



PLANNING COMMISSION MEETING AGENDA SPECIAL/STUDY MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

August 27, 2013

7:00 P.M.

Council Board Room

1. ROLL CALL
2. APPROVAL OF AGENDA
3. MINUTES – August 13, 2013 Regular meeting
4. PUBLIC COMMENT – For Items Not on the Agenda
5. ZONING BOARD OF APPEALS (ZBA) REPORT
6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT
7. PLANNING AND ZONING REPORT

POSTPONED ITEM

8. CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

STUDY ITEM

9. POTENTIAL PLANNED UNIT DEVELOPMENT (PUD) - Proposed Mixed Use PUD Project, Northeast corner of Crooks Road and I-75 (5498-5500 Crooks), Section Presently zoned OM Office Mixed Use

OTHER BUSINESS

11. PUBLIC COMMENT – Items on Current Agenda
12. PLANNING COMMISSION COMMENT

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Tagle called the Regular meeting of the Troy City Planning Commission to order at 7:01 p.m. on August 13, 2013 in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Michael W. Hutson
Edward Kempen
Tom Krent
Philip Sanzica
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Absent:

Also Present:

R. Brent Savidant, Planning Director
Susan Lancaster, Assistant City Attorney
Ben Carlisle, Carlisle/Wortman Associates, Inc.
Frank Boudon, Student Representative

2. APPROVAL OF AGENDA

Resolution # PC-2013-08-062

Moved by: Schultz
Seconded by: Strat

RESOLVED, To approve the Agenda as prepared.

Yes: All (9)
Absent: None

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2013-08-063

Moved by: Edmunds
Seconded by: Sanzica

RESOLVED, To approve the minutes of the July 23, 2013 Special/Study meeting as published.

Yes: All (9)
Absent: None

MOTION CARRIED

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

POSTPONED ITEM

5. PRELIMINARY SITE PLAN REVIEW – Proposed Cedar Pines Woods Site Condominium, 8 units/lots, East side of Crooks, South of Benjamin (6622 Crooks), Section 4, Currently Zoned R-1B (One Family Residential) District

Mr. Carlsisle presented his report on this item. Mr. Carlisle stated that the revised cluster layout was a significant improvement over the original design, including a proposed 45-foot wide conservation easement.

General discussion followed.

Bruce Michael responded to questions on behalf of the applicant Trowbridge Homes.

Chairman Tagle opened the public hearing.

The following spoke at the public hearing:

- Joel Pumphrey, 6616 Glendale Drive
- Paul Pitts, 6617 Glendale Drive

Chairman Tagle closed the public hearing.

There was general discussion related to the conservation area and the preservation of trees therein.

Resolution # PC-2013-08-064

Moved by: Krent

Seconded by: Strat

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Cedar Pines Woods Site Condominium, 8 units/lots, East side of Crooks, South of Benjamin (6622 Crooks), Section 4, Currently Zoned R-1B (One Family Residential) District, be granted, subject to the following:

1. Applicant shall work with City Attorney’s Office to provide documentation to guarantee that all open space portions of the development will be preserved and maintained as approved and that all commitments for such preservation and maintenance are recorded with the Oakland County Register of Deeds and therefore binding on successors and future owners of the subject property.
2. Applicant shall provide a tree survey for the area immediately behind each individual unit, one (1) year after the final certificate of occupancy is issued for each individual

unit. Any tree that was removed or died as a result of construction that was shown to be preserved on the approved Preservation Plan shall be replaced at two inches DBH for every one inch DBH removed.

- 3. Applicant shall provide barrier-free pedestrian connection via trail or path from the internal sidewalk to Crooks Road.

Yes: All (9)
Absent: None

MOTION CARRIED

PRELIMINARY SITE PLAN REVIEW

- 6. PRELIMINARY SITE PLAN REVIEW (File Number SP 921-A) – Proposed Briggs Park Condominiums, East side of Rochester, North of Lamb, Section 14, Currently Zoned RT (One Family Attached Residential) District

Mr. Carlsisle presented his report on this item.

General discussion followed.

Resolution # PC-2013-08-065

Moved by: Hutson
Seconded by: Schultz

RESOLVED, That Preliminary Site Plan Approval, pursuant to Article 8 of the Zoning Ordinance, as requested for the proposed Briggs Park Condominium, located on the east side of Rochester, north of Lamb, Section 14, within the RT (One Family Attached) district, be granted, subject to the following conditions:

- 1. Maintain Building 9 as three (3) unit building rather than the proposed four (4) unit building.
- 2. Provide maximum lot area covered by buildings calculation.
- 3. Place sidewalks within an access easement.
- 4. Add additional evergreen landscaping along Rochester Road, specifically adjacent to Building 11.

Yes: All (9)
Absent: None

MOTION CARRIED

OTHER BUSINESS

- 10. PUBLIC COMMENTS – For Items on Current Agenda

There was no one present who wished to speak.

11. PLANNING COMMISSION COMMENTS

There was general discussion.

The Regular meeting of the Planning Commission adjourned at 8:20 p.m.

Respectfully submitted,

John J. Tagle, Chair

R. Brent Savidant, Planning Director

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DATE: August 22, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

The applicant, A & M Hospitality, seeks a rezoning of the subject parcel from O (Office) to OM (Office Mixed Use) District. The parcel is approximately 4.5 acres in area. The conditions voluntarily offered by the applicant are described in the attached report prepared by Carlisle/Wortman Associates, Inc.

The item was considered at the July 23, 2013 Planning Commission Regular meeting and postponed one month (see attached minutes).

The Master Plan classifies this area as 21st Century Industrial. A description of this classification is attached.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

There will be a public hearing on this item at the August 22, 2013 Planning Commission Special/Study meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Minutes from July 23, 2013 Planning Commission Regular meeting (excerpt)
4. Report prepared by Carlisle/Wortman Associates, Inc.

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PROPOSED RESOLUTION

CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

Resolution # PC-2013-08-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby postpones this item to provide the applicant an opportunity to address issues identified in the Planning Commission report dated August 15, 2013.

Yes:

No:

MOTION PASSED / FAILED



Legend:



Scale 1: 1,892

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Legend:

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

378 0 189 378 Feet

Scale 1: 2,271

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

21st Century Industry: A New Opportunity for Growth



- *Continued encouragement of a variety of industrial uses*
- *Light industrial uses with no outdoor storage or external nuisances are especially encouraged*
- *The emphasis for site design should be on screening, landscaping, buffering, and effective transitioning to allow this important category to succeed without negative impacts on residential or commercial areas of the City*

The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. In addition to conventional industrial uses, shops, and warehousing, this category can be home to business-to-business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield. Suppliers, fabricators, printers, and many other supporting uses which strengthen the City's appeal as a home to 21st Century businesses are all encouraged in this category.

An alternative use that may be considered on a very limited basis in the 21st Century Industrial area is loft-style residential development in reclaimed industrial buildings. Opportunities for artist lofts and open-floorplan residential development may exist within new, innovative mixed-use projects. Such projects would be an ideal fit within the 21st Century Industrial area. Such housing will only be considered when all potential environmental limitations have been identified, and if necessary, neutralized.

The majority of the 21st Century Industrial lands in Troy surround the Maple Road category (see page 105), although they are intermingled with areas planned for the Automall, the Smart Zone, and the Transit Center. **Existing land uses along Maple Road vary widely, and do not have a clear, identifiable character.** Maple Road is primarily experienced as a series of nodes that center on north-to-south traffic leading into and out of Troy from the Big Beaver Corridor. For this reason, Maple Road is planned as a series of areas designed to support the Big Beaver Corridor and the Smart Zone, such as the business-to-business uses noted above.

DESIGN CONCEPT

- This area will recognize that manufacturing and distribution will continue to provide valuable jobs and a tax base. Emphasis will be on maintaining a strong image by concentrating on site and building maintenance as well as redevelopment, rather than redevelopment alone.
- Code enforcement will be a critical tool to maintain the visual and physical health of the district.
- As land becomes available, green space should double and storm water management should improve.

SITE DESIGN ATTRIBUTES

- Primary parking areas are located within rear or interior side yards.
- Front yards will be landscaped and well-maintained to continue an improved image.
- Green space will be placed along property perimeters to assist with controlling surface storm water runoff.

BUILDING DESIGN ATTRIBUTES

- The office portion of industrial developments will locate nearest the public street.

CONDITIONAL REZONING REQUEST

10. **PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 009)**
– Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

Mr. Carlisle reviewed the proposed conditional rezoning application as relates to the conditions offered by the applicant and the conceptual site plan submittal. Mr. Carlisle stated that should the conditional rezoning be granted by City Council, the applicant is required to apply for Preliminary Site Plan and Special Use approval. Mr. Carlisle said the proposed conditional rezoning supports the Master Plan and surrounding areas, provided impacts upon adjacent properties are mitigated.

Andy Wakeland of Giffels Webster and Jeffrey Ryntz of Victor Saroki and Associates were present to represent the petitioner. Akram Namou of A&M Hospitality was also present.

Mr. Wakeland addressed their efforts to mitigate the potential impact to adjacent residential as relates to the proposed setbacks and screening. Mr. Wakeland provided a sight line profile from the proposed four-story hotel to adjacent residential.

Mr. Ryntz addressed the proposed building design and newer Fairfield Inn elevation. Mr. Ryntz also addressed the percentage of hotel windows facing adjacent residential, discussion with Marriott regarding frosted windows, the uses by right for the parcel as currently zoned, the transient and long term occupancy of each hotel, and the non-viability of the hotels if developed as three-story buildings.

Mr. Namou addressed the upscale design improvements and lighting standards of Marriott Hotels. He said the two hotels will complement each other.

PUBLIC HEARING OPENED

The following residents spoke in opposition addressing concerns with privacy, nuisance, screening, lighting, property values, current hotel occupancy rates and existing vacant buildings.

- Nick Penchof, 302 Redwood.
- James Stone, 314 Redwood.
- Sally Wilsher, 350 Redwood, circulated pictures of light exposure in home from existing hotel.
- Cindy Wilsher, 369 E Maple.
- Kay Vavruska, 278 Redwood.

- Mike Davey, 325 Redwood.
- Mary Jane Austin, 242 Redwood, circulated pictures of existing fencing with vegetative growth.

PUBLIC HEARING CLOSED

Mr. Namou said the proposed location is approved by Marriott and briefly addressed the criteria used in site selection. Mr. Namou said an open meeting was held in good faith for residents within a 300 foot radius to address concerns and answer questions. He said one resident attended. Mr. Namou said they want to be good neighbors and work with the neighbors to mitigate concerns going forward.

There was discussion on the process of a conditional rezoning application.

The Board asked if the petitioner would provide additional screening details, precise setbacks, sight-line information and consideration to various building configurations to mitigate the concerns expressed by adjacent residential.

The City Attorney suggested that should a recommendation to approve the application go forward to City Council, the Resolution should stipulate that approval is subject to 1) Site Plan and Special Use approval; 2) subject to the Development Agreement; and 3) list conditions voluntarily offered by the application.

The petitioner asked to postpone the item to the August 27, 2013 Special/Study meeting, at which time additional detail and information would be provided per discussion tonight.



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: August 15, 2013

Conditional Rezoning, Site Plan Review, and Special Use For City of Troy, Michigan

GENERAL INFORMATION

Applicant	Akram Namou, A&M Hospitality
Project Name:	Troy Marriott Hotels
Plan Date:	August 9, 2013
Location:	333 Stephenson Hwy between 14 Mile and E. Maple
Zoning:	O, Office Building District
Action Requested:	Conditional Rezoning Request to OM, Office Mixed Use; Site Plan Approval, and Special Use Approval
Required Information:	Deficiencies noted.

SUMMARY OF DEVELOPMENT AND PROCEDURE

The applicant is requesting a conditional rezoning of 333 Stephenson Hwy from O, Office Building District to OM, Office Mixed Use District in order to develop two (2) hotels on this single parcel. The proposed hotels are a 4-story, 89 room TownePlace Suite and a 4-story, 91 room Fairfield Inn and Suites. The hotels include pool, exercise, and business service facilities but do not include any accessory facilities such as banquet facilities, or restaurants that would attract non-overnight travel. The TownePlace Suites is targeted to extended stay guests and includes efficiency kitchens in every room. The facilities would share a connected 195-space parking lot.

The conditions offered by the applicant include 1). rezoning to OM, Office Mixed Use District for lodging purposes only; and 2). the submitted site plan. Lodging is a special use in the OM District.

If the Planning Commission recommends site plan and special use approval, the approval is conditioned on the City Council granting the conditional rezoning.

Troy Marriott Hotels Conditional Rezoning

The Planning Commission first reviewed the application on July 23rd. At that meeting the Planning Commission was open to the concept of rezoning but desired more assurances that the proposed use would not impact adjacent single-family neighbors to the west. At the meeting the applicant offered to come back to the Planning Commission with a site plan as a condition.

Location of Subject Property

The property is located on the west side of Stephenson Highway north of 14 Mile.



Size of Subject Property:

The overall size of the subject property is 4.5 acres

Current and Proposed Uses of Subject Parcel:

Vacant 3-story office building

Current Zoning:

The property is currently zoned O, Office District.

Direction	Zoning	Use
North	O, Office	Office
South	O, Office (Planning Commission recommended approval of Conditional Rezoning to IB)	Office/Bank
East	RC, Research Center	Office
West	R-1E, Single-Family Residential	Single-Family Residential

CONDITIONAL REZONING REVIEW

MASTER PLAN

This site is located on the border of the Smart Zone and 21st Century Industry area of the Master Plan, which calls for "...business to business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield." The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. Both future land use classifications support areas for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. However understanding the changing nature of the office market, proximity to I-75, and a renewed focus on providing a mix of complementary land uses, the proposed lodging use is consistent with this Master Plan designation of the area.

In short, provided impacts upon adjacent properties are mitigated and identified site planning issues are addressed, the conditional rezoning supports the surrounding office, research, and light industrial uses. We also recognize the compatible presence of existing OM properties immediately north of the site, and the desire for commercial use of the property due to the high visibility and accessibility along Stephenson Highway and to Interstate 75.

Items to be Addressed: Address site plan issues herein noted.

ZONING BACKGROUND

Stephenson Highway is a limited access major arterial designed to serve a mix of office, light industrial, commercial, and lodging uses. The surrounding area is a mixture of Integrated Business (IB), Research Center (RC), Office (O-1), Office Mixed Use (OM), and One-family residential (R1-E). The site to the south was recommended by the Planning Commission for conditional rezoning to IB, Integrated Business. The conditional rezoning was never considered by the City Council, as that applicant pulled their application.



The OM District is intended “...to provide areas for large office uses which serve large numbers of people, as well as the retail, service, restaurant, lodging, and residential options that should be provided to support such large employment centers. A major purpose of this District is to provide areas for buildings of greater height and more intensive land use activity in an otherwise low-density community, while providing amenities on-site or within the same immediate area to foster a walkable, compact, dense urban environment. The OM District is also intended to encourage the development of uses and services that will support and enhance the marketability of the City of Troy as a vibrant and desirable place to work where a high quality of life can be offered for both workers and residents. As such, it is a primary role of the OM District, along with the IB, RC, CB and GB Districts to preserve the economic vitality of the area.”

This applicant considered requesting a rezoning to IB, but felt a conditional rezoning to OM better met their site planning needs. Specifically, they were concerned with the IB District’s restriction of parking in the front of the building. This restriction would require all parking to be located behind the buildings and thus have a greater impact upon the adjacent single-family residents. A conditional rezoning to a specific use and other dimensional conditions as submitted by the applicant can limit concerns in regards to zoning consistency of the area and adjacency of other OM zoned properties.

The table below outlines the proposed conditions as shown on the site plan as compared to the currently zoned Office District and proposed Office Mixed Use District:

	Office	Office Mixed Use	Conditions by Applicant
Front Yard	10 feet	10 feet	80 feet
Side Yard	20 feet	20 feet	40 feet
Rear Yard / Boundary to Single Family (Building)	50 feet	50 feet	Townplace Suites: 159 feet to the 1 st floor pool, 197 feet to 2 nd -4 th floor Fairfield: 185 feet to 1 st -4 th floor
Rear Yard (Parking)	10 feet	10 feet	42.4 feet
Height	3 stories, 36 feet	5 stories, 75 feet	4 stories
Landscape Screening	80% opacity screening	80% opacity screening	80% opacity landscape screening and screening wall
Uses	Office, Bank, Research and Development, School, and Place of Worship	Office, Bank, Research and Development, School, Place of Worship, and hotels (special use)	Two (2) Hotels

Items to be addressed: None

STANDARDS

The Zoning Ordinance identifies five (5) findings that the Plan Commission should evaluate when considering a Conditional Rezoning petition (Section 16.04.C). A Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a) The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

A guiding principle of both the Master Plan and zoning ordinance is the protection of single-family neighborhoods. Provided that the noted changes to the site plan are made to provide adequate buffer and transition, the proposed conditions offered by the applicant will protect public health, safety, and welfare. Provided adequate buffer and transition is provided, the specific use and development as a whole will greatly enhance the area and provide a benefit to the immediate area and the larger region by providing lodging for out-of-town guests. Congregating complementary uses will allow for reduction in automobile dependence, which increases public health, safety, and welfare.

- b) The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
- I. A change in City policy since the Master Plan was adopted.
 - II. A change in conditions since the Master Plan was adopted.
 - III. An error in the Master Plan.

The proposed development is not in material conflict and is consistent with the Master Plan. The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. This site is located on the border of the Smart Zone and 21st Century Industry area of the Master Plan, which calls for "...business to business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield." The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. However understanding the changing nature of the office market, proximity to I-75, and a renewed focus on providing a mix of complementary land uses, the proposed lodging use is appropriate for this area. The applicant has chosen the OM zoning district due to the applicant's desired use, consideration of the surrounding zoning, and consideration of the Master Plan. The proposed use will fully support and compliment the surrounding office and research center uses in the surrounding area.

- c) The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

Provided that specific site planning changes are made, the applicant has offered conditions are in accordance with all terms of the OM zoning district. A submittal of a revised site plan will be required.

- d) Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

All necessary public services, utilities, and facilities already adequately serve this site. Any permitted uses and development within OM district would not require any additional public services and facilities than normally associated with a like use; however private utilities including water will be reviewed as part of the building permit process.

- e) The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

The site is adjacent to R-1E, One-Family Zoning to the west; O, Office Building District to the south; RC, Research Center District to the east across Stephenson Highway; and OM, Office Mixed District and IB, Industrial Business to the north. The applicant has chosen the OM zoning district due to the applicant's desired uses, consideration of the surrounding zoning, and consideration of the Master Plan.

As noted, provided that specific changes to the site plan are made, the applicant has provided sufficient buffer and transition to adjacent single-family residential. The applicant has offered additional rear yard setback, reduced height, and increased landscape buffering.

Items to be Addressed: Address site plan issues noted below.

SITE PLAN REVIEW

SITE ARRANGMENT, BUILDING LAYOUT, AND BULK

The applicant has placed the two (2) hotels within 80-feet of Stephenson Highway. The 1st floor of the Townplace Suites is 159 feet from the rear property line and the 2nd-4th floor is 197 feet from the rear property line. The Fairfield Inn is 185 feet from the rear property line. A limited amount of parking is provided in front of the building and most of the parking is located to the rear. The hotels will share internal drives and parking facilities.

Sections 4.17.C establish the dimensional requirements for the OM District. The requirements and the proposed dimensions are as follows:

	Required:	Provided:	Compliance
Front (Stephenson)	10 feet minimum setback	80 feet	Complies
Side (north)	10 feet minimum setback	40 feet	Complies
Side (south)	10 feet minimum setback	43 feet	Complies
Rear (east)	50 feet minimum setback	Townplace Suites: 159 feet to the 1 st floor pool, 197 feet to 2 nd -4 th floor Fairfield: 185 feet to 1 st -4 th floor	Complies
Building Height	Maximum 5 stories, 75 feet	4 stories, 69 feet	Complies
Building Lot Coverage Floor Area	40%	14%	Complies

Both the Planning Commission and the adjacent single-family properties expressed concern that 4-story height and amount of windows on the rear elevation provide direct site lines into adjacent residential properties. In addition there was concern regarding other impacts including light and noise due to the activity behind the building. The Planning Commission suggested that the applicant consider site layout alternatives.

In the detailed site plan the applicant has moved the building further away from the rear property lines; however there are additional site arrangements should be considered to mitigate impacts on adjacent properties. Additional considerations in regards to site arrangements include:

- Turn the buildings so that the short side is parallel to the residential properties. Doing this would reduce the total amount of windows that face residential properties and allow the drop off, and most of the parking and activity to occur between the buildings rather than in the rear. Conversely, it would push the rear of the buildings closer to the rear of the property.
- Reduce/remove parking in front of the buildings so that the buildings can be moved up closer to Stephenson Highway. The minimum setback along Stephenson Highway is 10-feet.
- Alter the floor plans so that the mechanical/utilities/stairway is located along the rear elevation. Moving these facilities along the rear elevation would allow the applicant to reduce the number of windows.

Items to be Addressed: Address how site was arranged to mitigate impacts on adjacent properties.

PARKING

Section 13.06 provides the following parking requirements:

	Required	Provided	Compliance
Hotel: One (1) space for each guest room	Towneplace= 89 rooms = 89 spaces Fairfield = 91 rooms = 91 spaces	180 spaces	Compliant
One (1) space per employee on the largest shift	Towneplace= 3 employees rooms = 3 spaces Fairfield = 3 employees = 3 spaces	6 spaces	Compliant
Any additional spaces required for dining establishments	N/A	N/A	N/A
TOTAL	186 spaces	186 spaces	Compliant
Barrier Free	17	17	Compliant
Bicycle Parking	2	0	Non-Compliant
Loading	0	2 loading lanes	Compliant

The proposed hotel does not include accessory facilities such as restaurant or bar that requires additional parking. The applicant notes only three (3) employees at maximum shift. However based on an 89-room and 91-room hotel we expect the largest shift to include more than three (3) employees. The applicant should verify the maximum employee count on the largest shift.

Bicycle Parking

Two (2) bicycle parking spaces per hotel are required by ordinance.

Items to be Addressed: 1). Verify maximum employee count on the largest shift; and 2). Provide a minimum of two (2) bicycle parking spaces for each hotel.

SITE ACCESS AND CIRCULATION

Vehicular access and Circulation

The site will be accessed from two (2) curbs off Stephenson Highway. The northern curb cut will remain in its current location. The southern curb cut, which is located in the middle of the site, will be shifted approximately 50-feet to the south of the existing curb cut. The Engineering Department has concern regarding the location of the southern curb cut in relation to the existing Stephenson Highway crossover and traffic signal. The Engineering Department has requested additional information from the applicant regarding the existing cross-over and traffic signal in relation to the proposed access point. The access and circulation is also being reviewed by the City’s Traffic Consultant, OHM. More information regarding the Engineering Departments and OHM’s review of access will be provided at the meeting.

Pedestrian access:

The existing 5-feet sidewalk along Stephenson Highway must be increased to 8-feet in width. The applicant has provided an internal pedestrian connection to the public sidewalk.

Items to be Addressed: 1). Address any issue raised by the Engineering and OHM regarding location of southern access point; and 2). Increase sidewalk width along Stephenson Highway to 8-feet.

LANDSCAPING

The application includes a landscape plan. The plan includes a mix of evergreen and deciduous trees, and shrubs.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Greenbelt:</u> 10 feet in width along Stephenson Highway	10 feet	10 feet	Compliant
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	13 street trees	13 street trees	Compliant
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	20%	Calculation not provided	Provide calculation
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	24 trees	24 trees	Compliant
<u>Screening Between Land Uses:</u> 80% opacity	Screen Alt 3 and/or wall	6-foot concrete panel wall and landscaping	Compliant

The applicant should provide landscape calculation figure. The applicant proposes additional rear yard landscape screening which includes 31 white spruce and 21 sugar maple. The white spruce are 12 to 15-feet height at time of planting and the 3 to 4-inch sugar maples are 12 to 15-feet in height at time of planting.

Buffer Wall: The applicant is proposing to maintain the existing 6-foot high panel wall. The wall should be replaced with a decorative, 8-foot high sound wall.

Trash Enclosure: The applicant has located one trash enclosure for the facility as the southwest corner of the site. The applicant added a note on the site plan that the trash enclosure will be made of 6' high poured concrete. However, no information regarding color, or gate details was provided. Additional trash enclosure details should be provided.

Items to be Addressed: 1). Provide landscape percentage calculation; 2). Replace existing 6-foot concrete wall with an 8-foot decorative sound wall; and 3). Provide additional trash enclosure screening details.

PHOTOMETRICS

The lighting plan indicates a total of twelve (12) pole mounted lights. Four (4) of the pole lights are located in rear parking lot, three (3) along the drive-aisles to side of the buildings, and five (5) along Stephenson Highway. The applicant has provided cut sheets.

The applicant indicates a pole mounted height of 20 feet. The height of the poles should be reduced to no more than 15-feet, so that they are screened by the 12 to 15-foot high vegetation. The reduction of the height of poles might require an additional pole light in rear. Furthermore, the applicant should move the pole locations to landscaped islands because the ones shown in the rear parking lots will be damaged by automobiles, snow plows, etc.

The applicant does not indicate any building lights. The building code requires lighting for each exterior door. The applicant should confirm that they are not proposing any building lighting above the first floor. Any building lights should be shown on the elevation, included in the photometric calculations, and have a submitted cut sheet.

The photometrics levels meet ordinance requirements.

Items to be Addressed: 1). Reduce pole height to a maximum of 15-feet; 2). Relocate poles in rear parking area to curbed landscape area; 3). Confirm that there is no building lighting above the first floor; and 4). Show building lighting on the elevation, include in the photometric calculations, and submit a cut sheet.

FLOOR PLANS and ELEVATIONS

Floor plans and building elevations have been provided. Both buildings are constructed primarily of E.I.F. material. Due to durability concerns, E.I.F. should not be used as a primary material and rather as an accent material. The applicant should replace E.I.F. with a more durable, alternative materials.

The issues of windows along the rear elevation have been raised.

Items to be Addressed: Replace E.I.F. with a more durable, alternative material.

SPECIAL USE

Standards of Approval

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

A guiding principle of both the Master Plan and zoning ordinance is the protection of single-family neighborhoods. Provided that identified adequate buffer and transition changes to the site plan are made, the proposed conditions offered by the applicant will protect public health, safety, and welfare. Provided adequate buffer and transition is provided the specific use and development as a whole will greatly enhance the area and provide a benefit to the immediate area and the larger region by providing lodging for out-of-town guests. Congregating complementary uses will allow for reduction in automobile dependence, which increases public health, safety, and welfare.

2. *Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

The proposed development is not in material conflict and is consistent with the Master Plan. The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. This site is located on the border of the Smart Zone and 21st Century Industry area of the Master Plan, which calls for "...business to business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield." The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. However understanding the changing nature of the office market, proximity to I-75, and a renewed focus on providing a mix of complementary land uses, the proposed lodging use is appropriate for this area. The applicant has chosen the OM zoning district due to the applicant's desired use, consideration of the surrounding zoning, and consideration of the Master Plan. The proposed use will fully support and compliment the surrounding office and research center uses in the surrounding area.

3. *Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts*

shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.

While hotel uses generate traffic, such traffic is spread out throughout day and typically does not have a peak period. The hotels should have minimal impact on traffic. The hotels are located on a major arterial that can accommodate increased traffic. However, the Engineering Department has requested additional information from the applicant regarding the existing cross-over and traffic signal in relation to the proposed access point.

4. Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.

The proposed use should not cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.

5. Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.

Outside the aforementioned issues, the site complies with all other zoning ordinance standards.

The Planning Commission is also required to generally consider the following for any special use application:

1. The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.

See above. Provided site planning issues are addressed the proposed use may be permissible in the proposed location.

2. Vehicular circulation and parking areas.

Interior Vehicular circulation is sufficient. Applicant shall confirm parking requirements.

3. Outdoor activity, storage and work areas.

N/A.

4. Hours of operation.

We assume due to the nature of the proposed use, this will be a 24-hour, 7 day per week use.

5. Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.

Without the specific noted site plan changes there is the potential for noise and light impact upon adjacent properties. The applicant shall address the noted site plan issues to mitigate impact upon adjacent properties.

Items to be addressed: Address Ordinance compliance issues noted herein.

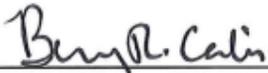
RECOMMENDATION

Because a condition offered by the applicant is the approval of the Site Plan, we recommend that the following site planning issues are addressed prior to the Conditional Rezoning, Special Use, and Site Plan is recommended for approval by the Planning Commission:

1. Address how site was arranged to mitigate impacts on adjacent properties.
2. Verify maximum employee count on the largest shift.
3. Provide two (2) bicycle parking spaces.
4. Address any issue raised by the Engineering and OHM regarding location of southern access point.
5. Increase sidewalk along Stephenson Highway to 8-feet in width.
6. Provide landscape percentage calculation.
7. Replace existing 6-foot concrete wall with an 8-foot decorative sound wall.
8. Provide additional trash enclosure screening details.
9. Reduce pole height to a maximum of 15-feet.
10. Relocate poles in rear parking area to curbed landscape area.
11. Confirm that there is no building lighting above the first floor.
12. Show building lighting on the elevation, include in the photometric calculations, and submit a cut sheet.
13. Replace E.I.F. with a more durable, alternative material.

Please contact me if you have any questions.

CARLISLE/WORTMAN ASSOCIATES, INC.



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal:



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION
07-10-2013	CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS
07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL

Developed For:
TROY HOTELS, INC.

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

COVER

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date:	05.03.2013
Scale:	NTS
Sheet:	01
Project:	18452.00

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TROY MARRIOTT HOTELS

CITY OF TROY, OAKLAND COUNTY, MICHIGAN
SECTION 24 T-05-N, R-13-E
TAX PARCEL ID:



LOCATION MAP
(NOT TO SCALE)

PROPERTY DESCRIPTION

(PER TAX RECORD, TAX ID: 20-35-326-012)

LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, T-2-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT A POINT DISTANT S.88°24'00"E., 664.61 FEET AND S.88°13'12"E., 1019.84 FEET AND N.01°57'38"E., 358.88 FEET FROM THE SOUTHWEST CORNER OF ABOVE SAID SECTION; THENCE N.88°35'27"W., 351.11 FEET; THENCE N.02°31'48"E., 570.29 FEET; THENCE S.88°02'22"E., 345.43 FEET; THENCE S.01°57'38"W., 566.88 FEET TO THE POINT OF BEGINNING.

AS FIELD SURVEYED DESCRIPTION

(TAX ID: 20-35-326-012)

PART OF THE SOUTHWEST 1/4 OF SECTION 35, T-02-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 35; THENCE N.87°33'17"E., 1684.46 FEET ALONG THE SOUTH LINE OF SAID SECTION 35 (14 MILE ROAD) TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY (204 FEET WIDE); THENCE N.02°07'02"W., 358.99 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE S.87°11'49"W., 351.12 FEET; THENCE N.01°32'52"W., 570.43 FEET; THENCE N.87°52'58"E., 345.43 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY; THENCE S.02°07'02"E., 566.20 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING AND CONTAINING 4.543 ACRES.

BENCH MARK DATA

(CITY OF TROY) DATUM

CITY BENCH MARK NO. 2015
SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
ELEVATION=644.52'

SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

DEVELOPER :

TROY HOTELS INC.
24170 SHERWOOD
CENTER LINE, MI 48015
(248) 259-5600 p

CIVIL ENGINEER :

GIFFELS WEBSTER
6303 26 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
(586) 781-8950 p
(586) 781-8951 f
ATTN: ANDY WAKELAND, P.E.

LANDSCAPE ARCHITECT :

GIFFELS WEBSTER
6303 26 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
(586) 781-8950 p
(586) 781-8951 f
ATTN: MARK HANSEN, B.L.A., R.L.A.

ARCHITECT :

VICTOR SAROKI & ASSOCIATES
430 N. OLD WOODWARD AVE.
BIRMINGHAM, MI 480009
(248) 258-5707 p
(248) 258-5515 f

CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS SHEET INDEX

- 01 COVER
- 02 TOPOGRAPHIC SURVEY
- 03 SITE PLAN
- 04 UTILITY PLAN
- 05 GRADING PLAN
- 06 LANDSCAPE PLAN
- 07 NOTES AND DETAILS

CONCEPTUAL FAIRFIELD INN & SUITES

- ELEVATIONS
- FLOOR PLANS

CONCEPTUAL TOWNEPLACE SUITES

- ELEVATIONS
- FLOOR PLANS



LOCATION MAP
 (NOT TO SCALE)

SITE PLAN DATA

PARCEL ID: 20-35-326-012
 PARCEL AREA: 4.54 ACRES
 BUILDING AREA - TOWNSHIP SUITES: 16,196 SF
 BUILDING AREA - FAIRFIELD INN: 12,219 SF
 TOTAL BUILDING AREA: 28,415 SF

ZONING

CURRENT: (O) OFFICE BUILDING DISTRICT
 PROPOSED: (OM) OFFICE MIXED USE

SETBACKS

	REQUIRED
FRONT	10 FT.
SIDE	20 FT.
REAR	30 FT.
REAR	50 FT. SINGLE FAMILY RESIDENTIAL

BENCH MARK DATA

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 AND +/- 45 FEET EAST OF THE
 NORTHWEST CORNER OF SITE.
 ELEVATION=647.66'

PARKING REQUIREMENTS

- PARKING REQUIRED = 1 SPACE PER GUEST ROOM + 1 SPACE PER EMPLOYEE ON LARGEST TYPICAL SHIFT
- TOWNSHIP SUITES = 89 ROOMS
 3 EMPLOYEES
 92 SPACES REQUIRED
- FAIRFIELD INN & SUITES = 91 ROOMS
 3 EMPLOYEES
 94 SPACES REQUIRED
- TOTAL SPACES REQUIRED = 186
- TOTAL SPACES PROVIDED = 186

DATE	ISSUE
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07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL

Developed For:
TROY HOTELS, INC.
 24170 SHERWOOD AVE.
 CENTER LINE, MI 48015
 (248)-255-5946

SITE PLAN

TROY MARRIOTT HOTELS

CITY OF TROY
 OAKLAND COUNTY
 MICHIGAN

Date:	05.03.2013
Scale:	1"=30'
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GENERAL NOTES:

ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRoACH UPON ADJACENT PROPERTIES OR RIGHT-OF-WAYS. THE LIGHT POLES SHALL BE NO HIGHER THAN 20 FT. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES. UPWARD DIRECTED LIGHTING SHALL NOT BE PERMITTED.

ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.

ALL BARBED WIRE AND SUPPORTS FOR BARBED WIRE ARE PROHIBITED ON THE SITE.

CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF TROY STANDARDS.

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE ROW.

ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNDAY TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE MAYOR OR HIS DESIGNEE.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO MISS DIG 1-800-482-7171 OR 811 THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.

FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF TROY SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CITY ENGINEERING DEPARTMENT TO SCHEDULE INSPECTION. THE CITY SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

PROVIDE FIRE DEPARTMENT KEY BOX (KNOX BOX) PER CITY OF TROY STANDARDS.

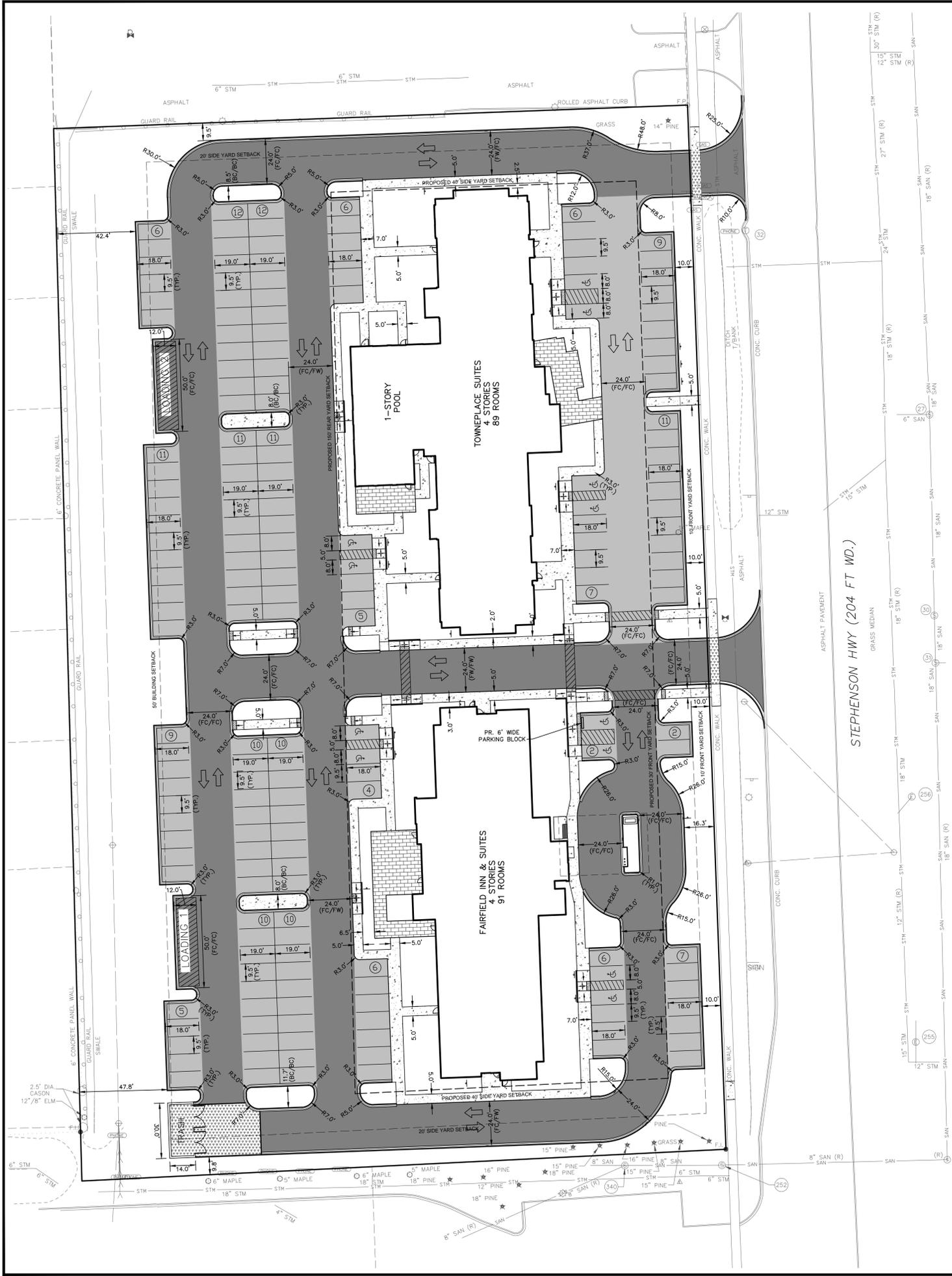
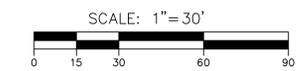
OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON THE SITE EXCEPT WHERE INDICATED ON SITE PLAN.

MONITORING WELLS ON SITE ARE EXISTING AND IN PLACE DUE TO THE NATURE OF THE FORMER OCCUPANTS USE.

A TRASH ENCLOSURE, MEASURING A MINIMUM OF 10'X10' SHALL BE CONSTRUCTED OF SIX (6") HIGH BRICK EMBOSSED POURED CONCRETE WALLS WITH 45° ANGLE CAP. HAVE SCREENED GATES AND BE PLACED UPON A MINIMUM 10'X18' CONCRETE PAD THAT PROVIDES AN 8' WIDE APRON. MASONRY BLOCK SHALL NOT BE USED AS A CONSTRUCTION MATERIAL.

LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED PATIO
- PROPOSED 4" CONCRETE
- PROPOSED 8" CONCRETE
- PROPOSED 18" CONCRETE CURB & STANDARD GUTTER
- PROPOSED 18" CONCRETE CURB & REVERSE GUTTER
- PARKING SPACE COUNT





LOCATION MAP
(NOT TO SCALE)

BENCH MARK DATA

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ELEVATION=644.52'
SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

NOTE

- ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH CITY OF TROY SPECIFICATIONS
- PLEASE REFER TO STANDARD DETAIL SHEET DS-2a FOR STRUCTURE DETAILS.
- MAINTAIN A MINIMUM 10 FT HORIZONTAL AND 12 FT VERTICAL SEPARATION BETWEEN ALL UTILITIES WHEREVER POSSIBLE OR INSTALL CONCRETE COLLAR PER CITY STANDARDS.
- ALL NEW WATER SERVICE PIPE MATERIAL UP TO 2" IN DIAMETER SHALL BE TYPE K COPPER TUBING. LARGER SERVICES SHALL BE DUCTILE IRON PIPE.
- CLEAN OUTS IN PAVEMENT SHALL HAVE FRAME AND COVER THAT WITHSTANDS H-20 LOADING.



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION
07-10-2013	CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS
07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL

Developed For:
TROY HOTELS, INC.

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

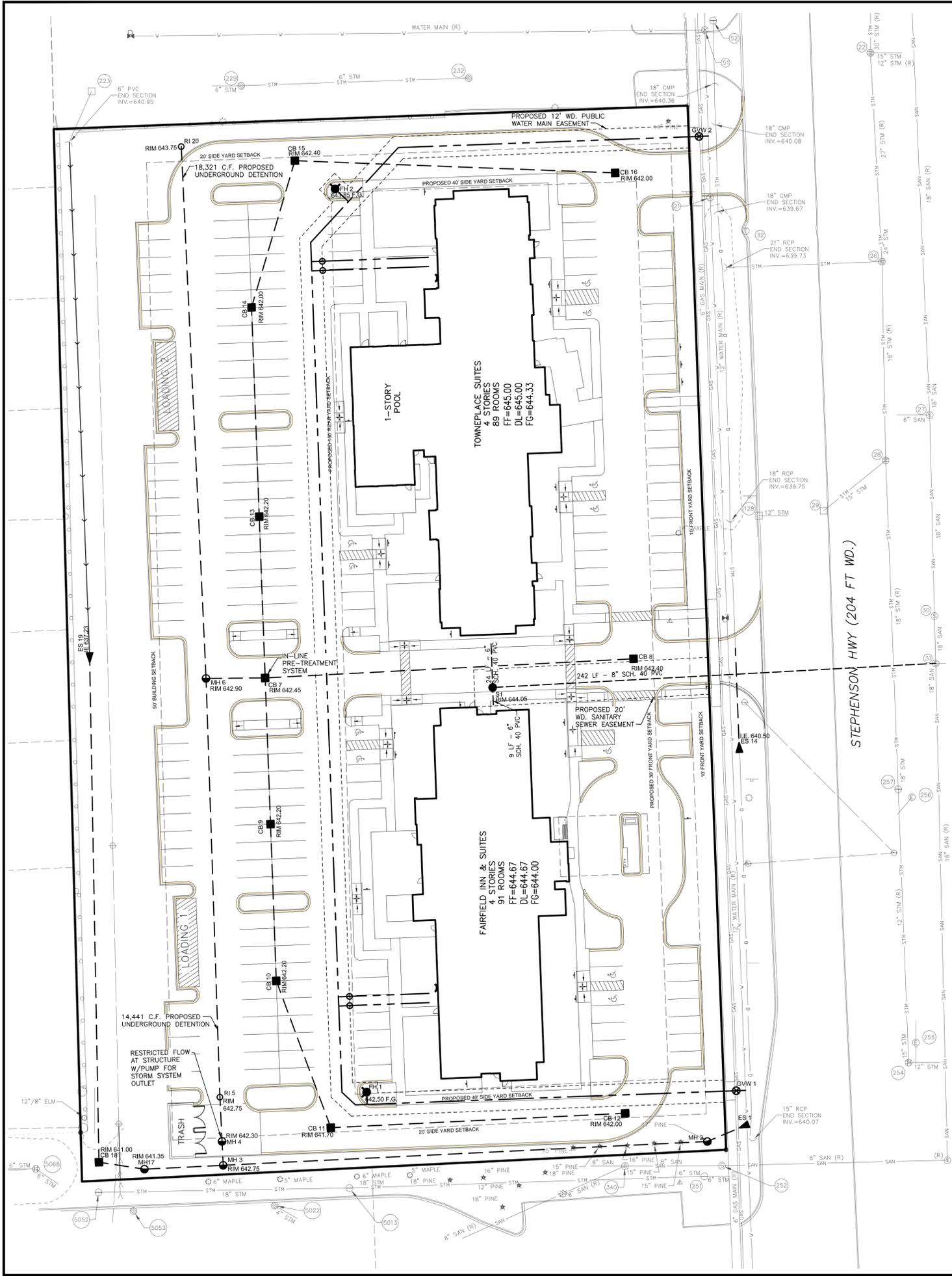
UTILITY PLAN

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date: 05.03.2013
Scale: 1"=30'
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PROPOSED LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN





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NOTE

SEE ARCHITECTS PLANS FOR EXACT BUILDING DIMENSIONS AND ELEVATIONS.

Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal



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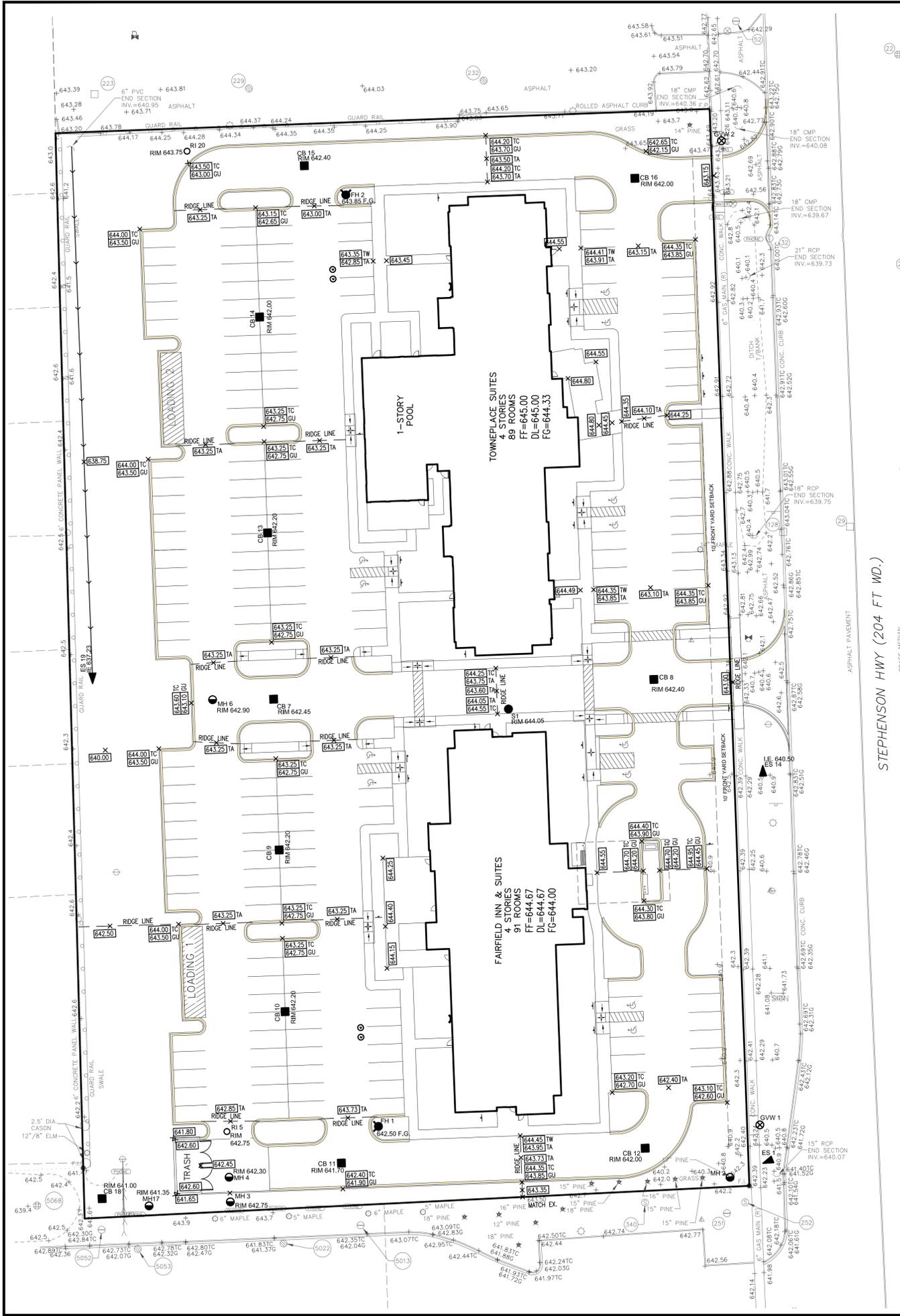
GRADING PLAN

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

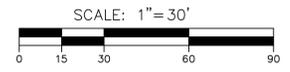
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LEGEND

- 6" CONCRETE CURB & GUTTER
- 6" CONCRETE CURB & REVERSE GUTTER
- RIM 1035.40 PROPOSED RIM ELEVATION
- ADJ. RIM 1035.40 ADJUST EXISTING RIM ELEVATION
- +1036.10 GU PROPOSED GUTTER ELEVATION
- +1036.10 TA PROPOSED TOP OF ASPHALT ELEVATION
- +1036.10 F.G. PROPOSED FINISHED GRADE
- +1036.10 DROP PROPOSED DROPPED FINISHED GRADE ELEVATION
- +1036.10 D.L. PROPOSED DOOR LEDGE ELEVATION
- +1036.10 TW PROPOSED TOP OF WALK ELEVATION
- +1036.10 TC PROPOSED TOP OF CURB ELEVATION
- RIM=1036.10 EXISTING RIM ELEVATION
- + 1037.28G EXISTING GUTTER ELEVATION
- + 1037.80TC EXISTING TOP OF CURB ELEVATION
- RIDGELINE
- DRAINAGE ARROW
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- RE-DITCHED SWALE



Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal:



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TROY HOTELS, INC.
24170 SHERWOOD AVE.
CENTER LINE, MI 48015
(248)-255-5946

LANDSCAPE PLAN
TROY MARIOTT HOTELS
CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date:	05.03.2013
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LOCATION MAP
(NOT TO SCALE)

LANDSCAPE BUFFER PLANT LIST:

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	31	WHITE SPRUCE	PICEA GLAUCA	12-15' HT. BB	WS
	21	COLUMNAR SUGAR MAPLE	ACER SACCHARUM 'COLUMNARE'	(12-15) 3-4" CAL. BB	SM

ROAD FRONTAGE PLANT LIST:

SHRUBS:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	89	FRAGRANT SUMAC	RHUS AROMATICA	C #3	SUM

TREES:

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
13	LONDON PLANE TREE	PLATANUS X ACERIFOLIA	2-1/2" CAL. BB	LP

PARKING LOT PLANT LIST:

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	8	SWEETGUM	LIQUIDAMBAR STYRACIFLUA	2-1/2" CAL. BB	SG
	9	TULIP TREE	LIRIODENDRON TULIPIFERA	2-1/2" CAL. BB	TU
	8	RED MAPLE	ACER RUBRUM	2-1/2" CAL. BB	RM

186 PARKING SPACES / 8 PER PARKING LOT TREE = 24 TREES

PLANT NOTES:

1. PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 6" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-60.1 + A300 2004).
2. PLANTING BED SOIL FOR ANNUALS SHALL BE SCREENED TOPSOIL. TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL AND PERENNIAL BEDS, APPLY A PRE-EMERGENT (PREEN OR EQUAL) AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
3. PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL. SAUCER SHALL BE MADE ON THE EDGES OF THE PLANTING POCKET.
4. ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
5. MULCH SHALL BE SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIAL AND SUITABLE AS A TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
6. TREES SHALL BE MULCHED WITH A MIN. OF 3" DEEP HARDWOOD BARK MULCH AROUND THE PLANTS.
7. GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND UNDESIRABLE NATIVE GRASSES. SEEDED AREAS SHALL NOT BE PERMITTED TO DRY OUT. ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING LAWN.
8. PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (24 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
9. CONTRACTOR SHALL PROVIDE, IN WRITING, A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASONS.
10. REMOVE TOP 1/4 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
11. PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE COUNTY COOPERATIVE EXTENSION SERVICE.

GENERAL NOTES:

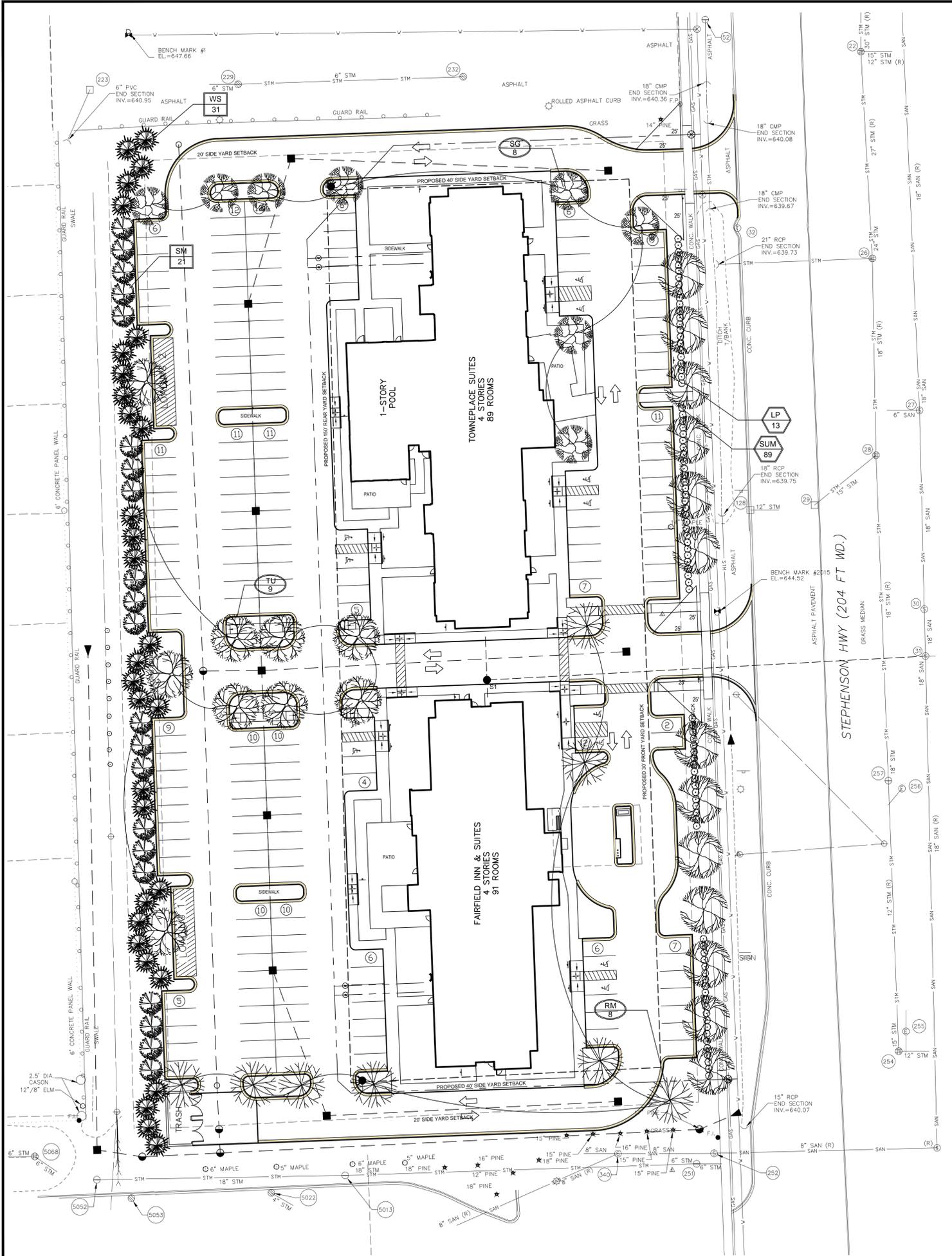
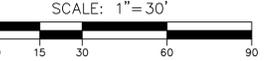
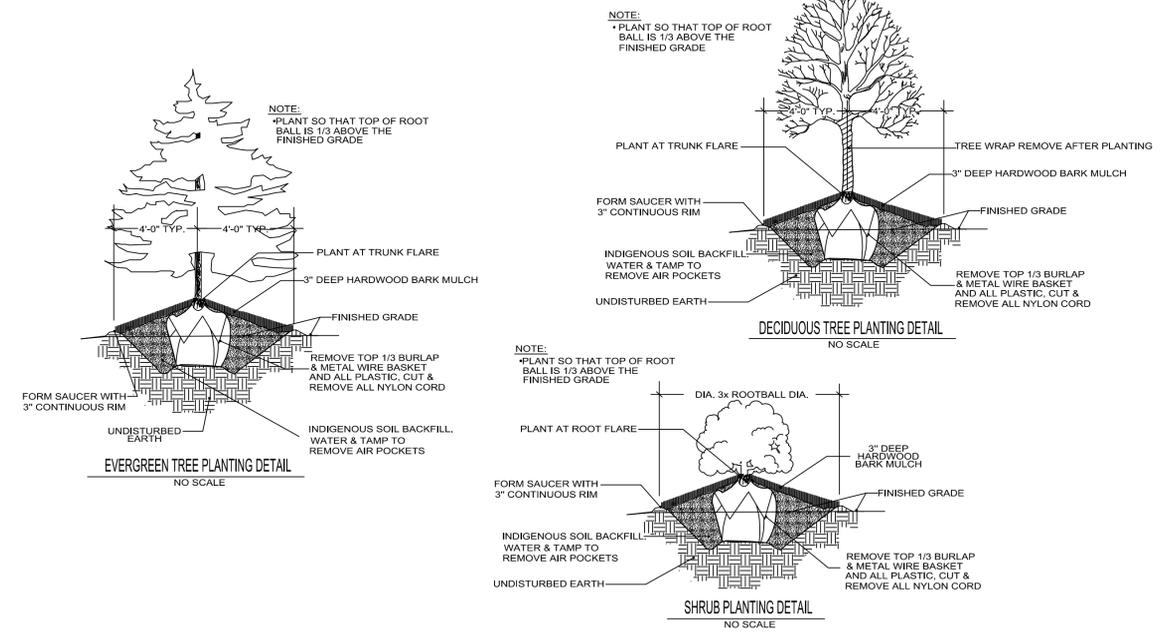
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
2. ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON CONSTRUCTION SHALL BE SEEDED OR SODDED. TERRA SEED SYSTEM OR APPROVED EQUAL IS ENCOURAGED.
3. ALL LAWN AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. IRRIGATION HEADS SHALL BE PLACED SUCH THAT WATER WILL NOT HIT ANY HARD STRUCTURES OR SURFACES.
4. A TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE LANDSCAPE ARCHITECT. THE BUILDING DEPARTMENT WILL NOT RELEASE THE CONSTRUCTION BONDS UNTIL THE TOWNSHIP APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF THE LANDSCAPE PLANS. FINAL BOND WILL NOT BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND THE FINAL INSPECTION IS MADE.
5. THE OWNER IS THE RESPONSIBLE FOR CARE AND MAINTENANCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE NATURAL LIFE OF THE PLAN. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.

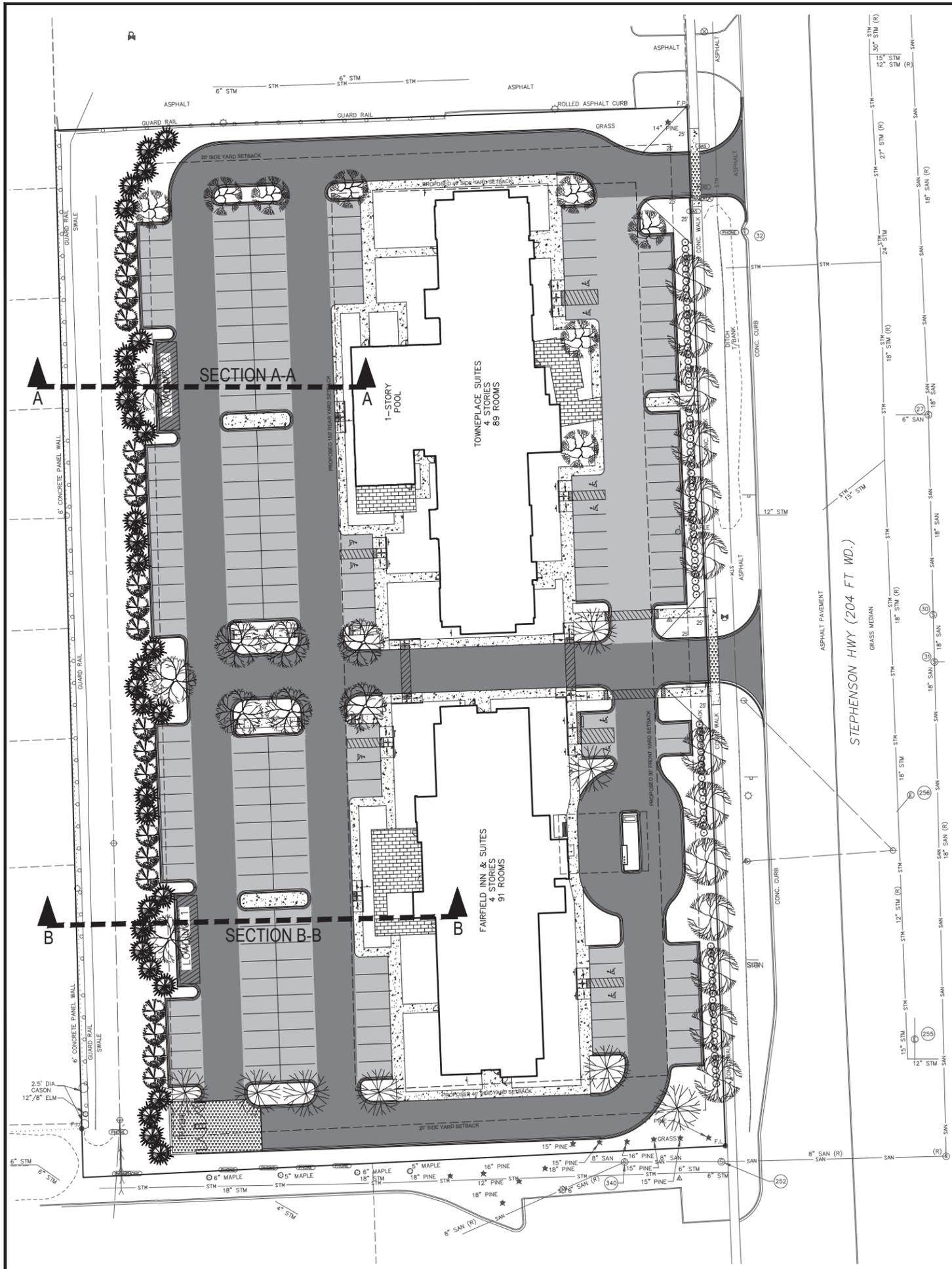
LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIALS, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWNS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD", THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.

LAWN SEED MIX:

- 30% PERENNIAL RYGRASS
 - 20% PARK KENTUCKY BLUEGRASS
 - 45% CREEPING RED FESCUE
 - 5% ANNUAL RYEGRASS
- 4#/1000 S.F. SEEDING RATE





GENERAL NOTES:

ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRoACH ON ABUTTING PROPERTIES OR RIGHT-OF-WAYS. THE LIGHT POLES SHALL BE NO HIGHER THAN 20 FT. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES. UPWARD DIRECTED LIGHTING SHALL NOT BE PERMITTED.

ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.

ALL BARBED WIRE AND SUPPORTS FOR BARBED WIRE ARE PROHIBITED ON THE SITE.

CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF TROY STANDARDS.

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE ROW.

ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. CLEAN-UP IS NOT PERMITTED WITHIN 24 HOURS OF NOTIFICATION. THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNUP TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE MAYOR OR HIS DESIGNEE.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO MISS DIG 1-800-482-7171 OR 811 THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OFF OF THE PROJECT SITE.

ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.

FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF TROY SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CITY ENGINEERING DEPARTMENT TO SCHEDULE INSPECTION. THE CITY SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

PROVIDE FIRE DEPARTMENT KEY BOX (KNOX BOX) PER CITY OF TROY STANDARDS.

OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON THE SITE EXCEPT WHERE INDICATED ON SITE PLAN.

MONITORING WELLS ON SITE ARE EXISTING AND IN PLACE DUE TO THE NATURE OF THE FORMER OCCUPANTS USE.

A TRASH ENCLOSURE, MEASURING A MINIMUM OF 10'X10' SHALL BE CONSTRUCTED OF SIX (6") HIGH BRICK EMBOSSED POURED CONCRETE WALLS WITH 45° ANGLE CAP. HAVE SCREENED GATES AND BE PLACED UPON A MINIMUM 10'X18' CONCRETE PAD THAT PROVIDES AND 8' WIDE APRON. MASONRY BLOCK SHALL NOT BE USED AS A CONSTRUCTION MATERIAL.

LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED PATIO
- PROPOSED 4" CONCRETE
- PROPOSED 8" CONCRETE
- PROPOSED 18" CONCRETE CURB & STANDARD GUTTER
- PROPOSED 18" CONCRETE CURB & REVERSE GUTTER
- PARKING SPACE COUNT



LOCATION MAP
(NOT TO SCALE)

SITE PLAN DATA

PARCEL ID: 20-35-326-012
 PARCEL AREA: 4.54 ACRES
 BUILDING AREA - TOWNEPLACE SUITES: 16,196 SF
 BUILDING AREA - FAIRFIELD INN: 12,219 SF
 TOTAL BUILDING AREA: 28,415 SF

ZONING

CURRENT: (O) OFFICE BUILDING DISTRICT
 PROPOSED: (OM) OFFICE MIXED USE

SETBACKS

	REQUIRED
FRONT	10 FT.
SIDE	20 FT.
REAR	30 FT.
REAR	50 FT. SINGLE FAMILY RESIDENTIAL

BENCH MARK DATA

(CITY OF TROY) DATUM

CITY BENCH MARK NO. 2015
 SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
 ELEVATION=644.52'

SITE BENCH MARK NO. 1
 ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
 ELEVATION=647.66'

PARKING REQUIREMENTS

-PARKING REQUIRED = 1 SPACE PER GUEST ROOM + 1 SPACE PER EMPLOYEE ON LARGEST TYPICAL SHIFT

-TOWNEPLACE SUITES	= 89 ROOMS	3 EMPLOYEES	92 SPACES REQUIRED
-FAIRFIELD INN & SUITES	= 91 ROOMS	3 EMPLOYEES	94 SPACES REQUIRED

-TOTAL SPACES REQUIRED = 186

-TOTAL SPACES PROVIDED = 186

Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal



DATE	ISSUE
06-07-2013	CONDITIONAL REZONING APPLICATION
07-10-2013	CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS
07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL
08-16-2013	REVISED PER COMMENTS

Developed For:
TROY HOTELS, INC.
 24170 SHERWOOD AVE.
 CENTER LINE, MI 48015
 (248)-255-5946

SIGHT LINE SECTIONS

TROY MARRIOTT HOTELS

CITY OF TROY
 OAKLAND COUNTY
 MICHIGAN

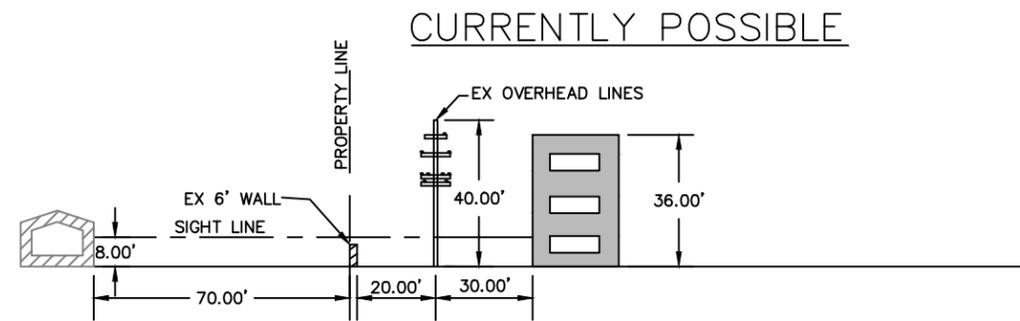
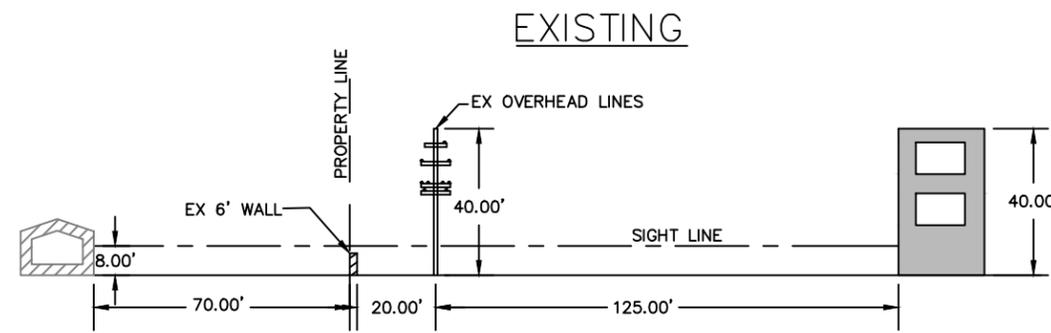
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Project:	18452.00

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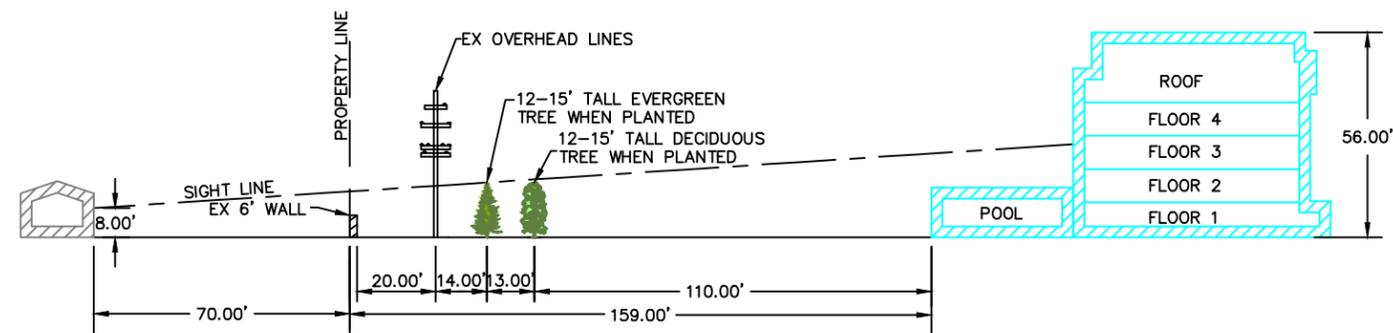


Executive:	PM
Manager:	AW
Designer:	JK/JP
Quality Control:	
Section:	24
	T--2-N R-11-E

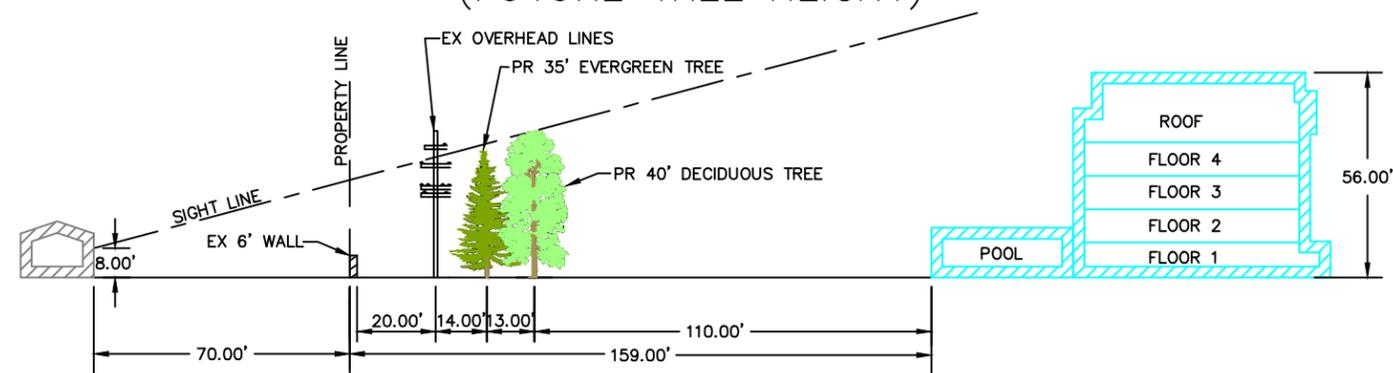
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SECTION A-A
PROPOSED TOWNEPLACE SUITES
(WHEN TREES PLANTED)



SECTION A-A
PROPOSED TOWNEPLACE SUITES
(FUTURE TREE HEIGHT)



DATE	ISSUE
08-08-2013	REVISED PER COMMENTS
08-16-2013	REVISED PER COMMENTS

Developed For:
TROY HOTELS, INC.

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

SIGHTLINE PROFILE
PLAN
SECTION A-A

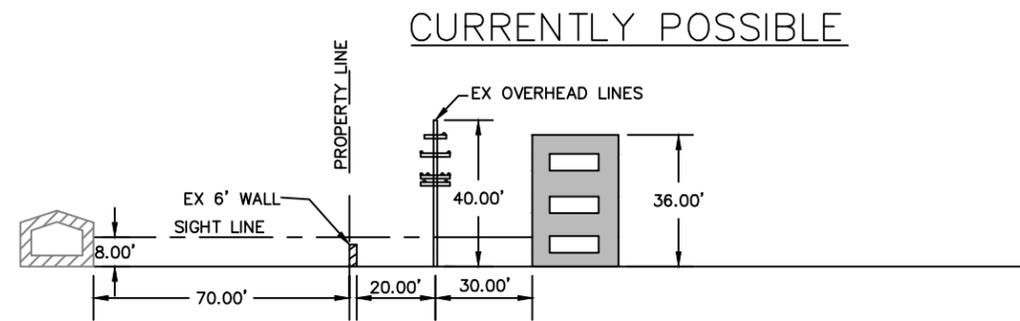
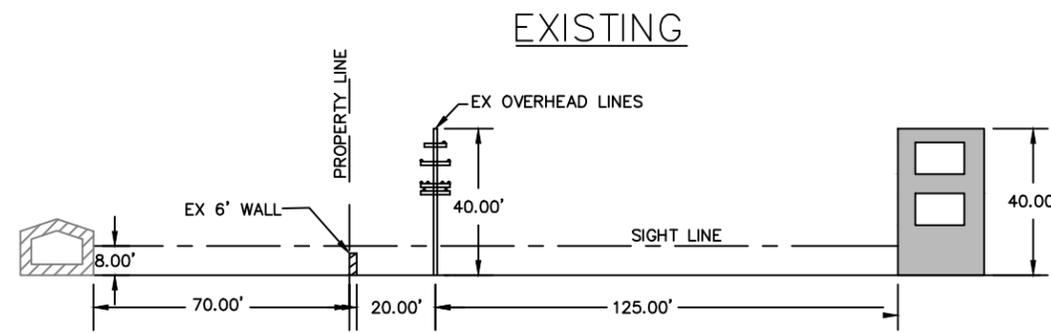
TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

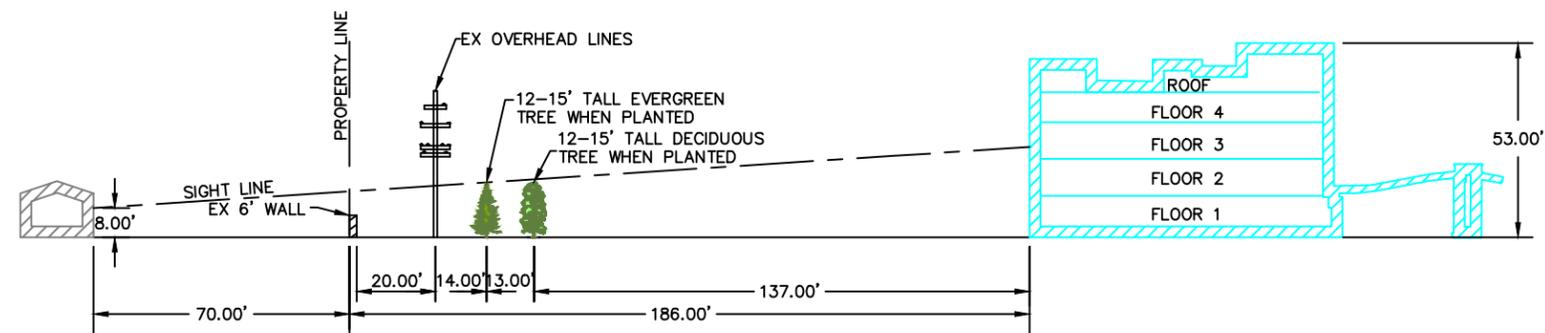
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Executive:	PM
Manager:	AW
Designer:	JK/JP
Quality Control:	
Section:	24
	T--2-N R-11-E

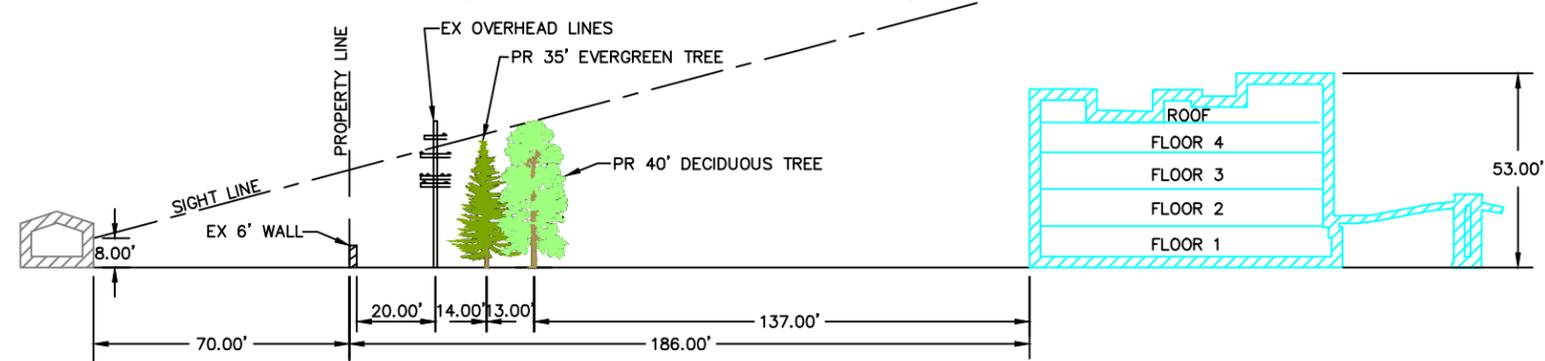
Professional Seal



**SECTION B-B
PROPOSED TOWNEPLACE SUITES
(WHEN TREES PLANTED)**



**SECTION B-B
PROPOSED TOWNEPLACE SUITES
(FUTURE TREE HEIGHT)**



DATE	ISSUE
08-08-2013	REVISED PER COMMENTS
08-16-2013	REVISED PER COMMENTS

Developed For:
TROY HOTELS, INC.

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

**SIGHTLINE PROFILE
PLAN
SECTION B-B**

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date:	07.23.2013
Scale:	AS NOTED
Sheet:	S-2
Project:	18452.00



TOWNPLACE SUITES/FAIRFIELD INN & SUITES
 TROY SITE LED LIGHTING VALUES AT GRADE
 PREPARED FOR: GIFFELSWEBSTER
 GASSER BUSH ASSOCIATES

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
LA	6	LITHONIA #DSX2 LED 100C 700 50K (SINGLE 25' MTD HTG)	DSX2 LED W/2LARGE & 2 MEDIUM LIGHT ENGINES, (2) 700mA DRIVERS, 5000K LED, TYPE TFTM OPTICS, WITH HOUSE SIDE SHIELD	LED	DSX2_LED_10 Absolute	OC_700_50K_T FTM_MVOLT_HS.ies	0.94	0.94	218
LB	2	LITHONIA #DSX2 LED 100C 700 50K (SINGLE 25' MTD HTG)	DSX2 LED W/2LARGE & 2 MEDIUM LIGHT ENGINES, (2) 700mA DRIVERS, 5000K LED, TYPE TFTM OPTICS	LED	DSX2_LED_10 Absolute	OC_700_50K_T FTM_MVOLT.es	0.94	0.94	218
LB2	4	LITHONIA #DSX2 LED 100C 700 50K (TWIN 25' MTD HTG)	DSX2 LED W/2LARGE & 2 MEDIUM LIGHT ENGINES, (2) 700mA DRIVERS, 5000K LED, TYPE TFTM OPTICS	LED	DSX2_LED_10 Absolute	OC_700_50K_T FTM_MVOLT.es	0.94	0.94	436

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING & DRIVE AREAS - VALUES AT GRADE	X	2.3 fc	6.3 fc	0.5 fc	12.6:1	4.6:1
SITE VALUES	+	1.2 fc	6.3 fc	0.0 fc	N/A	N/A

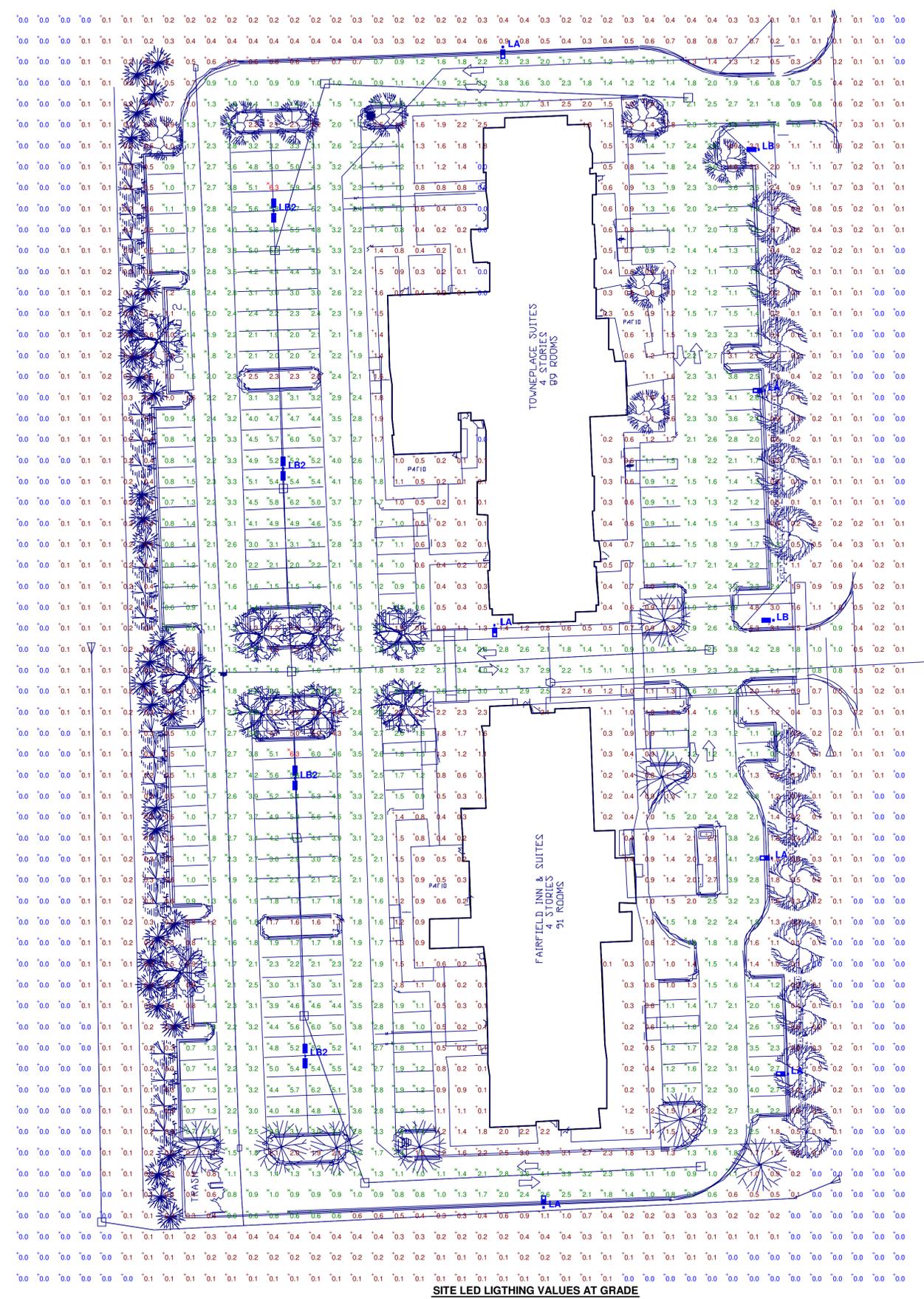
No.	Label	X	Location Y	Z	MH	Orientation	Tilt
1	LB	294.8	502.1	25.0	25.0	-90.0	0.0
2	LB2	62.3	473.1	25.0	25.0	0.0	0.0
3	LB2	77.5	70.1	25.0	25.0	180.0	0.0
4	LB2	72.6	202.6	25.0	25.0	180.0	0.0
5	LB2	66.8	350.1	25.0	25.0	180.0	0.0
6	LA	297.7	387.4	25.0	25.0	270.0	0.0
7	LB	301.8	277.8	25.0	25.0	270.0	0.0
8	LA	301.1	164.3	25.0	25.0	270.0	0.0
9	LA	308.8	61.6	25.0	25.0	270.0	0.0
10	LA	191.7	-2.1	25.0	25.0	0.0	0.0
11	LA	172.3	551.1	25.0	25.0	180.0	0.0
12	LA	168.2	275.4	25.0	25.0	180.0	0.0

NOTES

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE SURFACE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



Designer
/JAB

Date
AUG 19 2013

Scale
AS NOTED

Drawing No.
#13-17400-V1-LED



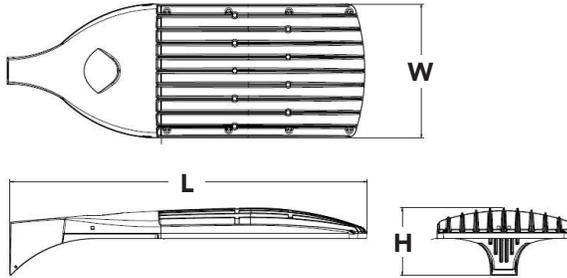
D-Series Size 2 LED Area Luminaire



d^{series}

Specifications

EPA:	2.0 ft ² (0.19 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	39 lbs (17.7 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

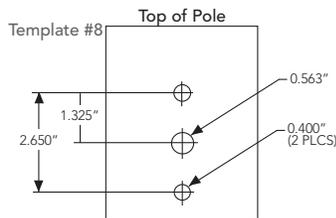
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

DSX2 LED	Performance Package	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (required)
DSX2 LED	LEDs 80C 80 LEDs (four engines) 100C 100 LEDs (four engines) Drive current 530 530 mA 700 700 mA 1000 1000 mA (1 A) ¹ Color temperature 30K 3000K 40K 4000K ² 50K 5000K	T1S Type I Short T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium T5VS Type V Very Short T5S Type V Short T5M Type V Medium T5W Type V Wide	MVOLT ³ 120 ³ 208 ³ 240 ³ 277 ³ 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket	Shipped installed PER NEMA twist-lock receptacle only (no controls) DMG 0-10V dimming driver (no controls) ⁴ DCR Dimmable and controllable via ROAM [®] (no controls) ⁵ DS Dual switching ^{6,7} PIRH Motion sensor, 15-30' mounting height ⁸ BL30 Switched dimming, 30% ^{7,9} BL50 Switched dimming, 50% ^{7,9}	Shipped installed HS House-side shield ¹⁰ WTB Utility terminal block ¹¹ SF Single fuse (120, 277, 347V) ¹² DF Double fuse (208, 240, 480V) ¹² TLS Tool-less entry trigger latch L90 Left rotated optics ¹ R90 Right rotated optics ¹	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Drilling



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

DM19AS	Single unit	DM29AS	2 at 90°
DM28AS	2 at 180°	DM39AS	3 at 90°
DM49AS	4 at 90°	DM32AS	3 at 120°*

Example: SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

Controls & Shields

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹³
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹³
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹³
SCU	Shorting cap ¹³
DSX2HS 80C U	House-side shield for 80 LED unit
DSX2HS 100C U	House-side shield for 100 LED unit
SPA19/MR2 DDBXD U	Square pole DM19 to DM19AS adapter (specify finish)
RPA19/MR2 DDBXD U	Round pole DM19 to DM19AS adapter (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

Tenon Mounting Slipfitter*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

* For round pole mounting (RPA) only.

NOTES

- Available with 80 LEDs (80C option) only.
- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 3000K (30K) and 5000K (50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Not available with 347 or 480V.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roomservices.net. Not available with PIRH.
- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, DMG or WTB.
- Requires an additional switched line.
- Specifies the [SensorSwitch SBR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with DCR or WTB.
- Dimming driver standard. MVOLT only. Not available with DCR or WTB.
- Also available as a separate accessory; see Accessories information.
- WTB not available with BL30, BL50, DS, or PIRH.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 70 CRI)					50K (5000K, 67 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
					80C (80 LEDs)									
80C (80 LEDs)	700	80C 700 --K	188W	T1S	16,714	3	0	3	89	17,647	3	0	3	94
				T2S	17,233	3	0	3	92	18,196	3	0	3	97
				T2M	16,839	3	0	3	90	17,779	3	0	3	95
				T3S	16,818	3	0	3	89	17,757	3	0	3	94
				T3M	16,970	3	0	4	90	17,918	3	0	4	95
				T4M	17,201	3	0	4	91	18,162	3	0	4	97
				TFTM	16,944	3	0	4	90	17,890	3	0	4	95
				TSVS	17,899	5	0	1	95	18,899	5	0	1	101
	T5S	18,032	4	0	2	96	19,039	4	0	2	101			
	T5M	18,063	5	0	3	96	19,072	5	0	3	101			
	T5W	17,798	5	0	3	95	18,792	5	0	3	100			
	1000	80C 1000 --K	275W	T1S	22,771	3	0	3	83	24,137	3	0	3	88
				T2S	23,479	3	0	3	85	24,887	3	0	3	90
				T2M	22,941	3	0	3	83	24,317	3	0	3	88
				T3S	22,912	3	0	3	83	24,287	3	0	3	88
				T3M	23,120	3	0	4	84	24,508	3	0	4	89
T4M				23,435	3	0	4	85	24,841	3	0	4	90	
TFTM				23,084	3	0	4	84	24,469	3	0	4	89	
TSVS				24,386	5	0	1	89	25,849	5	0	1	94	
T5S	24,567	4	0	2	89	26,041	4	0	2	95				
T5M	24,610	5	0	3	89	26,086	5	0	3	95				
T5W	24,247	5	0	3	88	25,702	5	0	3	93				
100C (100 LEDs)														
100C (100 LEDs)	700	100C 700 --K	218W	T1S	20,722	3	0	3	95	21,883	3	0	3	100
				T2S	21,366	3	0	3	98	22,563	3	0	3	103
				T2M	20,876	3	0	3	96	22,046	3	0	3	101
				T3S	20,850	3	0	3	96	22,019	3	0	3	101
				T3M	21,039	3	0	4	97	22,219	3	0	4	102
				T4M	21,326	3	0	4	98	22,521	3	0	4	103
				TFTM	21,007	3	0	4	96	22,184	3	0	4	102
				TSVS	22,191	5	0	1	102	23,435	5	0	1	108
	T5S	22,356	4	0	2	103	23,609	4	0	2	108			
	T5M	22,395	5	0	3	103	23,650	5	0	3	108			
	T5W	22,065	5	0	3	101	23,302	5	0	3	107			

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX2 LED 80C 1000			
	1.0	0.95	0.92	0.88
	DSX2 LED 100C 700			
	1.0	0.98	0.97	0.95

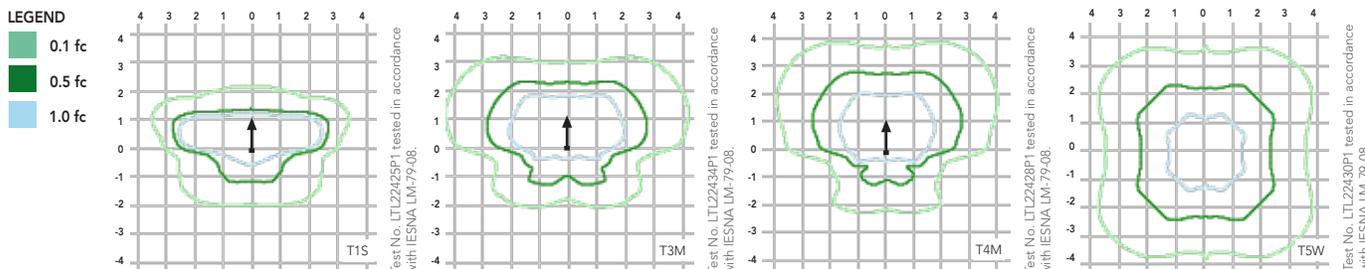
Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
80	530	142W	1.31	0.76	0.66	0.57	0.45	0.33
	700	188W	1.74	1.00	0.87	0.75	0.60	0.44
	1000	275W	2.55	1.47	1.27	1.10	0.88	0.64
100	530	175W	1.62	0.93	0.81	0.70	0.56	0.41
	700	218W	2.02	1.16	1.01	0.87	0.70	0.50

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 2 homepage](#).

Isfootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (2.0 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000K (80 min. CRI), 4000K (70 min. CRI), or 5000K (65 min. CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L95/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.



DATE: August 22, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: POTENTIAL PLANNED UNIT DEVELOPMENT (PUD) - Proposed Mixed Use PUD Project, Northeast corner of Crooks Road and I-75 (5498-5500 Crooks), Section 9, Presently zoned OM Office Mixed Use

The owner of the subject parcel is interested in developing a mixed use PUD on the site. Planning Department was provided a conceptual site plan and some color rendered drawings describing the potential project.

The 17.4-acre site is presently occupied by the MET Hotel and a restaurant. The applicant indicated he intends to keep both buildings; the hotel would be updated and rebranded, the restaurant has a new tenant. The area to the west of the building would be developed as a multi-story mixed use, with retail on the main floor and office, residential and/or hotel above.

A PUD could provide the applicant with some flexibility with potential project uses moving forward.

The applicant seeks input from the Planning Commission on this matter.

Please be prepared to discuss this item at the August 27, 2013 Special/Study meeting.

Attachments:

1. Maps
2. Miscellaneous information provided by applicant

G:\PUD's\Potential Project\PC Memo 08 27 13.doc.docx



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



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Client: _____
 Client Name _____
 Address _____

Project: _____
 Interior
 Renovation

Issued: _____
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Seal: _____

Note: _____
 Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in field.

North Arrow: _____



Sheet Title: _____
 Architectural
 Site Plan

Scale: _____
 1" = 40'-0"

Project Number: _____
 13-000

Sheet Number: _____
C.100





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