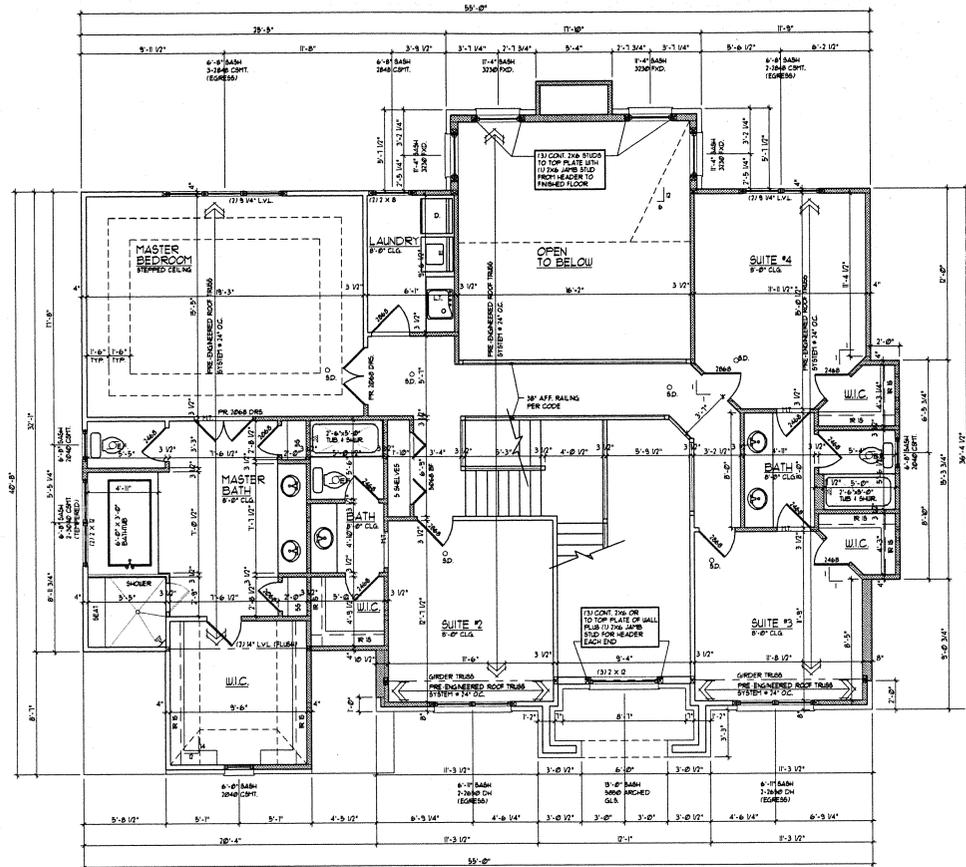
Job No.:



OPTIONAL
MASTER SUITE
SCALE: 1/4" = 1'-0"



OPTIONAL
HALL BATH
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDER

TROWBRIDGE CONSTRUCTION

PROJECT

THE ST JAMES

Date:

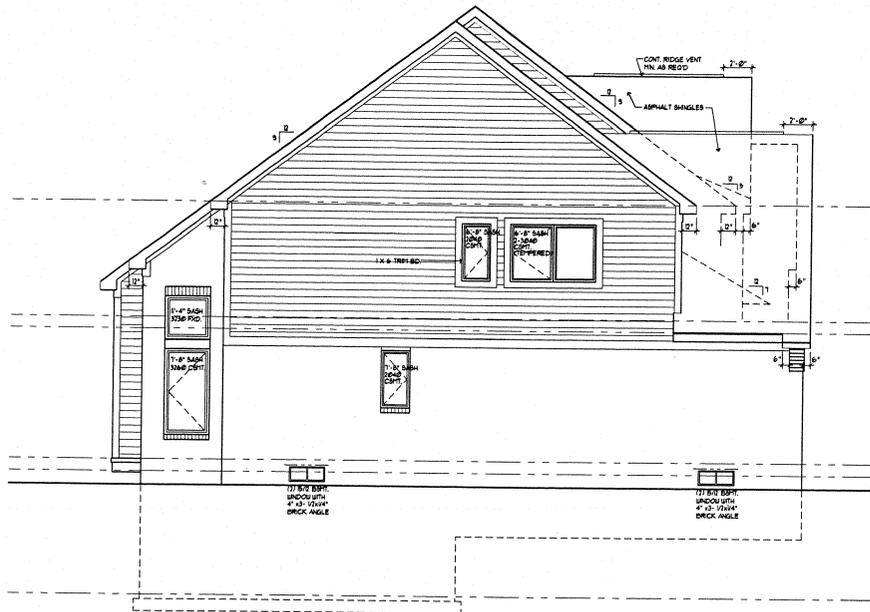
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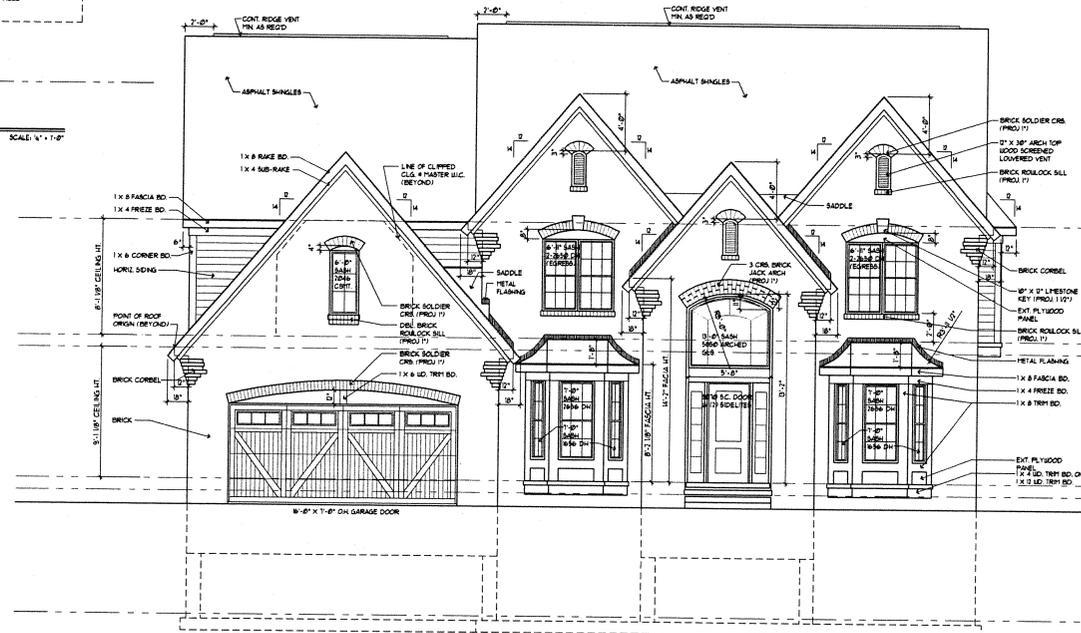
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Job No.:



LEFT ELEVATION



FRONT ELEVATION

BUILDER

TROUBRIDGE CONSTRUCTION

PROJECT

THE ST JAMES

Date:

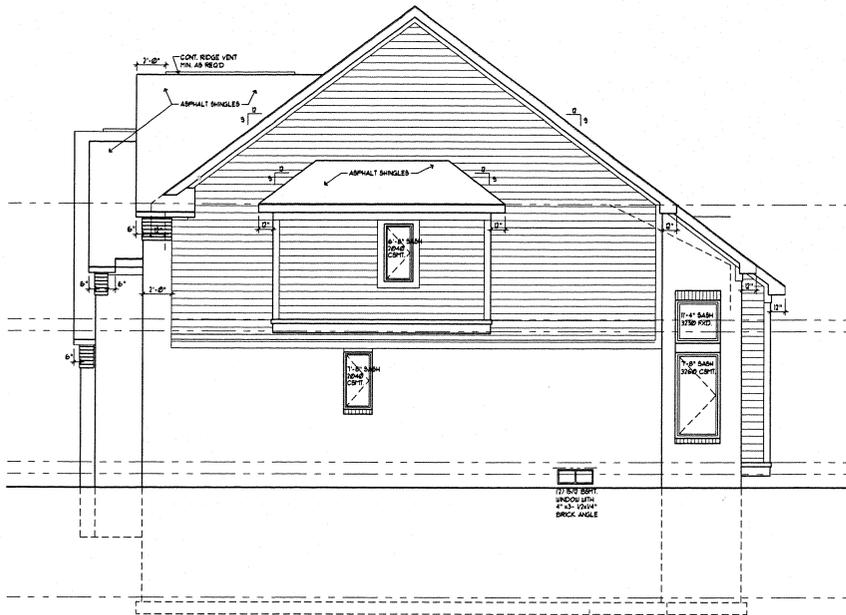
Revisions:

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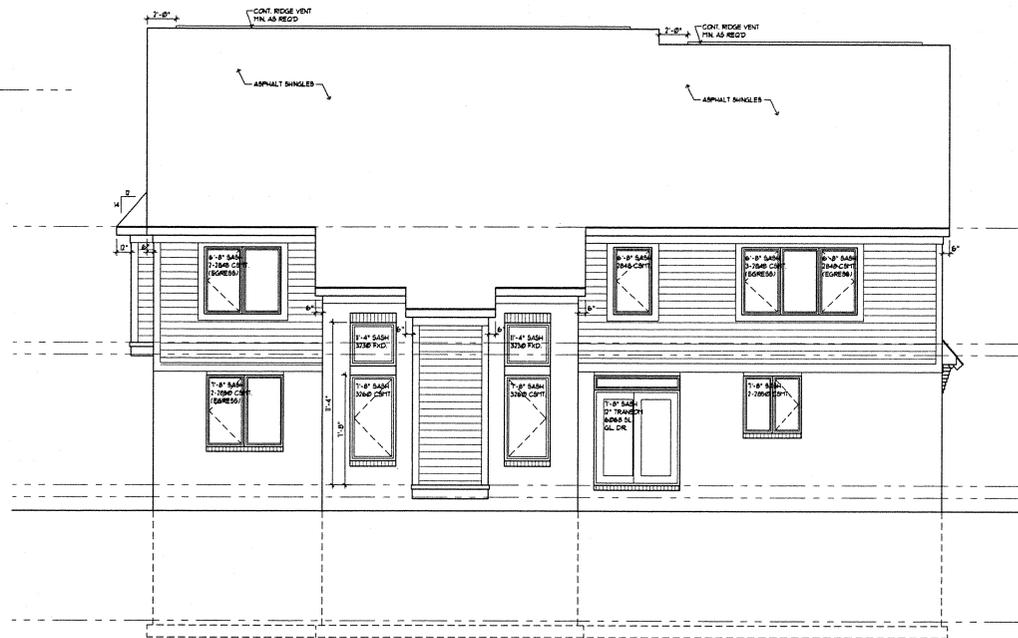
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Sheet #

Job No.:



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

BUILDER

TROWBRIDGE CONSTRUCTION

PROJECT

THE ST JAMES

Date:

Revisions:

Drawn: AP

Chk.d:

Sheet #

Job No.:

DATE: June 20, 2013
TO: Planning Commission
FROM: R. Brent Savidant, Planning Director
SUBJECT: BIG BEAVER KILMER PLANNED UNIT DEVELOPMENT (File Number PUD 010) - Proposed Revisions to Residential Portion

Big Beaver Kilmer Planned Unit Development (PUD) received Concept Development Plan (CDP) approval on December 15, 2008 and Preliminary Development Plan (PDP) approval on June 15, 2009.

The PUD is a mixed-use project with a commercial component along Big Beaver that consists of a 9,607 S.F. retail building, a 7,202 S.F. retail building, and a 1,800 S.F. Tim Horton's restaurant with a drive thru. The residential component to the north of the commercial component includes fourteen (14) residential units. Construction was recently completed on the commercial portion of this project. Underground utilities have been constructed for the residential component but construction of the residential units has not started.

The applicant Robertson Brothers seeks to construct the residential component of the PUD. The proposed layout was modified slightly but is generally consistent with the approved layout. They seek to add three (3) additional units, bringing the total number of units in the residential component to seventeen (17). The design of the approved PUD was somewhat urban in nature, consistent with the commercial frontage. The applicant seeks to modify the design of the residential units and seeks approval/direction from the Planning Commission on this matter.

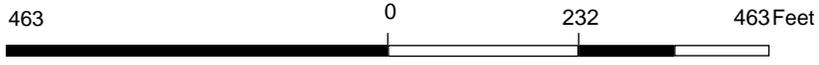
The applicant will need to revise the CDP and PDP to increase residential density for the PUD, and seeks input from the Planning Commission on this matter.

Please be prepared to discuss this item at the June 25, 2013 Special/Study meeting.

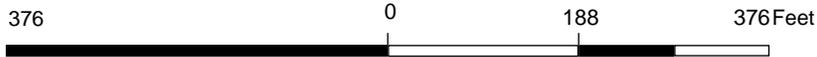
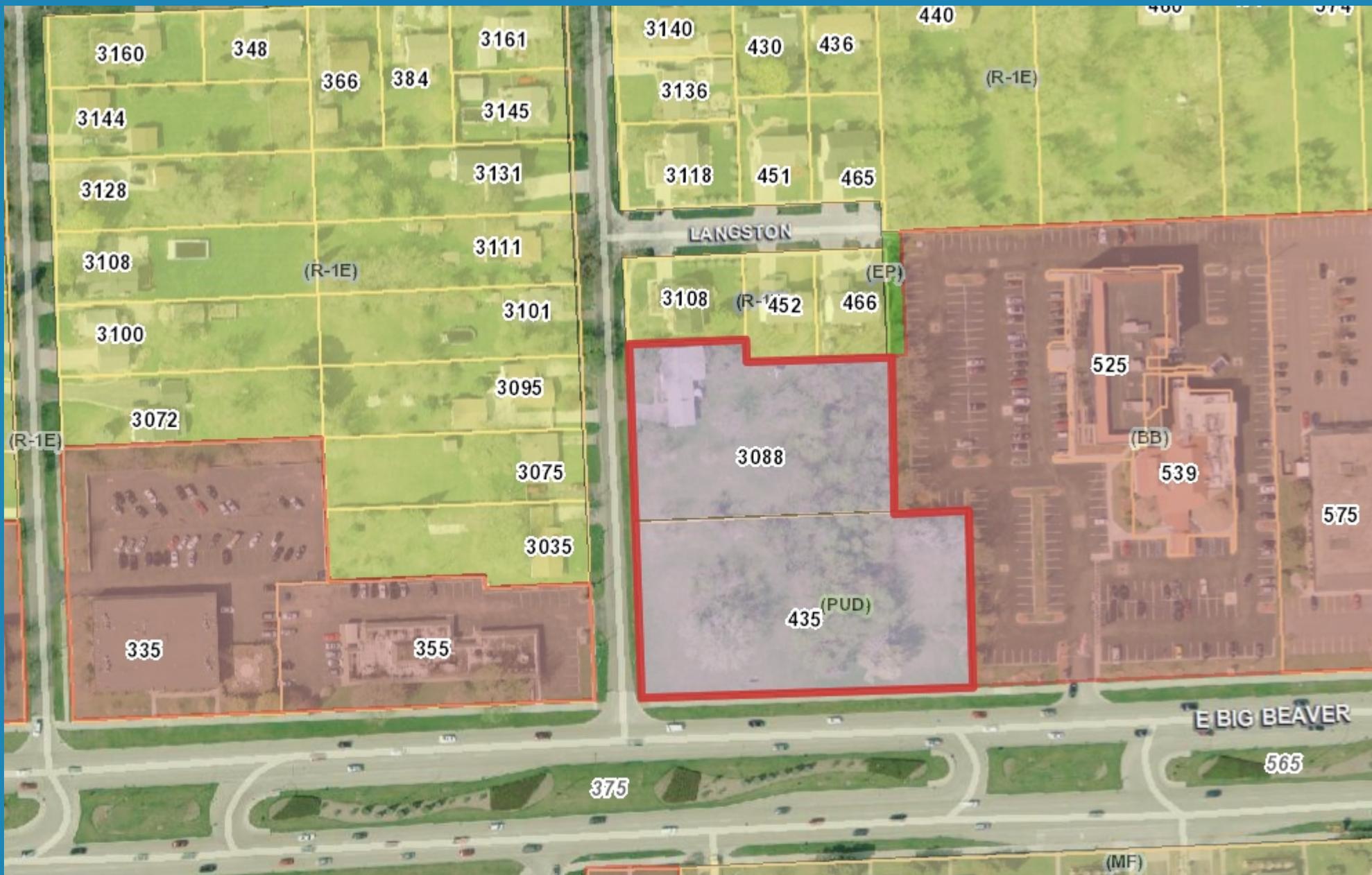
Attachments:

1. Maps
2. Miscellaneous information provided by applicant

G:\PUD's\PUD 010 Big Beaver Kilmer\Application Revisions\PC Memo 06 25 13.doc.docx



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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June 17, 2013

Kilmer Place Narrative

Robertson Brothers has entered into a venture with the owners of the Kilmer Place retail and residential development, located at the north east corner of Big Beaver and Kilmer Roads. The owners of the property turned to Robertson Brothers for their residential expertise in design, construction, sales and marketing. After researching the market and reviewing the approved plans Robertson Brothers recommended some changes to the plans and elevations for the residential component.

The proposed changes are shown on the enclosed site plan and elevations and are as noted below:

Site Plan:

- Approval unit count 14, proposed 17
- Approved residential GSF 13,727 (1st Floor), proposed residential GSF 10,200 (1st Floor)
- Building height no change, 3 story 33-4” mid-point
- The approved parking has not been changed
- Sidewalks located on the south side of the residential have been eliminated to provide for a landscape buffer zone to the retail
- Approved setback 10.35’ provided 19.87’
- The fountains in the residential area have been eliminated in favor of additional lawn area
- The rain garden has been preserved on the new site plan
- The park common areas with the Heritage tree has been expanded

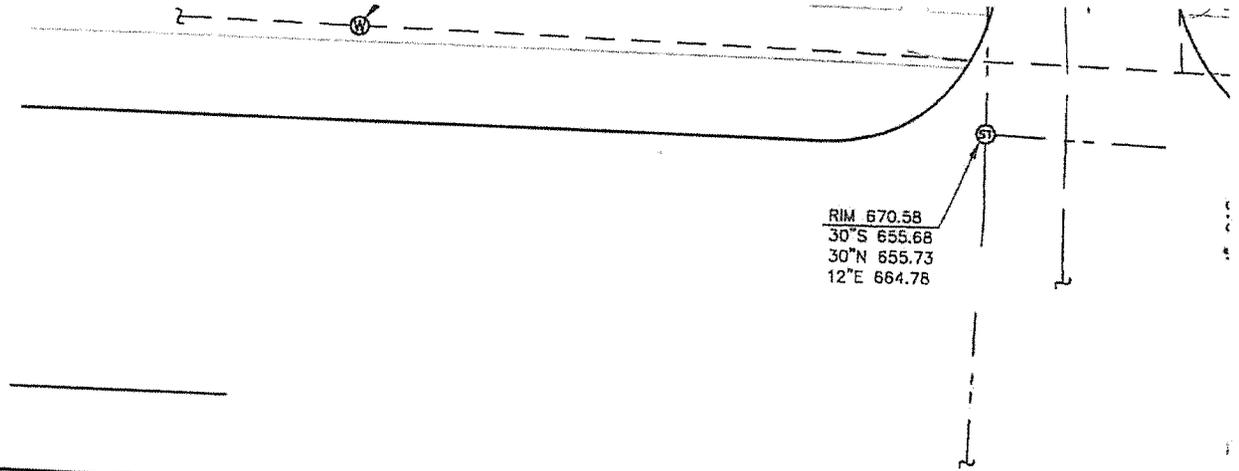
Elevations:

- The character of the elevations has been re-directed to relate more to the residential influences to the north than to the retail fronting Big Beaver
- The overall size of the units has been reduced to appeal to our assessment of the younger professional buyer in the Troy market.
- The elevations call for a full masonry first floor with a mix of horizontal and shake siding on the second and third levels.

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complete document

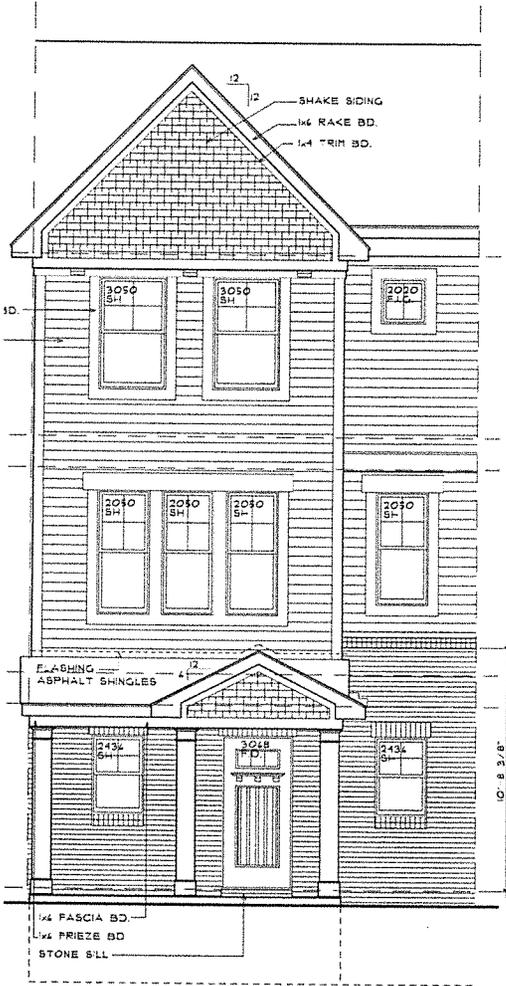


| ZONING (PARCEL) | REQUIRED (PER CURRENT ORDINANCE) | | | PROVIDED |
|--------------------------------------|---|--------------|-------------------------|--|
| | (A) = O-1 | (B) = R.O.W. | (C) = R-1E | |
| YARD SETBACK - FRONT (BB & KILMER) | 30' | NA | 25' | P.U.D. |
| YARD SETBACK - REAR | 20' | NA | 35' | 10' PARKING; 75' RETAIL; 6' RESIDENTIAL (KILMER) |
| YARD SETBACK - SIDE | 20' | NA | 35' | 10' RESIDENTIAL BLDG D |
| MAX HEIGHT STRUCTURE (STORIES) | 36' H (3) | NA | 5' One side; Both = 15' | 10' RESIDENTIAL BLDG D; 20' RETAIL A; 10' RETAIL C |
| MIN LOT SIZE PER UNIT (AREA & WIDTH) | NA | NA | 25' H (2) | 36' H MAX (1 STORY RETAIL, 3 STORY RESIDENTIAL) |
| MIN FLOOR AREA PER UNIT | 500 SQFT | NA | 7,500 SQFT 60' WIDE | 47,082 SF (RESIDENTIAL)/14 UNITS = 3,363 SQFT |
| MAX INTENSITY PER ACRE | 1,500 GSF/ACRE | | 1,000 SQFT | 25' WIDE (MIN) PER RESIDENTIAL UNIT |
| MAX % OF LOT COVERAGE | NA | NA | 4.2 UNITS PER ACRE | 500 SQFT (RETAIL); 1,400 SQFT (RESIDENTIAL) |
| PARKING: (9.5'x19' SPACE) | 0-1 = 1 PER 200 GSF BLDG AREA; R-1E = 2 SPACES PER UNIT | | | APPROX. 1,700 GSF/ACRE |
| NEW PARKING - RETAIL | (RETAIL = 18,699 GSF/200 = 93.4 SPACES) | | | 29% RETAIL; 29.3% RETAIL |
| NEW PARKING - RESIDENTIAL | (RESIDENTIAL = 2 x 14 UNITS = 28 SPACES) | | | 74 + (42 SHARED SPACES) = 116 |
| TOTAL PARKING | 122 SPACES (INCL. 4 HC) | | | 14 GARAGE + 16 VISITOR = 30 SPACES |
| SIDEWALK | REQUIRED (5' MIN TYP); (8' MIN FOR BIKE & PED.) | | | 146 SPACES (INCL. 6 HC) |
| DUMPSTER | REQUIRED @ RETAIL; NOT REQUIRED @ RESIDENTIAL | | | PROVIDED (EXISTING & NEW) |
| LOADING | 1 NEW SPACE REQUIRED (10'x50' MIN SPACE) | | | PROVIDED INTERNALLY @ RETAIL BLDGS |
| PHASE 1 - RETAIL AREA | 18,699 GSF (BLDG A = 9,607 GSF, B = 7,232 GSF, C = 1,860 GSF) | | | PROVIDED @ ACCESS STREET FOR RETAIL |
| PHASE 2 - RESIDENTIAL UNITS | 13,727 GSF (1ST FLOOR); 14 UNITS (APPROX. 1,600 SF EACH); 3 STORIES W/ATTACHED GARAGE | | | |
| TOTAL SITE AREA: | (64,148 + 13,650 + 33,405) = 111,203 SF (2.553 ACRES) | | | |
| | 32,426 GSF BUILDING AREA/111,203 SF = 29.16% LOT COVERAGE | | | |

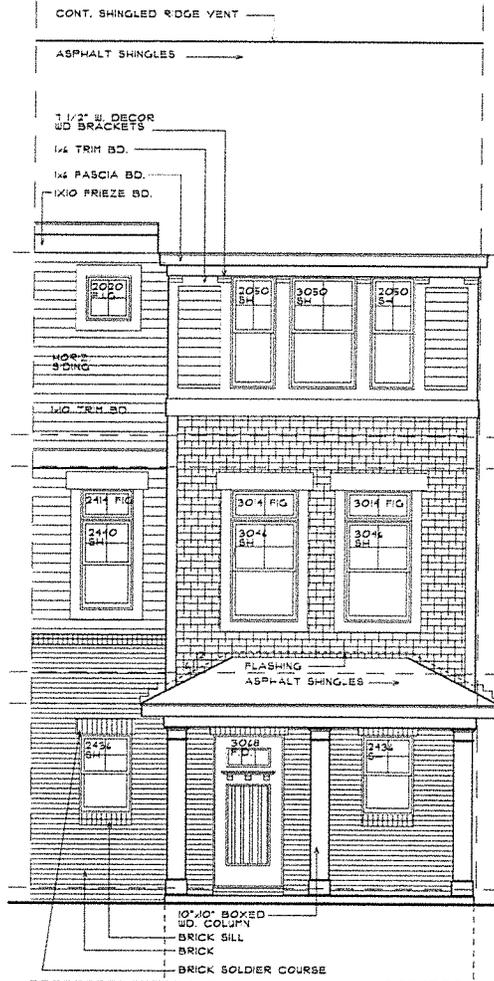
RIGHT SIDE ELEVATION

1" = 1'-0"

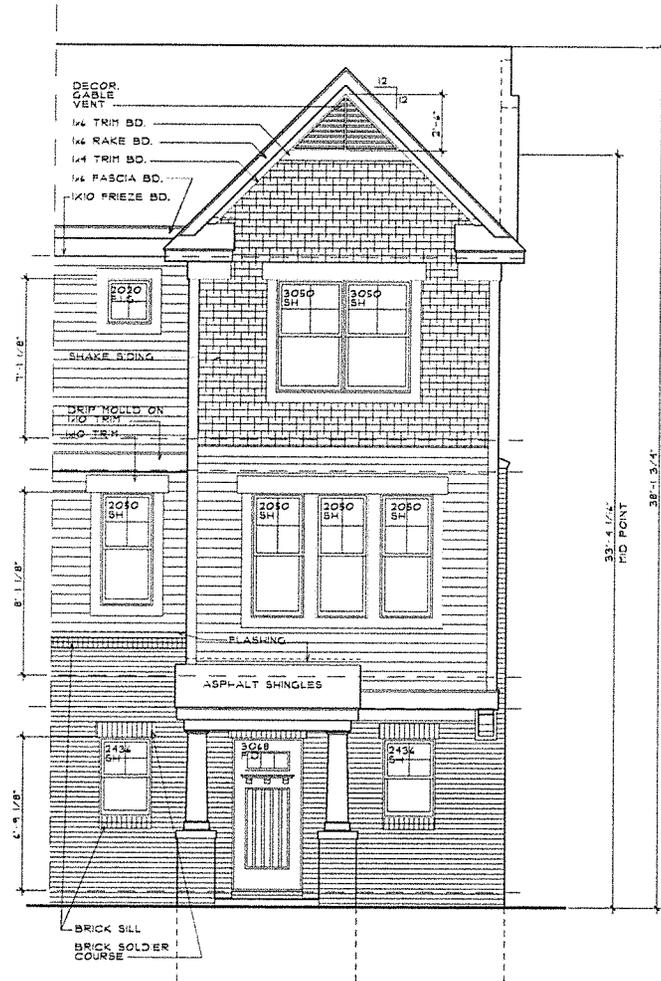
SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'B'



FRONT ELEVATION 'C'



FRONT ELEVATION 'D'

ISS DESIGNER/FABRICATOR SEE SHEET #2 FOR ADDITIONAL NOTES & INFORMATION

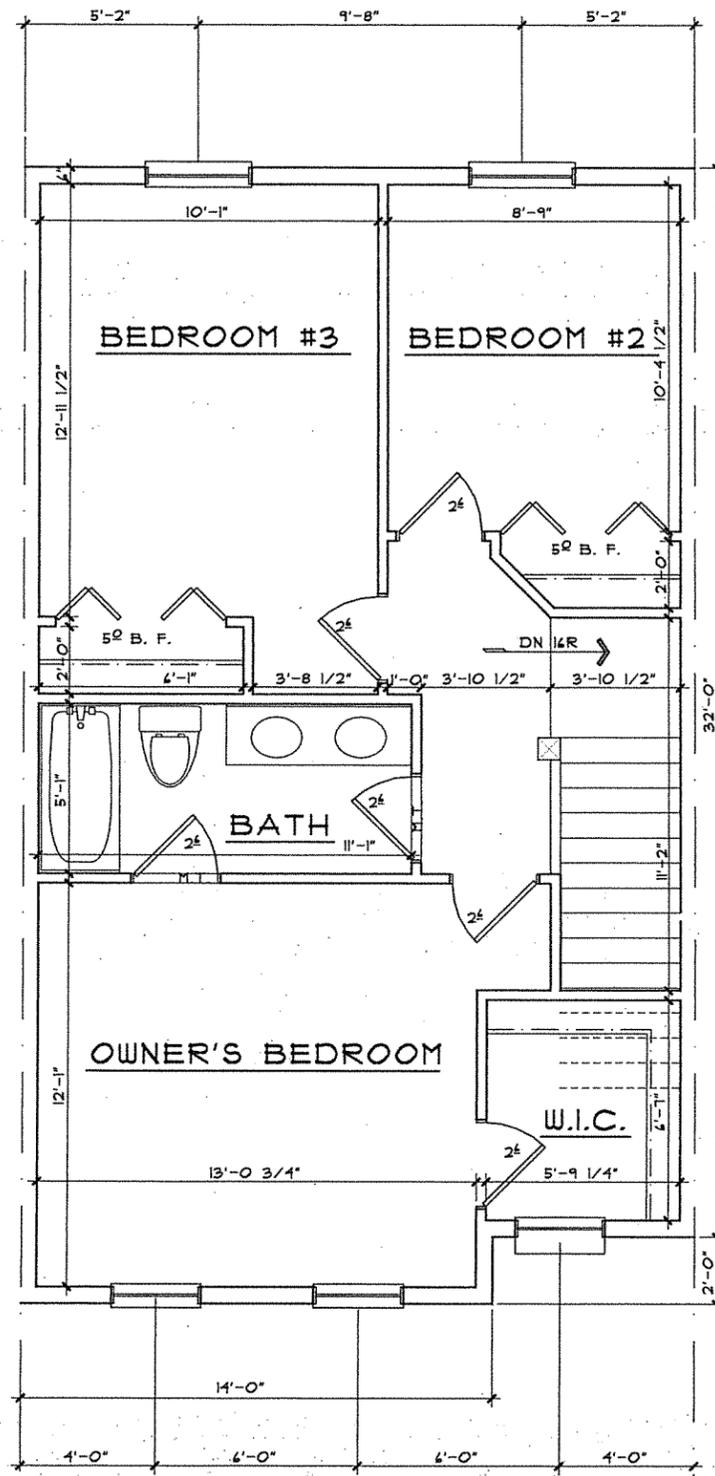
SCALE: 1/4" = 1'-0"
SEE SHEET #3 & 4 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SCALE: 1/4" = 1'-0"
SEE SHEET #1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION

SCALE: 1/4" = 1'-0"
DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.

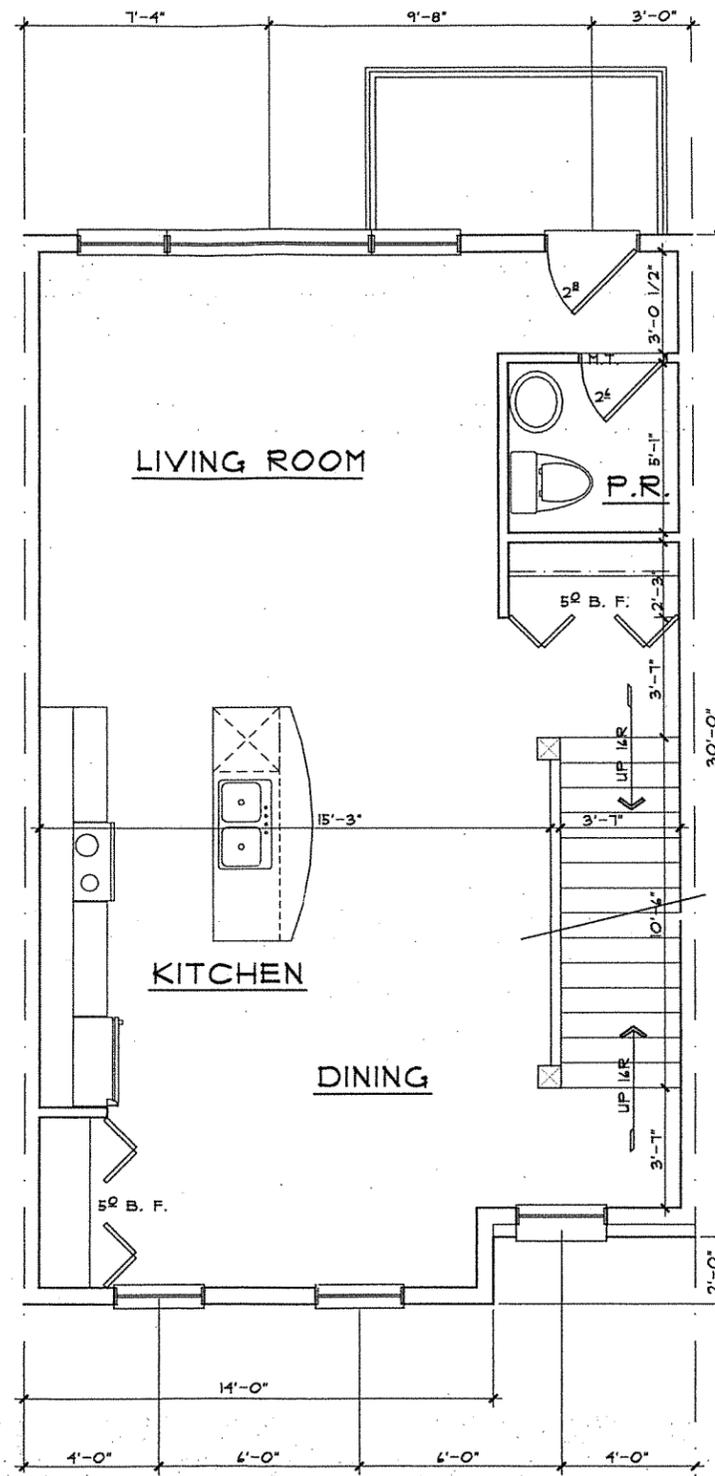






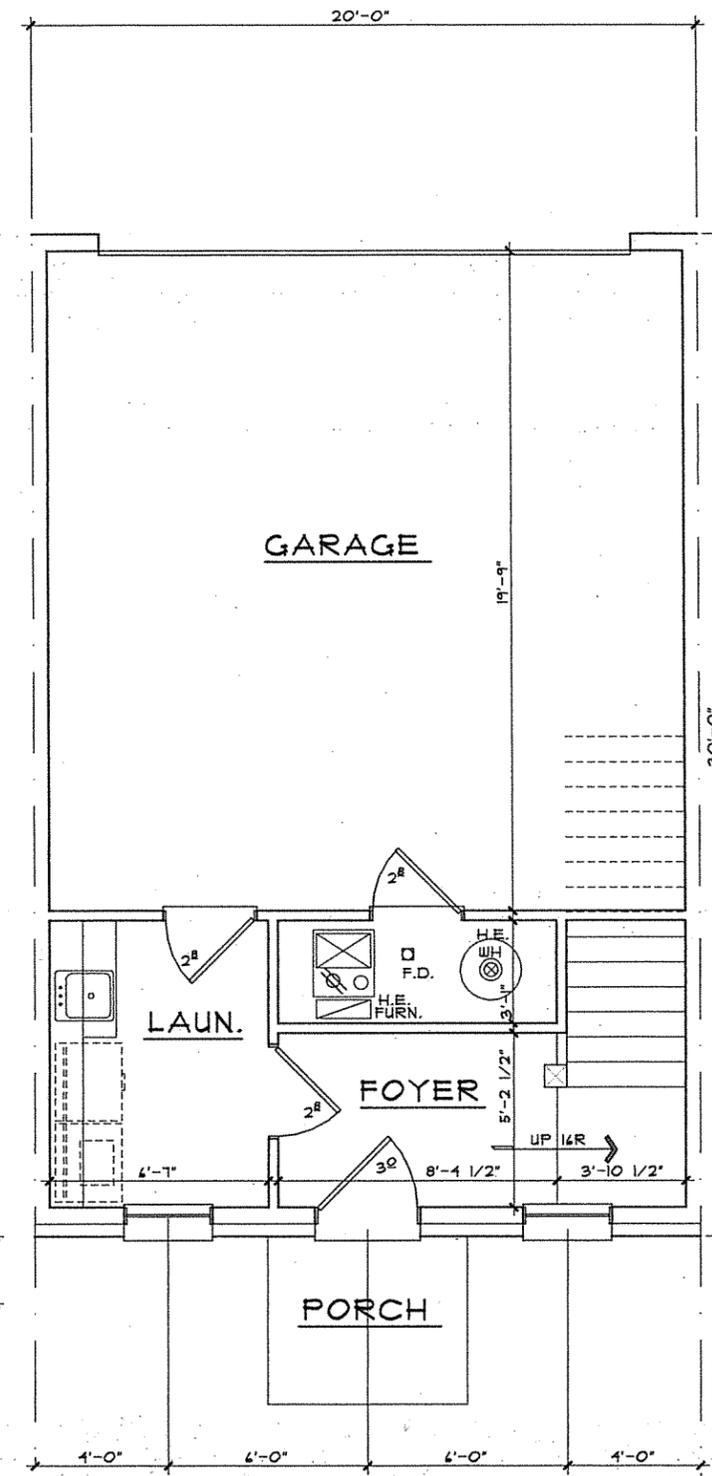
THIRD FLOOR PLAN

SCALE : 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"



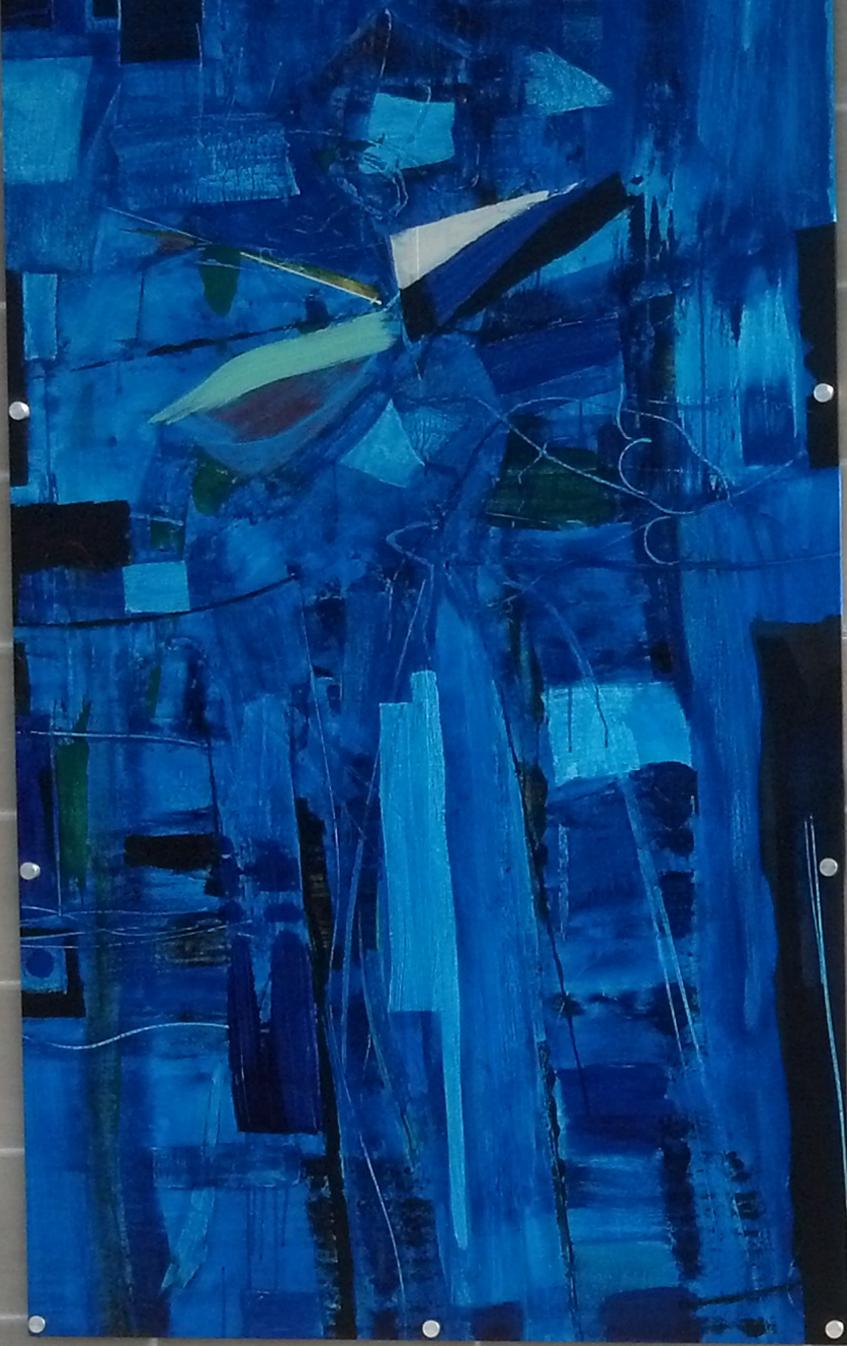
FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

| SQUARE FOOTAGE | |
|----------------|-------------------|
| 1ST FLOOR | 195 SQ FT |
| 2ND FLOOR | 628 SQ FT |
| 3RD FLOOR | 668 SQ FT |
| TOTAL | 1491 SQ FT |

TROY TOWNHOUSE

491







Scottrade

Massage Green

459

451

SY THAI

SY THAI

HOURS
Mon-Fri 10am-8pm
Sat-Sun 10am-6pm
Holiday 10am-5pm



















DIBELLA'S

AI

Pick Up Order

DIBELLA'S
Old Fashioned
SUBMARINES
Est. 1918

sleep  number

sleep  number

491



OPEN

SAVE
500-800

95

ONE WAY

DO NOT ENTER

475

SALE
500-800



Tim Hortons
CAFE & BAKE SHOP

Tim Hortons
CAFE & BAKE SHOP

1800
Tim Hortons

Breakfast Panini
New Jalapeno Cheese
Battered
\$2.99

Tim Hortons
\$1.99

FIRE LANE
No Driveway
No Stopping or
Parking
See Signs
for Details

RESERVED
PARKING
Handicap

ONE WAY



er

35

6
75
99

DATE: June 20, 2013
TO: Planning Commission
FROM: R. Brent Savidant, Planning Director
SUBJECT: ZONING ORDINANCE TEXT AMENDMENT (File Number ZOTA 245) – Sober Living Facilities

The Planning Commission discussed this item at a number of public meetings. The Planning Commission held a public hearing on this item on March 26, 2013 and recommended approval of the public hearing draft. City Council held a public hearing on this item on April 15, 2013 and postponed the item to provide City Council an opportunity to ask questions of staff. The item was considered again at the May 13, 2013 City Council meeting, where it was sent back to Planning Commission for further study.

The intent of the language is to regulate sober living facilities in the City of Troy. A definition for sober living facilities was created. Sober living facilities with 6 or fewer residents are treated as single family residential uses, similar to adult foster care small group homes. Sober living facilities with 7 or more residents are permitted subject to special use approval in the R-1A through R-1E, RT, MR, UR, IB and OM districts.

The attached Public Hearing Draft was prepared based on input from City Council and is consistent with the proposed language in the memo prepared by Carlisle/Wortman Associates, Inc., dated May 23, 2013. The Planning Commission reached a consensus on this language at the May 28, 2013 Special/Study meeting.

Please be prepared to discuss this item at the June 25, 2013 Special/Study meeting.

Attachments:

1. Planning Commission Public Hearing Draft
2. Memo prepared by Carlisle/Wortman Associates, Inc., dated May 23, 2013

G:\ZOTAs\ZOTA 245 Recovery Centers\PC Memo 06 25 2013.doc

CITY OF TROY

AN ORDINANCE TO AMEND
CHAPTER 39 OF THE CODE
OF THE CITY OF TROY
CITY COUNCIL PUBLIC HEARING DRAFT

The City of Troy ordains:

Section 1. Short Title

This Ordinance shall be known and may be cited as an amendment to Chapter 39, Zoning Ordinance, of the Code of the City of Troy.

Section 2. Amendment

Chapter 39 of the Code of the City of Troy is amended as follows

Add the following definition to Section 2.02 DEFINITIONS:

SOBER LIVING FACILITY: A temporary residential living arrangement for seven (7) or more adult persons leaving an institutional setting recovering from drug or alcohol addiction and in need of a supportive living arrangement in order to readjust to living outside the institution. These are persons who are receiving therapy and counseling from licensed or certified professional staff and trained non-professional or paraprofessional support staff who are present when residents are present, to help them recuperate from the effects of drug or alcohol addiction. Sober living facility may provide limited supportive services to residents only, including: mental health services; clinical rehabilitation services; social services; financial management services; legal services; and other similar supportive services. Residency is limited to a specific number of weeks or months, typically 24 months or less. This definition does not constitute halfway houses for those released from prison or a homeless situation.

Add the following to Section 4.21 SCHEDULE OF USE REGULATIONS:

Institutional

| | R1A- R1E | RT | MF | UR | MHP | CF | EP | CB | GB | IB | O | OM | RC | PV | P |
|--|-------------|----------|----------|----------|-----------|-----------|-----------|-----------|-----------|----------|-----------|----------|-----------|-----------|-----------|
| <u>Sober Living Facilities</u> | <u>NP</u> | <u>S</u> | <u>S</u> | <u>S</u> | <u>NP</u> | <u>NP</u> | <u>NP</u> | <u>NP</u> | <u>NP</u> | <u>S</u> | <u>NP</u> | <u>S</u> | <u>NP</u> | <u>NP</u> | <u>NP</u> |

Add Section 6.33 to read as follows:

SECTION 6.33 SOBER LIVING FACILITIES:

- A. All residents shall be eighteen (18) years of age or older.
- B. Frontage on either a major or minor arterial street shall be required.
- C. Appropriate licenses with the State of Michigan shall be maintained.
- D. The subject parcel shall meet the minimum lot area requirements for the zoning district in which it is located provided there is a minimum site area of four-thousand (4,000) square feet per resident, excluding employees, and/or caregivers.
- E. The total number of residents shall not exceed 20.
- F. Facilities may include ancillary facilities such as multi-purpose recreational rooms and meeting rooms.

Add the following to Table 13.06-A to read as follows:

Institutional and Places of Gathering

| | |
|--------------------------------|--|
| <u>Sober Living Facilities</u> | <u>1 space for each 1 per bed and 1 space per employee and/or caregiver at largest shift</u> |
|--------------------------------|--|

Section 3. Savings

All proceedings pending, and all rights and liabilities existing, acquired or incurred, at the time this Ordinance takes effect, are hereby saved. Such proceedings may be consummated under and according to the ordinance in force at the time such proceedings were commenced. This ordinance shall not be construed to alter, affect, or abate any pending prosecution, or prevent prosecution hereafter instituted under any ordinance specifically or impliedly repealed or amended by this ordinance adopting this penal regulation, for offenses committed prior to the effective date of this ordinance; and new prosecutions may be instituted and all prosecutions pending at the effective date of this ordinance may be continued, for offenses committed prior to the effective date of this ordinance, under and in accordance with the provisions of any ordinance in force at the time of the commission of such offense.

Section 4. Severability Clause

Should any word, phrase, sentence, paragraph or section of this Ordinance be held invalid or unconstitutional, the remaining provision of this ordinance shall remain in full force and effect.

Section 5. Effective Date

This amendment to the Zoning Ordinance shall take effect seven (7) days after publication, which shall be published within 15 days of adoption, as required the Michigan Zoning Enabling Act (Act 110 of 2006).

This Ordinance is enacted by the Council of the City of Troy, Oakland County, Michigan, at a regular meeting of the City Council held at City Hall, 500 W. Big Beaver, Troy, MI, on the _____ day of _____, 2013.

Dane Slater, Mayor

Aileen Bittner, City Clerk



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

MEMORANDUM

TO: Troy Planning Commission
Brent Savidant, Planning Director

FROM: Ben Carlisle

DATE: May 23, 2013

RE: Sober Living Text Amendment

On April 15, 2013, the City Council held a public hearing for the Sober Living Text Amendment. At that meeting, they considered the Planning Commission recommended zoning regulatory language, as well as received public testimony. After a presentation by staff, public testimony, and deliberation, the matter was continued to the May 13, 2013 meeting to allow staff time to research and address specific questions from Council.

The questions from Council were mostly related to the demonstration of “need” and potential impact on single-family residential properties and neighborhoods. Attached is a memo prepared by staff addressing Council’s questions.

On May 13th, the City Council considered a presentation from staff specifically addressing the Council’s questions. After deliberation, the City Council remanded the matter to the Planning Commission for further study.

Planning Commission Consideration

Addressing the request of the Council, the Planning Commission is asked to further study the matter to ensure protection of single-family residential neighborhoods. Listed below are proposed options to be considered by the Planning Commission:

1. Permit Use only in Multiple-Family Residential, Integrated Business, and Office-Mixed Use Districts

| | | | | | | | | | | | | | | | |
|-----------------------|-----------------|----------|----------|----------|-----|----|----|----|----|----------|----|----------|----|----|----|
| | R1A-R1E | RT | MF | UR | MHP | CF | EP | CB | GB | IB | O | OM | RC | PV | P |
| Sober Living Facility | S NP | <u>S</u> | <u>S</u> | <u>S</u> | NP | NP | NP | NP | NP | <u>S</u> | NP | <u>S</u> | NP | NP | NP |

2. Limit the Maximum Permitted Residents Per Facility to 20.

A 20 resident limit would be consistent with the resident limit for Foster Care Large Group Home. Limiting the overall number of residents reduces the potential for external impacts (parking, noise, light, etc) upon adjacent properties.

3. Increase minimum lot area per resident from 2,500 sq/ft to 4,000 sq/ft.

A 4,000 sq/ft minimum lot area per resident requirement would be consistent with the minimum sq/ft requirement for Adult Care Foster Facilities. Because the Ordinance only regulates facilities of seven (7) residents or more, the minimum lot area for a Sober Living Facility is 28,000 sq/ft. A 28,000 sq/ft minimum lot area would reduce the potential for external impacts upon adjacent properties by ensuring adequate area for parking, open space, and setbacks.

I look forward to discussing this further.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Attachment: Council Question Memo
Sober Living Draft Text Amendment (dated 4-15-13)