



PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
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John J. Tagle, Chair, Donald Edmunds, Vice Chair
Michael W. Hutson, Edward Kempen, Tom Krent, Philip Sanzica
Gordon Schepke, Robert Schultz and Thomas Strat

October 8, 2013

7:00 P.M.

Council Chambers

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – September 24, 2013
4. PUBLIC COMMENTS – For Items Not on the Current Agenda

POSTPONED ITEM

5. CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

PRELIMINARY SITE PLAN REVIEWS

6. PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Belleclaire Estates, 15 units/lots, East of Rochester, North of Wattles, South side of Lamb, Section 14, Currently Zoned R-1C (One Family Residential) District
7. PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Brooke View Site Condominium, 9 units/lots, North of Square Lake, West of Dequindre (6308 Evanswood), Section 1, Currently Zoned R-1D (One Family Residential) District

OTHER BUSINESS

8. PUBLIC COMMENTS – For Items on Current Agenda
9. PLANNING COMMISSION COMMENTS

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Chair Tagle called the Special/Study meeting of the Troy City Planning Commission to order at 7:00 p.m. on September 24, 2013 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Michael W. Hutson
Edward Kempen
Tom Krent
Gordon Schepke
Robert Schultz
Thomas Strat
John J. Tagle

Absent:

Donald Edmunds
Philip Sanzica

Also Present:

R. Brent Savidant, Planning Director
Allan Motzny, Assistant City Attorney
Ben Carlisle, Carlisle/Wortman Associates, Inc.
Frank Boudon, Student Representative
Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2013-09-071

Moved by: Schultz
Seconded by: Krent

RESOLVED, To approve the Agenda as prepared.

Yes: All present (7)
Absent: Edmunds, Sanzica

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2013-09-072

Moved by: Krent
Seconded by: Schultz

RESOLVED, To approve the minutes of the September 10, 2013 Regular meeting as published.

Yes: All present (7)
Absent: Edmunds, Sanzica

MOTION CARRIED

4. PUBLIC COMMENTS – Items not on the Agenda

There was no one present who wished to speak.

5. ZONING BOARD OF APPEALS (ZBA) REPORT

Mr. Krent gave a report on the September 17, 2013 Zoning Board of Appeals meeting.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

No report; there was no Downtown Development Authority meeting this month.

7. PLANNING AND ZONING REPORT

Mr. Savidant addressed a potential development application.

POSTPONED ITEM

8. SPECIAL USE AND PRELIMINARY SITE PLAN REVIEW (File Number SU 409) – Proposed Faith Lutheran Church, West side of Dequindre, North of Big Beaver (37635 Dequindre), Section 24, Currently Zoned R-1D (One Family Residential) District

Mr. Carlisle reviewed the revisions to the site plan relating to the proposed combination 6-foot high masonry wall and landscaping and the preservation of the 20-foot wide tree buffer by the wall and sports field. Mr. Carlisle recommended approval of the Special Use Request and Preliminary Site Plan application contingent upon adding a 6-foot high wall from the southwest corner of 37635 Dequindre, east to the 40-foot setback on Dequindre Road, on the Final Site Plan and limiting the hours of field use to no later than 9:00 p.m.

The petitioner, Joseph Casiglia, and Nathan Robinson, the project engineer, were present.

Mr. Robinson addressed the proposed wall relationship with adjacent properties and the agreement to omit the wall from the two properties on Auburn that have side relationships with the church property.

Mr. Casiglia said he personally met with the residents on Auburn and replied to an email he received from a resident at 2780 Majestic.

There was discussion on:

- Contact with all adjacent property owners; receive input, address concerns.
- Existing underbrush.
- Wall vs landscaping as relates to noise barrier.
- Stormwater management; engineering review revealed no concerns at this time.

PUBLIC HEARING OPENED

Bill Flint of 2220 Michelle, addressed maintenance of existing underbrush.

Colleen Geyer of 2816 Majestic (Lot 268), addressed preservation of natural landscape, diminished property values, would like opportunity to address concerns with church.

Devin Fox of 2512 Waltham, addressed church as property owner.

Mike Bobay of 3370 Auburn, supports revised site plan.

Richard Beltz, spoke on behalf of son David Beltz of 3373 Auburn (also present), supports revised site plan.

Kevin Geyer of 2816 Majestic, would like opportunity to address concerns with church.

Sally Wolgast of 3332 Wolverine, would like opportunity to address concerns with church.

Carol Kiger of 37761 Dequindre, requested masonry wall to continue across her property.

Mike Neher of 3346 Wolverine, would like opportunity to address concerns with church, prefer more buffer.

John McNaughton of 2840 Majestic, expressed how wall might affect his trees and existing fence.

Laurianne Robinson of 2804 Majestic (Lot 269), addressed existing wildlife and potential to flood.

PUBLIC HEARING CLOSED

Discussion continued on:

- Construction of wall in relation to existing vegetation, landscaping.
- Grading, stormwater management.
- Notification to public of Public Hearing.
- Neighborly gesture by church to reach out to all adjacent property owners.
- Concerns relate to visual impact versus sound barrier.

Resolution # PC-2013-09-073

Moved by: Schultz

Seconded by: Hutson

RESOLVED, To postpone the Special Use Approval and Preliminary Site Plan application to the October 22, 2013 Special/Study meeting.

Yes: All present (7)
 Absent: Edmunds, Sanzica

MOTION CARRIED

PLANNED UNIT DEVELOPMENT REVIEW

9. PUBLIC HEARING – PLANNED UNIT DEVELOPMENT KILMER PLACE (File Number PUD 10-A) – Proposed Revision to Concept Development Plan and Preliminary Development Plan, Northeast Corner of Big Beaver and Kilmer (3088 Kilmer), Section 22, Currently Zoned PUD (Planned Unit Development #10) District

Mr. Carlisle reviewed the proposed revision to the Concept Development Plan and Preliminary Development Plan relating to the residential portion in the rear of the development. The applicant is seeking two additional units that result in a slight redesign of the site plan and a slightly smaller building envelope. Mr. Carlisle said the proposed revisions are in compliance with the originally approved plan and meet all required PUD standards. He recommended approval to City Council.

The applicant James Clarke of Robertson Brothers Company and Cary Gitre were present.

Mr. Clarke addressed:

- Differences in square footage/building envelope from the original plan.
- Courtyard design.
- Additional parking spaces, shared parking if necessary.
- Elevations.
- Rain garden.

PUBLIC HEARING OPENED

Anil Narisetty of 452 Langston addressed concerns with the relationship of the proposed residential portion to his property.

PUBLIC HEARING CLOSED

Resolution # PC-2013-09-074

Moved by: Schultz
 Seconded by: Krent

WHEREAS, On June 15, 2009, City Council approved the Preliminary Development Plan for the BBK Mixed-Use Development Planned Unit Development (PUD 10), located on the northeast corner of Big Beaver and Kilmer, located in Section 22; and

WHEREAS, The approximately 2.5 acre BBK mixed-use PUD included approximately 19,000 square feet of retail and fourteen (14) attached residential units; and

WHEREAS, Construction on the retail component of the PUD along the Big Beaver frontage was recently completed; and

WHEREAS, Robertson Brothers Company intends to add two (2) additional residential units within the residential component of the PUD, known as Kilmer Place; and

WHEREAS, The proposed increase in two (2) residential units, improvements to the outdoor elements, and increase in guest parking is in compliance with what was originally approved; and

WHEREAS, The proposed revision to the PUD meets the Standards for Approval set forth in Section 11.03.

BE IT RESOLVED, That the Planning Commission recommends to City Council that Concept Development Plan Approval and Preliminary Development Plan Approval for the revised residential component of BBK Mixed-Use Development Planned Unit Development, be granted.

Yes: Hutson, Kempen, Krent, Schepke, Schultz, Tagle
 No: Strat
 Absent: Edmunds, Sanzica

MOTION CARRIED

Mr. Strat said the residential portion as revised does not result in high end condominiums, and it was high-end condominiums planned and approved in the original Planned Unit Development application, for which he voted affirmatively.

PRELIMINARY SITE PLAN REVIEW

- 10. **PRELIMINARY SITE PLAN REVIEW (File Number SP 985)** – Proposed Oakland Troy Senior Project, Southeast Corner of Square Lake and Adams, Section 20, Currently Zoned R-1A (One Family Residential) District

Mr. Carlisle reviewed the application stating the site layout seems inefficient as relates to parking, relationship of building to intersection and the full service drive around the building. Mr. Carlisle reported the Planning Department received a revised plan today that addresses some of the inefficiencies indicated, but a full site plan review could not be conducted in time for tonight’s meeting. Mr. Carlisle said the City’s Traffic Consultant lists minor amendments of which the applicant can address. He further addressed parking and landscaping.

There was discussion on:

- Parking adequacy (residents, visitors, employees, volunteers).
- Request for parking deviation.
- Use of facility is for assisted living and memory care; not rehabilitation.
- Traffic Consultant’s review.
- Sunoco pipeline utility easement project.

Lorenzo Cavaliere was present to represent the applicant.

Mr. Hutson asked who and what is Windemere of Troy Land Holdings LLC, the name on the preliminary site plan application.

Mr. Cavaliere replied it is an entity created for the development of the project.

Mr. Hutson said the State shows no registration or has any knowledge of the limited liability company.

Edward Mancini, developer and property owner, said he met with his attorney who said the paperwork for the limited liability company was filed. Mr. Mancini said he would confirm the filing and bring confirmation of such at the next meeting.

Mr. Mancini addressed the ongoing Sunoco pipeline utility easement project. He gave permission to access his property to conduct the work but indicated in no way would the pipeline installation interfere with development of the project.

Mr. Cavaliere addressed the number of beds in relation to the proposed parking spaces. He said the Zoning Ordinance parking requirement could be met but history at other facilities dictates the need for fewer parking spaces. He estimates approximately 4 residents out of the 46 assisted living beds would have vehicles on the premises. Mr. Cavaliere stated there are 2 residents with vehicles at one of their existing assisted living facility that has 74 beds. He also addressed the entrance doors and covered patios. Mr. Cavaliere identified one of their existing facilities is in Warren, Windemere Park on Van Dyke Road, north of 13 Mile.

Chair Tagle opened the floor for public comment.

There was no one present who wished to speak.

Chair Tagle closed the floor for public comment.

Members requested Mr. Savidant to provide room/parking ratio of similar facilities in Troy at the next meeting.

Resolution # PC-2013-09-075

Moved by: Schultz

Seconded by: Krent

RESOLVED, To postpone the Preliminary Site Plan application until such time as a revised site plan has been submitted and staff and the Planning Consultant has the opportunity to review and provide to the Planning Commission for action.

Yes: All present (7)

Absent: Edmunds, Sanzica

MOTION CARRIED

OTHER BUSINESS

11. **PUBLIC COMMENT** – Items on Current Agenda

There was no one present who wished to speak.

12. **PLANNING COMMISSION COMMENT**

There were general Planning Commission comments.

The Special/Study meeting of the Planning Commission adjourned at 9:05 p.m.

Respectfully submitted,

John J. Tagle, Chair

Kathy L. Czarnecki, Recording Secretary

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DATE: October 1, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

The applicant, A & M Hospitality, seeks a rezoning of the subject parcel from O (Office) to OM (Office Mixed Use) District. The parcel is approximately 4.5 acres in area. The conditions voluntarily offered by the applicant are described in the attached report prepared by Carlisle/Wortman Associates, Inc.

The item was considered by the Planning Commission at the July 23, 2013 Regular meeting and the August 27, 2013 Special/Study meeting (see attached minutes).

The Master Plan classifies this area as 21st Century Industrial. A description of this classification is attached.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the rezoning request. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and agrees with the recommendation.

Please be prepared to discuss this item at the October 8, 2013 Planning Commission Regular meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)
3. Minutes from July 23, 2013 Planning Commission Regular meeting (excerpt)
4. Minutes from August 27, 2013 Planning Commission Special/Study meeting (excerpt)
5. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ CR 009

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**PC 2013.10.08
Agenda Item # 5**

PROPOSED RESOLUTION

CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

Resolution # PC-2013-10-

Moved by:

Seconded by:

RESOLVED, That the Planning Commission hereby recommends to the City Council that the O to OM conditional rezoning request, as per Section 16.04 of the City of Troy Zoning Ordinance, located on the west side of Stephenson Highway, north of 14 Mile Road (333 Stephenson Highway), within Section 35, being approximately 4.5 acres in size, be granted, for the following reasons:

1. Place pole locations on the site plan;
2. Confirm that there is no building lighting above the first floor on the rear and side elevations. A note should be added to the photometric plan.
3. Add screen/noise wall detail to plans.
4. Revise elevations to include Fairfield Inn first floor masonry details as part of the final site plan submittal.

Yes:

No:

MOTION PASSED / FAILED



Legend:

315 0 158 315Feet

Scale 1: 1,892

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



Legend:

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

378 0 189 378 Feet

Scale 1: 2,271

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

21st Century Industry: A New Opportunity for Growth



- *Continued encouragement of a variety of industrial uses*
- *Light industrial uses with no outdoor storage or external nuisances are especially encouraged*
- *The emphasis for site design should be on screening, landscaping, buffering, and effective transitioning to allow this important category to succeed without negative impacts on residential or commercial areas of the City*

The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. In addition to conventional industrial uses, shops, and warehousing, this category can be home to business-to-business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield. Suppliers, fabricators, printers, and many other supporting uses which strengthen the City's appeal as a home to 21st Century businesses are all encouraged in this category.

An alternative use that may be considered on a very limited basis in the 21st Century Industrial area is loft-style residential development in reclaimed industrial buildings. Opportunities for artist lofts and open-floorplan residential development may exist within new, innovative mixed-use projects. Such projects would be an ideal fit within the 21st Century Industrial area. Such housing will only be considered when all potential environmental limitations have been identified, and if necessary, neutralized.

The majority of the 21st Century Industrial lands in Troy surround the Maple Road category (see page 105), although they are intermingled with areas planned for the Automall, the Smart Zone, and the Transit Center. **Existing land uses along Maple Road vary widely, and do not have a clear, identifiable character.** Maple Road is primarily experienced as a series of nodes that center on north-to-south traffic leading into and out of Troy from the Big Beaver Corridor. For this reason, Maple Road is planned as a series of areas designed to support the Big Beaver Corridor and the Smart Zone, such as the business-to-business uses noted above.

DESIGN CONCEPT

- This area will recognize that manufacturing and distribution will continue to provide valuable jobs and a tax base. Emphasis will be on maintaining a strong image by concentrating on site and building maintenance as well as redevelopment, rather than redevelopment alone.
- Code enforcement will be a critical tool to maintain the visual and physical health of the district.
- As land becomes available, green space should double and storm water management should improve.

SITE DESIGN ATTRIBUTES

- Primary parking areas are located within rear or interior side yards.
- Front yards will be landscaped and well-maintained to continue an improved image.
- Green space will be placed along property perimeters to assist with controlling surface storm water runoff.

BUILDING DESIGN ATTRIBUTES

- The office portion of industrial developments will locate nearest the public street.

CONDITIONAL REZONING REQUEST

10. **PUBLIC HEARING – CONDITIONAL REZONING APPLICATION (File Number CR 009)**
– Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

Mr. Carlisle reviewed the proposed conditional rezoning application as relates to the conditions offered by the applicant and the conceptual site plan submittal. Mr. Carlisle stated that should the conditional rezoning be granted by City Council, the applicant is required to apply for Preliminary Site Plan and Special Use approval. Mr. Carlisle said the proposed conditional rezoning supports the Master Plan and surrounding areas, provided impacts upon adjacent properties are mitigated.

Andy Wakeland of Giffels Webster and Jeffrey Ryntz of Victor Saroki and Associates were present to represent the petitioner. Akram Namou of A&M Hospitality was also present.

Mr. Wakeland addressed their efforts to mitigate the potential impact to adjacent residential as relates to the proposed setbacks and screening. Mr. Wakeland provided a sight line profile from the proposed four-story hotel to adjacent residential.

Mr. Ryntz addressed the proposed building design and newer Fairfield Inn elevation. Mr. Ryntz also addressed the percentage of hotel windows facing adjacent residential, discussion with Marriott regarding frosted windows, the uses by right for the parcel as currently zoned, the transient and long term occupancy of each hotel, and the non-viability of the hotels if developed as three-story buildings.

Mr. Namou addressed the upscale design improvements and lighting standards of Marriott Hotels. He said the two hotels will complement each other.

PUBLIC HEARING OPENED

The following residents spoke in opposition addressing concerns with privacy, nuisance, screening, lighting, property values, current hotel occupancy rates and existing vacant buildings.

- Nick Penchof, 302 Redwood.
- James Stone, 314 Redwood.
- Sally Wilsher, 350 Redwood, circulated pictures of light exposure in home from existing hotel.
- Cindy Wilsher, 369 E Maple.
- Kay Vavruska, 278 Redwood.

- Mike Davey, 325 Redwood.
- Mary Jane Austin, 242 Redwood, circulated pictures of existing fencing with vegetative growth.

PUBLIC HEARING CLOSED

Mr. Namou said the proposed location is approved by Marriott and briefly addressed the criteria used in site selection. Mr. Namou said an open meeting was held in good faith for residents within a 300 foot radius to address concerns and answer questions. He said one resident attended. Mr. Namou said they want to be good neighbors and work with the neighbors to mitigate concerns going forward.

There was discussion on the process of a conditional rezoning application.

The Board asked if the petitioner would provide additional screening details, precise setbacks, sight-line information and consideration to various building configurations to mitigate the concerns expressed by adjacent residential.

The City Attorney suggested that should a recommendation to approve the application go forward to City Council, the Resolution should stipulate that approval is subject to 1) Site Plan and Special Use approval; 2) subject to the Development Agreement; and 3) list conditions voluntarily offered by the application.

The petitioner asked to postpone the item to the August 27, 2013 Special/Study meeting, at which time additional detail and information would be provided per discussion tonight.

POSTPONED ITEM

8. CONDITIONAL REZONING APPLICATION (File Number CR 009) – Proposed Troy Marriott Hotels, West side of Stephenson Highway, North of 14 Mile (333 Stephenson Highway), Section 35, From O (Office) District to OM (Office Mixed Use) District

Mr. Carlisle gave a brief summary of the conditional rezoning request. At the July 23, 2013 Regular meeting, the applicant offered to come back to the Planning Commission with a site plan as a condition. Mr. Carlisle identified the proposed conditions offered by the applicant and addressed the preliminary site plan with respect to site arrangement, parking, site access, landscaping, lighting and elevations. Mr. Carlisle recommended that the site planning issues identified in his report, dated August 15, 2013, are addressed prior to a recommendation of approval by the Planning Commission.

Present to represent the applicant were Victor Saroki and Jeffrey Ryntz of Victor Saroki and Associates, and Andy Wakeland of Giffels Webster. Akram Namou of A&M Hospitality was also present.

Mr. Saroki addressed the proposed mitigation of concerns voiced by the residential neighbors, site plan concerns identified by the Planning Consultant, potential to use designated loading zones for additional landscaping, hotel occupancy and staff. Mr. Saroki said they did look into orienting placement of the building so that the majority of windows would not face the residential side, and it resulted in an awkward layout with the buildings being closer to the residential property line. Mr. Saroki also addressed the building materials, building heights and lighting. Color renderings of the hotels were displayed.

Mr. Wakeland said Marriott Hotels would not agree to frosted windows as suggested at the previous meeting. He indicated Marriott Hotels gave their approval of the site plan as presented this evening. Mr. Wakeland said the applicant is happy to address the site planning issues identified in the Planning Consultant report. He continued to address setbacks, dumpster location, tree heights, bicycle parking, lighting, hotel staff, loading areas and the wall as a sound barrier.

Mr. Namou said he instructed the architectural and engineering team to take to heart the concerns of the residents. He indicated Marriott Hotels is satisfied with the strategic location of the proposed hotels and has given its approval to go forward.

There was discussion on:

- Site line profile.
- Landscaping; types, heights, growth timeline.
- Lighting; islands.

- Wall; sound barrier, height.
- Loading zones; additional landscaping, landbanked parking.
- Elevation and building facades.
- Access drive.
- Stormwater management.
- Role of Planning Commission as a recommending body.

PUBLIC HEARING OPENED

The following residents voiced opposition to the proposed rezoning:

Nick Penchoff, 302 Redwood

James Stone, 314 Redwood

Jim Kaltz, 286 Burtman

Sally Wilsher, 350 Redwood

Mary Jo Austin, 242 Redwood

Mike Landreth, 218 Redwood

Matt Morrison, 182 Redwood

Cynthia Wilsher, 369 E Maple

Randall Kriebel, 277 Redwood

Speaker did not sign in, stated address as 254 Redwood

Tom Norton, 1331 Key West (signed in at that address, City records show address as 1332 Key West, submitted photographs)

Bill Ring, 362 Redwood

Joan Devera, 157 Redwood

PUBLIC HEARING CLOSED

The Board thanked residents for attending the meeting to voice their concerns.

Resolution # PC-2013-08-068

Moved by: Hutson

Seconded by: Edmunds

RESOLVED, To postpone the item to the October 8, 2013 Regular meeting to provide the applicant an opportunity to address issues identified in the Planning Consultant reported dated August 15, 2013.

Yes: All present (8)

Absent: Sanzica

MOTION CARRIED



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: August 15, 2013
September 30, 2013

Conditional Rezoning, Site Plan Review, and Special Use For City of Troy, Michigan

GENERAL INFORMATION

Applicant	Akram Namou, A&M Hospitality
Project Name:	Troy Marriott Hotels
Plan Date:	August 9, 2013
Location:	333 Stephenson Hwy between 14 Mile and E. Maple
Zoning:	O, Office Building District
Action Requested:	Conditional Rezoning Request to OM, Office Mixed Use; Site Plan Approval, and Special Use Approval
Required Information:	Deficiencies noted.

SUMMARY OF DEVELOPMENT AND PROCEDURE

The applicant is requesting a conditional rezoning of 333 Stephenson Hwy from O, Office Building District to OM, Office Mixed Use District in order to develop two (2) hotels on this single parcel. The proposed hotels are a 4-story, 89 room TownePlace Suite and a 4-story, 91 room Fairfield Inn and Suites. The hotels include a pool, exercise, and business service facilities but do not include any accessory facilities such as banquet facilities, or restaurants that would attract non-overnight travel. The TownePlace Suites is targeted to extended stay guests and includes efficiency kitchens in every room. The facilities would share a connected 186-space parking lot.

The conditions offered by the applicant include 1). rezoning to OM, Office Mixed Use District for lodging purposes only; and 2). the submitted site plan. Lodging is a special use in the OM District.

If the Planning Commission recommends site plan and special use approval, the approval is conditioned on the City Council granting the conditional rezoning.

Location of Subject Property

The property is located on the west side of Stephenson Highway north of 14 Mile.



Size of Subject Property:

The overall size of the subject property is 4.5 acres

Current and Proposed Uses of Subject Parcel:

Vacant 3-story office building

Current Zoning:

The property is currently zoned O, Office District.

Direction	Zoning	Use
North	O, Office	Office
South	O, Office (Planning Commission recommended approval of Conditional Rezoning to IB)	Office/Bank
East	RC, Research Center	Office

West	R-1E, Single-Family Residential	Single-Family Residential
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PREVIOUS PLANNING COMMISSION REVIEW

The Planning Commission first considered this matter at the August 27, 2013 meeting. Please review our August 15, 2013 memo for a complete site plan review.

At the meeting, the Planning Commission and neighboring properties discussed:

- Site arrangement to mitigate impact on adjacent properties
- Landscaping; types, heights, growth timeline.
- Lighting; islands.
- Wall; sound barrier, height.
- Loading zones; additional landscaping, landbanked parking.
- Elevation and building facades.
- Access drive.
- Stormwater management.
- Parking.

At the August 27, 2013 meeting, the application was continued so that the applicant was able to address the following items:

1. Site Arrangement

While the applicant has maintained the same basic layout as previously shown to the Planning Commission, they have proposed the following modifications to the Site Plan:

- Tucked the Townplace Suite pool under the building to increase the setback to rear property line an additional 20-feet.
- Added a second row of trees along the rear property line.
- Shifted southern access point to along the southern property line. The shift in access point has altered site circulation.
- Widened the sidewalk adjacent to the drive between the buildings from 5 feet to 7 feet.

Section 4.17.C establishes the dimensional requirements for the OM District. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance</u>
Front (Stephenson)	10 feet minimum setback	75 feet	Complies
Side (north)	10 feet minimum setback	40 feet	Complies
Side (south)	10 feet minimum setback	43 feet	Complies
Rear (east)	50 feet minimum setback	Townplace Suites: 178 feet to the 1 st floor pool, 197 feet to 2 nd -4 th floor Fairfield: 185 feet to 1 st -4 th floor	Complies
Building Height	Maximum 5 stories, 75 feet	4 stories, 69 feet	Complies
Building Lot Coverage Floor Area	40%	14%	Complies

Items to be addressed: None

2. Landscaping; types, heights, growth timeline.

Applicant has added a second row of trees along the rear property line to provide screening for the adjacent single-family residents. The applicant proposes forty-six (46) 12 to 15-foot high White Spruce and forty-six (46) 12 to 15-foot high Sugar Maples. The site landscaping includes:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
<u>Greenbelt:</u> 10 feet in width along Stephenson Highway	10 feet	10 feet	Compliant
<u>Street Trees:</u> The Ordinance requires that the greenbelt shall be landscaped with a minimum of one (1) deciduous tree for every thirty (30) lineal feet, or fraction thereof, of frontage abutting a public road right-of-way.	13 street trees	13 street trees	Compliant
<u>Site landscaping:</u> A minimum of twenty percent (20%) of the site area shall be comprised of landscape material.	20%	Calculation not provided	Provide calculation
<u>Parking Lot Landscaping:</u> 1 tree for every 8 parking spaces. Trees may be located adjacent to parking lot with planning commission approval.	24 trees	35 trees	Compliant
<u>Screening Between Land Uses:</u> 80% opacity	Screen Alt 3 and/or wall	6-foot concrete panel wall and landscaping	Compliant

Items to be addressed: None

3. Lighting; islands.

The applicant has placed all parking lot light poles landscaped islands. The pole heights have been lowered to 15-feet. Pole locations are shown on the photometric plan but not on the site plan.

The applicant does not indicate any building lights. The building code requires lighting at exterior doors. The applicant should confirm that they are not proposing any building lighting above the first floor on the rear and side elevations. A note should be added to the photometric plan.

The photometrics levels meet ordinance requirements.

Items to be Addressed: 1). Place pole locations on the site plan; and 2). Confirm that there is no building lighting above the first floor on the rear and side elevations. A note should be added to the photometric plan.

4. Wall; sound barrier, height.

The applicant has agreed to replace the existing 6-foot wall with an 8-foot high wall. A screen/noise wall detail should be provided on the plans.

Items to be Addressed: Add screen/noise wall detail to plans.

5. Loading zones; additional landscaping, landbanked parking.

The applicant has removed the loading zone to provide more area for landscaping including area for double row of trees along the rear of the site. The applicant feels that a loading zone is not necessary and all trucks can be accommodated in the parking lot.

Items to be Addressed: None

6. Elevation and building facades.

Floor plans and building elevations have been provided. The applicant has amended the Fairfield Inn to include an all masonry first floor. A note has been added to the elevations but they do not show the masonry, as the applicant is working with Marriot to finalize masonry details. The masonry material and details should be finalized and reflected on the elevations as part of the final site plan submittal.

Items to be Addressed: Revise elevations to include Fairfield Inn first floor masonry details as part of the final site plan submittal.

7. Access drive.

Due to the existing Stephenson Highway crossover and traffic signal, the applicant has shifted the second access point from mid-development to the southern property line. The access and

circulation has been reviewed by the City’s Traffic Engineer and City’s Traffic Consultant, OHM. They both find that moving the secondary access point provides a safer access to the site.

Pedestrian access:

The applicant has shown an 8-foot sidewalk to replace the existing 5-foot sidewalk along Stephenson Highway.

Items to be Addressed: None

8. Stormwater management.

Underground stormwater detention is proposed along the north and south property lines of the site. Detailed stormwater management and utility review will be completed as part of the final site plan review.

Items to be Addressed: None

9. Parking

Section 13.06 provides the following parking requirements:

	Required	Provided	Compliance
Hotel: One (1) space for each guest room	Towneplace= 89 rooms = 89 spaces Fairfield = 91 rooms = 91 spaces	180 spaces	Compliant
One (1) space per employee on the largest shift	Towneplace= 3 employees rooms = 3 spaces Fairfield = 3 employees = 3 spaces	6 spaces	Compliant
Any additional spaces required for dining establishments	N/A	N/A	N/A
TOTAL	186 spaces	186 spaces	Compliant
Barrier Free	17	17	Compliant
Bicycle Parking	2	2	Non-Compliant
Loading	0	2 loading lanes	Compliant

The proposed hotel does not include accessory facilities such as restaurant or bar that requires additional parking. The applicant verifies that the maximum employee count on the largest shift is three (3) employees. The 186 spaces required by ordinance are based on 100% occupancy of both hotels, which the applicant notes is unlikely to occur. The required vehicle and bicycle parking has met ordinance requirements.

Items to be Addressed: None

CONDITIONAL REZONING REVIEW

MASTER PLAN

This site is located on the border of the Smart Zone and 21st Century Industry area of the Master Plan, which calls for “...business to business uses that don’t require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield.” The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. Both future land use classifications support areas for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. However understanding the changing nature of the office market, proximity to I-75, and a renewed focus on providing a mix of complementary land uses, the proposed lodging use is consistent with this Master Plan designation of the area.

In short, the applicant has addressed noted site planning issues to mitigate potential impacts upon adjacent properties. As such, the conditional rezoning in conjunction with the submitted site plan supports the surrounding office, research, and light industrial uses. We also recognize the compatible presence of existing OM properties immediately north of the site, and the desire for commercial use of the property due to the high visibility and accessibility along Stephenson Highway and to Interstate 75.

Items to be Addressed: None.

ZONING BACKGROUND

Stephenson Highway is a limited access major arterial designed to serve a mix of office, light industrial, commercial, and lodging uses. The surrounding area is a mixture of Integrated Business (IB), Research Center (RC), Office (O-1), Office Mixed Use (OM), and One-family residential (R1-E). The site to the south was recommended by the Planning Commission for conditional rezoning to IB, Integrated Business. The conditional rezoning was never considered by the City Council, as that applicant pulled their application.



The OM District is intended “...to provide areas for large office uses which serve large numbers of people, as well as the retail, service, restaurant, lodging, and residential options that should be provided to support such large employment centers. A major purpose of this District is to provide areas for buildings of greater height and more intensive land use activity in an otherwise low-density community, while providing amenities on-site or within the same immediate area to foster a walkable, compact, dense urban environment. The OM District is also intended to encourage the development of uses and services that will support and enhance the marketability of the City of Troy as a vibrant and desirable place to work where a high quality of life can be offered for both workers and residents. As such, it is a primary role of the OM District, along with the IB, RC, CB and GB Districts to preserve the economic vitality of the area.”

This applicant considered requesting a rezoning to IB, but felt a conditional rezoning to OM better met their site planning needs. Specifically, they were concerned with the IB District’s restriction of parking in the front of the building. This restriction would require all parking to be located behind the buildings and thus have a greater impact upon the adjacent single-family residents. A conditional rezoning to a specific use and other dimensional conditions as submitted by the applicant can limit concerns in regards to zoning consistency of the area and adjacency of other OM zoned properties.

The table below outlines the proposed conditions as shown on the site plan as compared to the currently zoned Office District and proposed Office Mixed Use District:

	Office	Office Mixed Use	Conditions by Applicant
Front Yard	10 feet	10 feet	80 feet
Side Yard	20 feet	20 feet	40 feet
Rear Yard / Boundary to Single Family (Building)	50 feet	50 feet	Townplace Suites: 178 feet to the 1 st floor pool, 197 feet to 2 nd -4 th floor Fairfield: 185 feet to 1 st -4 th floor
Rear Yard (Parking)	10 feet	10 feet	42.4 feet
Height	3 stories, 36 feet	5 stories, 75 feet	4 stories
Landscape Screening	80% opacity screening	80% opacity screening	80% opacity landscape screening and screening wall
Uses	Office, Bank, Research and Development, School, and Place of Worship	Office, Bank, Research and Development, School, Place of Worship, and hotels (special use)	Two (2) Hotels

Items to be addressed: None

STANDARDS

The Zoning Ordinance identifies five (5) findings that the Plan Commission should evaluate when considering a Conditional Rezoning petition (Section 16.04.C). A Conditional Rezoning may only be approved upon a finding and determination that all of the following are satisfied:

- a) The conditions, proposed development, and/or proposed use of the land are designed or proposed for public health, safety, and welfare purposes.

A guiding principle of both the Master Plan and zoning ordinance is the protection of single-family neighborhoods. The proposed conditions, specifically the Site Plan offered by the applicant will protect public health, safety, and welfare. The applicant has provided adequate buffer and transition so that the specific use and development as a whole will greatly enhance the area and provide a benefit to the immediate area and the larger region by providing lodging for out-of-town guests.

We find that the applicant has made all reasonable attempts to mitigate impact upon adjacent properties, including installing a double row of 12 to 15 foot high landscaping, installing an 8-foot high wall, reducing building height, and increasing rear yard setback.

Congregating complementary uses will allow for reduction in automobile dependence, which increases public health, safety, and welfare.

- b) The conditions, proposed development and/or proposed use are not in material conflict with the Master Plan, or, if there is material conflict with the Master Plan, such conflict is due to one of the following:
 - I. A change in City policy since the Master Plan was adopted.
 - II. A change in conditions since the Master Plan was adopted.
 - III. An error in the Master Plan.

The proposed development is not in material conflict and is consistent with the Master Plan. The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. This site is located on the border of the Smart Zone and 21st Century Industry area of the Master Plan, which calls for "...business to business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield." The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. However understanding the changing nature of the office market, proximity to I-75, and a renewed focus on providing a mix of complementary land uses, the proposed lodging use is appropriate for this area. The applicant has chosen the OM zoning district due to the applicant's desired use, consideration of the surrounding zoning, and consideration of the Master Plan. The proposed use will fully support and compliment the surrounding office and research center uses in the surrounding area.

- c) The conditions, proposed development and/or proposed use are in accordance with all terms and provisions of the zoning district to which the land is to be rezoned, except as otherwise allowed in the Conditional Rezoning Agreement.

The applicant has offered conditions are in accordance with all terms of the OM zoning district.

- d) Public services and facilities affected by a proposed development will be capable of accommodating service and facility loads caused by use of the development.

All necessary public services, utilities, and facilities already adequately serve this site. Any permitted uses and development within OM district would not require any additional public services and facilities than normally associated with a like use; however private utilities including water will be reviewed as part of the building permit process.

- e) The conditions, proposed development and/or proposed use shall insure compatibility with adjacent uses of land.

The site is adjacent to R-1E, One-Family Zoning to the west; O, Office Building District to the south; RC, Research Center District to the east across Stephenson Highway; and OM, Office Mixed District and IB, Industrial Business to the north. The applicant has chosen the OM zoning district due to the applicant's desired uses, consideration of the surrounding zoning, and consideration of the Master Plan.

The applicant has provided sufficient buffer and transition to adjacent single-family residential. The applicant has offered additional rear yard setback, reduced height, and increased landscape buffering.

Items to be Addressed: None.

SPECIAL USE

Standards of Approval

Section 9.03 states that before approving any requests for Special Use Approval, the Planning Commission shall consider:

1. *Compatibility with Adjacent Uses. The Special Use shall be designed and constructed in a manner harmonious with the character of adjacent property and the surrounding area. In determining whether a Special Use will be harmonious and not create a significant detrimental impact, as compared to the impacts of permitted uses.*

A guiding principle of both the Master Plan and zoning ordinance is the protection of single-family neighborhoods. The proposed conditions, specifically the Site Plan offered by the applicant will protect public health, safety, and welfare. The applicant has provided adequate buffer and transition in so much that the specific use and development as a whole will greatly enhance the area and provide a benefit to the immediate area and the larger region by providing lodging for out-of-town guests.

We find that the applicant has made all reasonable attempts to mitigate impact upon adjacent properties, including installing a double row of 12 to 15 foot high landscaping, installing an 8-foot high wall, reducing building height, and increasing rear yard setback.

Congregating complementary uses will allow for reduction in automobile dependence, which increases public health, safety, and welfare.

- 2. Compatibility with the Master Plan. The proposed Special Use shall be compatible and in accordance with the goals and objectives of the City of Troy Master Plan and any associated sub-area and corridor plans.*

The proposed development is not in material conflict and is consistent with the Master Plan. The Master Plan recognizes that a significant area of the City has been devoted to uses that may be conducive to be redeveloped to other uses. This site is located on the border of the Smart Zone and 21st Century Industry area of the Master Plan, which calls for "...business to business uses that don't require a significant public presence, but which work in tandem with the Knowledge Economy uses encouraged within the Smart Zone and Northfield." The 21st Century Industry classification provides area for conventional manufacturing and assembly uses, but with a broader interpretation of what industrial areas can become. However understanding the changing nature of the office market, proximity to I-75, and a renewed focus on providing a mix of complementary land uses, the proposed lodging use is appropriate for this area. The applicant has chosen the OM zoning district due to the applicant's desired use, consideration of the surrounding zoning, and consideration of the Master Plan. The proposed use will fully support and compliment the surrounding office and research center uses in the surrounding area.

- 3. Traffic Impact. The proposed Special Use shall be located and designed in a manner which will minimize the impact of traffic, taking into consideration: pedestrian access and safety; vehicle trip generation (i.e. volumes); types of traffic, access location, and design, circulation and parking design; street and bridge capacity and, traffic operations at nearby intersections and access points. Efforts shall be made to ensure that multiple transportation modes are safely and effectively accommodated in an effort to provide alternate modes of access and alleviate vehicular traffic congestion.*

While hotel uses generate traffic, such traffic is spread out throughout day and typically does not have a peak period. The hotels should have minimal impact on traffic. The hotels are located on a major arterial that can accommodate increased traffic.

- 4. Impact on Public Services. The proposed Special Use shall be adequately served by essential public facilities and services, such as: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, refuse disposal, water and sewage facilities, and schools. Such services shall be provided and accommodated without an unreasonable public burden.*

The proposed use should not cause additional impact on other public services, such as police or utilities, beyond what would normally be experienced for other uses in the district.

- 5. Compliance with Zoning Ordinance Standards. The proposed Special Use shall be designed, constructed, operated and maintained to meet the stated intent of the zoning districts and shall comply with all applicable ordinance standards.*

Outside the aforementioned issues, the site complies with all other zoning ordinance standards.

The Planning Commission is also required to generally consider the following for any special use application:

1. *The nature and character of the activities, processes, materials, equipment, or conditions of operation; either specifically or typically associated with the use.*

The proposed use may be permissible in the proposed location.

2. *Vehicular circulation and parking areas.*

Interior vehicular circulation is sufficient. Applicant shall confirm parking requirements.

3. *Outdoor activity, storage and work areas.*

N/A.

4. *Hours of operation.*

We assume due to the nature of the proposed use, this will be a 24-hour, 7 day per week use.

5. *Production of traffic, noise vibration, smoke, fumes odors, dust, glare and light.*

The applicant has provided additional landscaping and buffers to mitigate impact of traffic, noise, and light upon adjacent properties.

Items to be addressed: None.

RECOMMENDATION

We find that the applicant has made all reasonable attempts to mitigate impact upon adjacent properties including installing a double row of 12 to 15 foot high landscaping, installing an 8-foot high wall, reducing building height, and increasing rear yard setback. We recommend approval of the Site Plan and Special use, and recommend that the planning Commission recommend the Conditional Rezoning. Any Planning Commission approval of the Site Plan and Special Use is contingent upon the City Council granting the Conditional Rezoning.

If the City Council grants the Conditional Rezoning, the applicant shall address the following items as part of the final site plan:

1. *Place pole locations on the site plan;*
2. *Confirm that there is no building lighting above the first floor on the rear and side elevations. A note should be added to the photometric plan.*
3. *Add screen/noise wall detail to plans.*
4. *Revise elevations to include Fairfield Inn first floor masonry details as part of the final site plan submittal.*

Please contact me if you have any questions.

CARLISLE/WORTMAN ASSOCIATES, INC.



**CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP**

Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
T-2-N R-11-E	

Professional Seal:



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION
07-10-2013	CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS
07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL
09-24-2013	SITE PLAN SUBMITTAL

Developed For:
TROY HOTELS, INC.

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

COVER

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date:	05.03.2013
Scale:	NTS
Sheet:	01
Project:	18452.00

TROY MARRIOTT HOTELS

CITY OF TROY, OAKLAND COUNTY, MICHIGAN
SECTION 24 T-05-N, R-13-E
TAX PARCEL ID:



LOCATION MAP
(NOT TO SCALE)

PROPERTY DESCRIPTION

(PER TAX RECORD, TAX ID: 20-35-326-012)

LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, T-2-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT A POINT DISTANT S.88°24'00"E., 664.61 FEET AND S.88°13'12"E., 1019.84 FEET AND N.01°57'38"E., 358.88 FEET FROM THE SOUTHWEST CORNER OF ABOVE SAID SECTION; THENCE N.88°35'27"W., 351.11 FEET; THENCE N.02°31'48"E., 570.29 FEET; THENCE S.88°02'22"E., 345.43 FEET; THENCE S.01°57'38"W., 566.88 FEET TO THE POINT OF BEGINNING.

AS FIELD SURVEYED DESCRIPTION

(TAX ID: 20-35-326-012)

PART OF THE SOUTHWEST 1/4 OF SECTION 35, T-02-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 35; THENCE N.87°33'17"E., 1684.46 FEET ALONG THE SOUTH LINE OF SAID SECTION 35 (14 MILE ROAD) TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY (204 FEET WIDE); THENCE N.02°07'02"W., 358.99 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE S.87°11'49"W., 351.12 FEET; THENCE N.01°32'52"W., 570.43 FEET; THENCE N.87°52'58"E., 345.43 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY; THENCE S.02°07'02"E., 566.20 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING AND CONTAINING 4.543 ACRES.

BENCH MARK DATA

(CITY OF TROY) DATUM

CITY BENCH MARK NO. 2015
SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
ELEVATION=644.52'

SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

DEVELOPER :

TROY HOTELS INC.
24170 SHERWOOD
CENTER LINE, MI 48015
(248) 259-5600 p

CIVIL ENGINEER :

GIFFELS WEBSTER
6303 26 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
(586) 781-8950 p
(586) 781-8951 f
ATTN: ANDY WAKELAND, P.E.

LANDSCAPE ARCHITECT :

GIFFELS WEBSTER
6303 26 MILE ROAD, SUITE 100
WASHINGTON, MI 48094
(586) 781-8950 p
(586) 781-8951 f
ATTN: MARK HANSEN, B.L.A., R.L.A.

ARCHITECT :

VICTOR SAROKI & ASSOCIATES
430 N. OLD WOODWARD AVE.
BIRMINGHAM, MI 480009
(248) 258-5707 p
(248) 258-5515 f

CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS SHEET INDEX

- 01 COVER
- 02 TOPOGRAPHIC SURVEY
- 03 SITE PLAN
- 04 UTILITY PLAN
- 05 GRADING PLAN
- 06 LANDSCAPE PLAN
- 07 NOTES AND DETAILS

CONCEPTUAL FAIRFIELD INN & SUITES

- ELEVATIONS
- FLOOR PLANS

CONCEPTUAL TOWNEPLACE SUITES

- ELEVATIONS
- FLOOR PLANS



LOCATION MAP
(NOT TO SCALE)

LEGEND - EXISTING

- E/ PAVEMENT
- CURB
- E/ WALK
- MISC. LINE
- FENCE
- GUARD RAIL
- WALL
- B.L.D. LINE
- OVERHEAD WIRES
- T/ BANK
- B/ BANK
- WATER EDGE
- STORM LINE
- WATER LINE
- GAS LINE
- SECTION LINE
- ELECTRIC OVERHEAD
- RE-DITCHED SWALE
- SAN. MH
- GATE VALVE
- HYDRANT
- WATER VALVE
- FDC CONNECTION
- STORM MH
- CATCH BASIN
- BEEHIVE CB
- CULVERT E.S.
- ROUND CB
- LIGHT POLE
- UTILITY POLE
- ELEC. MH
- GAS METER
- GAS RISER
- TELE. MH
- MANHOLE
- SIGN
- PROT. POST/GUARD POST
- GUY
- DEODOROUS TREE
- CONIFEROUS TREE
- DEAD TREE
- UTILITY FLAG
- EXISTING ELEVATION
- MISC. TOPO. SHOT
- SURVEY CONTROL POINT
- FOUND IRON
- FOUND NAIL
- SECTION COR.
- FENCE POST
- FOUND PIPE
- FOUND MON.
- CHAIN-LINK FENCE
- DOOR LEDGE
- FINISHED FLOOR
- FOUND IRON PIPE
- MEASURED
- R. RECORD
- F.M. FOUND MONUMENT

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
21	GATE VALVE	T/PIPE	642.90	-6.90	636.00	NORTH-SOUTH	
22	BEEHIVE CATCH BASIN	T/WATER	641.46	-3.80	637.66	NORTH	UNABLE TO REMOVE COVER
		T/DEBRIS	641.46	-5.80	635.66	EAST	
23	SANITARY MANHOLE	18"	642.09	-12.24	629.85	SOUTH	FLOWS SOUTH
		18"	642.09	-12.30	629.79	NORTH	
26	BEEHIVE CATCH BASIN	T/WATER	641.43	-3.83	637.60	NORTH	NO OTHER PIPES VISIBLE
		UNKNOWN	641.43	-2.80	636.63	WEST	
27	SANITARY MANHOLE	6"	642.45	-12.40	630.05	WEST	FLOWS SOUTH
		18"	642.45	-12.96	629.49	SOUTH	
28	BEEHIVE CATCH BASIN	T/WATER	640.73	-2.43	638.30	NORTH	NO OTHER PIPES VISIBLE
		T/DEBRIS	640.73	-3.05	637.68	SOUTHWEST	
29	CATCH BASIN	15"	642.64	-4.60	638.04	NORTHEAST	PIPE WEST IS NOT VISIBLE
		18"	643.85	-13.81	630.04	NORTH	
30	SANITARY MANHOLE	18"	643.85	-13.81	630.04	SOUTH	FLOWS SOUTH
		8"	643.59	-14.08	629.51	EAST	
31	SANITARY MANHOLE	18"	643.59	-14.60	628.99	SOUTH	FLOWS SOUTH
		18"	643.59	-14.70	628.89	NORTH	
32	TELEPHONE MANHOLE	T/WATER	642.74	-2.10	640.64		NO WIRES VISIBLE
		T/DEBRIS	642.74	-9.60	633.14		
51	GATE VALVE	T/PIPE	642.45	-5.70	636.75	NORTH-SOUTH	
		T/WATER	642.45	-1.65	640.81		
52	STORM MANHOLE	18"	642.46	-2.32	640.14	NORTH	
		18"	642.46	-3.39	639.07	WEST	
128	CATCH BASIN	12"	642.49	-4.12	638.37	EAST	
		18"	642.46	-2.27	640.19	SOUTH	
148	ROUND CATCH BASIN	T/WATER	641.80	-0.90	640.90		NO PIPE VISIBLE
		T/DEBRIS	641.80	-4.80	637.00		
223	CATCH BASIN	6"	642.66	-1.52	641.14	SOUTH-SOUTHWEST	NO OTHER PIPES VISIBLE
		T/WATER	642.66	-1.01	641.65		
229	ROUND CATCH BASIN	T/WATER	643.30	-2.48	640.82	WEST	NO OTHER PIPES VISIBLE
		T/DEBRIS	643.30	-1.65	641.65		
232	ROUND CATCH BASIN	6"	643.30	-2.53	640.77	EAST	NO OTHER PIPES VISIBLE
		T/WATER	642.90	-1.20	641.70		
251	STORM MANHOLE	6"	642.90	-2.08	640.82	WEST	NO OTHER PIPES VISIBLE
		T/WATER	642.90	-4.40	638.50		
252	SANITARY MANHOLE	8"	642.16	-4.60	637.56		POSSIBLE PUMPING STRUCTURE W/ ELECTRIC
		8"	642.16	-8.60	633.56		
534	ROUND CATCH BASIN	T/WATER	642.87	-2.00	640.87		NO PIPE VISIBLE
		T/DEBRIS	642.87	-6.70	636.17		

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
254	BEEHIVE CATCH BASIN	15"	642.18	-4.06	638.12	NORTH	
		12"	642.18	-3.80	638.38	EAST	
255	ELECTRIC MANHOLE	BOTTOM	642.18	-4.40	637.78		HANDHOLE
		6"	642.18	-4.10	638.01		
256	ELECTRIC MANHOLE	BOTTOM	643.61	-4.60	639.01		HANDHOLE
		6"	643.61	-4.60	639.01		
257	STORM MANHOLE	T/WATER	643.62	-5.70	637.92		NO OTHER PIPES VISIBLE
		T/DEBRIS	643.62	-5.82	637.80		
332	GATE VALVE	T/PIPE	642.17	-6.20	635.97	NORTH-SOUTH	
		T/WATER	642.17	-7.45	634.72		
340	SANITARY MANHOLE	8"	642.10	-7.45	634.65	EAST	
		8"	642.10	-7.45	634.65	WEST	
375	STORM MANHOLE	T/WATER	642.80	-1.95	640.85		POSSIBLE PUMPING STRUCTURE W/ ELECTRIC
		T/DEBRIS	642.80	-15.10	627.70		
431	STORM MANHOLE	10"	644.29	-4.50	639.79	WEST	
		6"	644.29	-4.25	640.04	EAST	
5013	STORM MANHOLE	18"	643.24	-7.00	636.24	EAST	NO FLOW
		18"	643.24	-7.05	636.19	WEST	
5022	ROUND CATCH BASIN	T/WATER	643.24	-6.75	636.49		NO OTHER PIPES VISIBLE
		T/DEBRIS	643.24	-1.25	639.87		
5052	STORM MANHOLE	4"	641.12	-3.65	637.47	SOUTHWEST	NO OTHER PIPES VISIBLE
		4"	641.12	-5.20	635.92		
5053	ROUND CATCH BASIN	T/WATER	641.89	-5.45	636.44		NO PIPES VISIBLE
		T/DEBRIS	641.89	-6.63	635.21		
5068	BEEHIVE CATCH BASIN	6"	639.39	-1.93	637.46	SOUTH-SOUTHWEST	NO OTHER PIPES VISIBLE
		6"	639.39	-1.93	637.46		
5085	ROUND CATCH BASIN	T/WATER	642.48	-1.60	640.88		NO OTHER PIPES VISIBLE
		T/DEBRIS	642.48	-4.43	638.05		
5157	ROUND CATCH BASIN	12"	642.31	-4.86	637.45	EAST	NO OTHER PIPES VISIBLE
		21"	642.31	-4.40	640.86		
5224	ROUND CATCH BASIN	T/WATER	642.31	-1.45	640.86		NO OTHER PIPES VISIBLE
		T/DEBRIS	642.31	-5.80	636.51		
5229	ROUND CATCH BASIN	12"	642.02	-4.40	637.62	WEST	NO OTHER PIPES VISIBLE
		12"	642.02	-4.40	637.62		
5229	ROUND CATCH BASIN	ELLIPTICAL PIPE	642.02	-3.45	638.57	NORTH	NO OTHER PIPES VISIBLE
		ELLIPTICAL PIPE	642.02	-4.46	637.80	WEST	
5295	ROUND CATCH BASIN	T/WATER	642.28	-1.40	640.86		NO OTHER PIPES VISIBLE
		T/DEBRIS	642.28	-6.30	636.96		
5323	VALVE COVER	20" DIA. LID. FILL PORT WITH ELECTRIC PORT	643.86				NO OTHER PIPES VISIBLE
		20" DIA. LID. FILL PORT	643.86				
5324	VALVE COVER	20" DIA. LID. FILL PORT WITH ELECTRIC PORT	643.89				NO OTHER PIPES VISIBLE
		20" DIA. LID. FILL PORT	643.89				
5325	VALVE COVER	44" DIA. LID. FILL PORT	643.89				NO OTHER PIPES VISIBLE
		44" DIA. LID. FILL PORT	643.89				
5340	ROUND CATCH BASIN	T/WATER	642.87	-2.00	640.87		NO PIPE VISIBLE
		T/DEBRIS	642.87	-6.70	636.17		

PROPERTY DESCRIPTION

(PER TAX RECORD, TAX ID: 20-35-326-012)
LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 35, T-2-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT S.88°24'00"E., 664.61 FEET AND S.88°13'12"E., 1019.84 FEET AND N.01°57'38"E., 358.88 FEET FROM THE SOUTHWEST CORNER OF ABOVE SAID SECTION; THENCE N.88°35'27"W., 351.11 FEET; THENCE N.02°31'48"E., 570.29 FEET; THENCE S.88°02'22"E., 345.43 FEET; THENCE S.01°57'38"W., 566.88 FEET TO THE POINT OF BEGINNING.

AS FIELD SURVEYED DESCRIPTION

(TAX ID: 20-35-326-012)
PART OF THE SOUTHWEST 1/4 OF SECTION 35, T-02-N, R-11-E, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
COMMENCING AT THE SOUTHWEST CORNER OF SECTION 35; THENCE N.87°33'17"E., 1684.46 FEET ALONG THE SOUTH LINE OF SAID SECTION 35 (14 MILE ROAD) TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY (204 FEET WIDE); THENCE N.02°07'02"W., 358.99 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING; THENCE S.87°11'49"W., 351.12 FEET; THENCE N.01°32'52"W., 570.43 FEET; THENCE N.87°52'58"E., 345.43 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF STEPHENSON HIGHWAY; THENCE S.02°07'02"E., 566.20 FEET ALONG SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING AND CONTAINING 4.543 ACRES.

UTILITY STATEMENT

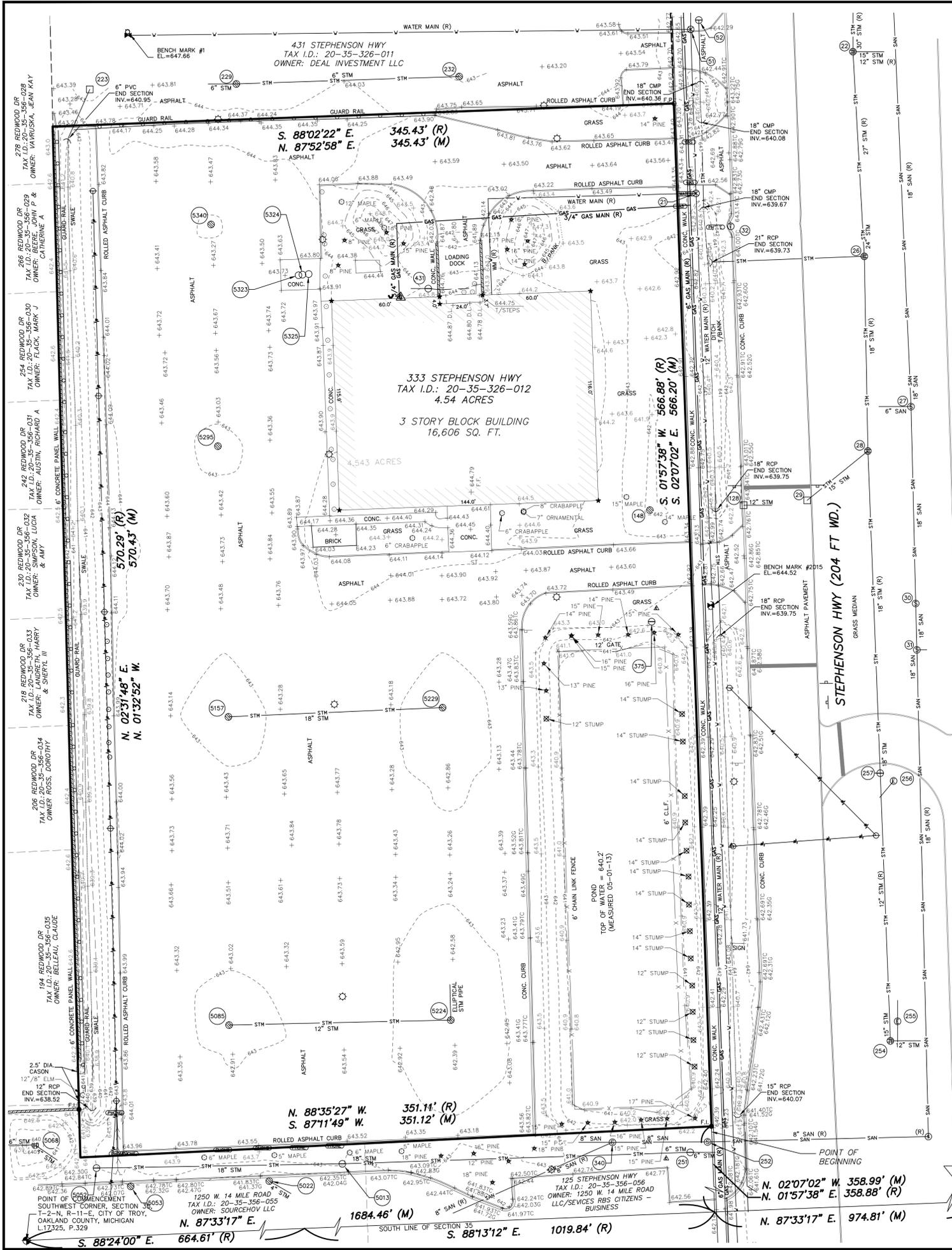
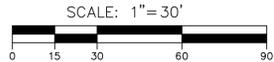
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.
PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

BENCH MARK DATA

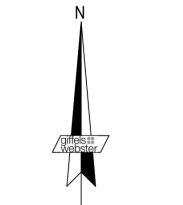
(CITY OF TROY) DATUM
CITY BENCH MARK NO. 2015
SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD.
ELEVATION=644.52'
SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE.
ELEVATION=647.66'

NOTES:

- TELEPHONE, ELECTRIC, AND CABLE TV UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP, PANEL NUMBER 561 OF 704, MAP NUMBER 2612505061G, EFFECTIVE DATE JANUARY 16, 2009.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.



Executive: PM
Manager: AW
Designer: DR
Quality Control:
Section: 35
T-2-N R-11-E



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09-24-2013	SITE PLAN SUBMITTAL

Developed For:
TROY HOTELS, INC.
24170 SHERWOOD AVE.
CENTER LINE, MI 48015

(248)-255-5946

TOPOGRAPHIC SURVEY

TROY MARRIOTT HOTELS
CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date: 05.03.2013
Scale: 1"=30'
Sheet: 02
Project: 18452.00

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LOCATION MAP
 (NOT TO SCALE)

SITE PLAN DATA

PARCEL ID: 20-35-326-012
 PARCEL AREA: 4.54 ACRES
 BUILDING AREA - TOWNEPLACE SUITES: 16,196 SF
 BUILDING AREA - FAIRFIELD INN: 12,219 SF
 TOTAL BUILDING AREA: 28,415 SF

ZONING

CURRENT: (O) OFFICE BUILDING DISTRICT
 PROPOSED: (OM) OFFICE MIXED USE

SETBACKS

FRONT	REQUIRED
SIDE	10 FT.
REAR	20 FT.
REAR	30 FT.
REAR	50 FT. SINGLE FAMILY RESIDENTIAL

BENCH MARK DATA

(CITY OF TROY) DATUM

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 ARROW ON HYDRANT +/- 50 FEET NORTH
 AND +/- 45 FEET EAST OF THE
 NORTHWEST CORNER OF SITE.
 ELEVATION=647.65'

PARKING REQUIREMENTS

-PARKING REQUIRED = 1 SPACE PER GUEST ROOM + 1 SPACE PER EMPLOYEE ON LARGEST TYPICAL SHIFT

-TOWNEPLACE SUITES = 89 ROOMS
 3 EMPLOYEES
 92 SPACES REQUIRED

-FAIRFIELD INN & SUITES = 91 ROOMS
 3 EMPLOYEES
 94 SPACES REQUIRED

-TOTAL SPACES REQUIRED = 186

-TOTAL SPACES PROVIDED = 186

LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED PATIO
- PROPOSED 4" CONCRETE
- PROPOSED 8" CONCRETE
- PROPOSED A.D.A DETECTABLE WARNING
- PROPOSED 18" CONCRETE CURB & STANDARD GUTTER
- PROPOSED 18" CONCRETE CURB & REVERSE GUTTER
- PARKING SPACE COUNT

SCALE: 1" = 30'



GENERAL NOTES:

ALL LIGHTING ON THE SITE SHALL BE SHIELDED AND NOT ENCRONCH UPON ADJACENT PROPERTIES OR RIGHT-OF-WAYS. THE LIGHT POLES SHALL BE NO HIGHER THAN 20 FT. ALL GLARE SHALL BE ELIMINATED FROM ALL LIGHT FIXTURES. UPWARD DIRECTED LIGHTING SHALL NOT BE PERMITTED.

ALL LANDSCAPED AREAS SHALL BE AUTOMATICALLY IRRIGATED.

ALL BARBED WIRE AND SUPPORTS FOR BARBED WIRE ARE PROHIBITED ON THE SITE.

CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF TROY STANDARDS.

NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

A PERMIT FROM THE DPW IS REQUIRED FOR ALL CONSTRUCTION WITHIN CITY ROW. NO EQUIPMENT OR MATERIAL STORAGE WILL BE PERMITTED IN THE ROW.

ALL CITY STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE. IF CLEAN-UP IS NOT PERFORMED WITHIN 24 HOURS OF NOTIFICATION, THE CITY RESERVES THE RIGHT TO PERFORM THE WORK AND CHARGE THE DEVELOPER ACCORDINGLY.

WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM. SUNUP TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE MAYOR OR HIS DESIGNEE.

ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF P.A. OF 1974 AND ALSO MISS DIG 1-800-482-7171 OR 811 THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES.

FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE CITY BY THE DESIGN ENGINEER. THE CITY SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CITY OF TROY SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

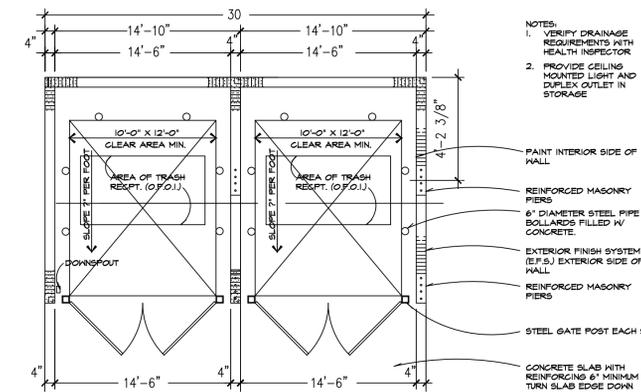
3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CITY ENGINEERING DEPARTMENT TO SCHEDULE INSPECTION. THE CITY SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, PAVEMENT IN CITY R.O.W., ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

PROVIDE FIRE DEPARTMENT KEY BOX (KNOX BOX) PER CITY OF TROY STANDARDS.

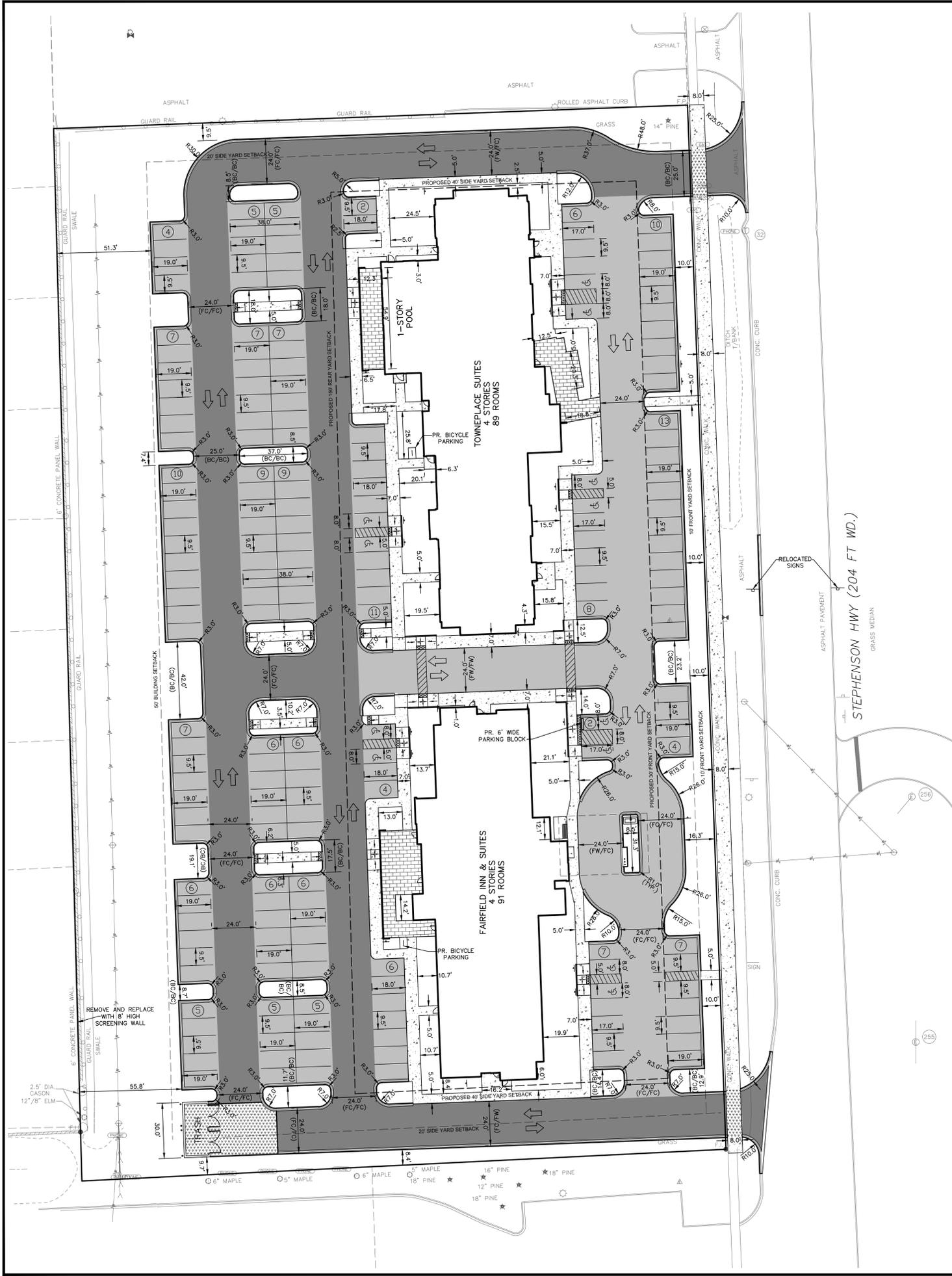
OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON THE SITE EXCEPT WHERE INDICATED ON SITE PLAN.

MONITORING WELLS ON SITE ARE EXISTING AND IN PLACE DUE TO THE NATURE OF THE FORMER OCCUPANTS USE.

A TRASH ENCLOSURE, MEASURING A MINIMUM OF 10'X10' SHALL BE CONSTRUCTED OF SIX (6") HIGH BRICK EMBOSSED POURED CONCRETE WALLS WITH 45° ANGLE CAP. HAVE SCREENED GATES AND BE PLACED UPON A MINIMUM 10'X18' CONCRETE PAD THAT PROVIDES AND 8' WIDE APRON. MASONRY BLOCK SHALL NOT BE USED AS A CONSTRUCTION MATERIAL.



PLAN- EXTERIOR REFUSE RECEPTACLE/ STORAGE



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08-09-2013	REVISED ZONING SUBMITTAL
09-24-2013	SITE PLAN SUBMITTAL

Developed For:
TROY HOTELS, INC.
 24170 SHERWOOD AVE.
 CENTER LINE, MI 48015
 (248)-255-5946

SITE PLAN
 TROY MARRIOTT HOTELS
 CITY OF TROY
 OAKLAND COUNTY
 MICHIGAN

Date: 05.03.2013
 Scale: 1"=30'
 Sheet: 03
 Project: 18452.00

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LOCATION MAP
(NOT TO SCALE)

BENCH MARK DATA

(CITY OF TROY) DATUM
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SOUTH ENTRANCE TO SITE ON THE WEST SIDE OF STEPHENSON HIGHWAY +/- 650 FEET NORTH OF 14 MILE ROAD. ELEVATION=644.52'
SITE BENCH MARK NO. 1
ARROW ON HYDRANT +/- 50 FEET NORTH AND +/- 45 FEET EAST OF THE NORTHWEST CORNER OF SITE. ELEVATION=647.66'

Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E



NOTE

- ALL STORM STRUCTURES SHALL BE IN CONFORMANCE WITH CITY OF TROY SPECIFICATIONS
- PLEASE REFER TO STANDARD DETAIL SHEET DS-2a FOR STRUCTURE DETAILS.
- MAINTAIN A MINIMUM 10 FT HORIZONTAL AND 13 FT VERTICAL SEPARATION BETWEEN ALL UTILITIES WHEREVER POSSIBLE OR INSTALL CONCRETE COLLAR PER CITY STANDARDS.
- ALL NEW WATER SERVICE PIPE MATERIAL UP TO 2" IN DIAMETER SHALL BE TYPE K COPPER TUBING. LARGER SERVICES SHALL BE DUCTILE IRON PIPE.
- CLEAN OUTS IN PAVEMENT SHALL HAVE FRAME AND COVER THAT WITHSTANDS H-20 LOADING.



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TROY HOTELS, INC.
24170 SHERWOOD AVE.
CENTER LINE, MI 48015
(248)-255-5946

PROPOSED LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER MAIN

UTILITY PLAN

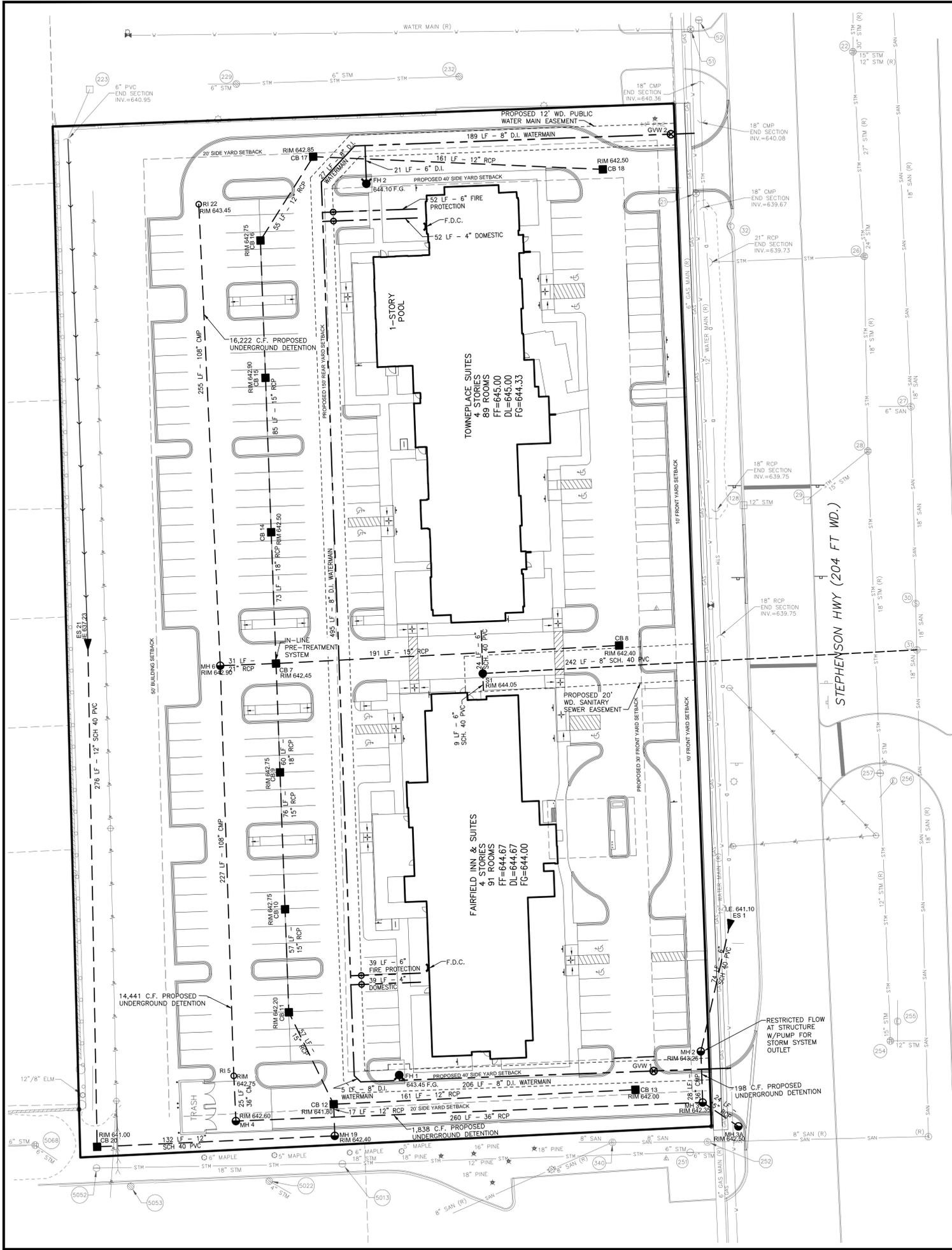
TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN



Date:	05.03.2013
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Project:	18452.00

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LOCATION MAP
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NOTE

SEE ARCHITECTS PLANS FOR
EXACT BUILDING DIMENSIONS AND
ELEVATIONS.

Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E



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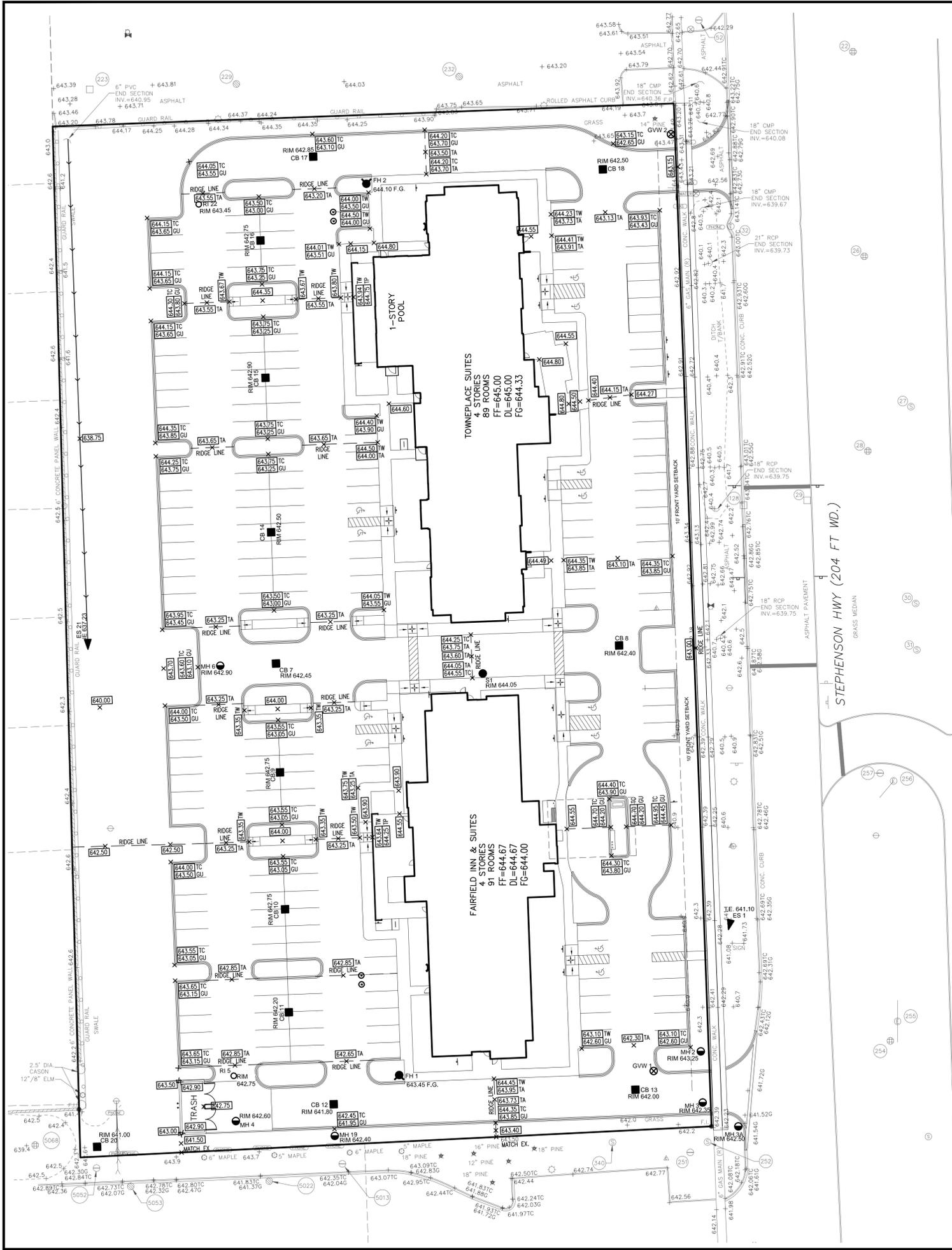
GRADING PLAN

TROY MARRIOTT HOTELS

CITY OF TROY
OAKLAND COUNTY
MICHIGAN

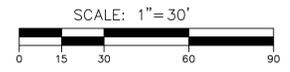
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Project:	18452.00

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LEGEND

- 6" CONCRETE CURB & GUTTER
- 6" CONCRETE CURB & REVERSE GUTTER
- PROPOSED RIM ELEVATION
- ADJUST EXISTING RIM ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED DROPPED FINISHED GRADE ELEVATION
- PROPOSED DOOR LEDGE ELEVATION
- PROPOSED TOP OF WALK ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- EXISTING RIM ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING TOP OF CURB ELEVATION
- RIDGELINE
- DRAINAGE ARROW
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- RE-DITCHED SWALE





LOCATION MAP
(NOT TO SCALE)

LANDSCAPE BUFFER PLANT LIST:

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	46	WHITE SPRUCE	PICEA GLAUCA	12-15' HT. BB	WS
	46	COLUMNAR SUGAR MAPLE	ACER SACCHARUM 'COLUMNARE'	(12-15) 3-4" CAL. BB	SM

ROAD FRONTAGE PLANT LIST:

SHRUBS:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	89	FRAGRANT SUMAC	RHUS AROMATICA	C #3	SUM

TREES:

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
13	LONDON PLANE TREE	PLATANUS X ACERIFOLIA	2-1/2" CAL. BB	LP

PARKING LOT PLANT LIST:

TREES:	NO.	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL
	11	SWEETGUM	LIQUIDAMBAR STYRACIFLUA	2-1/2" CAL. BB	SG
	12	TULIP TREE	LIRIODENDRON TULIPIFERA	2-1/2" CAL. BB	TU
	12	RED MAPLE	ACER RUBRUM	2-1/2" CAL. BB	RM

186 PARKING SPACES / 8 PER PARKING LOT TREE = 24 TREES; 35 PROVIDED

PLANT NOTES:

1. PLANT MATERIALS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES AND INSECTS OR THEIR EGGS, AND SHALL HAVE NORMAL HEALTHY ROOT SYSTEMS. CALIPER MEASUREMENTS SHALL BE TAKEN 6" ABOVE THE GROUND LEVEL. ALL OTHER MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z-60.1 + A300 2004).
2. PLANTING BED SOIL FOR ANNUALS SHALL BE SCREENED TOPSOIL. TO DETER WEED GROWTH DURING THE ESTABLISHMENT OF ANNUAL AND PERENNIAL BEDS, APPLY A PRE-EMERGENT (PREEN OR EQUAL) AFTER PLANTING ANNUALS, 2-3 TIMES PER GROWING SEASON, AT A RATE AS PER RECOMMENDATION OF PRODUCT MANUFACTURER.
3. PLANTING POCKETS SHALL BE NO DEEPER THAN THE HEIGHT OF THE ROOT BALL. SAUCER SHALL BE MADE ON THE EDGES OF THE PLANTING POCKET.
4. ALL TREE WRAP SHALL BE REMOVED UPON PLANTING.
5. MULCH SHALL BE SHREDDED HARDWOOD BARK, FREE FROM DELETERIOUS MATERIAL AND SUITABLE AS A TOP DRESSING OF PLANTING BEDS AND INDIVIDUAL TREE PLANTINGS.
6. TREES SHALL BE MULCHED WITH A MIN. OF 3" DEEP HARDWOOD BARK MULCH AROUND THE PLANTS.
7. GRASS SEED SHALL BE CERTIFIED TURF GRASS SEED COMPLYING WITH A.S.P.A. SPECIFICATIONS, AND FREE OF WEED SEEDS AND UNDESIRABLE NATIVE GRASSES. SEEDED AREAS SHALL NOT BE PERMITTED TO DRY OUT. ALL LAWN AREAS SHALL BE FERTILIZED AND WATERED AS REQUIRED DURING THE FIRST GROWING SEASON TO MAINTAIN A DENSE AND VIGOROUS GROWING LAWN.
8. PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (24 MONTHS). DEAD MATERIALS SHALL BE REPLACED AS NEEDED PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD, IN ACCORDANCE WITH THE LOCAL ORDINANCE REQUIREMENTS.
9. CONTRACTOR SHALL PROVIDE, IN WRITING, A LIST OF RECOMMENDED MAINTENANCE PROCEDURES FOR THE FIRST TWO GROWING SEASONS.
10. REMOVE TOP 1/4 OF BURLAP ON ROOT BALL OR ALL IF WRAPPED IN PLASTIC COVERING AND/OR ALL NYLON CORD.
11. PLANT MATERIALS SHALL BE USED IN COMPLIANCE WITH THE PROVISIONS OF THE LOCAL ORDINANCE AND SHALL BE NURSERY GROWN, FREE OF PESTS AND DISEASES, HARDY IN THIS COUNTY, IN CONFORMANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS. IN ADDITION, PLANT MATERIALS SHALL CONFORM TO THE STANDARDS OF THE COUNTY COOPERATIVE EXTENSION SERVICE.

GENERAL NOTES:

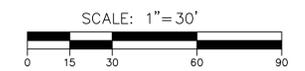
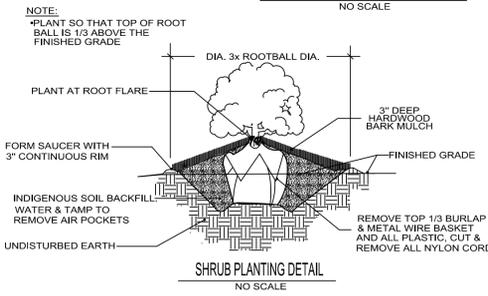
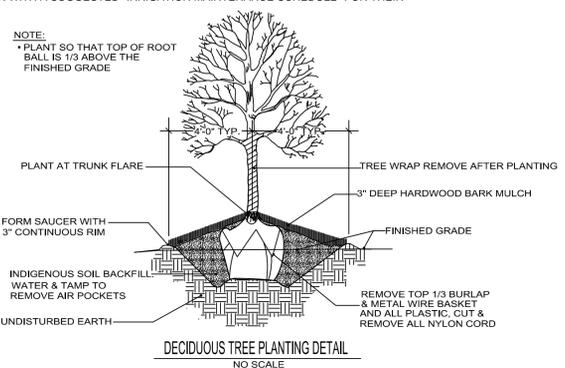
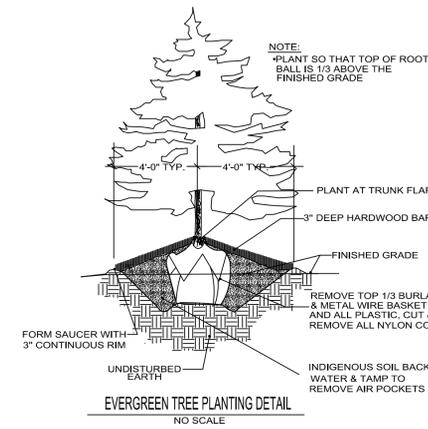
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.
2. ALL AREAS NOT BUILT, LANDSCAPED, OR PAVED UPON CONSTRUCTION SHALL BE SEEDED OR SODDED. TERRA SEED SYSTEM OR APPROVED EQUAL IS ENCOURAGED.
3. ALL LAWN AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM. IRRIGATION HEADS SHALL BE PLACED SUCH THAT WATER WILL NOT HIT ANY HARD STRUCTURES OR SURFACES.
4. A TWO YEAR GUARANTEE PERIOD BEGINS AT FINAL INSPECTION OF LANDSCAPE MATERIAL BY THE LANDSCAPE ARCHITECT. THE BUILDING DEPARTMENT WILL NOT RELEASE THE CONSTRUCTION BONDS UNTIL THE TOWNSHIP APPROVED LANDSCAPE ARCHITECT OR NURSERYMAN HAS INSPECTED THE SITE AND APPROVED THE INSTALLATION OF THE LANDSCAPE PLANTS. THE BOND WILL NOT BE RELEASED UNTIL THE TWO YEAR GUARANTEE EXPIRES AND THE FINAL INSPECTION IS MADE.
5. THE OWNER IS THE RESPONSIBLE FOR CARE AND MAINTENANCE OF ALL PLANTS UPON RETURN OF BONDS. ALL PLANT MATERIAL IS TO BE MAINTAINED FOR THE NATURAL LIFE OF THE PLAN. NO REMOVAL OF ANY PLANT MATERIAL IS PERMITTED WITHOUT REPLACEMENT.

LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO PROGRAM AND PERIODICALLY ADJUST THE IRRIGATION SYSTEM (PROVIDED BY OTHERS) AS REQUIRED TO INSURE DELIVERY OF PROPER AND ADEQUATE WATER SUPPLY TO ALL PLANT MATERIALS, AND SEEDED LAWN AREAS (SERVICED BY THE IRRIGATION SYSTEM) TO INSURE THE ESTABLISHMENT OF HEALTHY PLANT MATERIALS AND LAWNS FOR THEIR FIRST YEAR OF GROWTH. FOLLOWING THE LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD", THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A SUGGESTED "IRRIGATION MAINTENANCE SCHEDULE" FOR THEIR USE.

LAWN SEED MIX:

- 30% PERENNIAL RYGRASS
 - 20% PARK KENTUCKY BLUEGRASS
 - 45% CREEPING RED FESCUE
 - 5% ANNUAL RYEGRASS
- 4#/1000 S.F. SEEDING RATE



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION
07-10-2013	CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS
07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL

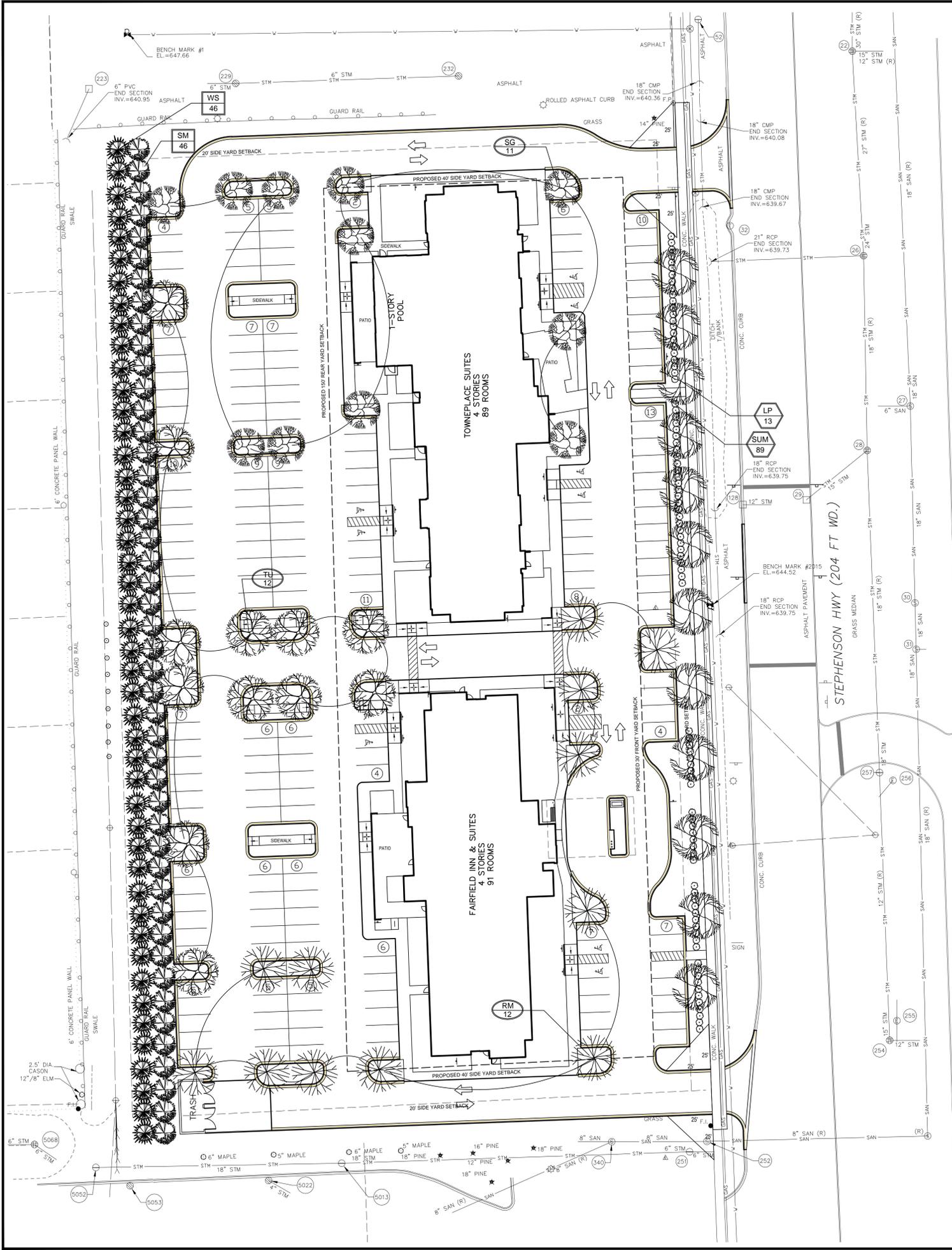
Developed For:
TROY HOTELS, INC.
24170 SHERWOOD AVE.
CENTER LINE, MI 48015
(248)-255-5946

LANDSCAPE PLAN

TROY MARRIOTT HOTELS
CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date: 05.03.2013
Scale: 1"=30'
Sheet: 06
Project: 18452.00

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Executive:	PM
Manager:	AW
Designer:	DR
Quality Control:	
Section:	35
	T-2-N R-11-E

Professional Seal



DATE:	ISSUE:
06-07-2013	CONDITIONAL REZONING APPLICATION
07-10-2013	CONCEPTUAL SITE PLAN PER SUBMITTED CONDITIONS
07-31-2013	OWNER REVIEW
08-09-2013	REVISED ZONING SUBMITTAL
09-24-2013	SITE PLAN SUBMITTAL

Developed For:
TROY HOTELS, INC.

24170 SHERWOOD AVE.
CENTER LINE, MI 48015

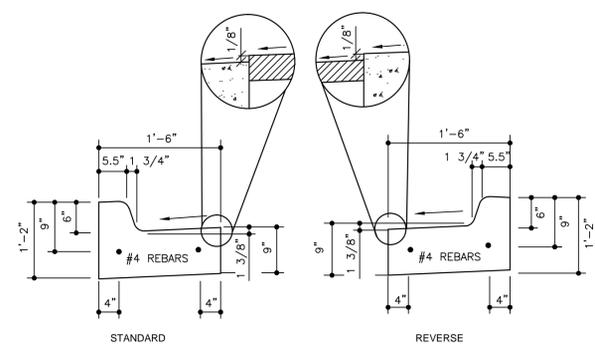
(248)-255-5946

NOTES AND DETAIL SHEET

TROY MARRIOTT HOTELS

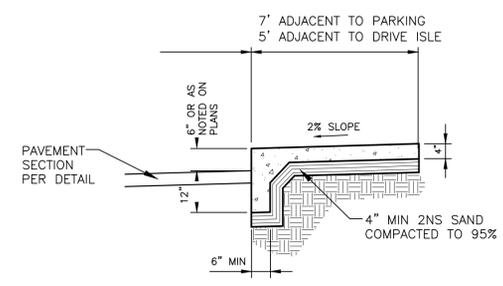
CITY OF TROY
OAKLAND COUNTY
MICHIGAN

Date:	05.03.2013
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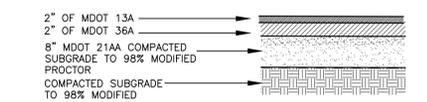
18" CONCRETE CURB & GUTTER
NOT TO SCALE

NOTE:
USE MDOT 35P CONCRETE-TYPICAL ALL C&G.
REFERENCE MDOT DETAIL II-30D TYPE F4.



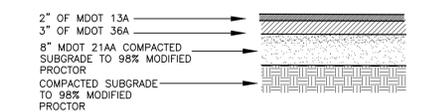
6" INTEGRAL CONCRETE CURB & WALK
NOT TO SCALE

NOTE:
USE 8" CONCRETE WALK IF WITHIN DRIVE APPROACH, INTERSECTION OR CALLED OUT ON PLANS. PLACE 2NS SAND AS REQUIRED TO OBTAIN GRADE AND COMPACT TO 95% MODIFIED PROCTOR.



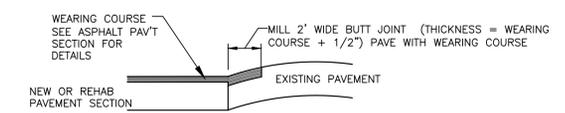
STANDARD DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

NOTE:
1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
3. A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.

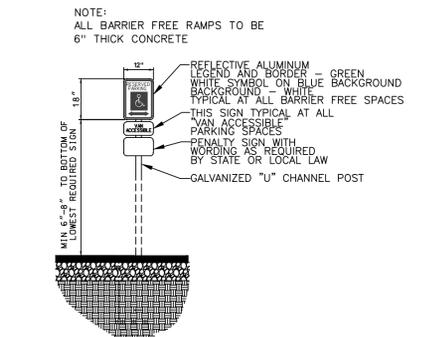


HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

NOTE:
1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
3. A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.

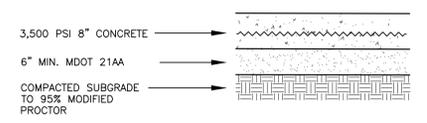


BUTT JOINT
NOT TO SCALE

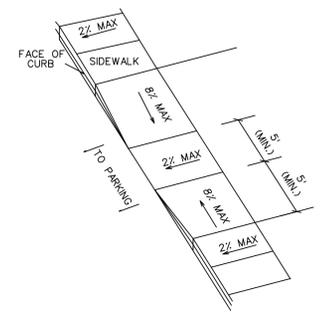


BARRIER FREE PARKING SIGN IN GREENBELT

(DETAIL ALSO TO BE FOLLOWED FOR ALL OTHER TRAFFIC CONTROL SIGNAGE)
ONE AT EACH BARRIER FREE SPACE.
WHERE BARRIER FREE SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

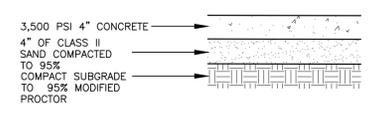


8" REINFORCED CONCRETE SLAB
NOT TO SCALE

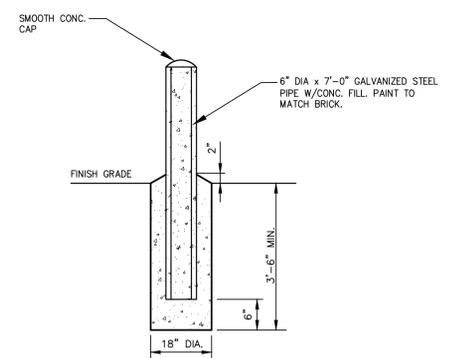


BARRIER FREE RAMP DETAIL (R-28-F, TYPE P)
NOT TO SCALE

NOTE:
ALL BARRIER FREE RAMPS TO BE 6" THICK CONCRETE



4" CONCRETE SIDEWALK
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

NOTES:
SEE PLAN FOR LOCATIONS



TOWNPLACE SUITES/FAIRFIELD INN & SUITES

TROY SITE LED LIGHTING VALUES AT GRADE
 PREPARED FOR: GIFFELS/WEBSTER
 GASSER BUSH ASSOCIATES

Designer
 LAK/JAB

Date
 SEPT 25 2013

Scale
 AS NOTED

Drawing No.
 #13-17400-V5-LED

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
LA	4	LITHONIA #DSX0 LED 40C 1000 50K T3M MVOLT HS (SINGLE - 15' MTD @ 1000mA WITH HOUSE HTG)	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 5000K, @ 1000mA	LED	DSX0 LED 40C 1000 50K T3M MVOLT HS.ies	Absolute	0.94	138	
LB	1	LITHONIA #DSX0 LED 40C 1000 50K T3M MVOLT HS (SINGLE - 15' MTD @ 1000mA HTG)	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 5000K, @ 1000mA	LED	DSX0 LED 40C 1000 50K T3M MVOLT HS.ies	Absolute	0.94	138	
LB2	6	LITHONIA #DSX0 LED 40C 1000 50K T3M MVOLT HS (SINGLE - 15' MTD @ 1000mA HTG)	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 5000K, @ 1000mA	LED	DSX0 LED 40C 1000 50K T3M MVOLT HS.ies	Absolute	0.94	276	
LC	21	LITHONIA #DSX0 LED 40C 1000 50K T3M MVOLT HS (SINGLE - 15' MTD @ 1000mA HTG)	DSX0 LED WITH (2) 20 LED LIGHT ENGINE, TYPE T3M OPTIC, 5000K, @ 1000mA	LED	DSX0 LED 40C 1000 50K T3M MVOLT HS.ies	Absolute	0.94	138	

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING & DRIVE AREAS - VALUES AT GRADE	✖	3.1 fc	10.3 fc	0.7 fc	14.7:1	4.4:1
SITE VALUES	+	1.6 fc	10.3 fc	0.0 fc	N / A	N / A

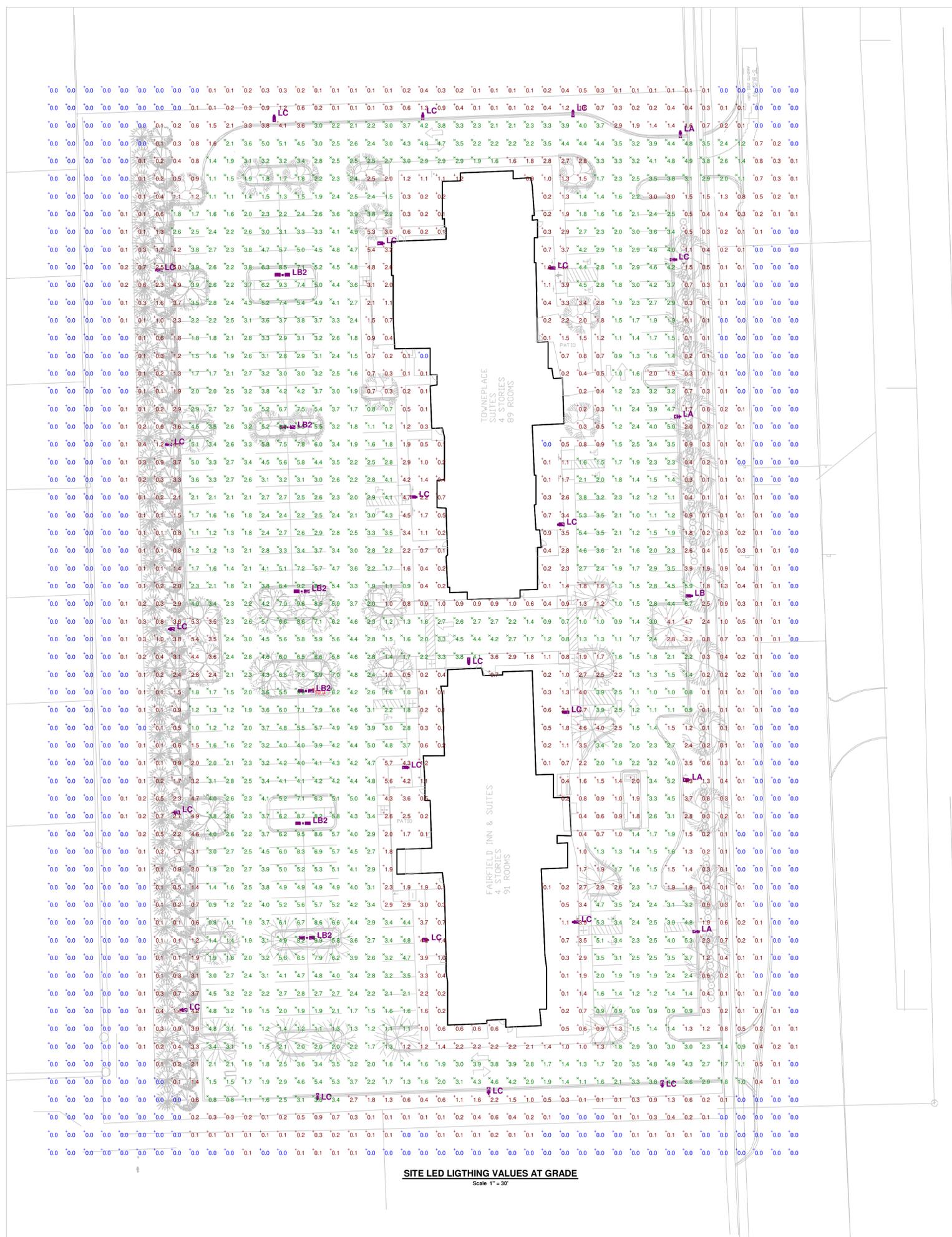
LUMINAIRE LOCATIONS						
No.	Label	X	Y	MH	Orientation	Tilt
1	LC	295.4	468.4	15.0	-90.0	0.0
2	LB2	72.2	459.7	15.0	90.0	0.0
3	LB2	86.1	85.3	15.0	90.0	0.0
4	LB2	83.1	281.0	15.0	90.0	0.0
5	LB2	75.2	373.6	15.0	90.0	0.0
6	LB	304.4	278.5	15.0	-90.0	0.0
7	LA	303.0	174.5	15.0	-90.0	0.0
8	LA	308.4	88.9	15.0	-90.0	0.0
9	LC	287.6	1.3	15.0	0.0	0.0
10	LC	151.7	550.7	15.0	180.0	0.0
11	LC	177.9	239.9	15.0	0.0	0.0
12	LB2	83.8	150.0	15.0	90.0	0.0
13	LA	297.9	540.6	15.0	180.0	0.0
14	LC	189.2	-2.7	15.0	0.0	0.0
15	LA	298.0	379.6	15.0	-90.0	0.0
16	LC	129.6	477.5	15.0	-90.0	0.0
17	LC	228.6	318.7	15.0	90.0	0.0
18	LC	223.5	463.5	15.0	90.0	0.0
19	LC	148.2	334.2	15.0	270.0	0.0
20	LC	231.2	212.7	15.0	90.0	0.0
21	LC	237.0	94.2	15.0	90.0	0.0
22	LC	143.7	181.6	15.0	270.0	0.0
23	LC	155.0	84.1	15.0	270.0	0.0
24	LC	14.6	44.6	15.0	90.0	0.0
25	LC	10.4	156.2	15.0	90.0	0.0
26	LC	7.6	259.6	15.0	90.0	0.0
27	LC	5.9	363.9	15.0	90.0	0.0
28	LC	0.7	462.3	15.0	90.0	0.0
29	LC	236.9	552.3	15.0	180.0	0.0
30	LB2	85.5	224.8	15.0	90.0	0.0
31	LC	67.4	549.7	15.0	180.0	0.0
32	LC	92.1	-5.9	15.0	0.0	0.0

NOTES

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE SURFACE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



SITE LED LIGHTING VALUES AT GRADE
 Scale 1" = 30'



**Victor Saroki
& Associates
ARCHITECTS PC**

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VictorSaroki.com

Project:

Troy-Stephenson Hotels
Fairfield Inn & Suites
Stephenson Highway
Troy, Michigan

Date: Issued For:

06-10-2013 CONDITIONAL REZONING

09-18-2013 CONDITIONAL REZONING

Sheet No.:

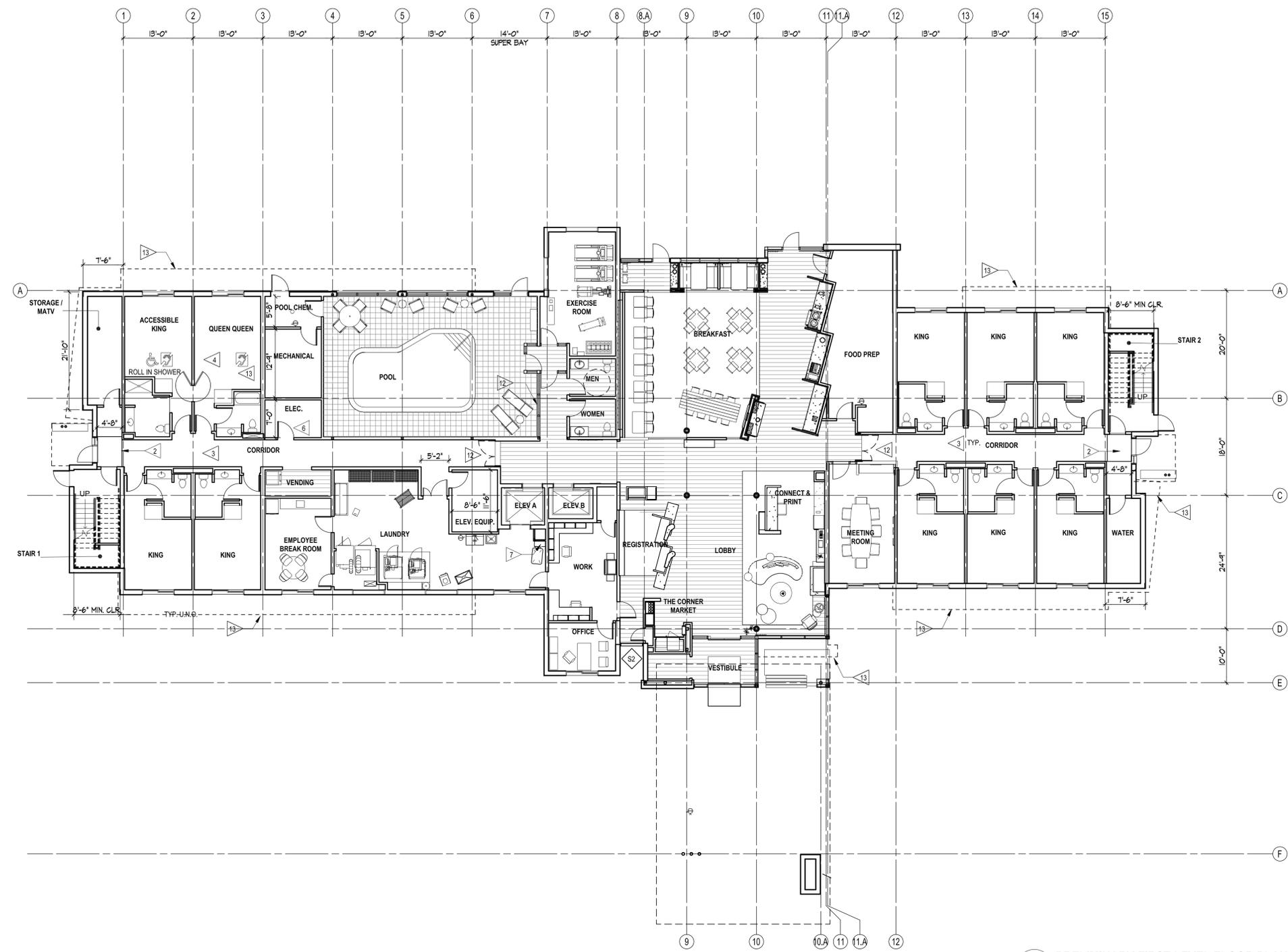
A000(FIS)

PRELIMINARY
RENDERING

A
B
C
D
E
F
G
H

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
B
C
D
E
F
G
H



1 PRELIMINARY FIRST LEVEL FLOOR PLAN
3/32" = 1'-0"

REFERENCE NOTES

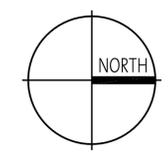
- A. SEE COVER SHEET FOR INFORMATION REGARDING THE INTENT AND LIMITATIONS OF THE DESIGN GUIDELINE DRAWINGS.
- B. THE DESIGN GUIDELINE DRAWINGS ARE BASED ON REQUIREMENTS SET OUT ON SHEETS 8020. COORDINATE CHANGES TO REQUIREMENTS WITH GUIDELINE DRAWINGS.
- C. SEE SHEETS 004-008 FOR TYPICAL PARTITIONS TYPES AND PARTITION DIAGRAMS WHERE NOT INDICATED ON ENLARGED PLANS.
- D. SEE 400 SERIES DRAWINGS FOR ENLARGED PUBLIC SPACE PLANS AND DETAILS.
- E. SEE SHEETS 420-430 FOR UNIT PLANS AND DETAILS.
- F. SEE SHEET 440 FOR EXIT STAIR PLANS AND ELEVATIONS.
- G. SEE 600 SERIES DRAWINGS FOR DOOR AND WINDOW TYPES.
- H. DIMENSIONING BASED ON WOOD FRAME CONSTRUCTION AND WALL ASSEMBLIES SHOWN. ALL DIMENSIONS ARE TO FINISH FACE OF PARTITION, U.N.O.
- I. GRID DIMENSIONS BASED ON MAINTAINING 12'-6" MIN. CLEAR INSIDE IN GUESTROOMS USING 6" PARTITION. ADJUST GRID DIMENSION AS REQ'D TO MAINTAIN 12'-6" CLEAR IN GUESTROOMS.
- J. WATER CLOSET WASTE LINES TO BE LOCATED IN WALL CHASE, NOT IN EXTERIOR WALLS.
- K. ACCESSIBLE GUESTROOMS SHOWN FOR TYPICAL CONFIGURATION ONLY. SEE 8020 FOR ADDITIONAL NOTES ON NUMBER, LOCATION & DISTRIBUTION OF ROOMS.
- L. FOR INTERIOR POOL, THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR THE IMPLEMENTATION OF ALL APPLICABLE CODES ASSOCIATED WITH THE CONSTRUCTION TECHNIQUE AND VENTILATION OF THE POOL AREA AND THE ADJACENT POOL EQUIPMENT ROOM.
- M. BEARING WALL FRAMING AT EXTERIOR WALLS AND CORRIDOR WALLS SHALL BE 2X6. ALL OTHER FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE.
- N. INSTALL CONTINUOUS 2X BLOCKING IN ALL STUD WALLS @ 4'-0" O.C. VERTICAL (MAX.).
- O. PROVIDE SUMP & WATER PROOFING IN ELEVATOR PIT(S).
- P. LOCATE FLOOR CLEAN-OUTS IN INCONSPICUOUS LOCATIONS, AND NOT IN GUESTROOMS. FLOOR CLEAN-OUTS LOCATED IN CARPET AREAS TO BE FITTED WITH CARPET INSERTS. ALL CLEAN-OUTS TO BE FLUSH TO FLOORS / WALLS.

CRITERIA NOTES

- 1 COORDINATE BAY WIDTH W/ ELEVATOR SHAFT. PROVIDE 4'-0" MIN. CLEAR AT VENDING ON FLOORS ABOVE (SEE TYP. FLOOR PLAN). COORDINATE CENTER TO CENTER ON BAY TO MAINTAIN REQ'D - 12' - 6" CLEAR @ GUESTROOMS.
- 2 RECESSED WALK OFF MATT W/ FRAME. SEE 3/8110 FOR DETAILS.
- 3 TYPICAL GUESTROOM DOORS. STAGGER ENTRANCES TO CREATE RELIEF ALONG CORRIDOR.
- 4 TYPICAL DOOR FOR ACCESSIBLE GUESTROOMS. CONNECTING DOOR REQUIRED @ ACCESSIBLE ROOMS. (NOT REQUIRED @ ACCESSIBLE SUITES).
- 5 COORDINATE SIZE OF MECHANICAL ROOM W/ EQUIPMENT & REQUIRED CLEARANCES.
- 6 COORDINATE SIZE OF ELECTRICAL ROOM W/ ELECTRICAL EQUIPMENT @ REQUIRED CLEARANCES. ALLOCATE ADDITIONAL SPACE IN ENGINEERS OFFICE OR STORAGE & TELECOM ROOMS WHERE NEEDED.
- 7 SELF CLOSING, RATED LINEN CHUTE DISCHARGE HATCH W/ FUSIBLE LINK TIED TO FIRE ALARM SYSTEM. PROVIDE CLEAR DOOR SPACE BELOW DISCHARGE AREA. SEE SECTION 14 91 33 IN PROJECT MANUAL FOR ADDITIONAL INFO.
- 8 ENSURE THAT NO GUESTROOM DOORS ARE LOCATED IMMEDIATELY ACROSS ELEVATOR.
- 9 WALK OFF MATT W/ FRAME
- 10 SIDE ENTRY CANOPY ABOVE
- 11 PAINTED STEEL SUPPORT COLUMNS
- 12 INTERIOR GLAZED STOREFRONT. SEE INTERIOR ELEVATIONS & ENLARGED PLANS FOR DETAILS.
- 13 EDGE OF FLOOR ABOVE.

SYMBOL LEGEND

- HEARING IMPAIRED ROOM TYPE
- ACCESSIBLE ROOM TYPE

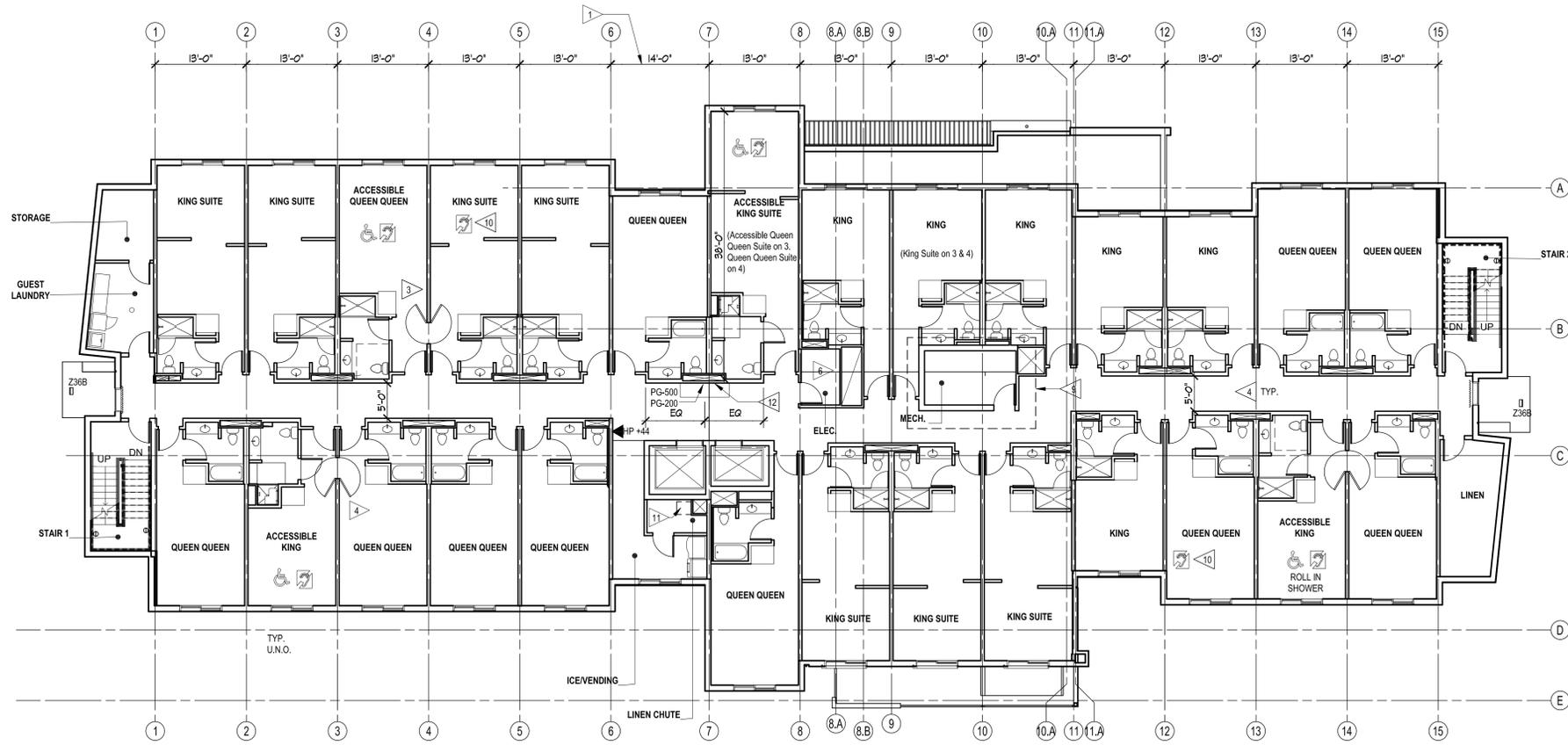


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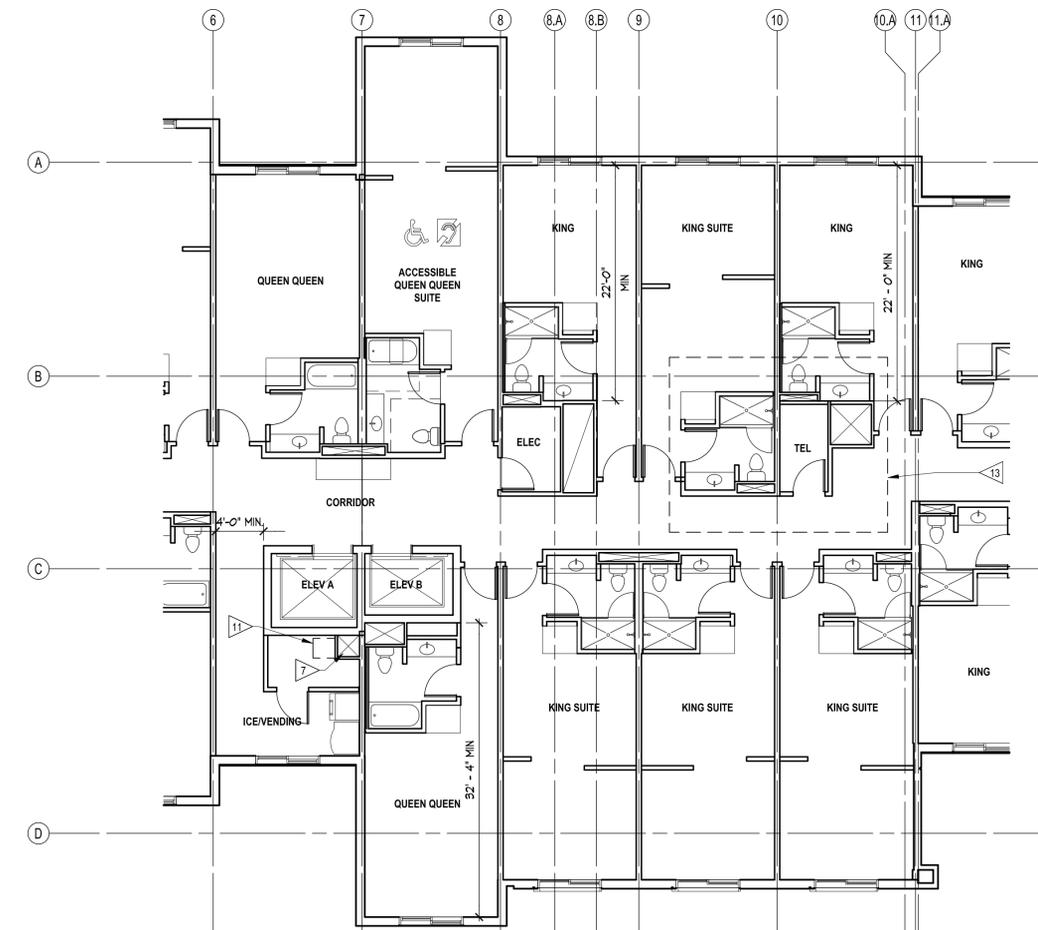
Project:
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Date: 06-10-2013 **Issued For:** CONDITIONAL REZONING
09-18-2013 **Issued For:** CONDITIONAL REZONING

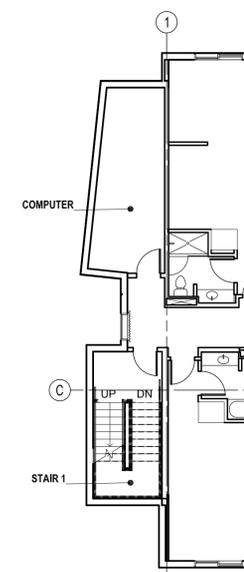
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PRELIMINARY
FIRST LEVEL FLOOR PLAN



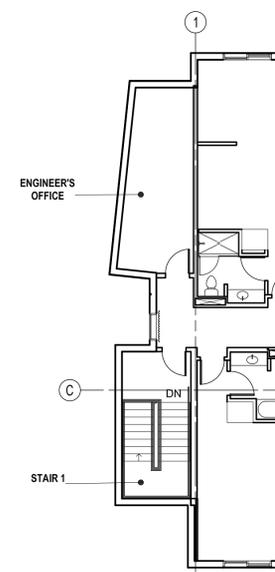
1 PRELIMINARY TYPICAL FLOOR PLAN
3/32" = 1'-0"



2 PRELIMINARY ENLARGED CORRIDOR PLAN
1/8" = 1'-0"



3 PRELIMINARY PARTIAL PLAN 3RD FLOOR
3/32" = 1'-0"



4 PRELIMINARY PARTIAL PLAN 4TH FLOOR
3/32" = 1'-0"

REFERENCE NOTES

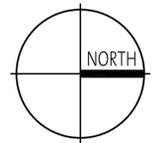
- A. SEE COVER SHEET FOR INFORMATION REGARDING THE INTENT AND LIMITATIONS OF THE DESIGN GUIDELINE DRAWINGS.
- B. THE DESIGN GUIDELINE DRAWINGS ARE BASED CODE REQUIREMENTS SET OUT ON SHEETS B020. COORDINATE CHANGES TO REQUIREMENTS WITH GUIDELINE DRAWINGS.
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- 1. COORDINATE BAY WIDTH W/ ELEVATOR SHAFT. PROVIDE 4'-0" MIN. CLEAR AT VENDING ON FLOORS ABOVE (SEE TYP. FLOOR PLAN). COORDINATE CENTER TO CENTER ON BAY TO MAINTAIN REQ'D - 12'-6" CLEAR @ GUESTROOMS.
- 2. RECESSED WALK OFF MATT W/ FRAME. SEE 3B110 FOR DETAILS.
- 3. TYPICAL DOOR FOR ACCESSIBLE GUESTROOMS. CONNECTING DOOR REQUIRED @ ACCESSIBLE ROOMS. (NOT REQUIRED @ ACCESSIBLE SUITES).
- 4. TYPICAL GUESTROOM DOORS. STAGGER ENTRANCES TO CREATE RELIEF ALONG CORRIDOR.
- 5. COORDINATE SIZE OF MECHANICAL ROOM W/ EQUIPMENT & REQUIRED CLEARANCES.
- 6. COORDINATE SIZE OF ELECTRICAL ROOM W/ ELECTRICAL EQUIPMENT @ REQUIRED CLEARANCES. ALLOCATE ADDITIONAL SPACE IN ENGINEERS OFFICE OR STORAGE & TELECOM ROOMS WHERE NEEDED.
- 7. SELF CLOSING, RATED LINEN CHUTE INTAKE HATCH. SEE SECTION 14 19 33 IN PROJECT MANUAL FOR ADDITIONAL INFORMATION.
- 8. ENSURE THAT NO GUESTROOM DOORS ARE LOCATED IMMEDIATELY ACROSS ELEVATOR.
- 9. MECHANICAL ROOM WITH DUCTING BELOW TO SERVICE PUBLIC SPACE BELOW. MECHANICAL ROOM OCCURS ON SECOND FLOOR ONLY.
- 10. SEE B020 CODE INFORMATION FOR ADDITIONAL REQUIREMENTS ON QTY. & DISPERSAL OF GUESTROOMS W/ COMMUNICATION FEATURES.
- 11. RATED ACCESS DOOR FOR LINEN CHUTES ACCESS.
- 12. LOCATE MIRROR SUCH THAT BOTTOM EDGE OF REFLECTING SURFACE IS ABOVE 40" FROM FINISH FLOOR.
- 13. TELEPHONE ROOM OCCURRING ON THIRD FLOOR AND ABOVE. SEE NOTE 9 ON TYPICAL FLOOR PLAN FOR CONDITION ON SECOND FLOOR.

SYMBOL LEGEND

- HEARING IMPAIRED ROOM TYPE
- ACCESSIBLE ROOM TYPE



Victor Saroki & Associates ARCHITECTS PC
430 N. Old Woodward
Birmingham, MI 48009
p. 248.258.5707
f. 248.258.5515
VictorSaroki.com

Project:
Troy-Stephenson Hotels
Fairfield Inn & Suites
Stephenson Highway
Troy, Michigan
Date: 06-10-2013 **Issued For:** CONDITIONAL REZONING
09-18-2013 **Issued For:** CONDITIONAL REZONING

Sheet No.:
A120(FIS)
PRELIMINARY
TYPICAL LEVEL FLOOR PLANS

REFERENCE NOTES

- A. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.
- B. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.
- C. REFER TO EXTERIOR FINISH INDEX FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL LOUVER COLOR, DOOR FRAMES, CANOPY STRUCTURES, ETC.
- D. PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.
- E. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER.

CRITERIA NOTES

- 1 TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
- 2 TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
- 3 NOT USED
- 4 OPTIONAL "CARTOUCHE" TYPE SIGNAGE ON SIDE OF BUILDING. LOCATE AS APPROPRIATE BASED ON BUILDING ORIENTATION.
- 5 ALTERNATE LOCATION FOR "CARTOUCHE" BUILDING SIGNAGE.
- 6 ALIGN & COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
- 7 CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING.
- 8 SIDE ENTRY CANOPY, SEE ENLARGED ELEVATIONS FOR DETAILS.
- 9 OPTIONAL BUILDING SIGNAGE AT REAR OF BUILDING
- 10 LOUVERED SUNSHADE
- 11 PTAC LOUVER INTEGRAL W/ WINDOW FRAME. FINISH TO MATCH WINDOW FRAME
- 12 WINDOW WILL BE FROSTED TO CREATED VISUAL SCREEN TO LAUNDRY ROOM

EXTERIOR FINISH KEY

- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF2a ACCENT EIFS COLOR
- EF2b DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAIR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- SP1 EXTERIOR ACCENT FINISH - CEMENT BOARD SIDING - EXTERIOR PLAN (OPTIONAL)



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Fairfield Inn & Suites
Stephenson Highway
Troy, Michigan

Date: Issued For:

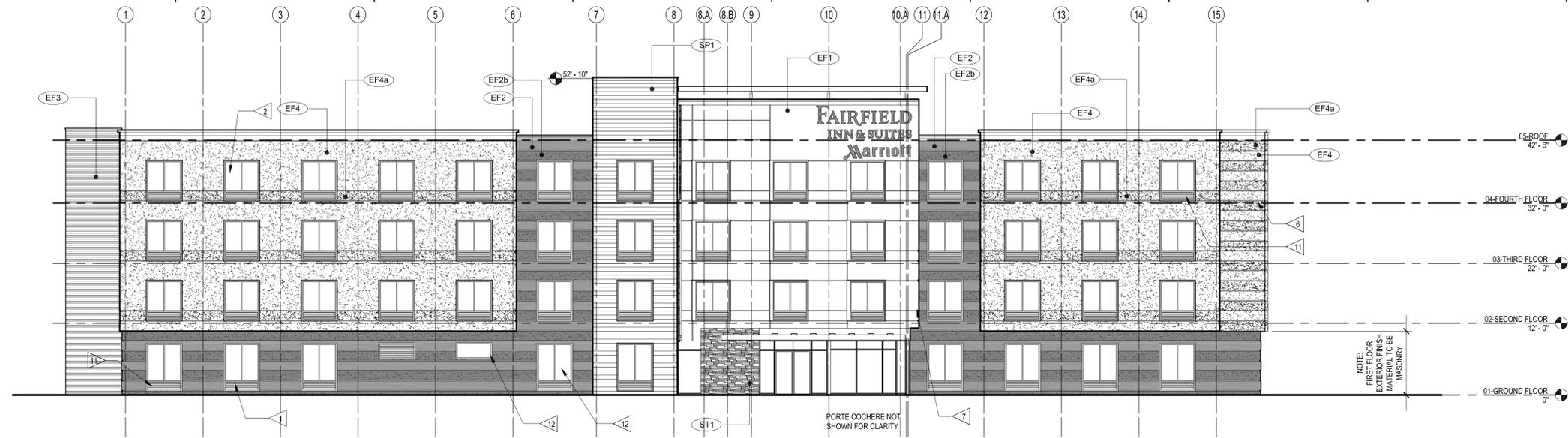
06-10-2013 CONDITIONAL REZONING

09-18-2013 CONDITIONAL REZONING

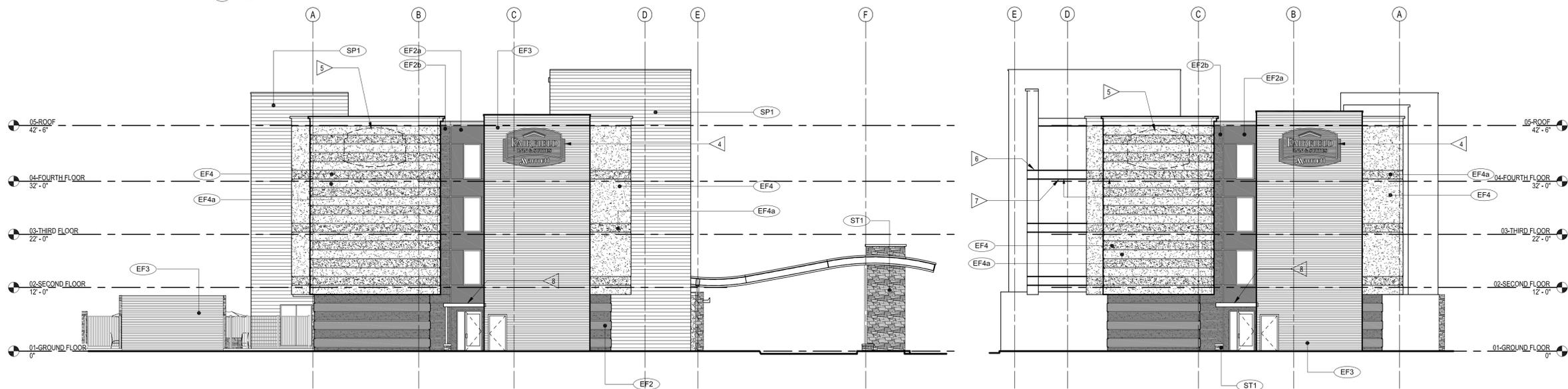
Sheet No.:

A200(FIS)

PRELIMINARY
EXTERIOR ELEVATIONS

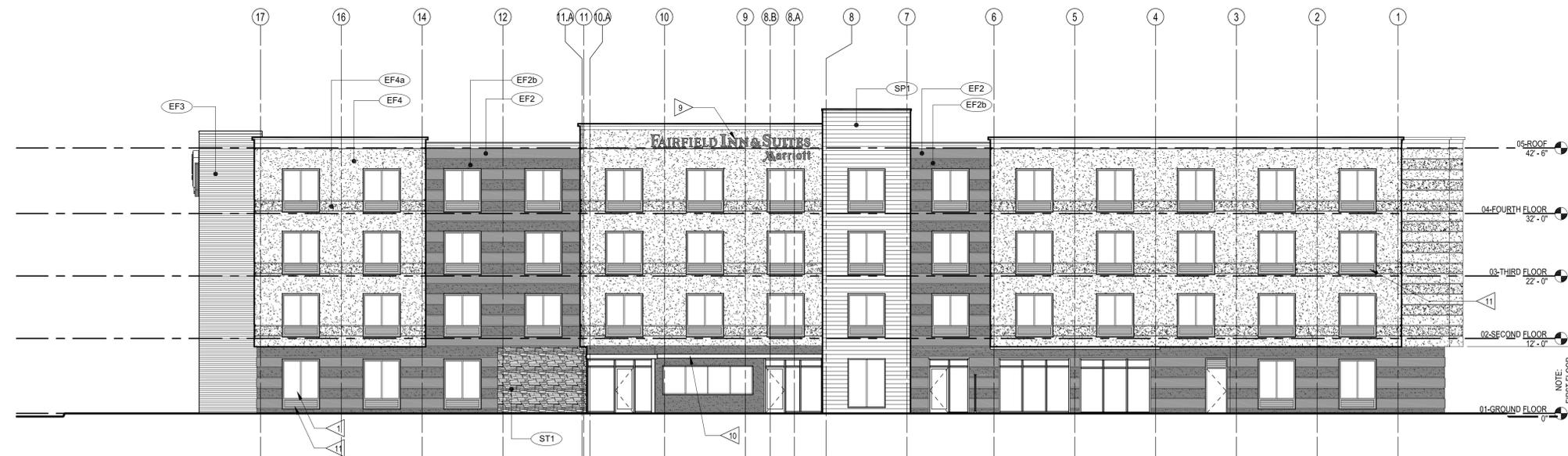


1 PRELIMINARY FRONT (EAST) ELEVATION
3/32" = 1'-0"



2 PRELIMINARY SIDE (SOUTH) ELEVATION
3/32" = 1'-0"

3 PRELIMINARY SIDE (NORTH) ELEVATION
3/32" = 1'-0"



4 PRELIMINARY REAR (WEST) ELEVATION
3/32" = 1'-0"

A
B
C
D
E
F
G
H



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& Associates
ARCHITECTS PC**

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Project:
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TownePlace Suites
Stephenson Highway
Troy, Michigan

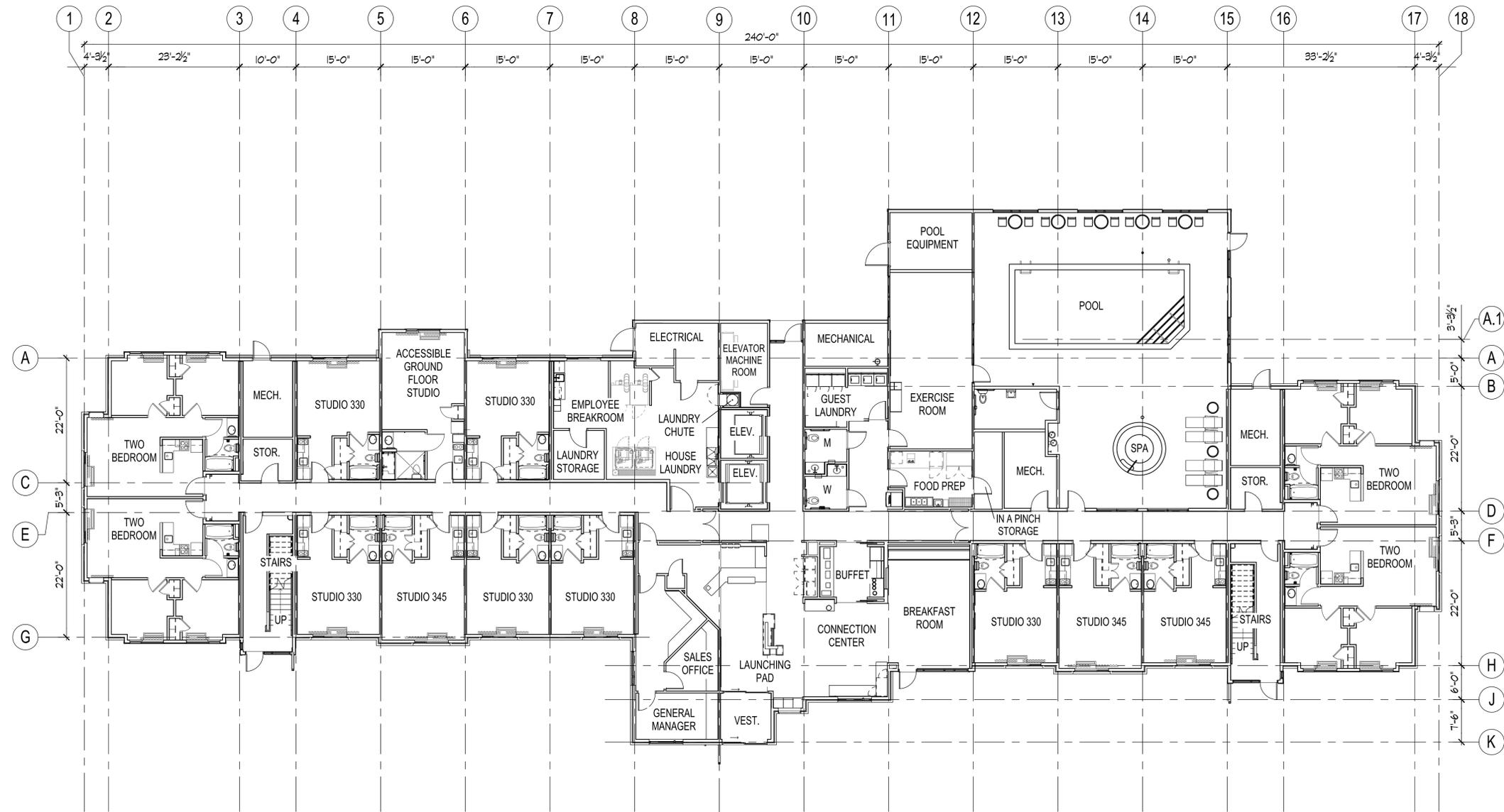
Date: Issued For:

08-10-2013 CONDITIONAL REZONING

09-18-2013 CONDITIONAL REZONING

Sheet No.:
A000(TPS)
PRELIMINARY
RENDERING

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



1 PRELIMINARY FIRST LEVEL FLOOR PLAN
3/32" = 1'-0"

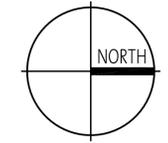


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Project:
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Troy, Michigan

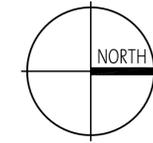
Date: Issued For:
08-10-2013 CONDITIONAL REZONING
09-18-2013 CONDITIONAL REZONING

Sheet No.:
A110(TPS)
PRELIMINARY
FIRST LEVEL FLOOR PLAN





1 PRELIMINARY SECOND LEVEL FLOOR PLAN
3/32" = 1'-0"



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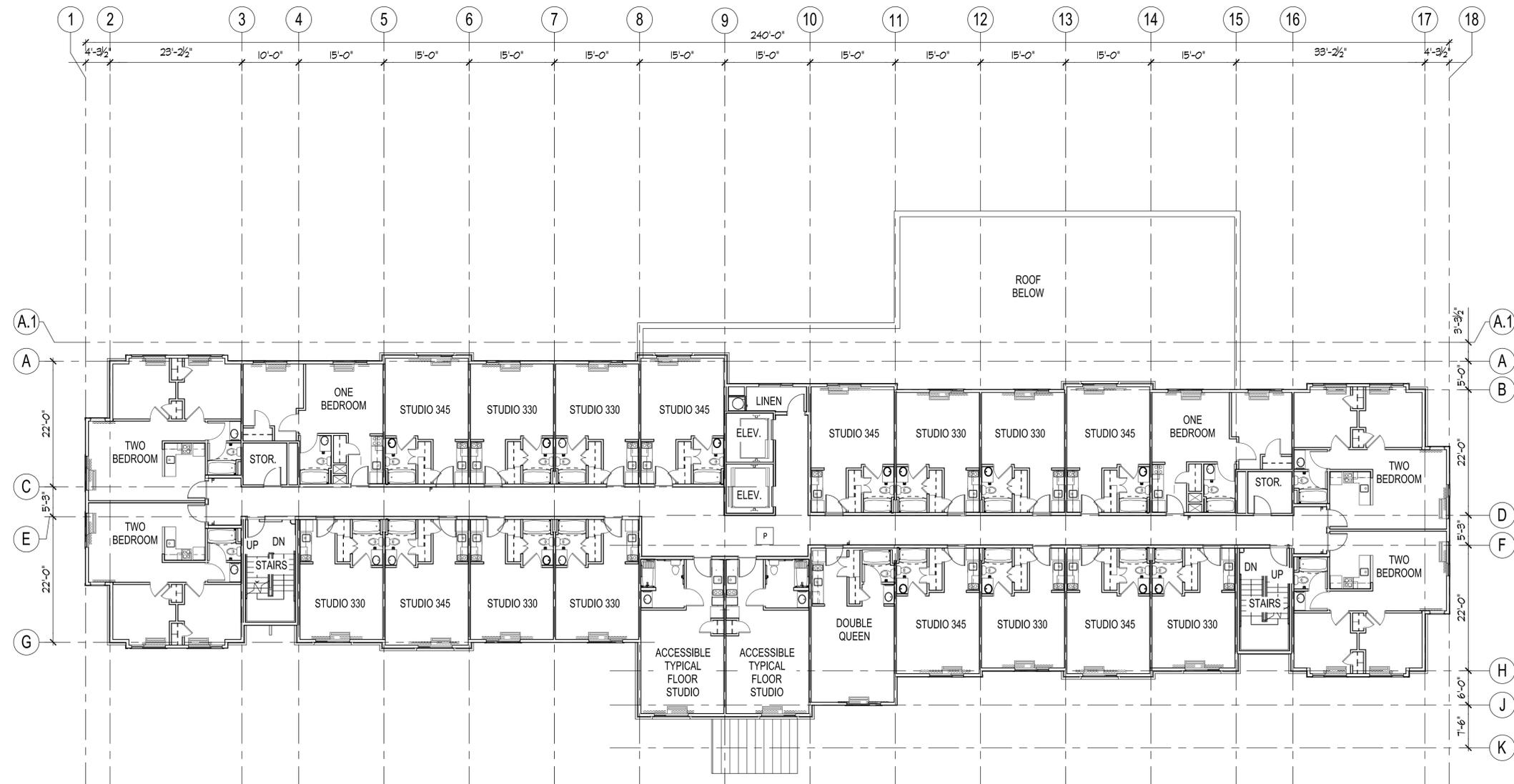
Project:
Troy-Stephenson Hotels
TownePlace Suites
Stephenson Highway
Troy, Michigan

Date: Issued For:
08-10-2013 CONDITIONAL REZONING
09-18-2013 CONDITIONAL REZONING

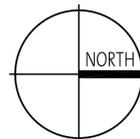
Sheet No.:

A120(TPS)

PRELIMINARY
SECOND LEVEL FLOOR PLAN



1 PRELIMINARY THIRD LEVEL FLOOR PLAN
3/32" = 1'-0"



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Project:
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Date: Issued For:

06-10-2013 CONDITIONAL REZONING
09-18-2013 CONDITIONAL REZONING

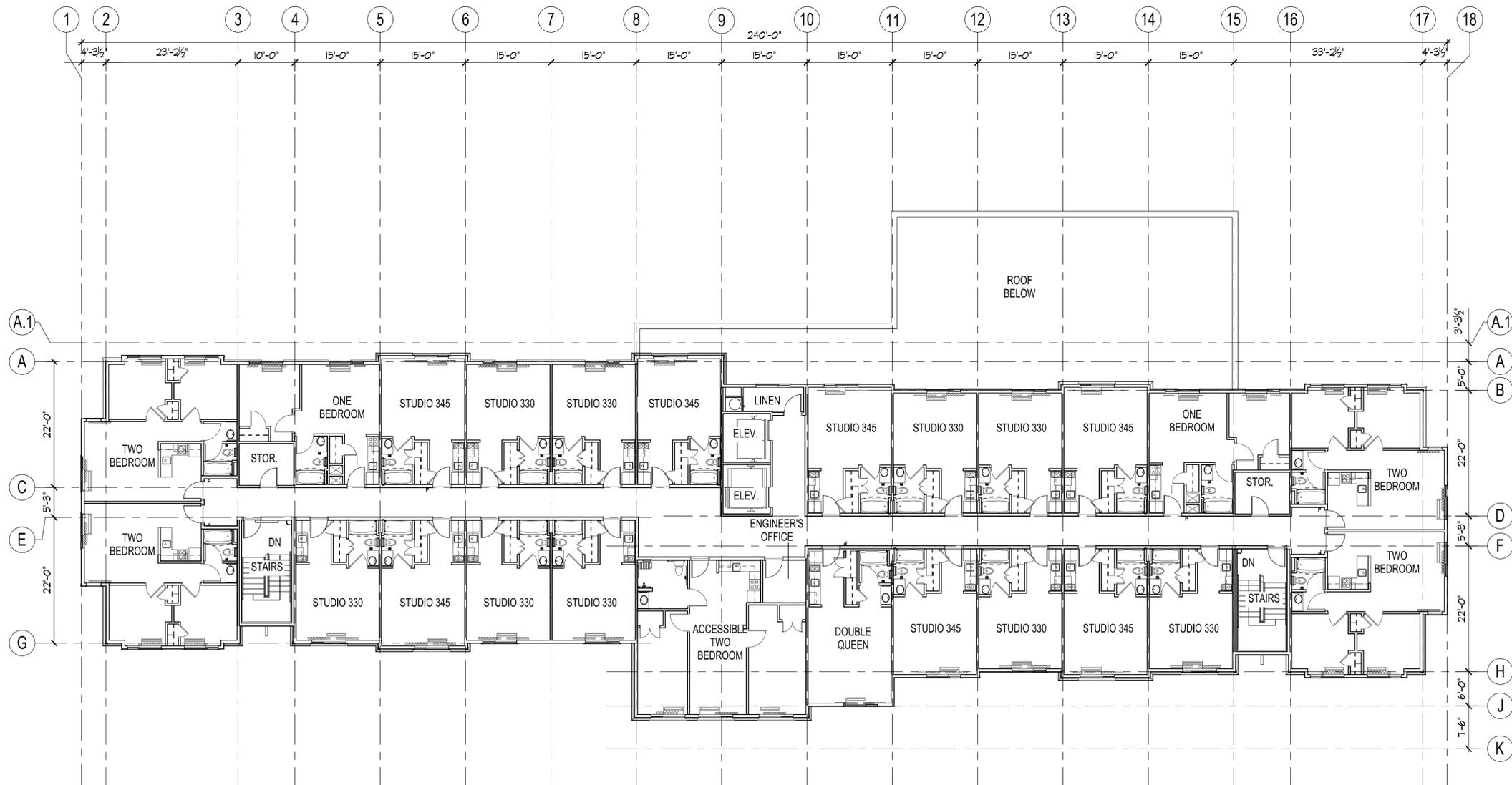
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A130(TPS)

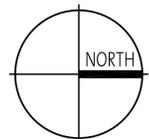
PRELIMINARY
THIRD LEVEL FLOOR PLAN

A
B
C
D
E
F
G
H

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10



1 PRELIMINARY FOURTH LEVEL FLOOR PLAN
3/32" = 1'-0"



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Troy, Michigan

Date: Issued For:

06-10-2013 CONDITIONAL REZONING

09-18-2013 CONDITIONAL REZONING

Sheet No.:

A140(TPS)

PRELIMINARY
FOURTH LEVEL FLOOR PLAN

A
B
C
D
E
F
G
H

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

REFERENCE NOTES

- BUILDING ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM
- REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS

CRITERIA NOTES

- LINE CHUTE VENT CAP
- VENT FOR ELEVATOR SHAWTWAY - 3 SF MINIMUM
- FINAL HORIZONTAL LOCATION OF WINDOWS TO BE ADJUSTED FOR BRICK COURSING, NO MORE THAN 6" FROM LOCATIONS SHOWN.
- RAKE GUTTER
- INTERNALLY ILLUMINATED WALL SIGN, VERIFY LOCATION BASED ON SITE CONSTRAINTS AND SIGHT LINES. SIGN TO BE FURNISHED AND INSTALLED BY OTHERS - CONTRACTOR TO PROVIDE POWER TO J-BOX - CONFIRM SIGNAGE REQUIREMENTS WITH LOCAL JURISDICTION
- OPTIONAL END SIGN: REFER TO MARRIOTT SIGN MANUAL (R1W180)

EXTERIOR FINISH INDEX

	S-1	FIBER CEMENT PANEL (P-1)
	S-2	FIBER CEMENT PANEL (P-2)
	S-3	FIBER CEMENT SIDING (P-3) W/ 8" EXPOSURE
	S-4	FIBER CEMENT PANEL ACCENT COLOR (P-4)
	S-5	BRICK
	MT-1	SHEET METAL ROOFING
	R-1	COMPOSITE ROOFING



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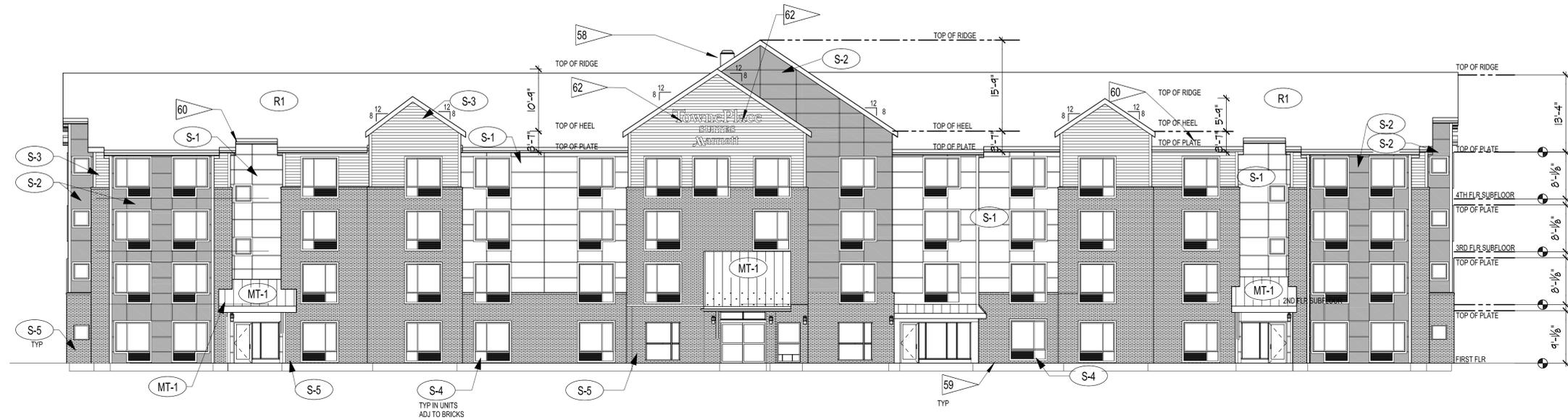
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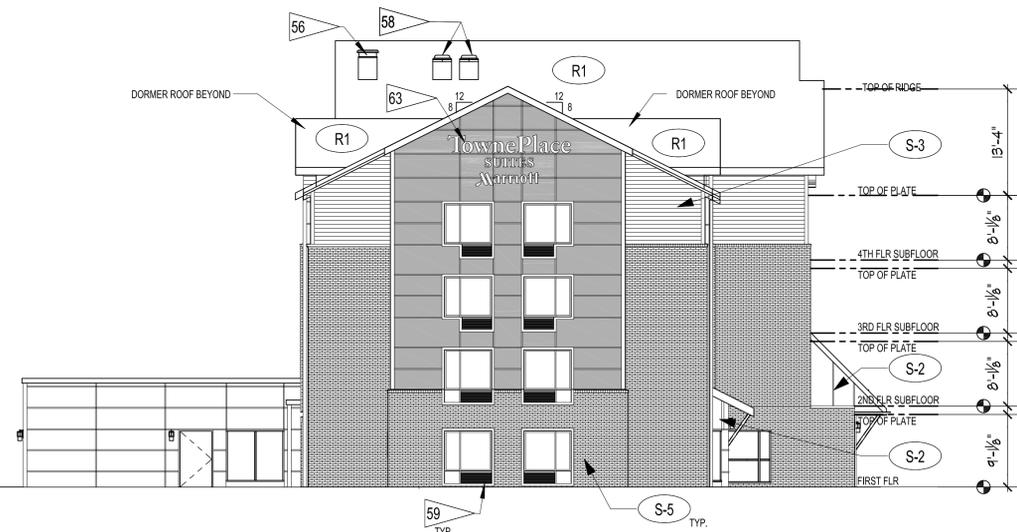
Sheet No.:
A200(TPS)
PRELIMINARY ELEVATIONS



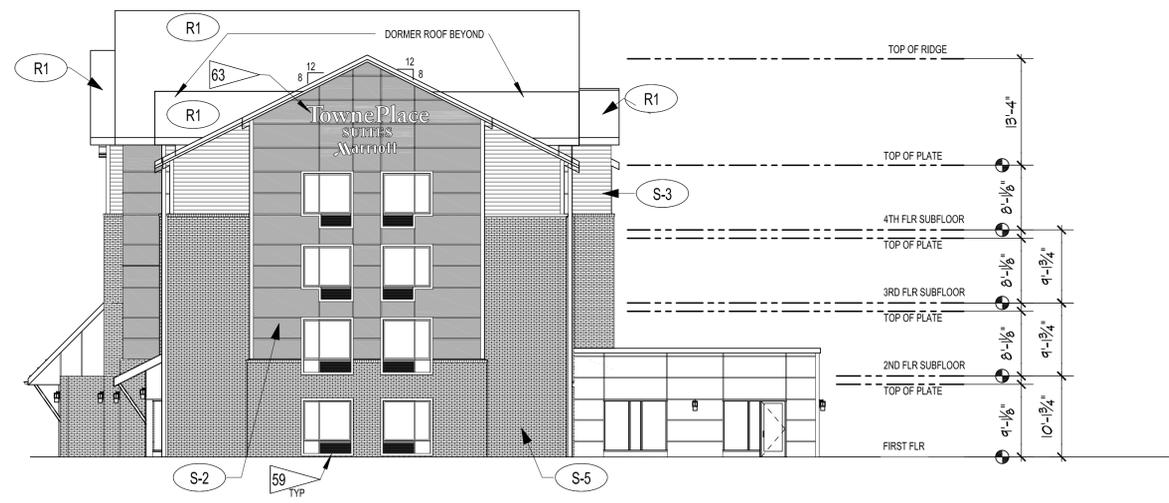
1 PRELIMINARY FRONT (EAST) ELEVATION
3/32" = 1'-0"



2 PRELIMINARY REAR (WEST) ELEVATION
3/32" = 1'-0"



3 PRELIMINARY SIDE (SOUTH) ELEVATION
3/32" = 1'-0"



4 PRELIMINARY SIDE (NORTH) ELEVATION
3/32" = 1'-0"

DATE: October 1, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Belleclaire Estates, 15 units/lots, East of Rochester, North of Wattles, South side of Lamb, Section 14, Currently Zoned R-1C (One Family Residential) District

The petitioner Mondrian Properties Belleclaire LLC submitted the above referenced Preliminary Site Plan Approval application for a 15-unit site condominium. The property is currently zoned R-1C (One Family Residential) District. The Planning Commission is responsible for granting Preliminary Site Plan Approval for site condominium applications.

Planning Commission approved a 9-unit site condominium on this site on May 28, 2013. The applicant acquired additional property to the east and intends to extend the development to the east, adding 6 additional units.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ Belleclaire Estates Site Condominium

G:\SUBDIVISIONS & SITE CONDOS\Belleclaire Estates A Sec 14\PC Memo 10 08 2013.docx

PROPOSED RESOLUTION

PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Belleclaire Estates, 15 units/lots, East of Rochester, North of Wattles, South side of Lamb, Section 14, Currently Zoned R-1C (One Family Residential) District

Resolution # PC-2013-10-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Belleclaire Estates Site Condominium, 15 units/lots, East of Rochester, North of Wattles, Section 14, Currently Zoned R-1C (One Family Residential) District, be granted, subject to the following:

- 1. Provide 34 additional trees along Belleclaire Court.
- 2. Provide seed mix for detention facility.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED



Legend:

338 0 169 338Feet

Scale 1: 2,030



Legend:

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

376 0 188 376Feet

Scale 1: 2,255



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: May 23, 2013
September 26, 2013

Site Condominium Review For City of Troy, Michigan

Applicant:	Joe Maniaci
Project Name:	Belleclaire Estates
Plan Date:	August 30, 2013
Location:	East side of Rochester Road and south side of Lamb Drive
Zoning:	R1-C, One-family Residential District
Action Requested:	Site Condominium Approval

PROJECT AND SITE DESCRIPTION

We are in receipt of a site condominium application which includes a site plan, landscape plan, topographic survey, tree preservation plan, wetlands letter, and application forms. A portion of the site was approved for a 9-unit site condominium. Since the approval, the applicant has acquired an additional two (2) acres by splitting off the rear portion of three (3) parcels that front on Lamb Road to the east. The applicant proposes to add the acquired additional two (2) acres to the existing area of the approved 9-unit development and construct a 15-unit development. This development will be served by a new private road off Lamb Drive.

Location of Subject Property:

East side of Rochester Road and south side of Lamb Drive.

Approximate Location of Site Development



Size of Subject Property:

4.775 acres

Current Use of Subject Property:

Vacant

Current Zoning:

The property is currently zoned R-1C one-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	R-T, Residential Attached	Single-family attached homes
South	R-T, Residential Attached	Single-family attached homes
East	R-1C, One-family Residential District	Single-family homes
West	R-T, Residential Attached	Single-family attached homes

SITE ARRANGEMENT

The proposed development is arranged to accommodate fifteen (15) residential structures along a private road south of Lamb Drive. The lots range in size between 9,601 sq/ft and 16,283 square feet. The average lot size is 13,868 square feet. The layout proposed by the applicant is a conventional cul-de-sac layout and allows for a simple distribution of the fifteen (15) units over the property. The southeast corner of the site will be used for stormwater management.

The proposed lots are regular in shape, allow for adequate setbacks, and permit sufficient space for the homes and ingress and egress for each unit. The applicant is applying the lot size averaging option, permitted and regulated by Section 10.01. All proposed average lot width and average lot areas are within the permitted range described by Section 10.01.

Items to be Addressed: *None*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Table 4.06.C establishes the requirements for the R-1C District. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	30 feet	30 feet	Complies
Rear	40 feet	40 feet	Complies
Side	10 feet	10 feet	Complies
Average Lot Size per Unit*	10,500 sq/ft w/sewer	13,868 average	Complies
Minimum Lot Size*	9,450 sq/ft	9,601 sq/ft	Complies
Lot Width*	76.5 feet	76.5 feet	Complies
Maximum Height	2 ½ stories	2 stories	Complies

Maximum Lot Area Covered by Buildings	30%	22%	Complies
Minimum Floor Area per Unit	1,200 sq/ft	2,769 sq/ft	Complies

*The lot size average option has been applied and Section 10.01 standards have been met.

Items to be addressed: None.

SITE ACCESS AND CIRCULATION

The 15-unit site condominium development is accessed via a private drive off Lamb Road. The City Engineer has reviewed access and circulation and has no objections.

Items to be addressed: None.

LANDSCAPING

The Landscape Plan includes twenty-six (26) Ginko and eleven (11) Norway Pine. All proposed species fall within Troy regulations and are not prohibited. Site condominium and subdivision landscaping are regulated by Section 13.02.F.2.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Frontage Screening	One evergreen tree for every 30 lineal feet. 307 feet = 7 trees	8	Compliant
Greenbelt Street Trees (Belleclaire Drive)	1 tree for every 50 linear feet. 1,693 feet x 2 = 68 trees	34	Deficient by 34 trees

The applicant shall also indicate the proposed seed mix for the detention facility.

Items to be Addressed: 1). Provide 34 additional trees along Belleclaire Drive; and 2). Provide seed mix for detention facility.

STORMWATER DETENSION

A stormwater detention area is demonstrated in the southeast corner of the development. The City Engineer has reviewed the preliminary plans for the detention facility.

Items to be Addressed: None

SUBMITTAL REQUIREMENTS

Section 10.02 sets forth the intent and standards for site condominium projects.

1. *Intent: The intent of this Section is to regulate site condominium projects to ensure compliance with this Ordinance and other applicable standards of the City, to provide procedures and standards*

for review and approval or disapproval of such developments, and to insure that each project will be consistent and compatible with other developments in the community.

The proposed development meets the intent of the Site Condominium section of the ordinance.

Section 10.02.E. regulates physical improvements associated with condominium projects. It requires the following:

*1. Principal access and circulation through a site condominium shall be provided by public streets constructed to City standards, within sixty (60) foot wide rights-of-way. Secondary access and circulation through such developments, on which some of the residential parcels may have their sole frontage, may be provided by twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access. **Not applicable as applicant is providing private street.***

*2. Principal access to site condominium of five (5) acres or less in area may be provided by way of twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access, when in the opinion of the City Council the property configuration is such that the provision of conforming dwelling unit parcels is impractical. **Satisfied.***

*3. All entrances to major or secondary thoroughfares shall include deceleration, acceleration and passing lanes as required by Engineering Standards of the City of Troy. **Not applicable.***

*4. Sidewalks shall be constructed, in accordance with City Standards, across the frontage of all dwelling unit parcels. Utilities shall be placed within street rights-of-way, or within easements approved as to size and location by the City Engineer. **Satisfied.***

*5. All shall be served by public water, sanitary sewer, storm sewer and detention/retention systems constructed to City standards, at the expense of the developer. Easements over these systems shall be conveyed and recorded before occupancy permits are issued for dwelling units. **The applicant has proposed full utilities, but all proposed configurations and easements are subject to approval by the City engineering department.***

As noted above, all condominium projects are subject to Section 8.05.A.7, which establishes the requirements for a preliminary site plan submittal. Three additional requirements are specifically identified for residential projects. The three additional requirements, identified in 8.05.A.7.o, include:

*i. Calculation of the dwelling unit density allowable and a statement of the number of dwelling units, by type, to be provided. **Satisfied.***

*ii. Topography on site and fifty (50) feet beyond, drawn at two (2) foot contour intervals, with existing drainage courses, flood plains, wetlands, and tree stands indicated. **Satisfied.***

*iii. The typical floor plans and elevations of the proposed buildings, with building height(s). **Satisfied.***

Items to be Addressed: none

RECOMMENDATIONS

The project meets ordinance requirement. We recommend that the Planning Commission approve the preliminary site condominium application, as conditioned on the applicant satisfying the following requirements as part of the final site plan submittal:

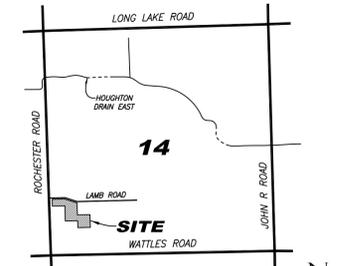
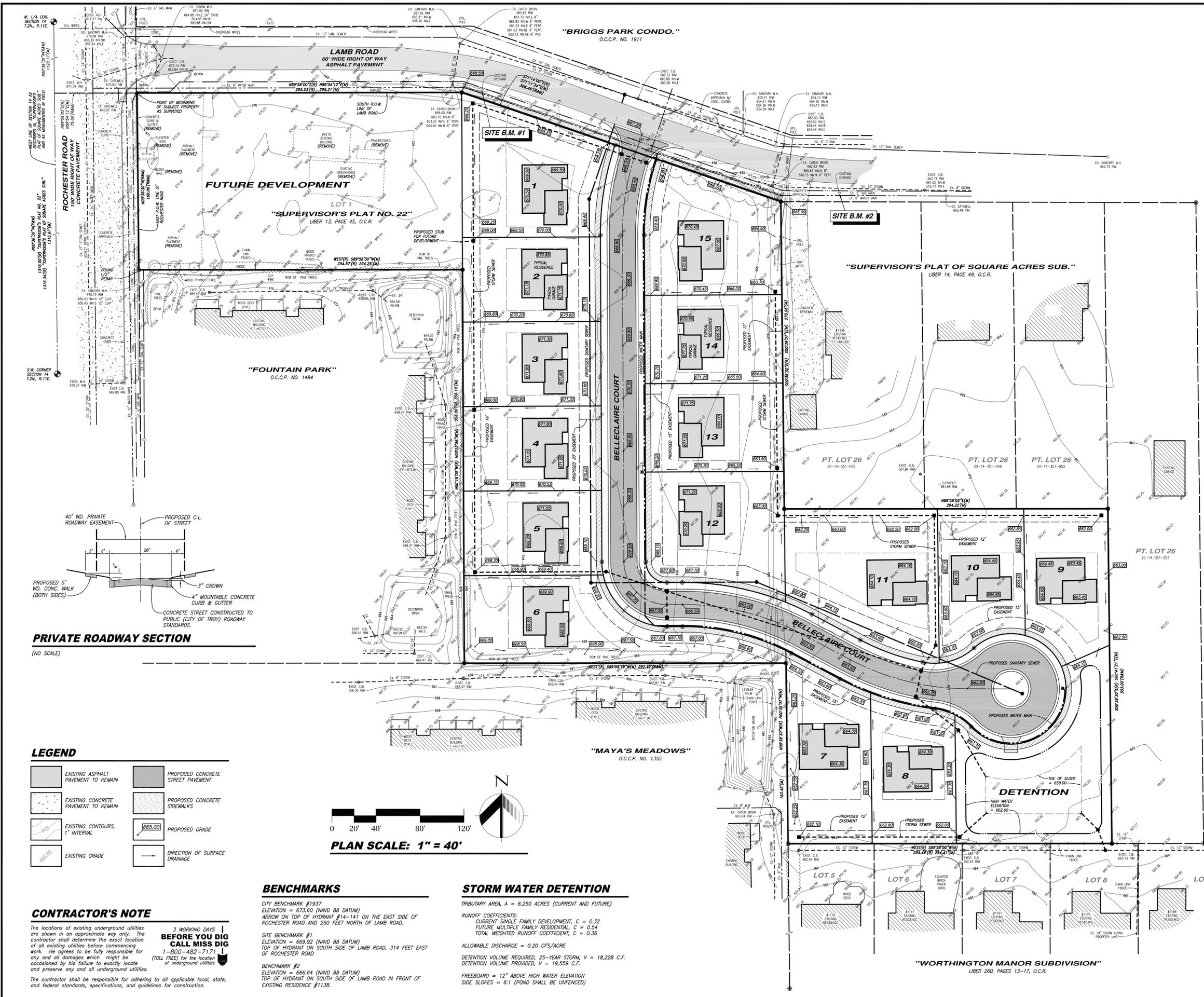
1. *Provide 34 additional trees along Belleclaire Court.*
2. *Provide seed mix for detention facility.*



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP

#225-02-1316

Cc: Joseph Maniaci (JManiaci@mondrianproperties.com)



LOCATION MAP
SCALE: 1"=2000'

PROPERTY DESCRIPTION (AS SURVEYED)

LOT 1 EXCEPT THE WEST 10 FEET, ALSO EXCEPT THE EAST 32 FEET OF THE WEST 42 FEET AND ALL OF LOT 15, "SUPERVISOR'S PLAT NO. 22," A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 13, PAGE 45, O.C.R. NORTH RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OAKLAND COUNTY RECORDS; ALSO, ALL OF LOT 7 AND THE SOUTH 303 FEET OF THE WEST 294.46 FEET OF LOT 26 OF "SUPERVISOR'S PLAT OF SQUARE ACRES SUB.", PART OF THE SOUTH 1/2 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OAKLAND COUNTY RECORDS BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS WEST 1315.67 FEET ALONG THE WEST LINE OF SAID SECTION 14; THENCE NORTH 89 DEGREES 54 MINUTES 12 SECONDS WEST 75.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF ROCHESTER ROAD (WIDTH VARIES) TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 54 MINUTES 12 SECONDS EAST 295.21 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF LAMB ROAD (60 FEET WIDE); THENCE CONTAINING ALONG THE SOUTH RIGHT OF WAY LINE OF SAID LAMB ROAD SOUTH 71 DEGREES 11 MINUTES 34 SECONDS EAST 306.49 FEET TO THE NORTHEAST CORNER OF SAID LOT 15; THENCE SOUTH 00 DEGREES 39 MINUTES 07 SECONDS EAST 378.06 FEET; THENCE NORTH 89 DEGREES 54 MINUTES 02 SECONDS EAST 294.22 FEET; THENCE SOUTH 00 DEGREES 41 MINUTES 21 SECONDS EAST 303.00 FEET TO A POINT ON THE SOUTH LINE OF SAID "SUPERVISOR'S PLAT OF SQUARE ACRES SUB." WHICH IS THE NORTH LINE OF "WORTHINGTON MANOR SUBDIVISION" AS RECORDED IN LIBER 260 PAGES 13 THRU 17; THENCE ALONG SAID LINE SOUTH 89 DEGREES 58 MINUTES 00 SECONDS WEST 294.41 FEET TO THE SOUTHWEST CORNER OF SAID LOT 26; THENCE ALONG THE WEST LINE OF SAID "SUPERVISOR'S PLAT OF SQUARE ACRES SUB." NORTH 00 DEGREES 39 MINUTES 07 SECONDS WEST 163.45 FEET TO THE SOUTHWEST CORNER OF SAID LOT 15; THENCE SOUTH 89 DEGREES 58 MINUTES 19 SECONDS WEST 292.49 FEET TO THE SOUTHWEST CORNER OF SAID LOT 15; THENCE NORTH 00 DEGREES 15 MINUTES 56 SECONDS WEST 306.10 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 294.25 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE EASTERLY RIGHT OF WAY LINE OF SAID ROCHESTER ROAD; THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS WEST 160.00 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID ROCHESTER ROAD TO THE POINT OF BEGINNING.

SITE CRITERIA

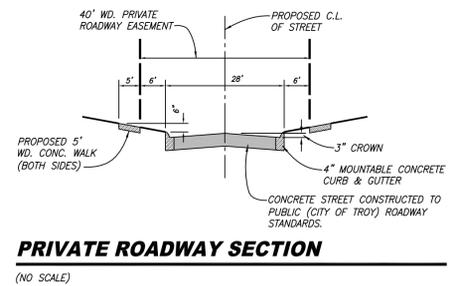
- UTILITY SUMMARY:**
 - SANITARY SEWER:** PUBLIC SANITARY SEWER SHALL BE EXTENDED ON SITE FROM THE EXISTING SEWER LOCATED IN LAMB ROAD.
 - STORM SEWER:** ENCLOSED STORM SEWERS WITH ON-SITE STORM WATER DETENTION BASIN AND RESTRICTED OUTLET TO THE EXISTING STORM SEWER IN LAMB ROAD. STORM SEWER AND DETENTION BASIN CAPACITY SHALL BE DESIGNED TO ACCOMMODATE FULL DISCHARGE FROM THE FUTURE DEVELOPMENT AREA.
 - WATER MAIN:** PUBLIC WATER MAIN SHALL BE EXTENDED ON SITE FROM THE EXISTING WATER MAIN LOCATED IN LAMB ROAD.
- NATURAL FEATURES SUMMARY:**
 - FLOOD PLAIN:** SUBJECT PARCEL LIES WITHIN ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE (500-YEAR) FLOOD PLAIN AND AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 26125C0334F, DATED SEPTEMBER 29, 2006, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - WETLANDS:** NO WETLANDS AREAS HAVE BEEN IDENTIFIED AT THIS TIME.

NOTES

- UTILITY AND GRADING DESIGN ARE TENTATIVE AND ARE SUBJECT TO MODIFICATION UPON FINAL ENGINEERING APPROVAL.
- THE DEVELOPER SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE CITY OF TROY, THE COUNTY OF OAKLAND, AND THE STATE OF MICHIGAN.
- ALL WORK WITHIN ANY PUBLIC EASEMENT AND/OR RIGHT-OF-WAY SHALL REQUIRE PERMITS FROM THE CITY OF TROY.
- UTILITY EASEMENTS SHALL BE PROVIDED TO THE SATISFACTION OF THE CITY OF TROY ENGINEERING DEPARTMENT.
- REFER TO THE TREE PRESERVATION & LANDSCAPE PLAN FOR TREE REMOVALS.
- ALL PERMITS REQUIRED BY THE CITY OF TROY ENGINEERING DEPARTMENT SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- DRIVEWAY WIDTH AT THE PROPERTY LINE SHALL NOT EXCEED 40% OF THE LOT WIDTH.

SOILS (FROM COUNTY SOILS SURVEY)

30A METAMORA SANDY LOAM (0% TO 3% SLOPES), 0"-9" VERY DARK GRAYISH BROWN SANDY LOAM; 9"-28" GRAYISH BROWN AND PALE BROWN MOTTLED SANDY LOAM; 28"-36" GRAYISH BROWN MOTTLED CLAY LOAM; 36"-60" GRAYISH BROWN MOTTLED LOAM, MEDIUM SURFACE RUNOFF, SOMEWHAT POORLY DRAINED, MODERATELY SLOW PERMEABILITY.



PRIVATE ROADWAY SECTION
(NO SCALE)

LEGEND

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an appropriate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG
1-800-482-7171
(TOLL FREE) for the location of underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

BENCHMARKS

CITY BENCHMARK #1937
ELEVATION = 673.60 (NAVD 88 DATUM)
ARROW ON TOP OF HYDRANT #14-141 ON THE EAST SIDE OF ROCHESTER ROAD AND 250 FEET NORTH OF LAMB ROAD.

SITE BENCHMARK #1
ELEVATION = 669.92 (NAVD 88 DATUM)
TOP OF HYDRANT ON SOUTH SIDE OF LAMB ROAD, 314 FEET EAST OF ROCHESTER ROAD

BENCHMARK #2
ELEVATION = 666.64 (NAVD 88 DATUM)
TOP OF HYDRANT ON SOUTH SIDE OF LAMB ROAD IN FRONT OF EXISTING RESIDENCE #1138.

STORM WATER DETENTION

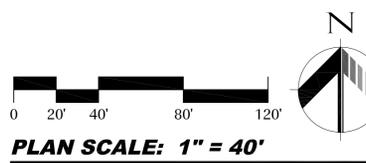
TRIBUTARY AREA, A = 6.250 ACRES (CURRENT AND FUTURE)

RUNOFF COEFFICIENTS:
CURRENT SINGLE FAMILY DEVELOPMENT, C = 0.32
FUTURE, MULTIPLE FAMILY RESIDENTIAL, C = 0.54
TOTAL WEIGHTED RUNOFF COEFFICIENT, C = 0.36

ALLOWABLE DISCHARGE = 0.20 CFS/ACRE

DETENTION VOLUME REQUIRED, 25-YEAR STORM, V = 18,228 C.F.
DETENTION VOLUME PROVIDED, V = 19,559 C.F.

FREEBORD = 12" ABOVE HIGH WATER ELEVATION
SIDE SLOPES = 6:1 (POND SHALL BE UNFENCED)



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"Belleclaire Estates"
Site Condominium

PLANNING:
Preliminary Utility
& Grading Plan

DATE:
4-12-13

DRAWN BY:
N.P.R.

JOB NO.:
13-031

REVISIONS:
5-15-13 REVISION PER PLANNING DEPT.
8-26-13 REVISED FOR ADDITIONAL PROPERTY

CLIENT:
MR. JOSEPH MANAGET
MONDRAN PROPERTIES
5025 SCHUCHTER RD.
SHELBY TWP., MI 48315
(588) 728-7940

SCALE:
1"=2000'

PROJECT:
Proposed
"Belleclaire Estates"
Site Condominium

PLANNING:
Preliminary Utility
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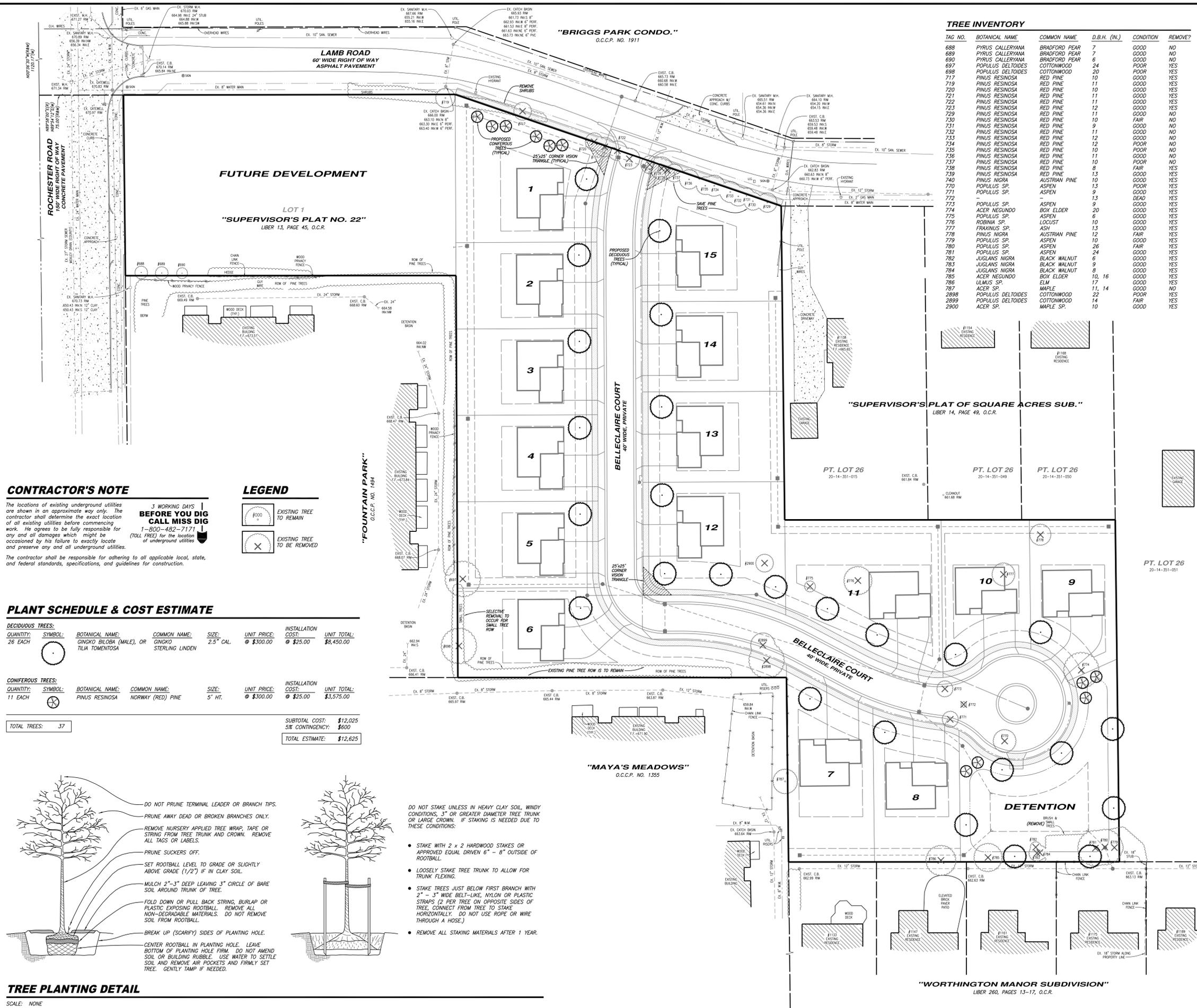
JOB NO.:
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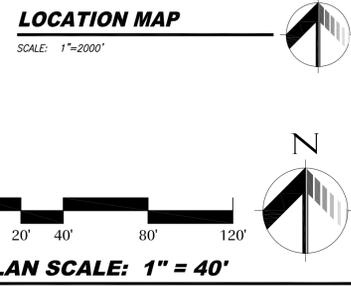
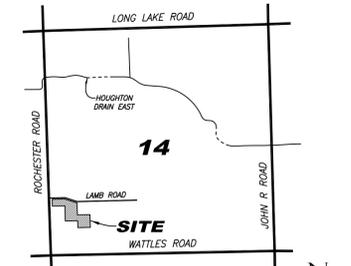
SCALE:
1"=2000'

PROJECT:
Proposed
"Belleclaire Estates"



TREE INVENTORY

TAG NO.	BOTANICAL NAME	COMMON NAME	D.B.H. (IN.)	CONDITION	REMOVE?
688	PYRUS CALLERYANA	BRADFORD PEAR	7	GOOD	NO
689	PYRUS CALLERYANA	BRADFORD PEAR	7	GOOD	NO
690	PYRUS CALLERYANA	BRADFORD PEAR	6	GOOD	NO
697	POPULUS DELTOIDES	COTTONWOOD	24	POOR	YES
698	POPULUS DELTOIDES	COTTONWOOD	20	POOR	YES
717	PINUS RESINOSA	RED PINE	10	GOOD	YES
719	PINUS RESINOSA	RED PINE	11	GOOD	YES
720	PINUS RESINOSA	RED PINE	10	GOOD	YES
721	PINUS RESINOSA	RED PINE	11	GOOD	YES
722	PINUS RESINOSA	RED PINE	11	GOOD	YES
723	PINUS RESINOSA	RED PINE	12	GOOD	YES
729	PINUS RESINOSA	RED PINE	11	GOOD	NO
730	PINUS RESINOSA	RED PINE	10	FAIR	NO
731	PINUS RESINOSA	RED PINE	9	GOOD	NO
732	PINUS RESINOSA	RED PINE	11	GOOD	NO
733	PINUS RESINOSA	RED PINE	12	GOOD	NO
734	PINUS RESINOSA	RED PINE	12	POOR	NO
735	PINUS RESINOSA	RED PINE	10	POOR	NO
736	PINUS RESINOSA	RED PINE	11	GOOD	NO
737	PINUS RESINOSA	RED PINE	10	POOR	NO
738	PINUS RESINOSA	RED PINE	8	FAIR	YES
739	PINUS RESINOSA	RED PINE	13	GOOD	YES
740	PINUS NIGRA	AUSTRIAN PINE	10	GOOD	YES
770	POPULUS SP.	ASPEN	13	POOR	YES
771	POPULUS SP.	ASPEN	9	GOOD	YES
772			13	DEAD	YES
773	POPULUS SP.	ASPEN	9	GOOD	YES
774	ACER NEGUNDO	BOX ELDER	20	GOOD	YES
775	POPULUS SP.	ASPEN	6	GOOD	YES
776	ROBINIA SP.	LOCUST	10	GOOD	YES
777	FRAXINUS SP.	ASH	13	GOOD	YES
778	POPULUS SP.	AUSTRIAN PINE	12	FAIR	YES
779	POPULUS SP.	ASPEN	10	GOOD	YES
780	POPULUS SP.	ASPEN	26	FAIR	YES
781	POPULUS SP.	ASPEN	24	GOOD	YES
782	JUGLANS NIGRA	BLACK WALNUT	6	GOOD	YES
783	JUGLANS NIGRA	BLACK WALNUT	9	GOOD	YES
784	JUGLANS NIGRA	BLACK WALNUT	8	GOOD	YES
785	ACER NEGUNDO	BOX ELDER	10	GOOD	YES
786	ULMUS SP.	ELM	17	GOOD	YES
787	ACER SP.	MAPLE	11, 14	GOOD	NO
2898	POPULUS DELTOIDES	COTTONWOOD	10	POOR	YES
2899	POPULUS DELTOIDES	COTTONWOOD	14	FAIR	YES
2900	ACER SP.	MAPLE	10	GOOD	YES



SITE CRITERIA

LANDSCAPING SUMMARY:

TREES REQUIRED:

ONE LARGE DECIDUOUS TREE EVERY 50 FEET OF PUBLIC AND PRIVATE ROAD FRONTAGE.

LAMB ROAD:
REQUIRED = 307' / 50' = 6.1 = 7 TREES.

BELLECLAIRE COURT:
REQUIRED = 1,693' TOTAL FRONTAGE / 50' = 34 TREES.

TOTAL TREES PROVIDED:
9 EXISTING TREES + 25 NEW TREES = 34 TREES.

ADDITIONAL TREES:
12 ADDITIONAL TREES PROVIDED AROUND DETENTION BASIN.

NOTES

- THE DEVELOPER SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES OF THE CITY OF TROY, THE COUNTY OF OAKLAND, AND THE STATE OF MICHIGAN.

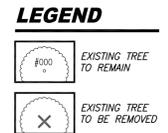
PLANTING NOTES

- ALL CONSTRUCTION AND PLANT MATERIAL LOCATIONS TO BE ADJUSTED ON SITE IF NECESSARY TO AVOID UTILITIES, STRUCTURES, DRIVEWAYS, ETC.
- ANY SUBSTITUTIONS OF PLANT MATERIAL OR ALTERATION IN PLANT SIZES OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH CITY OF TROY ORDINANCE STANDARDS. ALL STREET TREES SHALL MEET THE MINIMUM SIZE, SPACING AND SPECIES REQUIREMENTS AS SET FORTH IN THE CITY OF TROY'S ZONING ORDINANCE, SECTION 13.02.H, "MINIMUM SIZE AND SPACING REQUIREMENTS" AND SECTION 13.02.I, "PROHIBITED SPECIES".
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED, AND WRAPPED.
- PLANT BEDS TO BE MULCHED AND DRESSED WITH 4" OF SHREDDED HARD BARK.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACKFILL WITH ONE PART TOP SOIL FROM EXCAVATED PLANTING HOLE.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM THE TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES TO BE MULCHED WITH A 2" WIDE MINIMUM OF 6" DEEP SHREDDED BARK RING OR APPROVED ALTERNATE DESIGN FOR TRUNK PROTECTION.
- PROVIDE HYDRO-SEEDING AND/OR SOD FOR ALL NEW LAWN AREAS.
- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PLANT MATERIAL, ESPECIALLY EVERGREENS, TO BE PLANTED HIGHER THAN NORMAL WHEN HEAVY SOIL CONDITIONS (CLAY, ETC.) PREVAIL.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS, AND PARKING STALLS:
 - SHADE TREES.....5 FT.
 - ORNAMENTAL AND EVERGREEN TREES.....10 FT. (CRAB, PINE, SPRUCE, ETC.)
 - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY.....2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. REFER TO ENGINEERING PLANS FOR EXACT LOCATIONS OF UTILITY LINES.
- FOR EXISTING TREE PROTECTION, A 4-FOOT HIGH ORANGE SNOW FENCE SHALL BE ERECTED AROUND TREE DRIP LINES PRIOR TO LAND CLEARING AND SITE CONSTRUCTION AND MAINTAINED THROUGHOUT SITE DEVELOPMENT PERIOD. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE FENCED AREAS WITHOUT PRIOR CITY APPROVAL.

CONTRACTOR'S NOTE

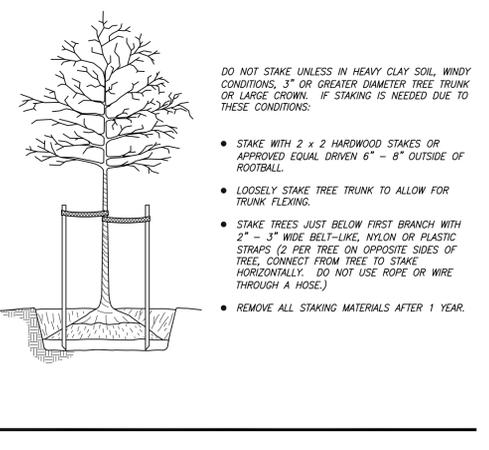
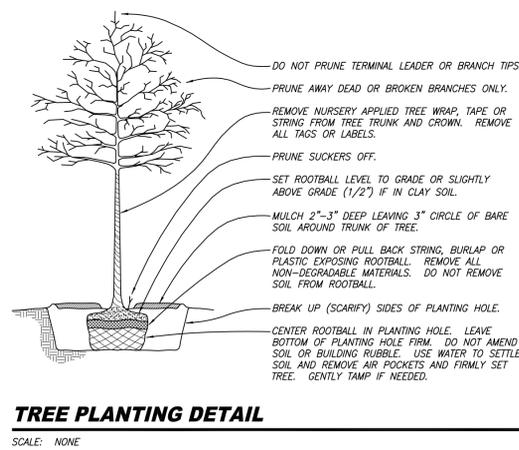
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.



PLANT SCHEDULE & COST ESTIMATE

QUANTITY:	SYMBOL:	BOTANICAL NAME:	COMMON NAME:	SIZE:	UNIT PRICE:	INSTALLATION COST:	UNIT TOTAL:
26 EACH	(Symbol)	GINKGO BILoba (MALE), OR TILIA TOMENTOSA	GINKGO STERLING LINDEN	2.5" CAL.	\$300.00	\$25.00	\$8,450.00
11 EACH	(Symbol)	PINUS RESINOSA	NORWAY (RED) PINE	5' HT.	\$300.00	\$25.00	\$3,575.00
TOTAL TREES: 37						SUBTOTAL COST: \$12,025	
						5% CONTINGENCY: \$600	
						TOTAL ESTIMATE: \$12,625	



REVISIONS: 5-15-13 REVISED PER PLANNING DEPT. 8-30-13 REVISED FOR ADDITIONAL PROPERTY

CLIENT: MR. JOSEPH MANIACI MONDRAN PROPERTIES 5025 SCHUYLER RD. SHELBY TWP., MI 48315 (981) 728-7940

PROJECT: Proposed "Belleclaire Estates" Site Condominium

PLANNING: HORIZON ENGINEERING LLC CIVIL ENGINEERING, SITE PLANNING & LAND DEVELOPMENT CONSULTING P.O. Box 182158, Shelby Township, Michigan 48318 Phone 586.463.8097 Fax 586.580.0053

JOB NO: 13-031 DATE: 4-12-13 DRAWN BY: N.P.R.

SHEET: 3 OF 3 MUNICIPAL REVIEW NUMBERS:

TOPOGRAPHIC SURVEY

CERTIFIED TO: MONDRIAN PROPERTIES BELLECLAIR LLC

NORTH



SCALE: 1"=40'



LOCATION MAP

SCALE: 1" = 2000'

BENCHMARKS

CITY BENCHMARK #1937
ELEVATION = 673.60 (NAVD 88 DATUM)
ARROW ON TOP OF HYDRANT #14-141 ON THE EAST SIDE OF ROCHESTER ROAD AND 250 FEET NORTH OF LAMB ROAD.

SITE BENCHMARK #1
ELEVATION = 669.92 (NAVD 88 DATUM)
TOP OF HYDRANT ON SOUTH SIDE OF LAMB ROAD, 314 FEET EAST OF ROCHESTER ROAD

BENCHMARK #2
ELEVATION = 666.64 (NAVD 88 DATUM)
TOP OF HYDRANT ON SOUTH SIDE OF LAMB ROAD IN FRONT OF EXISTING RESIDENCE #1138.

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
2. ALL PROPERTY SPLITS REQUIRE PRIOR CITY, TOWNSHIP, COUNTY, AND/OR STATE APPROVAL.
3. CURRENT TITLE POLICIES HAVE NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

FLOOD NOTE

SUBJECT PARCEL LIES WITHIN ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE (500-YEAR) FLOOD PLAIN AND AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 26120C0334F, DATED SEPTEMBER 29, 2006, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

SHANE P. AZBELL, P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 46724

AZTEC
LAND SURVEYORS INC.
TOPOGRAPHIC SURVEY
PART OF THE SOUTHWEST 1/4 OF SECTION 14,
TOWNSHIP 2 NORTH, RANGE 11 EAST,
CITY OF TROY, OKLAHOMA COUNTY, MI

CHIEF: MR. JOSEPH MANACI
MONDRIAN PROPERTIES
5215 SCHOFERR ROAD
SHELBY TOWNSHIP, MI 48315
508-226-7340

REVISIONS: 8-30-13 ADDED PROPERTIES TO EAST

JOB NO: 13-085
DATE: 3/14/13
DRAWN BY: S.A.
CHECKED BY: S.A.

SHEET 1 OF 1
MUNICIPAL REVIEW NUMBERS:

"BRIGGS PARK CONDO."
O.C.C.P. NO. 1911

LAMB ROAD
60' WIDE RIGHT OF WAY
ASPHALT PAVEMENT

LAMB ROAD
60' WIDE RIGHT OF WAY
ASPHALT PAVEMENT

"SUPERVISOR'S PLAT NO. 22"
LIBER 13, PAGE 45, O.C.R.

"SUPERVISOR'S PLAT OF SQUARE ACRES SUB."
LIBER 14, PAGE 49, O.C.R.

"FOUNTAIN PARK"
O.C.C.P. NO. 1494

"MAYA'S MEADOWS"
O.C.C.P. NO. 1355

"WORTHINGTON MANOR SUBDIVISION"
LIBER 260, PAGES 13-17, O.C.R.

LEGEND

- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR WITH CAP #46724
- UTILITY POLE
- GUY WIRE ANCHOR
- LIGHT POLE
- TELEPHONE RISER/ELEC. METER
- UNDERGROUND MARKER
- GAS METER
- MANHOLE (AS NOTED)
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- END SECTION
- GATEWELL/SHUT-OFF VALVE
- FIRE HYDRANT
- MAILBOX
- SIGN
- EXISTING GRADE ELEVATION
- EXISTING TREE & TAG NUMBER
- PARCEL BOUNDARY
- ADJACENT PARCEL
- EXISTING BUILDING
- EXISTING PAVEMENT AS NOTED
- EASEMENT LINE
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- EXISTING WATER LINE
- EXISTING GAS LINE
- OVERHEAD LINES
- EXISTING GRADE CONTOUR
- EXISTING EDGE HEDGE/TREELINE
- EXISTING DITCH/SWALE
- EXISTING FENCES

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOLL FREE) for the location of underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

PROPERTY DESCRIPTION: (AS FURNISHED BY CLIENT)

PARCEL NO. 20-14-351-083
LOT 1 EXCEPT THE WEST 10 FEET, ALSO EXCEPT THE EAST 32 FEET OF THE WEST 42 FEET AND ALL OF LOT 15, "SUPERVISOR'S PLAT NO. 22", A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 13 OF PLATS, PAGE 45 OF OKLAHOMA COUNTY RECORDS. ALSO, LOT 7 OF "SUPERVISOR'S PLAT OF SQUARE ACRES SUB.", PART OF THE SOUTH 1/2 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OKLAHOMA COUNTY RECORDS.

PART OF PARCEL NO. 20-14-351-015
THE SOUTH 303 FEET OF THE WEST 127.80 FEET OF LOT 26, "SUPERVISOR'S PLAT OF SQUARE ACRES SUB.", PART OF THE SOUTH 1/2 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OKLAHOMA COUNTY RECORDS.

PART OF PARCEL NO. 20-14-351-049
THE SOUTH 303 FEET OF THE WEST 83.33 FEET OF THE EAST 250 FEET LOT 26, "SUPERVISOR'S PLAT OF SQUARE ACRES SUB.", PART OF THE SOUTH 1/2 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OKLAHOMA COUNTY RECORDS.

PART OF PARCEL NO. 20-14-351-050
THE SOUTH 303 FEET OF THE WEST 83.33 FEET OF THE EAST 166.67 FEET LOT 26, "SUPERVISOR'S PLAT OF SQUARE ACRES SUB.", PART OF THE SOUTH 1/2 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OKLAHOMA COUNTY RECORDS.

PROPERTY DESCRIPTION: (AS SURVEYED)

LOT 1 EXCEPT THE WEST 10 FEET, ALSO EXCEPT THE EAST 32 FEET OF THE WEST 42 FEET AND ALL OF LOT 15, "SUPERVISOR'S PLAT NO. 22", A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 13 OF PLATS, PAGE 45 OF OKLAHOMA COUNTY RECORDS. ALSO, ALL OF LOT 7 AND THE SOUTH 303 FEET OF THE WEST 294.46 FEET OF LOT 26 OF "SUPERVISOR'S PLAT OF SQUARE ACRES SUB.", PART OF THE SOUTH 1/2 OF SECTION 14, TOWN 2 NORTH, RANGE 11 EAST, TROY TOWNSHIP (NOW CITY OF TROY), OKLAHOMA COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 49 OF OKLAHOMA COUNTY RECORDS BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 14; THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS WEST 1315.67 FEET ALONG THE WEST LINE OF SAID SECTION 14; THENCE NORTH 89 DEGREES 54 MINUTES 12 SECONDS WEST 75.00 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF ROCHESTER ROAD (WIDTH VARIES) TO THE POINT OF BEGINNING; THENCE NORTH 89 DEGREES 54 MINUTES 12 SECONDS EAST 295.21 FEET ALONG THE SOUTH RIGHT OF WAY LINE OF LAMB ROAD (60 FEET WIDE); THENCE CONTINUING ALONG THE SOUTH RIGHT OF WAY LINE OF SAID LAMB ROAD SOUTH 71 DEGREES 11 MINUTES 34 SECONDS EAST 306.49 FEET TO THE NORTHEAST CORNER OF SAID LOT 15; THENCE SOUTH 00 DEGREES 39 MINUTES 07 SECONDS EAST 278.06 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 02 SECONDS EAST 294.22 FEET; THENCE SOUTH 00 DEGREES 41 MINUTES 21 SECONDS EAST 303.00 FEET TO A POINT ON THE SOUTH LINE OF SAID "SUPERVISOR'S PLAT OF SQUARE ACRES SUB." WHICH IS THE NORTH LINE OF "WORTHINGTON MANOR SUBDIVISION" AS RECORDED IN LIBER 260 PAGES 13 THRU 17; THENCE ALONG SAID LINE SOUTH 89 DEGREES 58 MINUTES 02 SECONDS WEST 294.41 FEET TO THE SOUTHWEST CORNER OF SAID LOT 26; THENCE ALONG THE WEST LINE OF SAID "SUPERVISOR'S PLAT OF SQUARE ACRES SUB." NORTH 00 DEGREES 39 MINUTES 07 SECONDS WEST 163.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 15; THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS WEST 292.49 FEET TO THE SOUTHWEST CORNER OF SAID LOT 26; THENCE NORTH 00 DEGREES 15 MINUTES 36 SECONDS WEST 356.10 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 89 DEGREES 58 MINUTES 30 SECONDS WEST 294.25 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE EASTERLY RIGHT OF WAY LINE OF SAID ROCHESTER ROAD; THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS WEST 160.00 FEET ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID ROCHESTER ROAD TO THE POINT OF BEGINNING.

BASIS OF BEARING

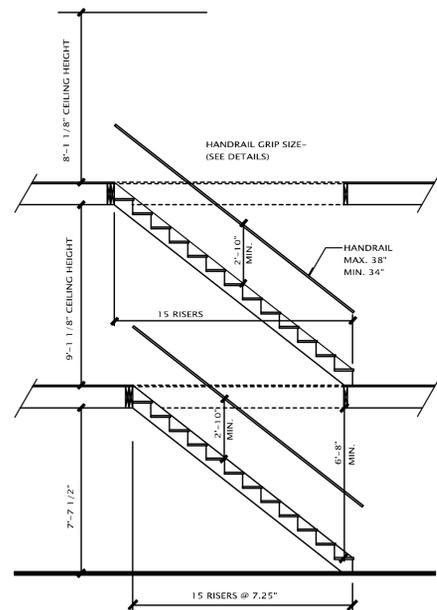
NORTH 00°36'30" WEST, BEING THE WEST LINE OF SECTION 14 AS PLATTED IN "SUPERVISOR'S PLAT OF SQUARE ACRES SUB." AND AS MONUMENTED IN FIELD.

PARCEL AREA

AS SURVEYED:
TOTAL = 272,251.76 SQUARE FEET = 6.250 ACRES

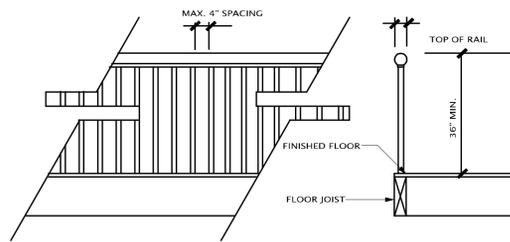
TREE INVENTORY

TAG NO.	BOTANICAL NAME	COMMON NAME	D.B.H. (IN.)	CONDITION
688	PYRUS CALLERYANA	BRADFORD PEAR	7	GOOD
689	PYRUS CALLERYANA	BRADFORD PEAR	7	GOOD
690	PYRUS CALLERYANA	BRADFORD PEAR	6	GOOD
697	POPULUS DELTOIDES	COTTONWOOD	24	POOR
698	POPULUS DELTOIDES	COTTONWOOD	20	POOR
717	PINUS RESINOSA	RED PINE	10	GOOD
719	PINUS RESINOSA	RED PINE	11	GOOD
720	PINUS RESINOSA	RED PINE	11	GOOD
721	PINUS RESINOSA	RED PINE	11	GOOD
722	PINUS RESINOSA	RED PINE	11	GOOD
723	PINUS RESINOSA	RED PINE	12	GOOD
729	PINUS RESINOSA	RED PINE	11	GOOD
730	PINUS RESINOSA	RED PINE	10	FAIR
731	PINUS RESINOSA	RED PINE	9	GOOD
732	PINUS RESINOSA	RED PINE	11	GOOD
733	PINUS RESINOSA	RED PINE	12	GOOD
734	PINUS RESINOSA	RED PINE	12	POOR
735	PINUS RESINOSA	RED PINE	10	POOR
736	PINUS RESINOSA	RED PINE	11	GOOD
737	PINUS RESINOSA	RED PINE	10	FAIR
738	PINUS RESINOSA	RED PINE	8	FAIR
739	PINUS RESINOSA	RED PINE	13	GOOD
740	PINUS RESINOSA	RED PINE	12	GOOD
770	POPULUS SP.	ASPEN	13	GOOD
771	POPULUS SP.	ASPEN	9	GOOD
772	POPULUS SP.	ASPEN	13	DEAD
773	POPULUS SP.	ASPEN	13	GOOD
774	ACER NEGUNDO	BOX ELDER	20	GOOD
775	POPULUS SP.	ASPEN	6	GOOD
776	ROBINIA SP.	LOCUST	11	GOOD
777	FRAXINUS SP.	ASH	13	GOOD
778	POPULUS SP.	ASPEN	12	FAIR
779	POPULUS SP.	ASPEN	10	GOOD
780	POPULUS SP.	ASPEN	26	FAIR
781	POPULUS SP.	ASPEN	24	GOOD
782	JUGLANS NIGRA	BLACK WALNUT	6	GOOD
783	JUGLANS NIGRA	BLACK WALNUT	9	GOOD
784	JUGLANS NIGRA	BLACK WALNUT	8	GOOD
785	JUGLANS NIGRA	BLACK WALNUT	10	GOOD
786	ULMUS SP.	ELM	17	GOOD
787	ACER SP.	MAPLE	11	GOOD
2898	POPULUS DELTOIDES	COTTONWOOD	22	POOR
2899	POPULUS DELTOIDES	COTTONWOOD	14	FAIR
2900	ACER SP.	MAPLE SP.	10	GOOD



TYPICAL STAIR SECTION

N.T.S.



TYPICAL RAILING DETAIL

N.T.S.

R311.5.6 HANDRAIL DETAILS: HANDRAIL GRIPPING SURFACES SHALL BE CONTINUOUS, WITHOUT INTERRUPTION BY NEWEL POST, OTHER STRUCTURE ELEMENTS OR OBSTRUCTIONS. A HANDRAIL AND ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE ADJACENT WALL SURFACE SHALL NOT BE LESS THAN 1-1/2 INCHES (38mm).

R311.5.2 HEADROOM: THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 80 INCHES (2032mm) MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.

R311.5.3 TREADS AND RISERS: MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES (210mm). MINIMUM TREAD DEPTH SHALL BE 9 INCHES (229mm) MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT THE RIGHT ANGLE TO THE TREAD'S LEADING EDGE.

DIMENSIONAL UNIFORMITY: THERE SHALL NO BE VARIATION EXCEEDING 3/8 INCH (10mm) IN THE DEPTH OF ADJACENT TREADS OR IN THE HEIGHT OF ADJACENT RISERS. THE TOLERANCE BETWEEN THE LARGEST AND THE SMALLEST RISER OR BETWEEN THE LARGEST AND SMALLEST TREAD SHALL NOT EXCEED 3/8 INCH (10mm) IN A FLIGHT OF STAIRS.

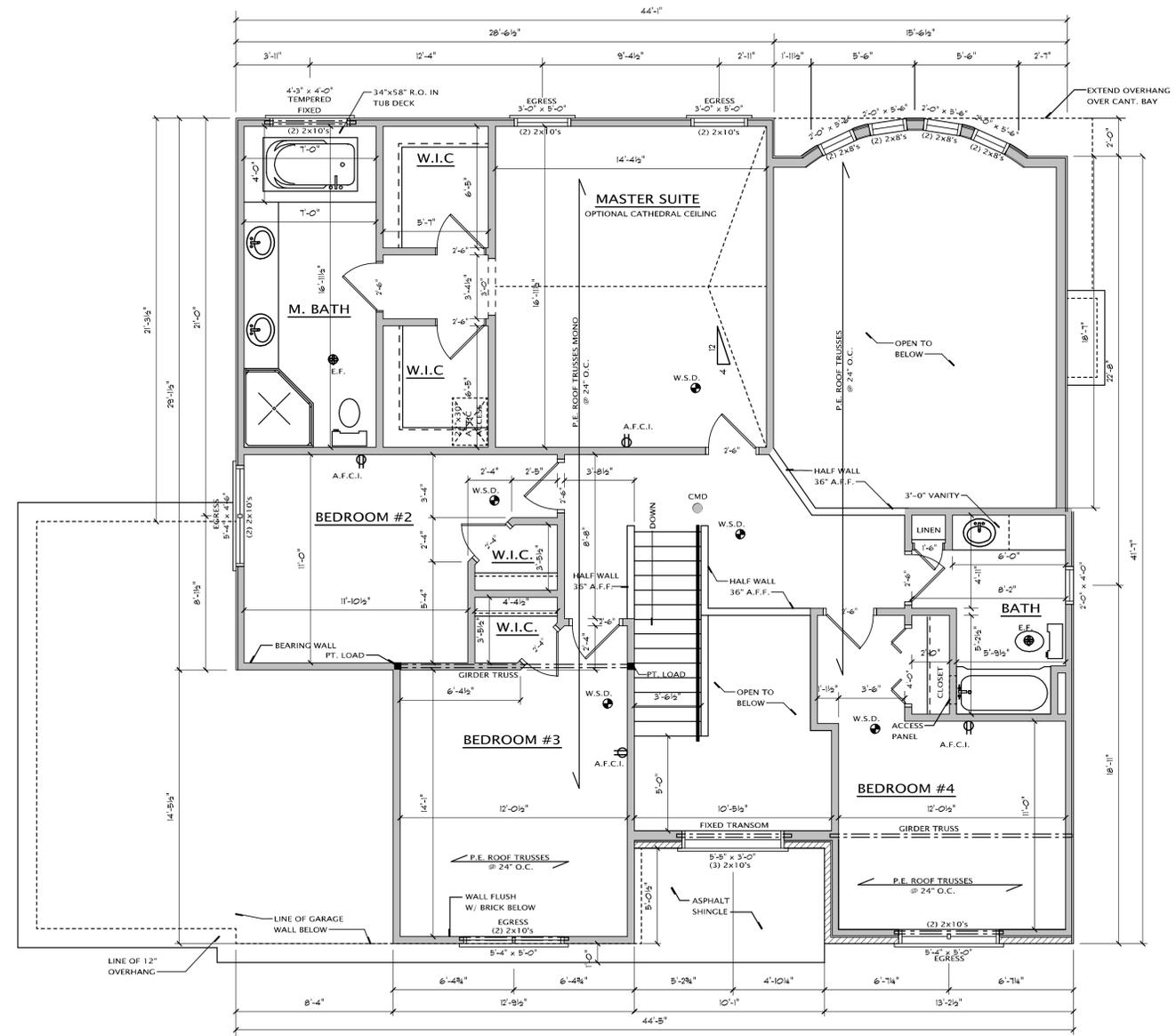
R311.5.6.1 HEIGHT: GUARD HANDRAILS SHALL NOT BE LESS THAN 36 INCHES (914mm) MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREADS OR ABOVE THE FINISHED FLOOR OF THE LANDING OR WALKING SURFACES.

EXCEPTIONS: OPEN SIDES OF STAIRS SHALL HAVE GUARDS NOT LESS THAN 34 INCHES (854mm) IN HEIGHT, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.

TYPE II: HANDRAILS WITH A PERIMETER GREATER THAN 6-1/4 INCHES (160mm) SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH (19mm) MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE, AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8mm) WITHIN 7/8 INCH (22mm) BELOW THE WIDEST PORTION OF THE PROFILE.

R311.5.6.3 HANDRAIL GRIP SIZE: TYPE I: ALL STAIRS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1-1/4 INCHES (32mm) AND NOT GREATER THAN 2 INCHES (51mm).

ANY OTHER SHAPE WITH A PERIMETER OF AT LEAST 4 INCHES (100mm), BUT NOT GREATER THAN 6-1/4 INCHES (158mm) WITH THE LARGEST CROSS-SECTIONAL DIMENSION NOT EXCEEDING 2-1/4 INCHES (57mm).



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQ. FT. 1,285

ARCH FAULT CIRCUIT INTERRUPTER
ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASE 15 & 20 AMP. OUTLETS INSTALLED IN DWELLING UNIT BEDROOM SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION IN THE ENTIRE CIRCUIT. E3802.11

PROVIDE ALL ATTIC ACCESS W/ WEATHER STRIPPING

OPERABLE WINDOW NOTE:
ALL WINDOWS THAT ARE OPERABLE AND THE BOTTOM OF THE WINDOW IS 72" OR MORE ABOVE GRADE, SHALL BE 24" ABOVE FINISH FLOOR TO THE BOTTOM OF THE WINDOW.

THE IDEAS AND DESIGN CONCEPTS EXPRESSED HEREIN AND THE GRAPHICALLY DISPLAYED ARRANGEMENT OF THEIR COMPONENTS REPRESENTED BY THIS DRAWING HAVE BEEN DEVELOPED FOR THE EXCLUSIVE USE OF THE SPECIFIED PROJECT AND ARE THE SOLE PROPERTY OF JMP DESIGN & BUILD, INC. INCORPORATED. A CONVEYANCE OR DISCLOSURE OF THE IDEAS DESIGN CONCEPTS OR USE OF ANY GRAPHICALLY DISPLAYED ARRANGEMENTS OF THE COMPONENTS SHALL BE AT THE DISCRETION AND ONLY THROUGH THE EXPRESSED WRITTEN CONSENT OF JMP DESIGN & BUILD, INC. ALL MATERIALS HEREIN ARE PROPRIETARY AND COPYRIGHTED

MANDOLIN STANDARD

BUILDER
MONDRIAN PROPERTIES
50215 SCOEHNERR RD.
SHELBY TWP., MI

SHEET TITLE:

SECOND FLOOR PLAN

DATE: 1/15/12
2/29/12
03/12/12

DRAWN BY:

J.V.C.

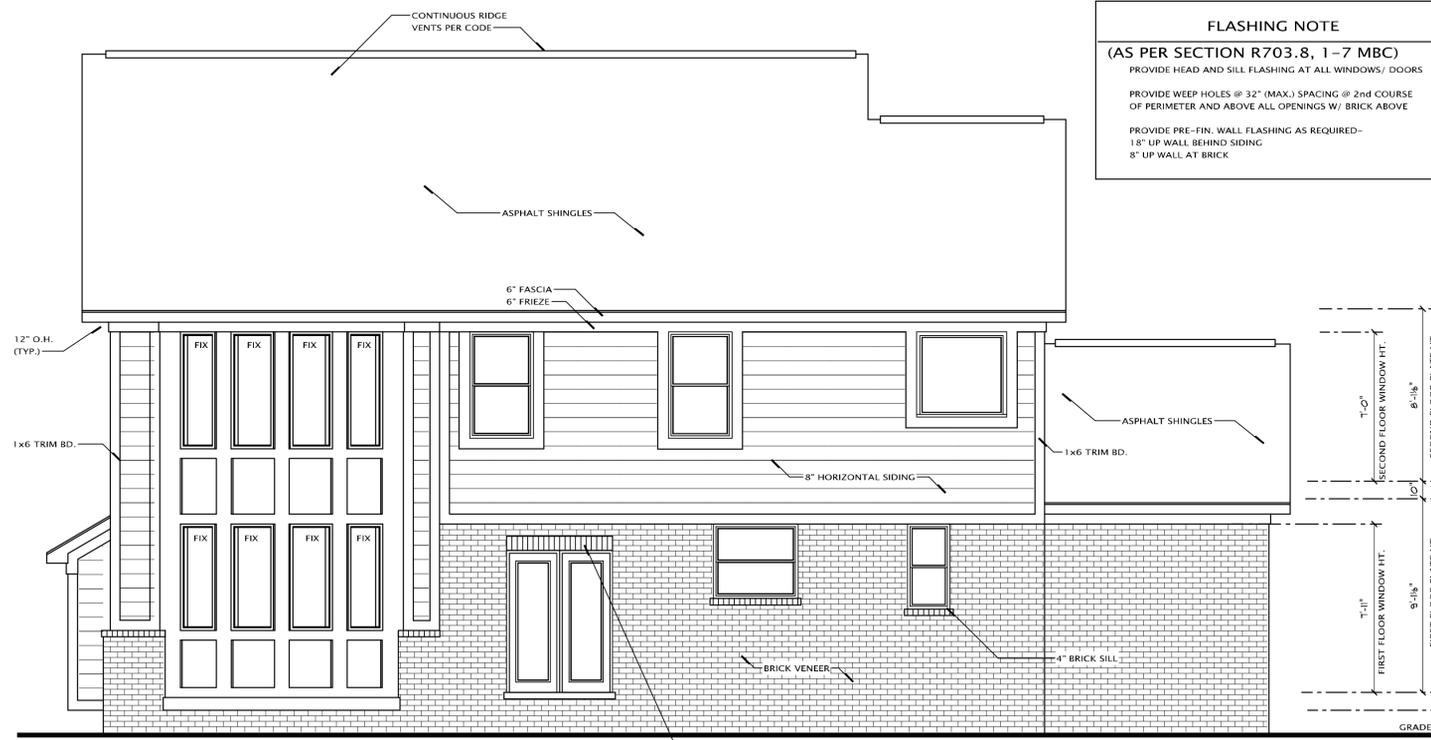
CHECKED BY:

J.P.

JOB NUMBER:

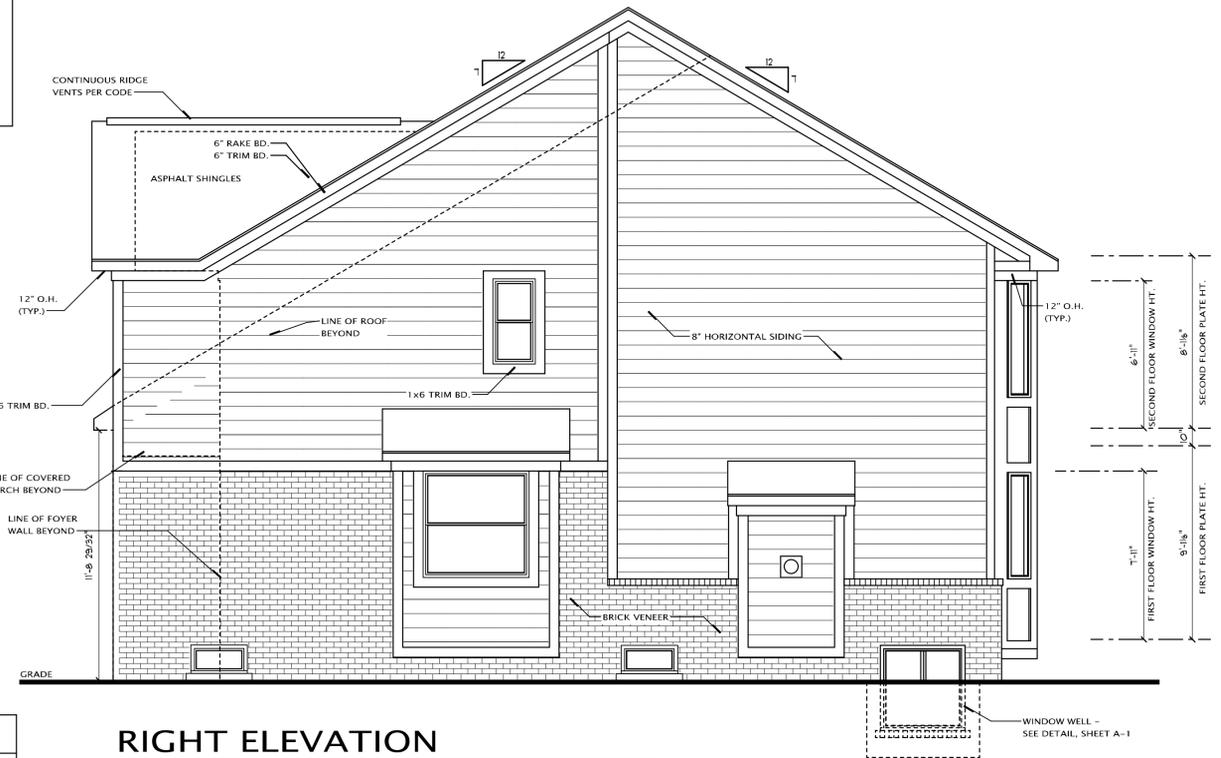
12 - 108

SHEET NUMBER:



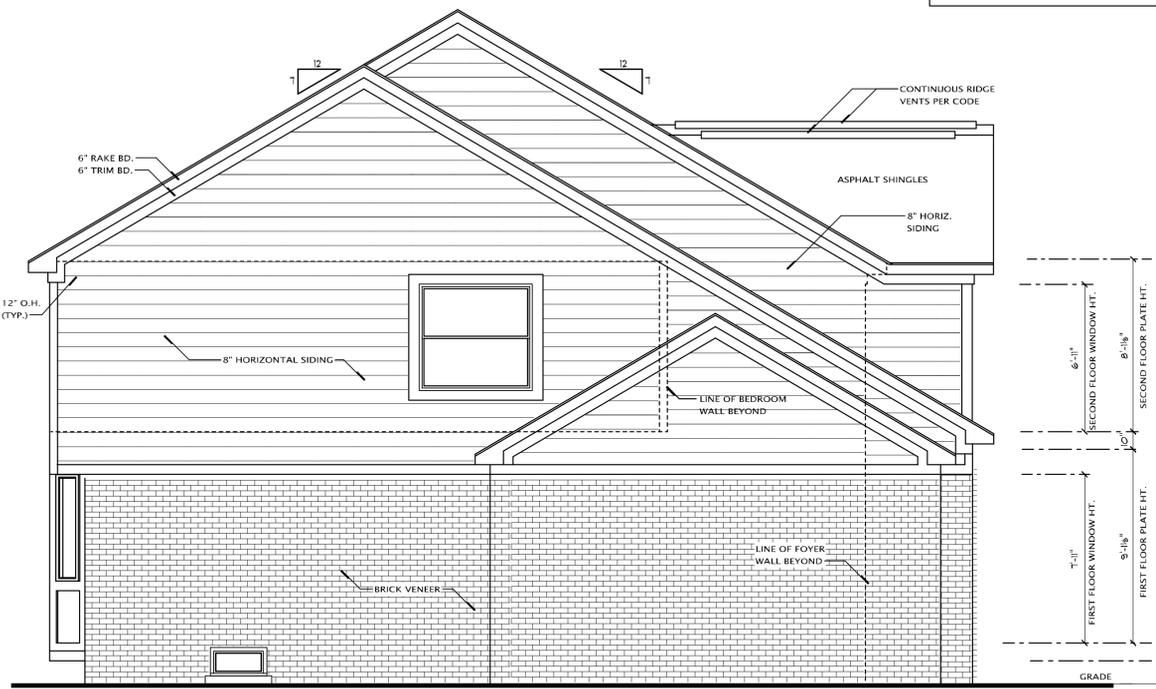
REAR ELEVATION

SCALE: 1/4" = 1'-0"



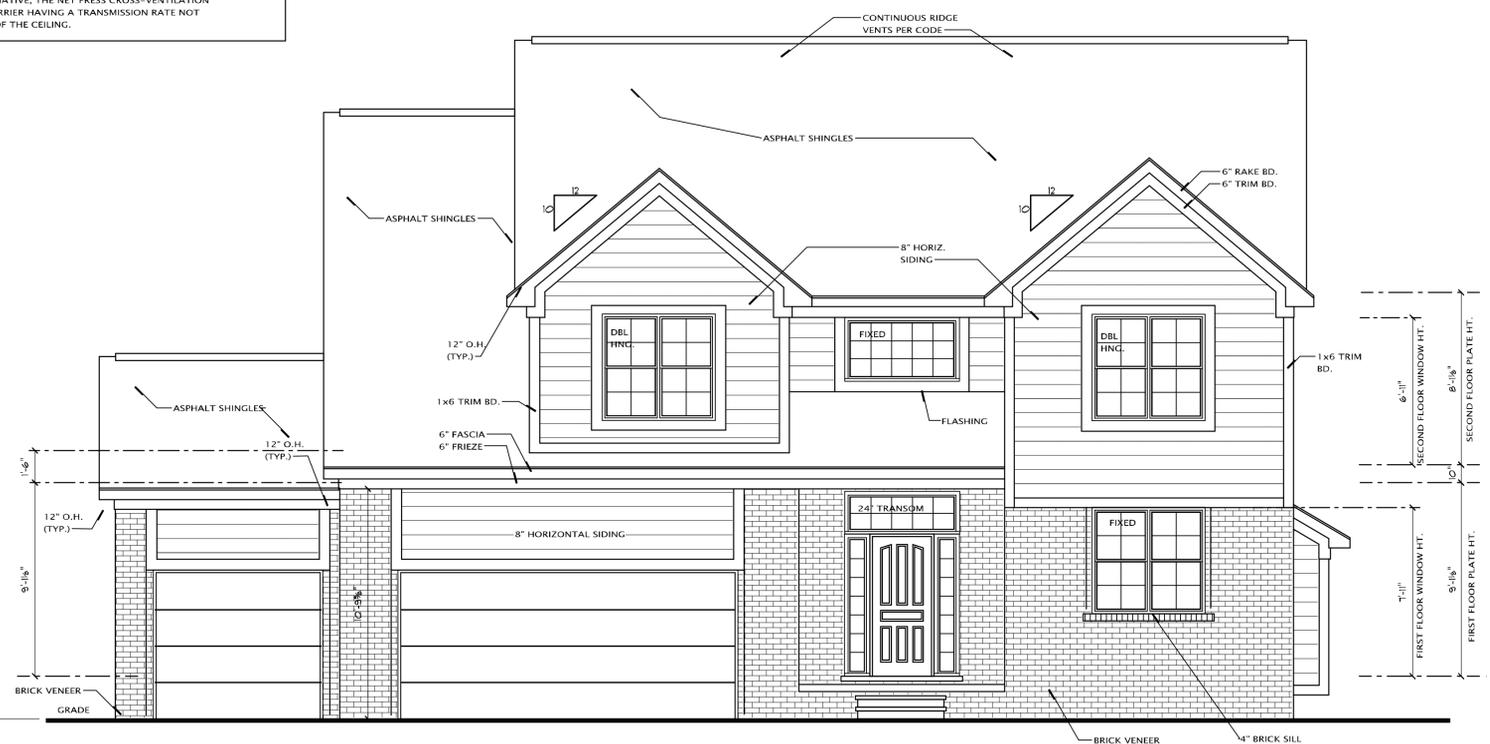
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



STANDARD FRONT ELEVATION "A"

SCALE: 1/4" = 1'-0"

THE IDEAS AND DESIGN CONCEPTS EXPRESSED HEREIN AND THE GRAPHICALLY DISPLAYED ARRANGEMENT OF THEIR COMPONENTS REPRESENTED BY THIS DRAWING HAVE BEEN DEVELOPED FOR THE EXCLUSIVE USE OF THE SPECIFIED PROJECT AND ARE THE SOLE PROPERTY OF JMP Design & Build, Inc. INCORPORATED. A CONVEYANCE OR DISCLOSURE OF THE IDEAS DESIGN CONCEPTS OR USE OF ANY GRAPHICALLY DISPLAYED ARRANGEMENTS OF THE COMPONENTS SHALL BE AT THE DISCRETION AND ONLY THROUGH THE EXPRESSED WRITTEN CONSENT OF JMP Design & Build, Inc. ALL MATERIALS HEREIN ARE PROPRIETARY AND COPYRIGHTED

MANDOLIN STANDARD

BUILDER

MONDRIAN PROPERTIES

50215 SCHOEHNERR RD.
 SHELBY TWP., MI

SHEET TITLE:

GABLE ELEVATIONS

DATE:
 1/15/12
 2/29/12
 03/12/12

DRAWN BY:

J.V.C.

CHECKED BY:

J.P.

JOB NUMBER:

12 - 108

SHEET NUMBER:

DATE: October 1, 2013

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Brooke View Site Condominium, 9 units/lots, North of Square Lake, West of Dequindre (6308 Evanswood), Section 1, Currently Zoned R-1D (One Family Residential) District

The petitioner Brooke View Development, Inc. submitted the above referenced Preliminary Site Plan Approval application for a 9-unit site condominium. The property is currently zoned R-1D (One Family Residential) District. The Planning Commission is responsible for granting Preliminary Site Plan Approval for site condominium applications.

City Council approved a similar 9-unit site condominium (previously called Brycewood Site Condominium) on this site on March 3, 2008. Like many residential development applications at the time, the project was put on hold due in part to the poor economy. Preliminary Site Plan Approval subsequently expired.

The attached report prepared by Carlisle/Wortman Associates, Inc. (CWA), the City's Planning Consultant, summarizes the project. CWA prepared the report with input from various City departments including Planning, Engineering, Public Works and Fire. City Management supports the findings of fact contained in the report and recommends approval of the project, as noted.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ Brooke View Site Condominium

G:\SUBDIVISIONS & SITE CONDOS\Brooke View Site Condo Sec 01\PC Memo 10 08 2013.docx

PROPOSED RESOLUTION

PRELIMINARY SITE CONDOMINIUM PLAN REVIEW – Proposed Brooke View Site Condominium, 9 units/lots, North of Square Lake, West of Dequindre (6308 Evanswood), Section 1, Currently Zoned R-1D (One Family Residential) District

Resolution # PC-2013-10-

Moved by:

Seconded by:

RESOLVED, That Preliminary Site Condominium Approval, pursuant to Article 8 and Section 10.02 of the Zoning Ordinance, as requested for Brooke View Site Condominium, 9 units/lots, North of Square Lake, West of Dequindre (6308 Evanswood), Section 1, currently zoned R-1D (One Family Residential) District, be granted, subject to the following:

1. Correct all zoning information on site plan sheet.
2. Include tree preservation details on the Landscape Plan.
3. Engineering and Fire to approve the turnaround as part of Final Site Plan review.
4. Amend site plan to show turnaround.
5. If sidewalk waiver is granted, the applicant shall work with City Staff to identify a satisfactory landscaping treatment in the area of the waived sidewalk.

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / FAILED

Brooke View Site Condominium

City of Troy Planning Department



Legend:

272 0 136 272 Feet

Scale 1: 1,633

Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 7/16/2013



Legend:

Form Based Zoning (Current)

- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection District
- (BB) Big Beaver Road (Form Based)
- (MR) Maple Road (Form Based)
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business District
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential District
- (R-1B) One Family Residential District
- (R-1C) One Family Residential District
- (R-1D) One Family Residential District
- (R-1E) One Family Residential District
- (RT) One Family Attached Residential District
- (MF) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales

314 0 157 314 Feet

Scale 1: 1,885



CARLISLE

WORTMAN
associates, inc.

605 S. Main Street, Ste. 1
Ann Arbor, MI 48104

(734) 662-2200
(734) 662-1935 Fax

Date: September 25, 2013

Preliminary Site Condominium Review For City of Troy, Michigan

Applicant:	Fazal Kahn
Project Name:	Brooke View
Plan Date:	September 17, 2013
Location:	6308 Evanswood Road . Northwest of Square Lake Road and Dequindre Road intersection.
Zoning:	R1-D, One-family Residential District
Action Requested:	Preliminary Site Condominium Approval
Required Information:	Deficiencies noted.

PROJECT AND SITE DESCRIPTION

We are in receipt of a site condominium application which includes a topographic survey, tree survey, preliminary site plan, preliminary utility and grading plan, and preliminary landscape plan. The applicant is requesting approval of a nine (9) unit single family detached site condominium project at 6308 Evanswood. The 3.37 acre site is currently improved with one (1) existing single-family home, which will be demolished. The project site is L-shaped and surrounds the adjacent property of 6322 Evanswood Road on two sides. The site is encumbered with significant tree cover.

The lots will be accessed off of a proposed single access 60' wide public road with a stub street to the south parcel. This stub street is a future road extension providing a possible connector street for future development.

Brooke View
September 25, 2013

The development has previously received site plan approval but the approval has since expired.

Location of Subject Property:

Northwest of Square Lake Road and Dequindre Road intersection. To be accessed from east side of Evanswood Road.

Location and Aerial Image of Subject Site



Size of Subject Property:

The parcel is 3.37 net acres in area.

Proposed Uses of Subject Parcel:

Nine (9) detached, single family homes.

Current Use of Subject Property:

The subject property currently has one single family home which will be removed.

Current Zoning:

The property is currently zoned R-1D, One-family Residential District.

Surrounding Property Details:

Direction	Zoning	Use
North	R-1D, One-family Residential District.	Single-family homes
South	R-1D, One-family Residential District.	Vacant parcel
East	R-1D, One-family Residential District	Single-family homes
West	R-1D, One-family Residential District.	Single-family homes

SITE ARRANGEMENT

The proposed site condominium consists of 9-units, approximately 3-units per acre, with lots ranging in size from 8,603 square feet to 20,280 square feet. The average lot size is 10,954 square feet. Lots are accessed from Evanswood Road from a newly created public road with a stub street to the south parcel, between Lots 4 and 5. Brooke View Lane is 27' wide within a 60' ROW. The location of the stub street (future road extension) makes Lot 4 a corner lot. The setback requirements for a corner lot have been adequately met. In addition, the new road will make 6232 Evanswood (the existing house just to the north of the proposed development) a corner lot, which makes that lot's southern boundary a front yard. The conversion of this lot to a corner lot does not create a non-conformity; however a 25'foot setback along the southern property line must be maintained in the future.

The site is designed that if 6322 Evanswood were to be redevelopment, a similar lot configuration on the northside of the newly created Brooke View Lane could be created.

Items to be Addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Table 4.06.C establishes the requirements for the R-1D District. The requirements and the proposed dimensions are as follows:

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Front	25 foot setback	40 foot setback	Complies
Rear	40 foot setback	40 foot setback	Complies
Side	8 foot minimum for least side setback, 20 foot minimum combined setback	10 foot	Complies
Lot Size per Unit	8,500 square feet (for projects with sewer)	+8,500 square feet	Complies
Maximum Height	30 feet, 2.5 story	Less than 30 feet	Complies
Lot Width	75 feet	+75 feet	Complies
Maximum Lot Area Covered by Buildings	30 percent	30 percent	Complies
Minimum Floor Area per Unit	1,400 square feet	Over 1,400 square feet	Complies

The plan meets all R-1D district requirements. The zoning information provided on Sheet 4 reference the regulations of the previous zoning ordinance. Zoning information must be corrected on sheet 4 for the final site plan.

Items to be addressed: Correct all zoning information on site plan sheet for final site plan.

NATURAL RESOURCES

Topography – The grading plan shows a gradual slope down from east to west. The proposed detention pond is set in a natural low point.

Woodlands – The site has several trees located in the southern portion of the property, primarily in Lots 3 and 4, and in the northeast corner which backs up to “Royal Wood.” The tree survey shows considerable diversity in tree species. There are also many mature trees on the site, particularly maple, white pine, and willow trees. The applicant has shown on their landscape plan that selective tree preservation is planned.

Wetlands – There are no wetlands on the site

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

Vehicular

Access to the site will be from Evanswood Road. Brooke View Lane runs east from Evanswood Road and turns 90 degrees south to form a stub road. The utility and grading plan shows a temporary tee-type turnaround to the end of the stub road. The design of the turnaround must be approved by Engineering

and Fire as part of the final site plan approval. In addition, the site plan should be amended to show the turnaround.

The applicant has added spruce trees at the terminus of the stub road. Spruce trees will provide visual screening and prevent motorists from driving straight into the adjacent property to the south. The proposed site arrangement is designed to easily accommodate any future development to the south of the site.

Pedestrian

The plan shows a five (5) foot concrete sidewalk to be provided on both sides of Brooke View Lane and along Evanswood Road, which connects to an existing sidewalk to the north of the site. There are two marked pedestrian crossing where Brooke View Lane turns.

Though shown on the site plan, the applicant wishes to seek a sidewalk waiver from the Traffic Committee to remove the walk on north side of Brook View Lane and replace it with a landscape buffer. The plan does not indicate where exactly the new sidewalk will end if the waiver is granted. Even if the waiver is granted the Engineering department would not permit private screening trees to be planted within the City's right-of-way. The applicant will need to work with City Staff to identify a satisfactory landscape treatment in the area of the waived sidewalk.

Items to be Addressed: 1). Engineering and Fire to approve the turnaround as part of Final Site Plan review; 2). Amend site plan to show turnaround; and 3). If sidewalk waiver is granted, the applicant shall work with City Staff to identify a satisfactory landscaping treatment in the area of the waived sidewalk.

STORMWATER

The applicant proposes a detention pond in the southwest corner of the site.

Items to be Addressed: None

LANDSCAPING

The Landscape Plan includes a mix of Linden, Serviceberry, Maple, River Birch, White Spruce, Viburnum, and Juniper (if sidewalk waiver is granted). Site condominium and subdivision landscaping are regulated by Section 13.02.F.2.

	<u>Required:</u>	<u>Provided:</u>	<u>Compliance:</u>
Frontage Screening	One evergreen tree for every 30 lineal feet. 160 = 6 trees	6	Compliant
Greenbelt Street Trees (Brooke View Drive)	1 tree for every 50 linear feet. 610 feet x 2 = 24 trees	25	Compliant

The applicant has shown on their landscape plan that selective tree preservation is planned. For the final site plan submittal the Landscape Plan should include tree preservation details.

Items to be Addressed: For final site plan submittal, include tree preservation details on the Landscape Plan.

SUBMITTAL REQUIREMENTS

Section 10.02.C requires that all site condominium projects shall comply with the standards and procedures set forth in Article 8, Site Plan Review and several unique standards. The only standard for the preliminary plan is that the street pattern and fully dimensioned residential parcel layout, including proposed building configurations, as well as preliminary sanitary sewer, storm sewer, and water main layout must also be submitted. This submittal includes all the required information.

Section 10.02.E. regulates physical improvements associated with condominium projects. It requires the following:

1. *Principal access and circulation through a site condominium shall be provided by public streets constructed to City standards, within sixty (60) foot wide rights-of-way. Secondary access and circulation through such developments, on which some of the residential parcels may have their sole frontage, may be provided by twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access. Satisfied.*

2. *Principal access to site condominium of five (5) acres or less in area may be provided by way of twenty-eight (28) foot wide streets constructed to City public street standards, within forty (40) foot private easements for public access, when in the opinion of the City Council the property configuration is such that the provision of conforming dwelling unit parcels is impractical. Not applicable.*

3. *All entrances to major or secondary thoroughfares shall include deceleration, acceleration and passing lanes as required by Engineering Standards of the City of Troy. Not applicable.*

4. *Sidewalks shall be constructed, in accordance with City Standards, across the frontage of all dwelling unit parcels. Utilities shall be placed within street rights-of-way, or within easements approved as to size and location by the City Engineer. Seeking a sidewalk waiver for a portion of the proposed sidewalk on the north side of newly created Brook View Lane.*

5. *All shall be served by public water, sanitary sewer, storm sewer and detention/retention systems constructed to City standards, at the expense of the developer. Easements over these systems shall be conveyed and recorded before occupancy permits are issued for dwelling units. The applicant has proposed full utilities, but all proposed configurations and easements are subject to approval by the City engineering department.*

As noted above, all condominium projects are subject to Section 8.05.A.7, which establishes the requirements for a preliminary site plan submittal, which is required under the site condominium regulations. Three additional requirements are specifically identified for residential projects. The three additional requirements, identified in 8.05.A.7.o, include:

i. *Calculation of the dwelling unit density allowable and a statement of the number of dwelling units, by type, to be provided. Satisfied.*

ii. Topography on site and fifty (50) feet beyond, drawn at two (2) foot contour intervals, with existing drainage courses, flood plains, wetlands, and tree stands indicated. **Satisfied.**

iii. The typical floor plans and elevations of the proposed buildings, with building height(s). **Satisfied.**

Items to be Addressed: None

RECOMMENDATIONS

The project meets ordinance requirement. We recommend that the Planning Commission approve the preliminary site condominium application, as conditioned on the applicant satisfying the following requirements as part of the final site plan submittal:

1. Correct all zoning information on site plan sheet.
2. Include tree preservation details on the Landscape Plan.
3. Engineering and Fire to approve the turnaround as part of Final Site Plan review.
4. Amend site plan to show turnaround.
5. If sidewalk waiver is granted, the applicant shall work with City Staff to identify a satisfactory landscaping treatment in the area of the waived sidewalk.



CARLISLE/WORTMAN ASSOC., INC.

Benjamin R. Carlisle, LEED AP, AICP

3.376 ACRE PARCEL (PARCEL I.D. NO. 88-20-001-476-063)

PARCEL OF LAND LOCATED IN THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN.

BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 1; THENCE N88°03'19"W 1307.38 FEET ALONG THE SOUTH LINE OF SAID SECTION 1 TO THE SOUTHEAST CORNER OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 1; THENCE NORTH 1605.53 FEET (RECORDED) N00°03'23"W 1605.55 FEET (MEASURED) TO THE POINT OF BEGINNING; THENCE EXTENDING NORTH 317.51 FEET (RECORDED) N00°04'40"W 315.91 FEET (MEASURED) ALONG THE WEST LINE OF "WARMICK WOODS SUB" AS RECORDED IN L. 223 ON PAGE 17-20, OAKLAND COUNTY RECORDS AND "ROYAL WOODS SUB" RECORDED IN LIBER 241 ON PAGE 19-21 OAKLAND COUNTY RECORDS; THENCE WEST 293.89 FEET (RECORDED) S88°49'02"W 293.90 FEET (MEASURED) ALONG THE SOUTH LINE OF "FRANIERI SUB" AS RECORDED IN LIBER 142 ON PAGE 25&26, OAKLAND COUNTY RECORDS; THENCE SOUTH (RECORDED) S00°05'51"W (MEASURED) 146.22 FEET; THENCE WEST (RECORDED) S88°49'02"W (MEASURED) 329.99 FEET; THENCE SOUTH 164.37 FEET (RECORDED) S00°05'51"W 163.53 FEET (MEASURED) ALONG THE EASTERLY RIGHT OF WAY LINE OF "EVANSWOOD ROAD" (60 FEET WIDE); THENCE EAST 624.85 FEET (RECORDED) N89°23'03"E 624.75 FEET (MEASURED) TO THE POINT OF BEGINNING; CONTAINING 3.376 ACRES OF LAND

SUBJECT TO THE RIGHTS OF THE PUBLIC AND EVANSWOOD ROAD.

ALSO SUBJECT TO ANY EASEMENTS AND OR RIGHTS OF WAY RECORDED OR OTHERWISE.

THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS ZONE X, (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAN) AS DEPICTED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26125C0551F PANEL 551 OF 704, DATED SEPTEMBER 29, 2006, PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

BROOKE VIEW SITE CONDOMINIUM

PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

BENCHMARKS:

BENCHMARK #1
BM 0361
MIN IN MUELLER ON HYDRANT #12-6 AT THE WEST PROPERTY LINE OF HOUSE #2626 SQUARE LAKE (FROM DEQUINDRE TO WILLOW GROVE)
ELEV. 666.29 NAD88

BENCHMARK #2
BM 0380

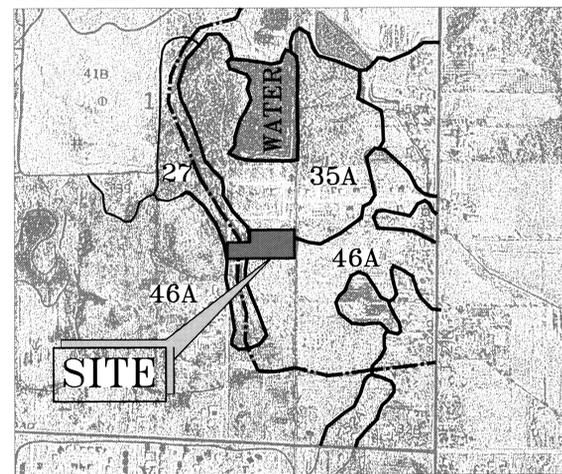
"W" IN WATER ON GATE IN WELL SOUTH SIDE OF SQUARE LAKE ROAD AT HOUSE #2626 SQUARE LAKE
ELEV. 663.64 NAD88

SITE BENCHMARKS:

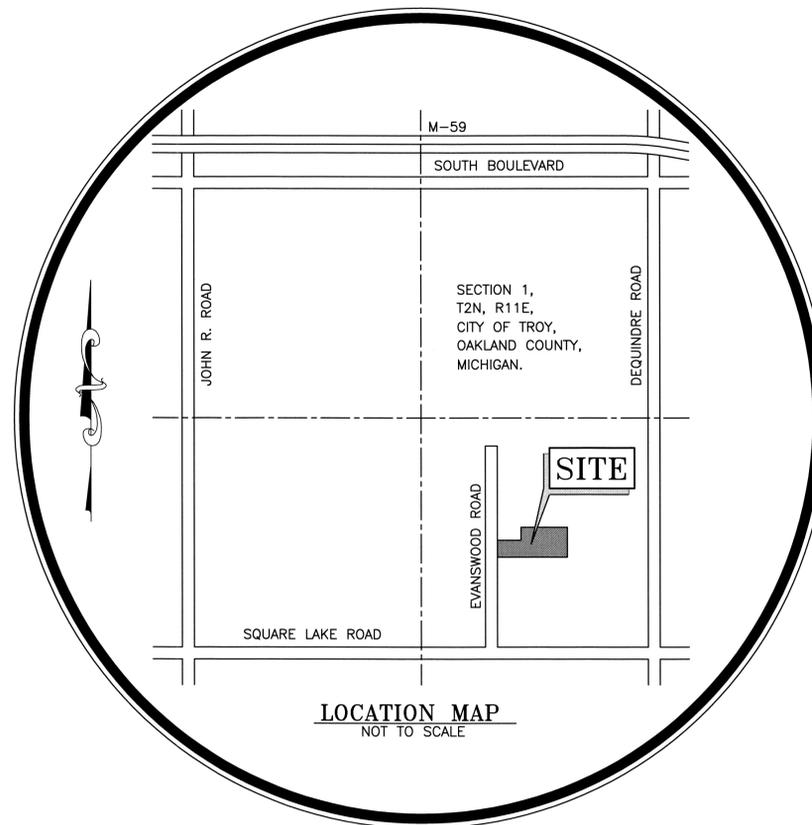
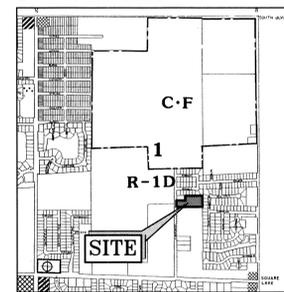
SITE BM#1 (SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON THE EAST SIDE OF EVANSWOOD ROAD, ±50 SOUTH OF PROPERTY LINE
ELEV. 662.74

SITE BM#2 (NOT SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON THE EAST SIDE OF EVANSWOOD ROAD, ±255 NORTH OF PROPERTY LINE
ELEV. 662.74

SOILS MAP



ZONING MAP



LOCATION MAP
NOT TO SCALE

INDEX OF SHEETS

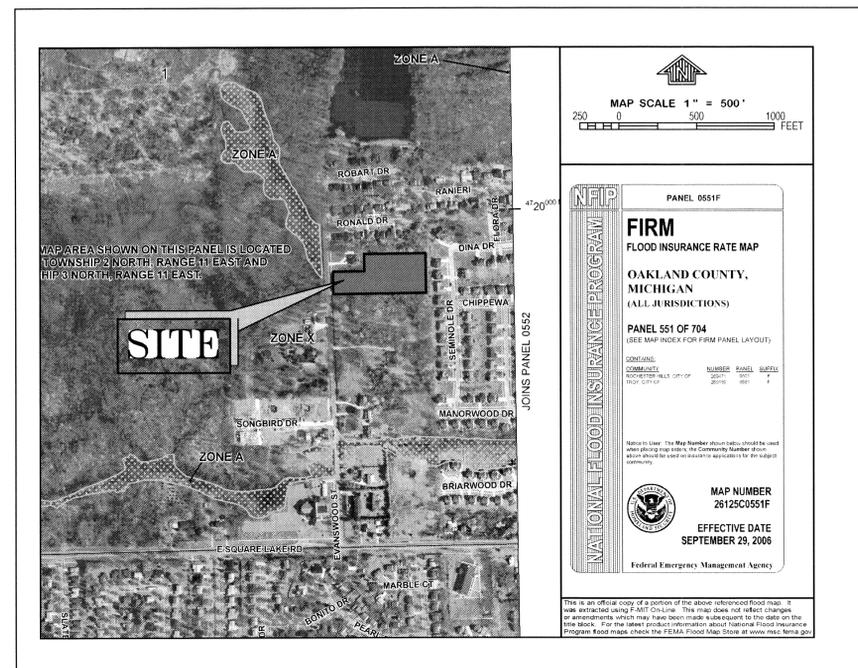
- SHEET 1 COVER SHEET
- SHEET 2 TOPOGRAPHIC SURVEY AND REMOVAL PLAN
- SHEET 3 TREE SURVEY
- SHEET 4 OVERALL PRELIMINARY SITE PLAN
- SHEET 5 PRELIMINARY UTILITY AND GRADING PLAN
- SHEET 6 PRELIMINARY LANDSCAPE PLAN

OWNER / DEVELOPER

BROOKE VIEW DEVELOPMENT, INC.
930 W. 11 MILE ROAD
MADISON HEIGHTS, MI 48071
(248) 398-7700

SURVEYOR / ENGINEER

FAZAL KHAN AND ASSOCIATES, INC.
43279 SCHOENHERR ROAD
STERLING HEIGHTS, MI 48313
(586) 739-8007



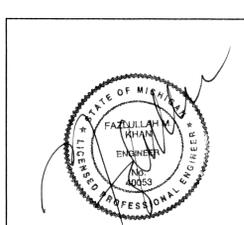
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THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS AND REPORT ANY DISCREPANCIES TO FAZAL KHAN & ASSOCIATES INC. BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.
ALL WATERMANS, SANITARY SEWERS (AND LEADS) AND STORM SEWERS UNDER PROPOSED OR EXISTING PAVEMENT OR WITHIN 3 FT. OF PAVEMENT TO BE SAND BACK FILLED AND COMPACTED TO 95% OPTIMUM DENSITY (PROCTOR). ALSO ALL UTILITY CROSSINGS TO BE SAND BACKFILLED. SAND BACK FILLING TO BE INCIDENTAL TO CONTRACT.

PLANS SUBMITTED TO:	DATE SUBMITTED:	COMMENTS RECEIVED:	RE-SUBMITTED:	COMMENTS RECEIVED:	RE-SUBMITTED:	DATE APPROVED:	ADDRESS AND PHONE #:
CITY OF TROY PLANNING DEPARTMENT	7-15-2013	8-30-2013	9-17-2013				500 W. 810 BEAVER ROAD, TROY, MI 48064 PHONE: 248-554-3064



CALL MISS DIG (3 WORKING DAYS) BEFORE YOU DIG 1-800-482-7171
 CALL 811.COM (TOLL FREE)

DATE	BY	REVISIONS
07-15-13	FAZAL KHAN	REVISED PER CITY REVIEW

BROOKE VIEW SITE CONDOMINIUM
 PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

FAZAL KHAN & ASSOCIATES, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 43279 SCHOENHERR ROAD
 STERLING HEIGHTS, MI 48313
 PHONE (586) 739-8007 FAX (586) 739-8008
 WWW.FAZALKHAN.COM

COVER SHEET

PROJECT NO.	FIELD BOOK
13-021	
DATE	07-11-13
DRAWN BY	O.P.
CHECKED BY	F.K.
CLIENT	BROOKE VIEW DEVELOPMENT, INC.
SCALE	N/A
PRELIMINARY	<input type="checkbox"/>
CONSTRUCTION	<input checked="" type="checkbox"/>
AS-BUILT	<input type="checkbox"/>

SHEET NO. 1

TOPOGRAPHIC SURVEY AND REMOVAL PLAN

PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

GRAPHIC SCALE

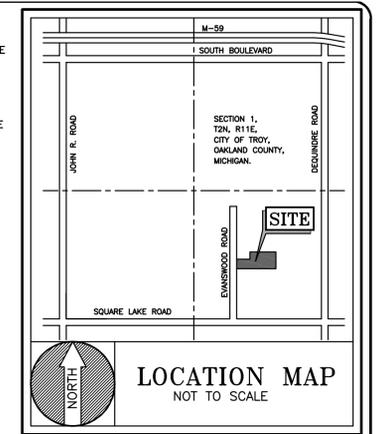


BENCHMARKS:

BENCHMARK #1 - BM 0381
MIN IN MUELLER ON HYDRANT #12-6 AT THE
WEST PROPERTY LINE OF HOUSE #2626
SQUARE LAKE (FROM DEQUINDRE TO WILLOW
GROVE).
ELEV. 666.29 NAD88
BENCHMARK #2 - BM 0380
"W" IN WATER ON GATE IN WELL SOUTH SIDE
OF SQUARE LAKE ROAD AT HOUSE #2626
SQUARE LAKE
ELEV. 663.84 NAD88

SITE BENCHMARKS:

SITE BM #1 (SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON
THE EAST SIDE OF EVANSWOOD ROAD,
±50 SOUTH OF PROPERTY LINE
ELEV. 662.74
SITE BM #2 (NOT SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON
THE EAST SIDE OF EVANSWOOD ROAD,
±255 NORTH OF PROPERTY LINE
ELEV. 662.74



LEGEND

- IRON FOUND
- IRON SET
- ⊙ MONUMENT FOUND
- ⊙ MONUMENT SET
- ⊙ SEC. CORNER
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- FENCE LINE
- OVERHEAD WIRES
- CONTOUR
- TREE / BRUSH LINE
- UTILITY POLE
- SIGN
- MAILBOX
- TRENCH
- TRENCH
- TRANSFORMER
- TELEPHONE MANHOLE

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20-01-428-100

3.376 ACRE PARCEL (PARCEL I.D. NO. 88-20-001-476-063)
PARCEL OF LAND LOCATED IN THE WEST 1/2 OF THE SOUTHEAST 1/4 OF
SECTION 1, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND
COUNTY, MICHIGAN.

BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHEAST
CORNER OF SAID SECTION 1; THENCE N88°31'19"W 1307.38 FEET ALONG THE
SOUTH LINE OF SAID SECTION 1 TO THE SOUTHEAST CORNER OF THE WEST
1/2 OF THE SOUTHEAST 1/4 OF SECTION 1; THENCE NORTH 1605.53 FEET
(RECORDED) N00°3'23"W 1605.55 FEET (MEASURED) TO THE POINT OF
BEGINNING; THENCE EXTENDING NORTH 317.51 FEET (RECORDED)
N00°4'40"W 315.91 FEET (MEASURED) ALONG THE WEST LINE OF "WARWICK
WOODS SUB" AS RECORDED IN L. 223 ON PAGE 17-20, OAKLAND COUNTY
RECORDS AND "ROYAL WOODS SUB" RECORDED IN LIBER 241 ON PAGE
19-21 OAKLAND COUNTY RECORDS; THENCE WEST 293.89 FEET (RECORDED)
S88°49'02"W 293.90 FEET (MEASURED) ALONG THE SOUTH LINE OF "TRANIERI
SUB" AS RECORDED IN LIBER 142 ON PAGE 25-26, OAKLAND COUNTY
RECORDS; THENCE SOUTH (RECORDED) S00°05'51"W (MEASURED) 146.22
FEET; THENCE WEST (RECORDED) S88°49'02"W (MEASURED) 329.99 FEET;
THENCE SOUTH 164.37 FEET (RECORDED) S00°05'51"W 163.53 FEET
(MEASURED) ALONG THE EASTERLY RIGHT OF WAY LINE OF "EVANSWOOD
ROAD" (60 FEET WIDE); THENCE EAST 624.85 FEET (RECORDED) N89°23'03"E
624.75 FEET (MEASURED) TO THE POINT OF BEGINNING; CONTAINING 3.376
ACRES OF LAND

SUBJECT TO THE RIGHTS OF THE PUBLIC AND EVANSWOOD ROAD.
ALSO SUBJECT TO ANY EASEMENTS AND OR RIGHTS OF WAY RECORDED OR
OTHERWISE.

WITNESSES:
PROPERTY CONTROLLING CORNER, PK. NAIL AND TAG IN CENTERLINE OF
SQUARE LAKE ROAD.
N33°E. FOUND IRON (IN MON. BOX) M-02
S59°E. CENTER TOP NUT ON HYDRANT 92.60'
S28°W. CENTER OF GATE VALVE AND WELL 48.60'
EAST REMON DISK IN MONUMENT BOX 34.45'
NORTH FOUND IRON 59.48'
S11°E. PK. NAIL IN FENCE POST 64.54'

SOUTH 1/4 CORNER SECTION 1, T2N, R11E.
S60°E. PK. NAIL & TAG STAMPED "OAKLAND CO. P. POLE 135.65"
S49°W. PK. NAIL & TAG STAMPED "OAKLAND CO. P. POLE 80.18"
S74°E. PK. NAIL & TAG STAMPED "OAKLAND CO. 6" MAPLE TREE 101.08"

CENTER CORNER SECTION 1, T2N, R11E.
1/2" RE-ROD L-02
N10°W, 56.18' PK. NAIL W/ WASHER IN W-FACE 24" BEECH
S30°E, 18.86' PK. NAIL W/ WASHER IN W-FACE 10" ELM
SOUTH, 15.14' CITY OF TROY RE-ROD
S20°W, 11.46' PK. NAIL W/ WASHER IN E-FACE 6" ELM
N70°W, 11.81' PK. NAIL W/ WASHER IN S-FACE 10" TREE

EAST 1/4 CORNER SECTION 1, T2N, R11E.
(REMON IRON IN MON. BOX) M-02
PK NAIL & TAG STAMPED "OAKLAND CO. REMON. P.S. #25854" IN NW
FACE OF UTILITY POLE N20°E 166.66'
PK NAIL & TAG STAMPED "OAKLAND CO. REMON. P.S. #25854" IN N FACE
UTILITY POLE N90°E 42.19'
PK NAIL & TAG STAMPED "OAKLAND CO. REMON. P.S. #25854" IN W
FACE UTILITY POLE S10°E 180.82'
TOP CENTER NUT HYDRANT N25°W 95.02'

SE. CORNER SECTION 1, T2N, R11E.
REMON IRON IN MON BOX
N60°W, 82.27' PK. NAIL & TAG IN UTILITY POLE
N50°E, 58.80' PK. NAIL & TAG IN UTILITY POLE
S35°E, 67.92' PK. NAIL & TAG IN UTILITY POLE
S45°W, 71.03' PK. NAIL & TAG UTILITY POLE

DONALD H. KING, P.S. 30085
FAZAL KHAN AND ASSOCIATES, INC.
43279 SCHOENHERR ROAD
STERLING HEIGHTS, MICHIGAN 48313
1-586-739-8007

THIS PROPERTY LIES WITHIN AN AREA DESIGNATED AS ZONE X, (AREA
DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN)
AS DEPICTED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO.
26125C0551F PANEL 551 OF 704, DATED SEPTEMBER 29, 2006, PROVIDED
BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

CALL 811
BEFORE YOU DIG
1-800-487-7171
CALL811.COM (TOLL FREE)

BY: MAJEL	DATE: 9-17-13	REVISIONS:
REMARKS: PER CITY REVIEW		

REVISIONS

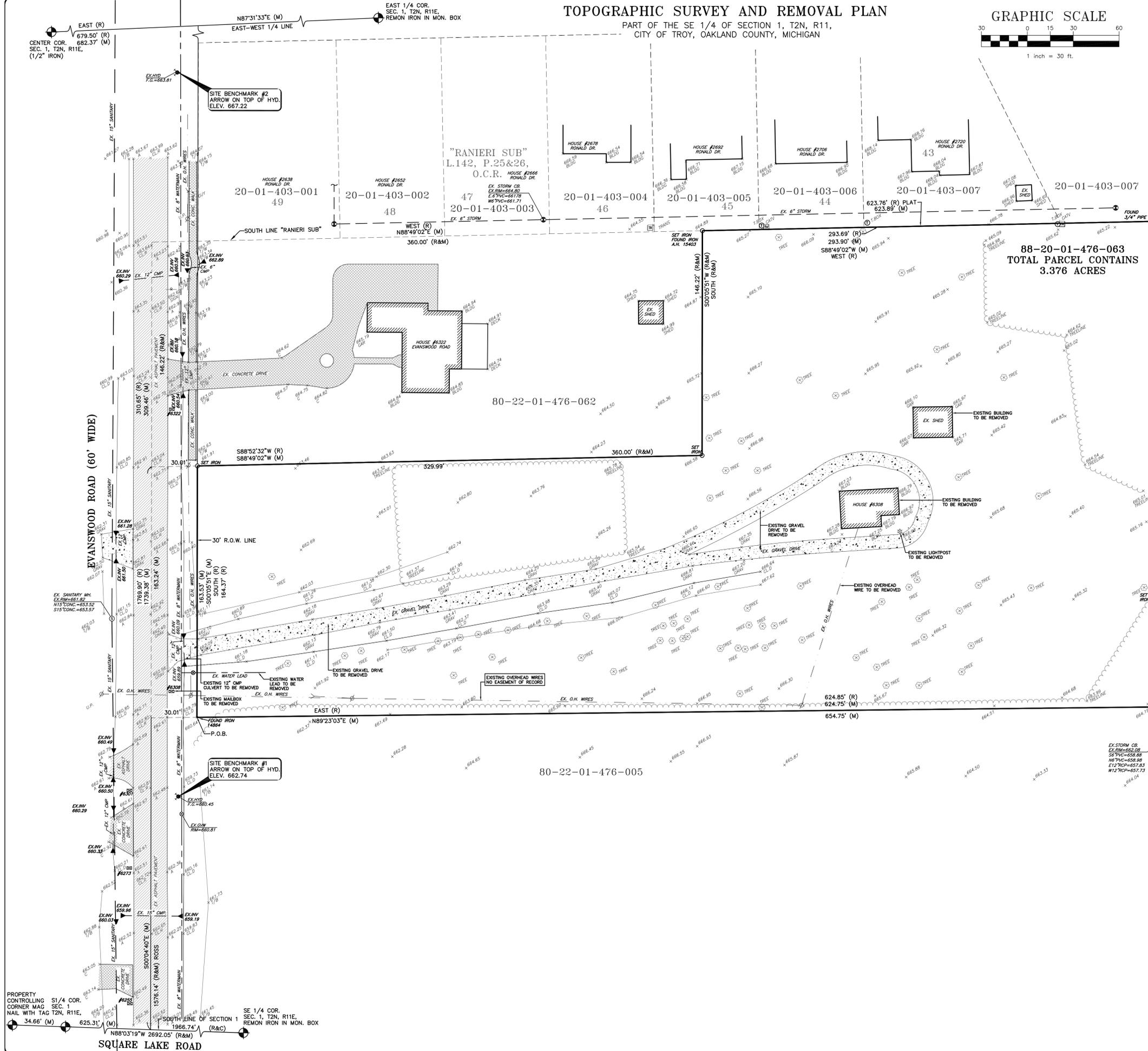
**BROOKE VIEW
SITE CONDOMINIUM**
PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
26125 SCHOENHERR ROAD
STERLING HEIGHTS, MI 48313
WWW.FAZALKHAN.COM

**TOPOGRAPHIC
SURVEY AND
REMOVAL PLAN**

PROJECT NO. FIELD BOOK	13-021	XXX
BROOKE VIEW DEVELOPMENT, INC.	DATE	7-11-13
CLIENT	DRAWN BY	OP.
SCALE 1" = 30'	CHECKED BY	PK.

SHEET NO. **2**



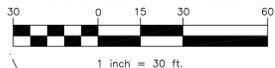
PROPERTY CONTROLLING CORNER SECTION 1, T2N, R11E.
N34°56'00"E 625.31' (M)
N88°03'19"W 2692.05' (R&M)
1966.74' (R&C)
SE 1/4 COR. SEC. 1, T2N, R11E.
REMON IRON IN MON. BOX

SQUARE LAKE ROAD

PRELIMINARY UTILITY AND GRADING PLAN

PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

GRAPHIC SCALE

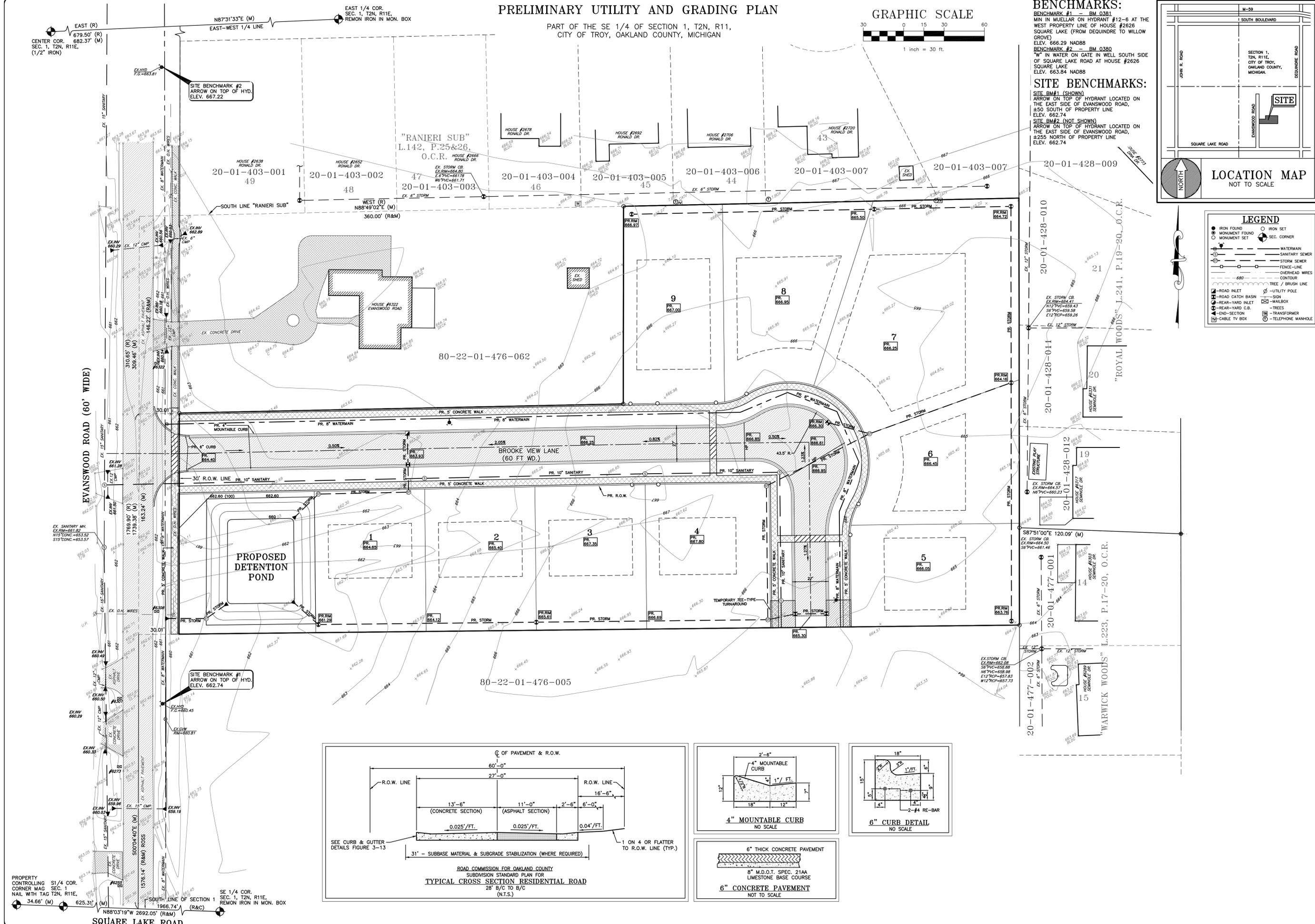
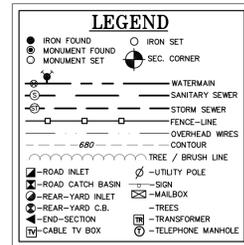
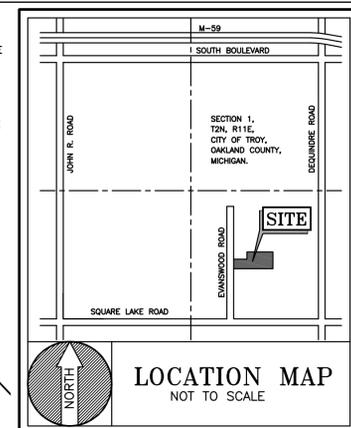


BENCHMARKS:

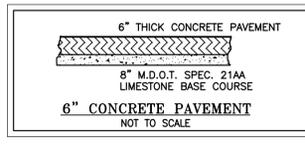
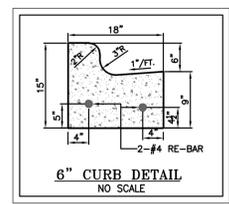
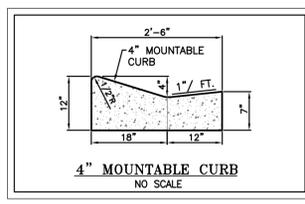
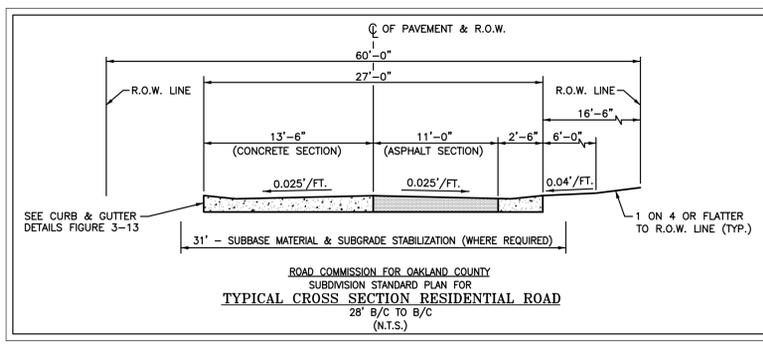
BENCHMARK #1 - BM 0381
MIN IN MUELLER ON HYDRANT #12-6 AT THE WEST PROPERTY LINE OF HOUSE #2626 SQUARE LAKE (FROM DEQUINDRE TO WILLOW GROVE).
ELEV. 666.29 NAD88
BENCHMARK #2 - BM 0380
"W" IN WATER ON GATE IN WELL SOUTH SIDE OF SQUARE LAKE ROAD AT HOUSE #2626 SQUARE LAKE
ELEV. 663.84 NAD88

SITE BENCHMARKS:

SITE BM #1 (SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON THE EAST SIDE OF EVANSWOOD ROAD, ±50 SOUTH OF PROPERTY LINE
ELEV. 662.74
SITE BM #2 (NOT SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON THE EAST SIDE OF EVANSWOOD ROAD, ±255 NORTH OF PROPERTY LINE
ELEV. 662.74



PROPERTY CONTROLLING S1/4 COR. CORNER MAG SEC. 1 NAIL WITH TAG T2N, R11E, 34.66' (M) 625.31' (M) N88°03'19" W 2692.05' (R&M) 1576.14' (R&M) ROSS 500'04.40'E (M) 1966.74' (R&C) SE 1/4 COR. SEC. 1, T2N, R11E, REMON IRON IN MON. BOX



REVISIONS

DATE:	9-17-13	REVISION:	REVISED PER CITY REVIEW
BY:	MAJEL	DATE:	
REMARKS:		DATE:	

BROOKE VIEW SITE CONDOMINIUM
PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
1800 STANBURY ROAD, SUITE 100, TROY, MI 48063
WWW.FAZALKHAN.COM

PRELIMINARY UTILITY AND GRADING PLAN

PROJECT NO. FIELD BOOK	13-021	XXX
CLIENT	BROOKE VIEW DEVELOPMENT, INC.	
DATE	7-11-13	
DRAWN BY	OP.	CHECKED BY: P.K.
SCALE	1" = 30'	

SHEET NO. **5**

PRELIMINARY LANDSCAPE PLAN

PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

GRAPHIC SCALE

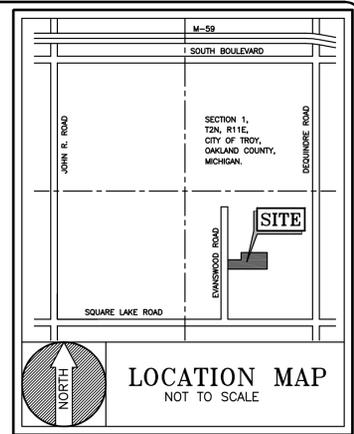


BENCHMARKS:

BENCHMARK #1 - BM 0381
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ELEV. 666.29 NAD88
BENCHMARK #2 - BM 0380
"W" IN WATER ON GATE IN WELL SOUTH SIDE OF SQUARE LAKE ROAD AT HOUSE #2626 SQUARE LAKE
ELEV. 663.84 NAD88

SITE BENCHMARKS:

SITE BM#1 (SHOWN)
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ELEV. 662.74
SITE BM#2 (NOT SHOWN)
ARROW ON TOP OF HYDRANT LOCATED ON THE EAST SIDE OF EVANSWOOD ROAD, ±255 NORTH OF PROPERTY LINE
ELEV. 662.74



LEGEND

- IRON FOUND MONUMENT FOUND
- IRON SET MONUMENT SET
- SEC. CORNER
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- FENCE LINE
- OVERHEAD WIRES
- CONTOUR
- TREE / BRUSH LINE
- UTILITY POLE
- SIGN
- MAILBOX
- REAR-YARD C.B.
- TREES
- TRANSFORMER
- TELEPHONE MANHOLE
- ROAD INLET
- REAR-YARD INLET
- REAR-YARD C.B.
- END-SECTION
- CABLE TV BOX

MAINTENANCE, INSTALLATION AND IRRIGATION

Landscape plantings shall be installed between April 1 and November 15, in a sound, workman like manner and according to accepted good planting procedures. Maintenance of required plantings by the owner shall be carried out so as to present a healthy, neat and orderly appearance, free from refuse and debris and according to city ordinance requirements. All unhealthy and dead material shall be replaced within one (1) year, or the next appropriate planting period, whichever comes first. All landscaped areas shall be provided with an underground irrigation system. Tree stakes and guy wires to be removed after one year; tree wraps to be removed after one winter season. Trees shall be guaranteed for two growing seasons after installation.

IRRIGATION

All landscape areas shall be automatically irrigated with an underground irrigation system.

PLANTING SCHEDULE:

QUANTITY	SYMBOL	BOTANICAL NAME COMMON NAME	SIZE CONDITION
8	SL	TILIA AMERICANA 'MCKSENTRY' Sentry Linden	2.5" CAL. B&B
7	A	AMELANCHIER 'AUTUMN BRILLIANCE' SERVICEBERRY	2" CAL. P&B
12	MM	ACER x FREEMANII 'MARMO' MARMO MAPLE	2.5" CAL. P&B
5	RB	BETULA NIGRA 'HERITAGE' HERITAGE RIVERBIRCH (MULTI-STEM)	2.5" CAL. P&B
8	WS	Picea glauca white spruce	6' HGT. B&B
10	○	VIBURNUM MARIESII DOUBLEFILE VIBURNUM	18-24" B&B
32	○	IRISH JUNIPER (IF SIDEWALK WAIVER IS GRANTED)	5'-6" HGT. B&B

GREENBELT LANDSCAPE REQUIREMENTS:

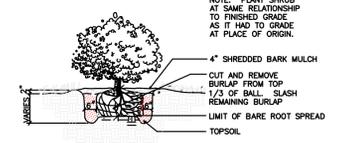
1 Tree per 30 lineal feet along greenbelt; approximately 170 lineal feet of greenbelt
170 LF/1 Tree per 30LF = 5.6 Trees = 6 Trees Required. 6 Trees Proposed.

BROOKE VIEW FRONTAGE STREET TREE REQUIREMENTS:

1 Tree per 50 lineal feet of street frontage; approximately 550 LF of street frontage on the north side and 550 LF of street frontage on the south side.
1,200 LF/1 Tree per 50LF = 24 Trees. 24 Trees Proposed.

LEGEND:

- IRRIGATED SEED AND MULCH
- DETENTION SEED MIX
- LIMITS OF CONSTRUCTION



SHRUB PLANTING DETAIL

no scale

GRISSIM METZ ASSOCIATES ANDRIESE
300 East Galy Street
Northville, MI 48167
Ph: 248-347-7010

STATE OF MICHIGAN
THERESA L. PARDINGTON
Landscape Architect
No. 1387

TREE PLANTING DETAIL

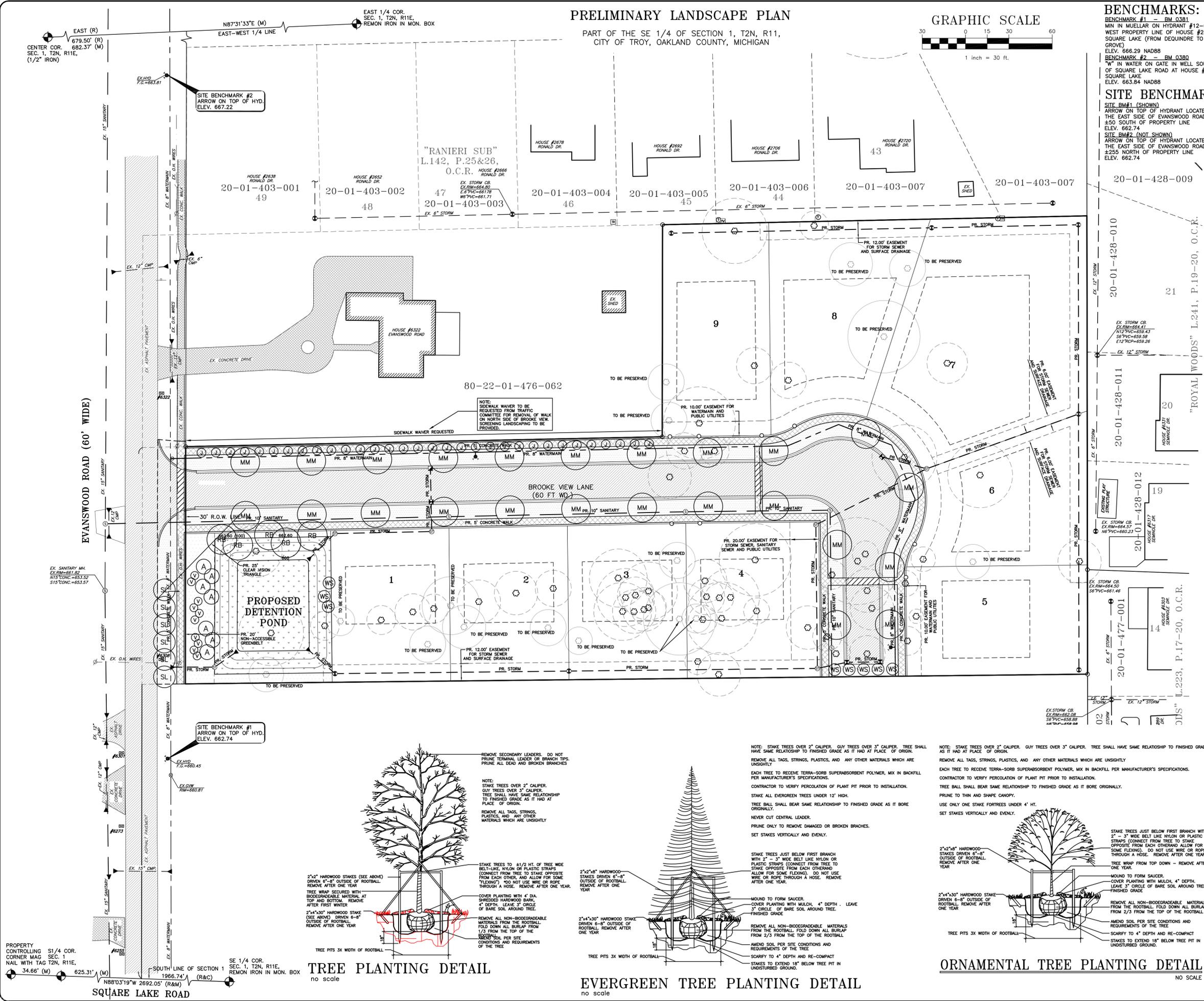
no scale

EVERGREEN TREE PLANTING DETAIL

no scale

ORNAMENTAL TREE PLANTING DETAIL

NO SCALE



PROJECT NO. 13-021-XXX
CLIENT: BROOKE VIEW DEVELOPMENT, INC.
DATE: 7-11-13
DRAWN BY: []
CHECKED BY: []
SCALE: 1" = 30'

PRELIMINARY []
CONSTRUCTION []
AS-BUILT []

REVISIONS

DATE: 9-17-13
REVISED PER CITY REVIEW

BY: M.A.B.

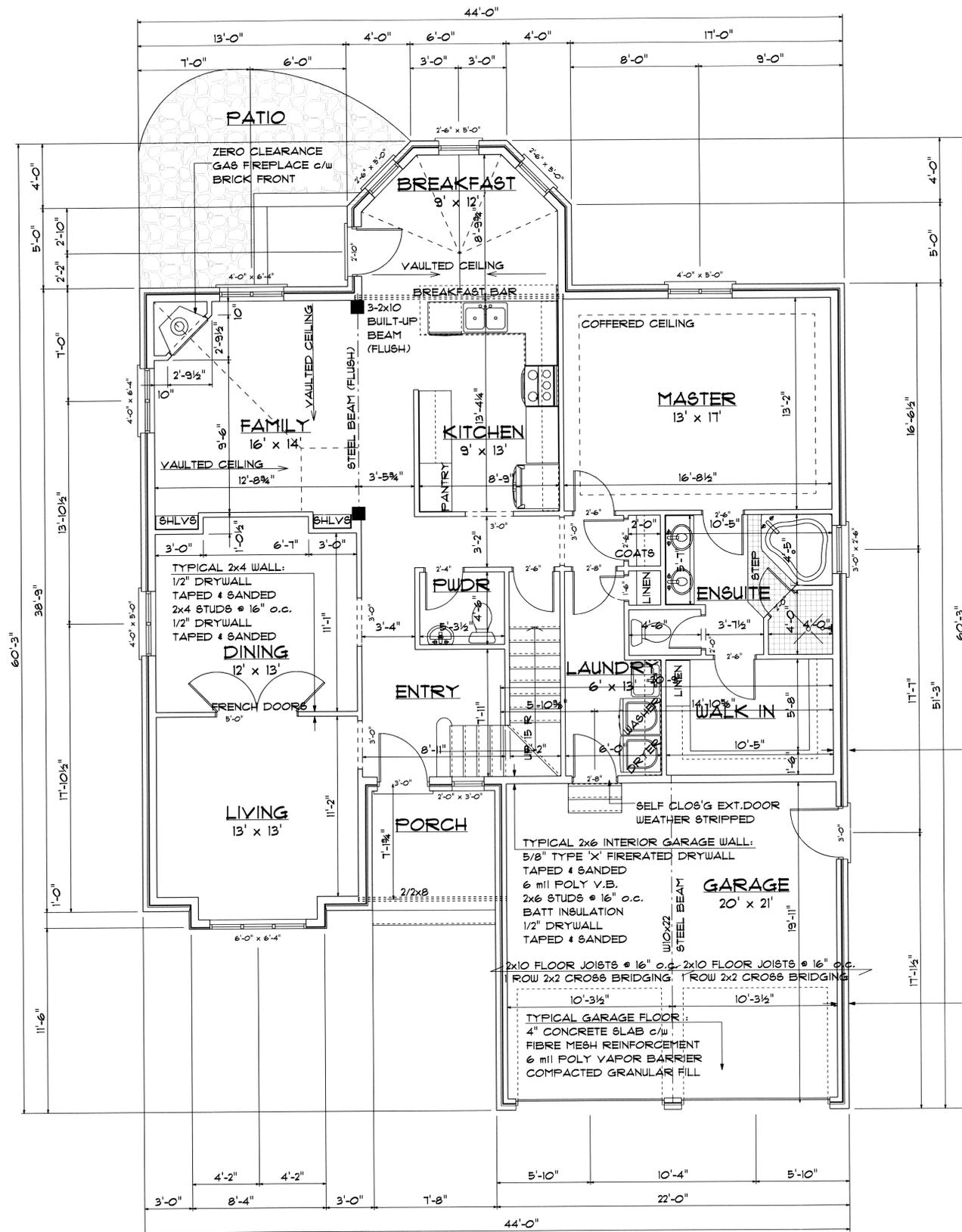
REMARKS:
CALL MISS (810) 722 HOURS (8 AM WORKING DAYS)
811
1-800-482-1717
CALL 811.COM (TOLL FREE)

FAZAL KHAN & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
43279 SUDBOROUGH STERLING HEIGHTS, MI 48133
PHONE (561) 739-9007 FAX (561) 739-9984
WWW.FAZALKHAN.COM

BROOKE VIEW SITE CONDOMINIUM
PART OF THE SE 1/4 OF SECTION 1, T2N, R11,
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PRELIMINARY LANDSCAPE PLAN

SHEET NO. 6



POLYARCH INC.
 CLINTON TWP. MI 48036
 588.468.4790 588.468.7659 (F)

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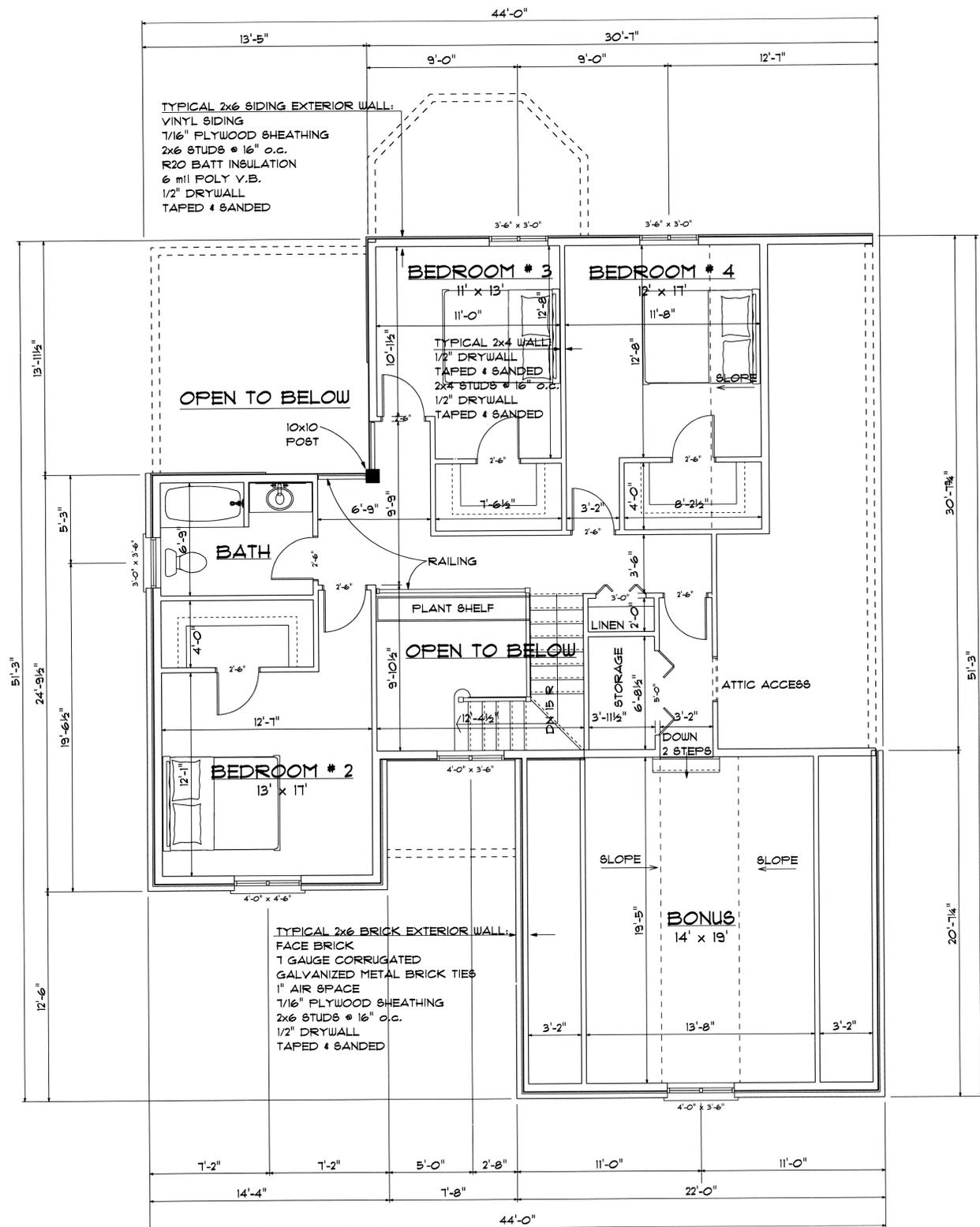
ARCHITECT:

CLIENT: COMMERCIAL MAINTENANCE SUPPLY
 950 W. 11 MILE RD
 MADISON HTS. MI 48071

PROJECT: BROOKVIEW DEVELOPMENT
 BROOKVIEW LANE (FORMELY 6508 EVANSWOOD)
 LOTS 1-9
 TROY, MI

DATE: 9-10-13
 PROJECT #: 13-052
 DRAWN BY: EKH
 CHECKED BY: BEI

SHEET #:



2ND FLOOR PLAN
 1333.4 sq ft.

POLYARCH INC.
 4445 GRATIOT
 CLINTON TWP., MI 48038
 588.484790 586.681758 (F)

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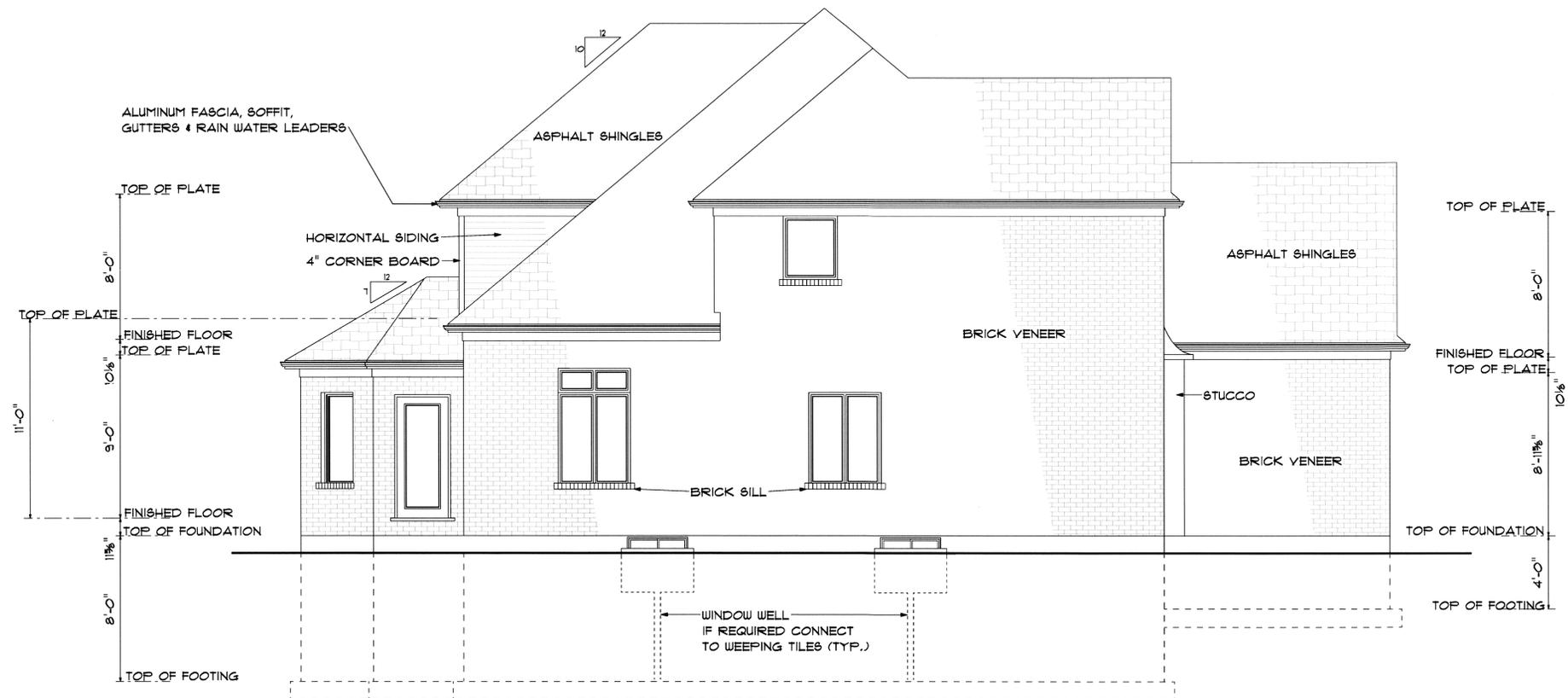
ARCHITECT:

CLIENT: COMMERCIAL MAINTENANCE SUPPLY
 930 W. 11 MILE RD
 MADISON HTS, MI 48071

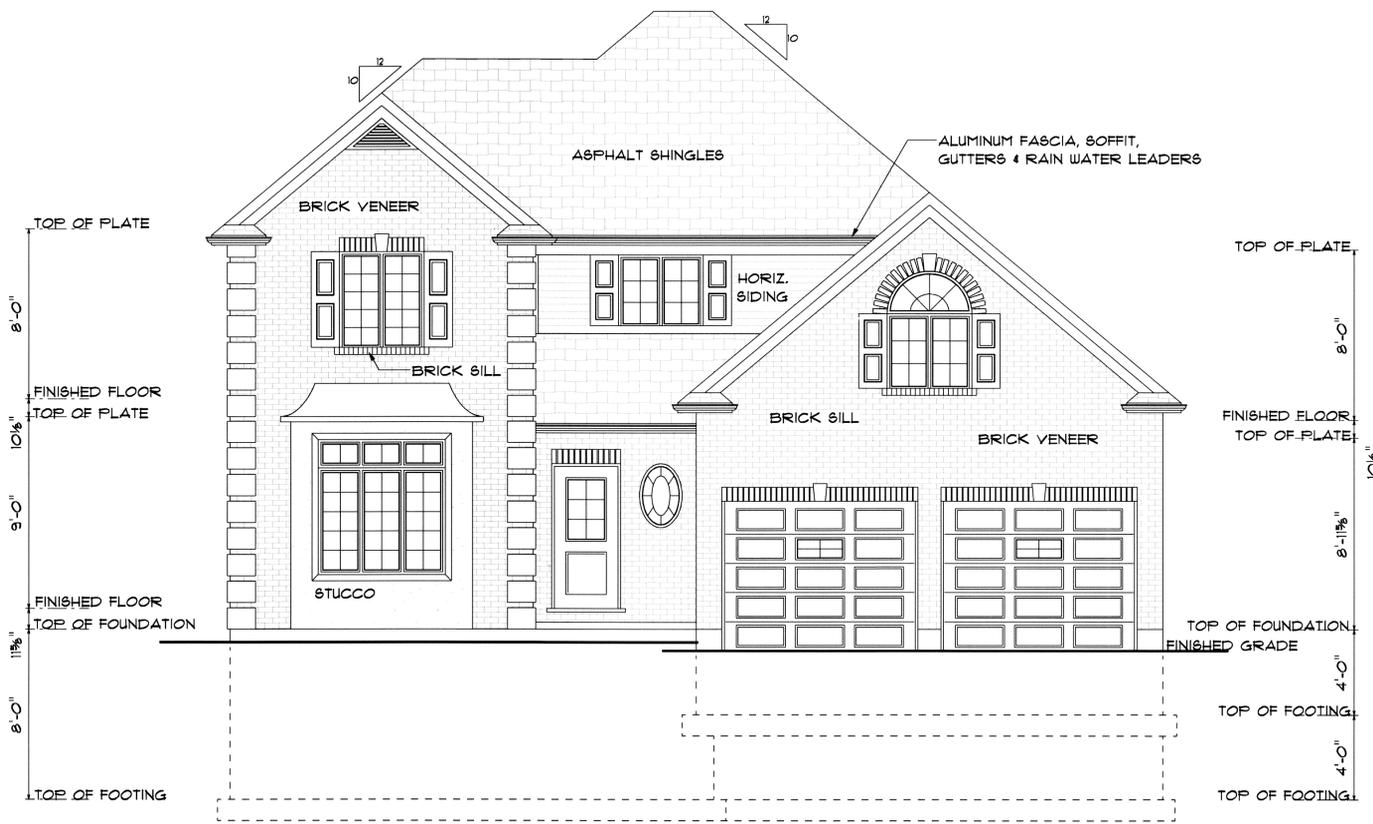
PROJECT: BROOKVIEW DEVELOPMENT
 BROOKVIEW LANE (FORMERLY 6308 EVANSWOOD)
 LOTS 1-3
 TROY, MI

DATE: 9-10-13
 PROJECT #: 13-052
 DRAWN BY: EKH
 CHECKED BY: BEI
 REVISION

SHEET #:



LEFT ELEVATION



FRONT ELEVATION

POLYARCH INC.

44045 GRATIOT
CLINTON TWP., MI 48036
586-488-4790 586-488-7899 (F)

ARCHITECT:

CLIENT: COMMERCIAL MAINTENANCE SUPPLY
930 W. 11 MILE RD
MADISON HTS, MI 48071

PROJECT: BROOKVIEW DEVELOPMENT
BROOKVIEW LANE (FORMERLY 6308 EVANSWOOD)
LOTS 1-3
TROY, MI

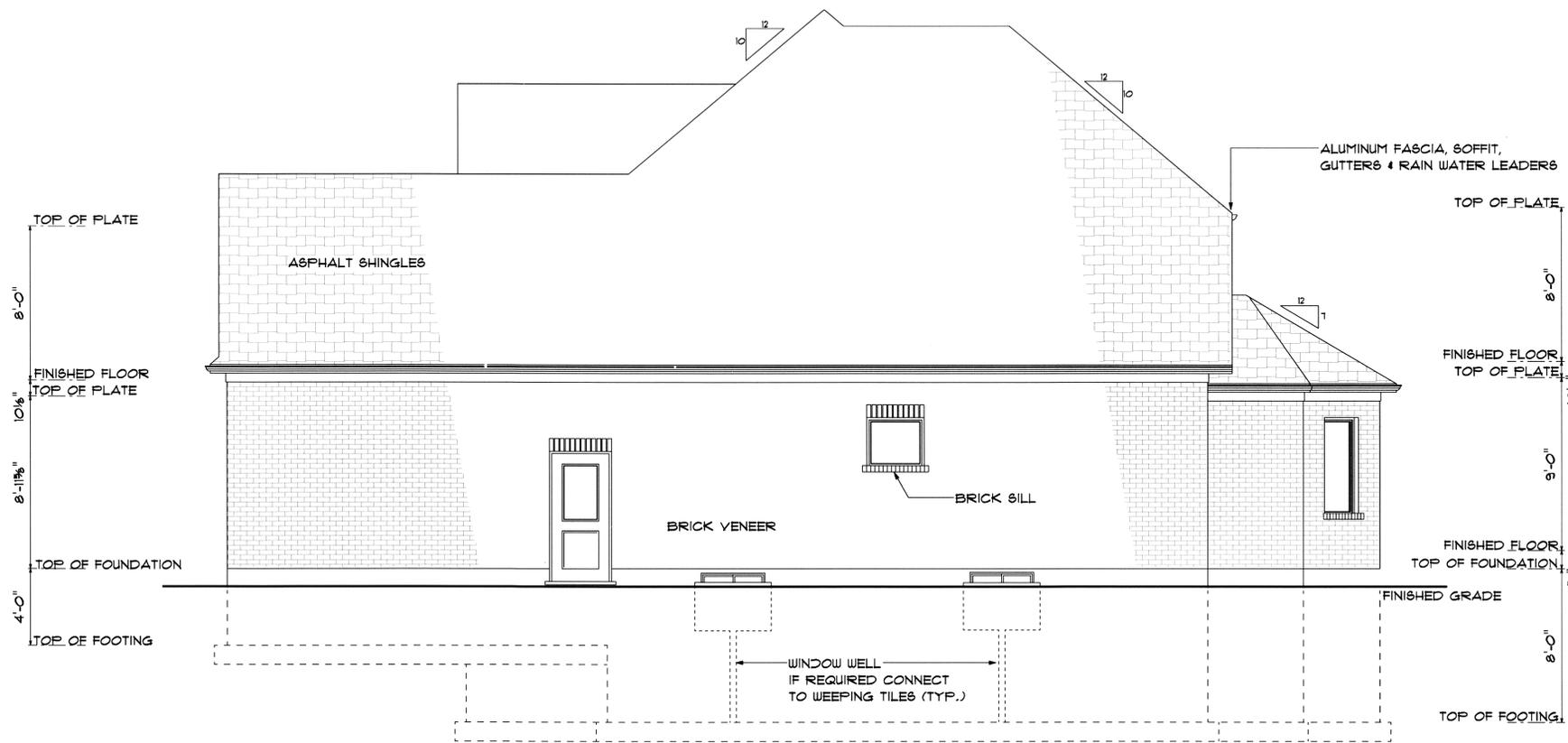
DATE: 9-10-13

PROJECT # 13-052

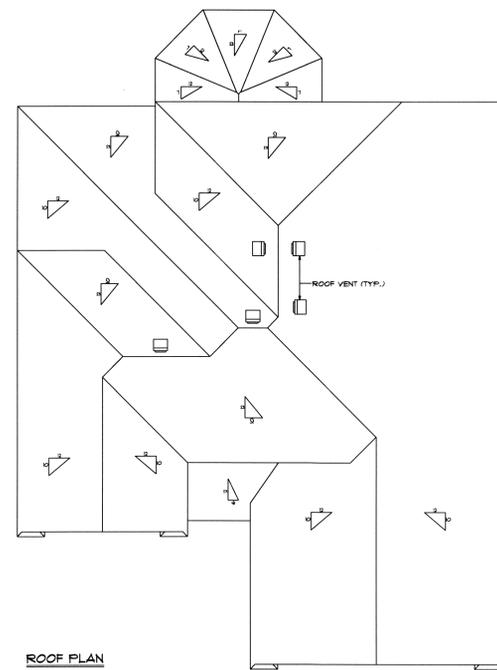
DRAWN BY: EKH

CHECKED BY: BEI

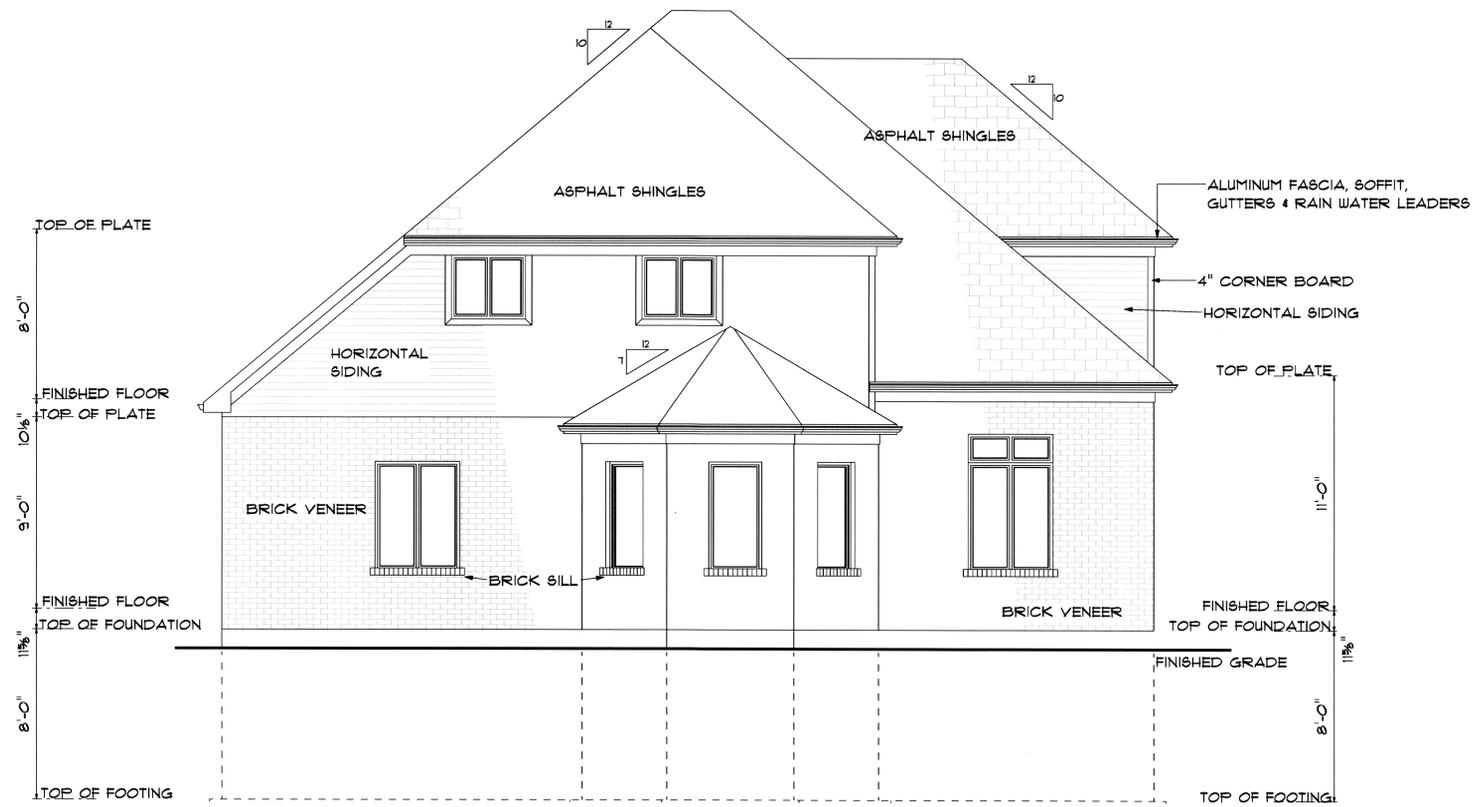
SHEET #:



RIGHT ELEVATION



ROOF PLAN



REAR ELEVATION

POLYARCH INC.

4045 GRATIOT
CLINTON TWP. MI 48036
588.488.4790 588.488.7559 (F)
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930 W. 11 MILE RD
MADISON HTS, MI 48071

PROJECT: BROOKVIEW DEVELOPMENT
BROOKVIEW LANE (FORMERLY 6308 EVANSWOOD)
LOTS 1-9
TROY, MI

DATE: 9-10-13

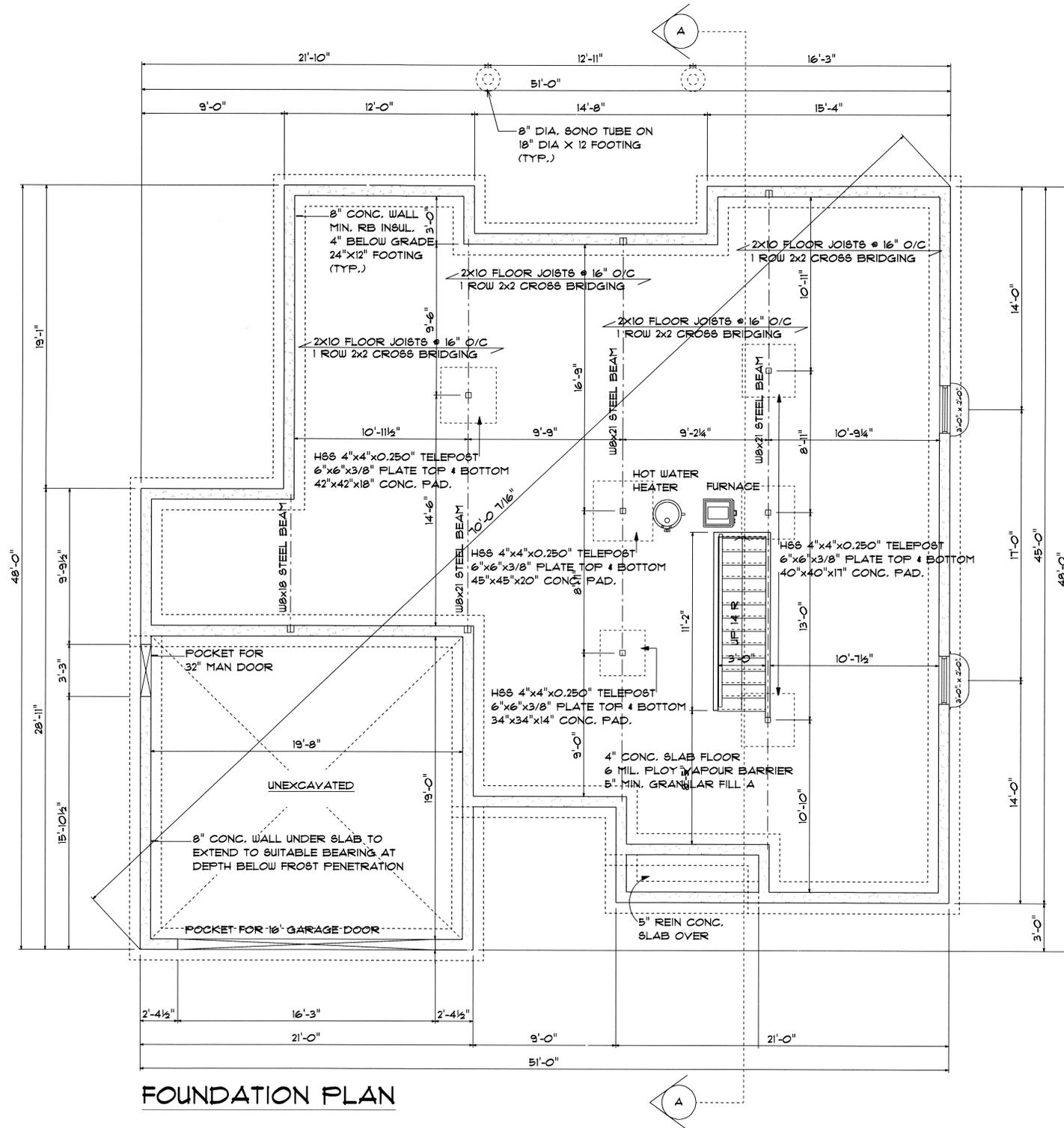
PROJECT #: 13-052

DRAWN BY: EKH

CHECKED BY: BEI

REVISION

SHEET #:



FOUNDATION PLAN

DATE: 9-10-13
 PROJECT #: 13-052
 DRAWN BY: EKH
 CHECKED BY: BEI
 REVISION:

SHEET #:

CLIENT: COMMERCIAL MAINTENANCE AND SUPPLY
 990 W. 11 MILE RD.
 MADISON HTS., MI 48071

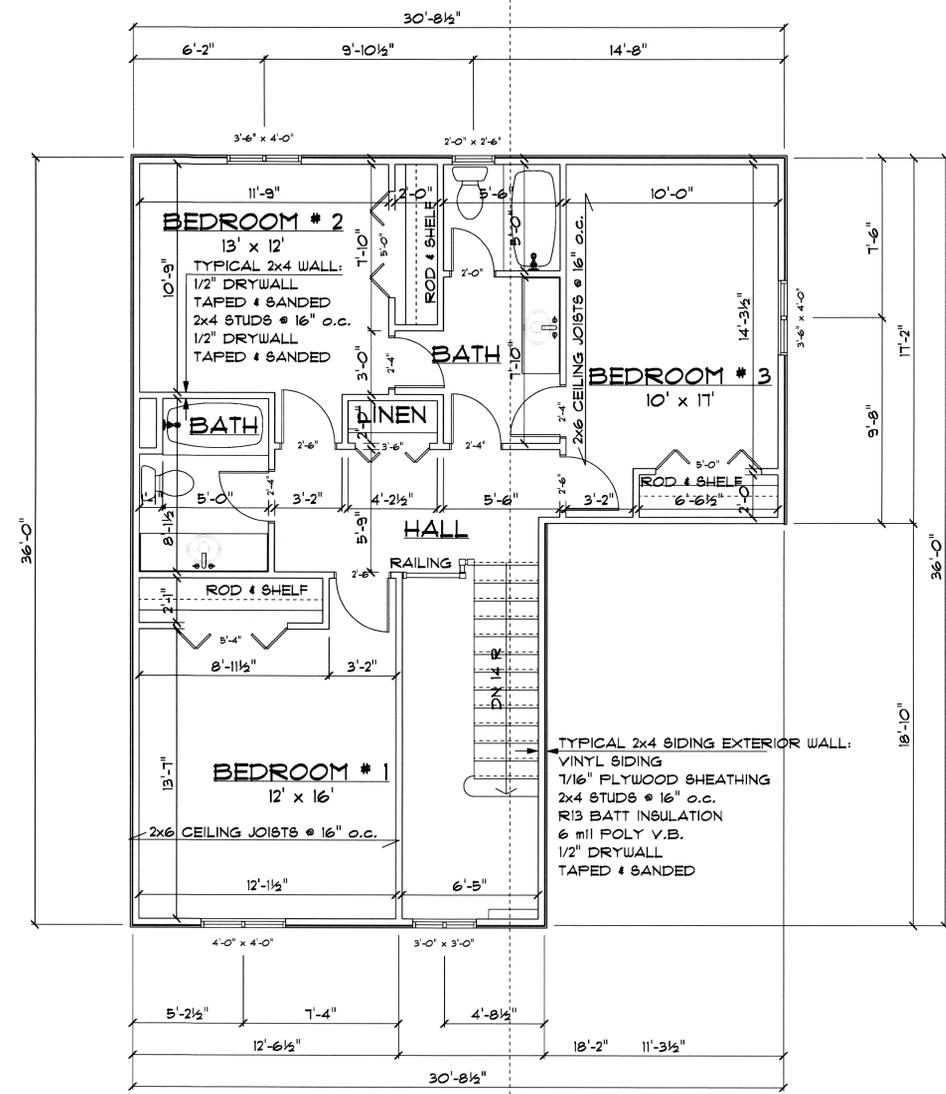
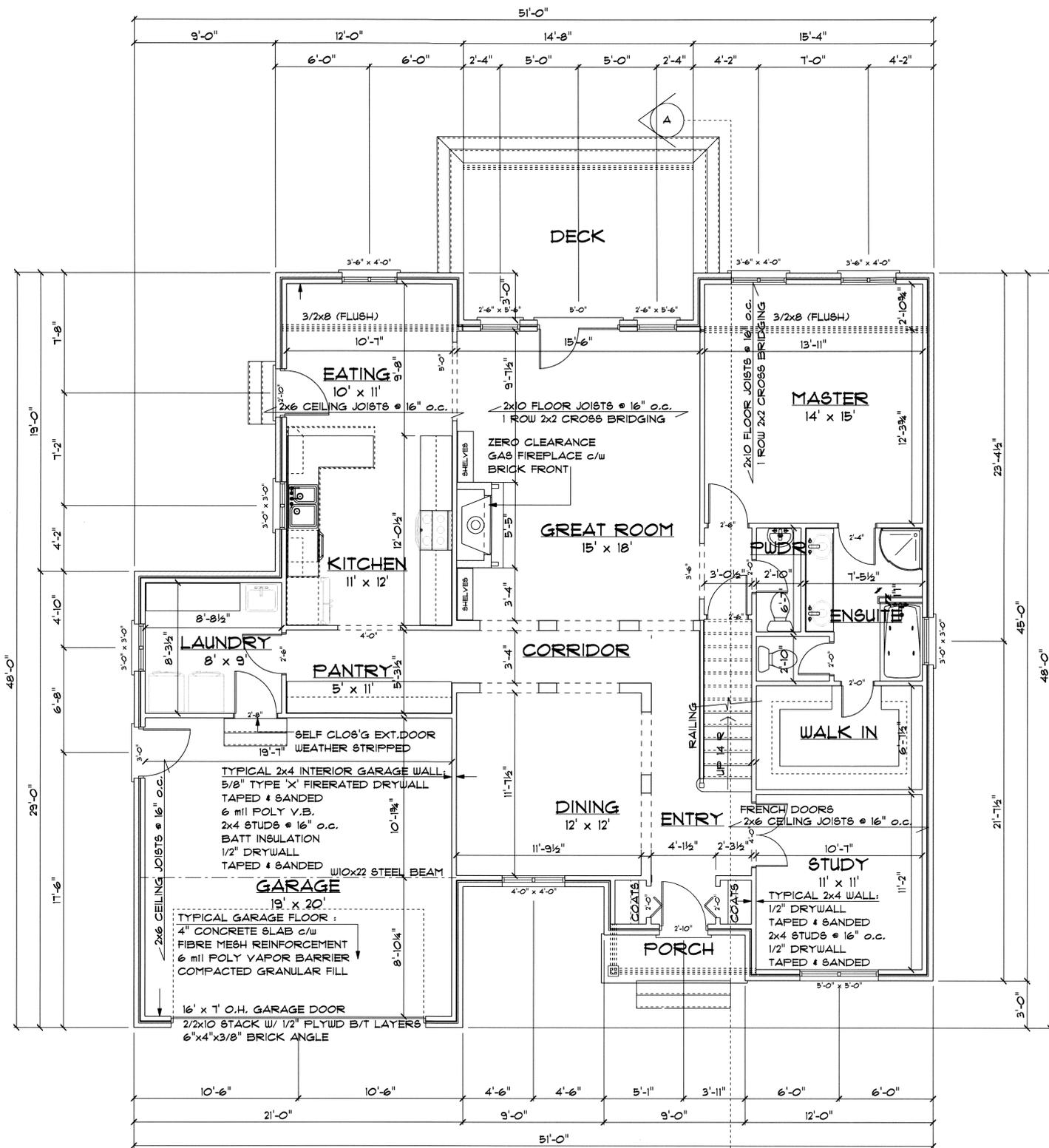
PROJECT: BROOKVIEW DEVELOPMENT
 BROOKVIEW LANE (FORMERLY 6308 EVANGUOOD)
 LOTS 1-3
 TROY, MI

ARCHITECT:

POLYARCH INC.

4045 GRATIOT
 CLINTON TWP., MI 48035
 588-468-1750 388-661-7559 (F)

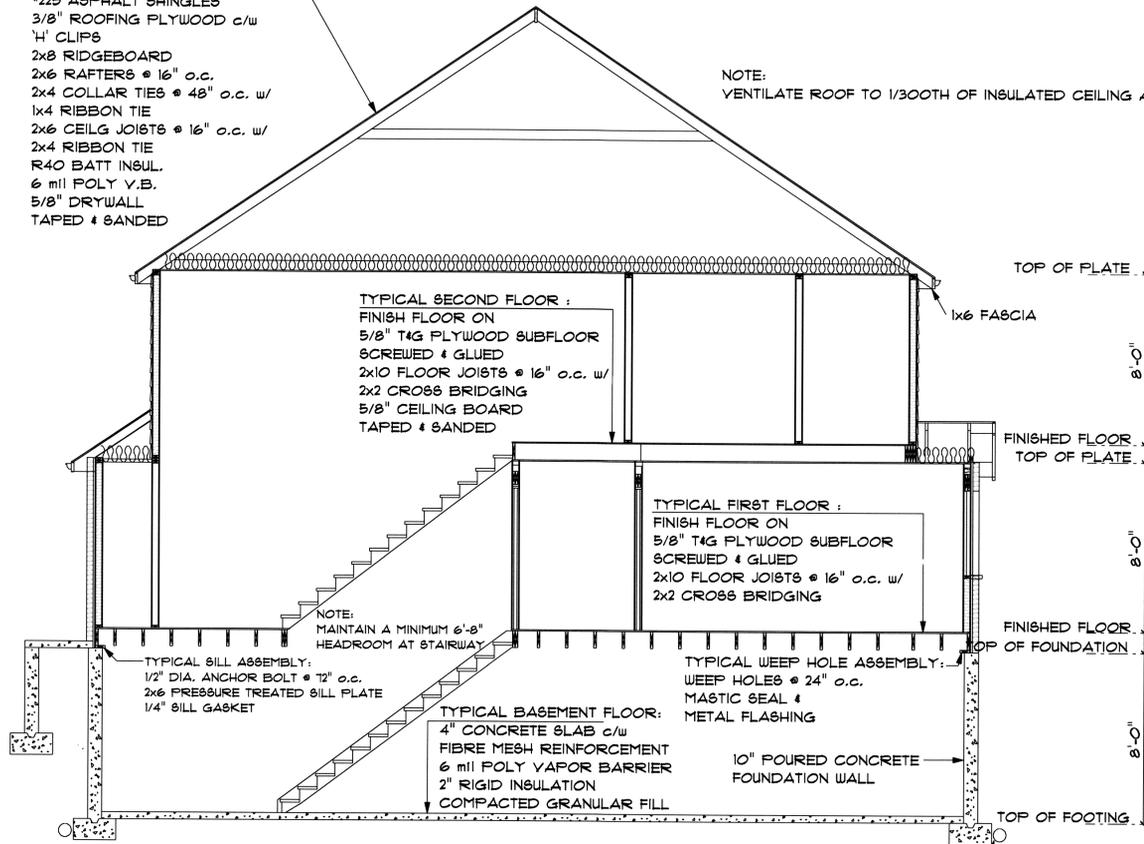
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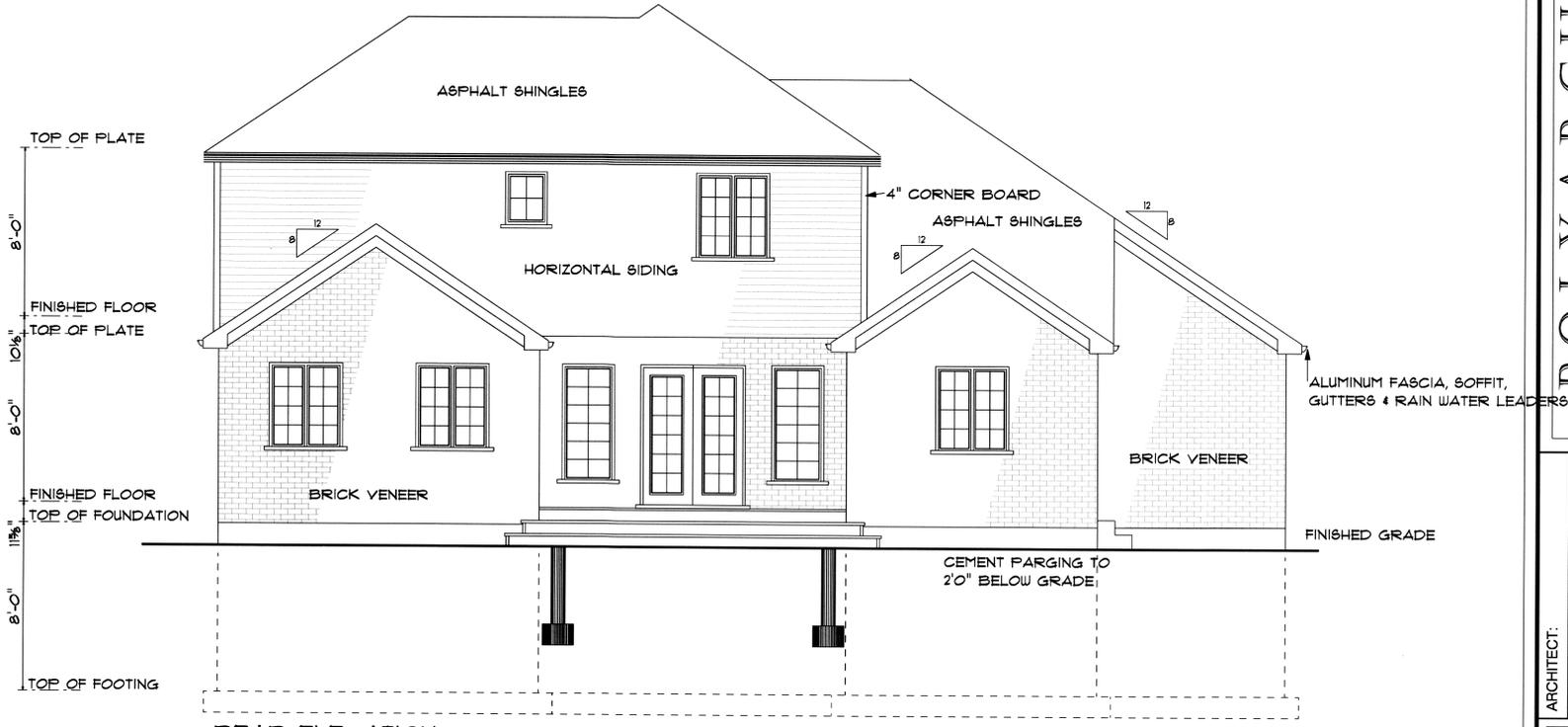
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<small>4045 GRATIOT RD CLINTON TWP MI 48038 588-484720 588-488789 (F)</small>	
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ARCHITECT:	
CLIENT:	COMMERCIAL MAINTENANCE AND SUPPLY 930 W. 11 MILE RD MADISON HTS, MI 48071
PROJECT:	BROOKVIEW DEVELOPMENT BROOKVIEW LANE (FORMERLY 6308 EVANSWOOD) LOTS 1-3 TROY, MI
DATE:	9-10-13
PROJECT #:	13-032
DRAWN BY:	EKH
CHECKED BY:	BEI
REVISION:	
SHEET #:	

TYPICAL FRAME ROOF:
 #25 ASPHALT SHINGLES
 3/8" ROOFING PLYWOOD c/w
 1" CLIPS
 2x8 RIDGEBOARD
 2x6 RAFTERS @ 16" o.c.
 2x4 COLLAR TIES @ 48" o.c. w/
 1x4 RIBBON TIE
 2x6 CEILG JOISTS @ 16" o.c. w/
 2x4 RIBBON TIE
 R40 BATT INSUL.
 6 mil POLY V.B.
 5/8" DRYWALL
 TAPED & SANDED

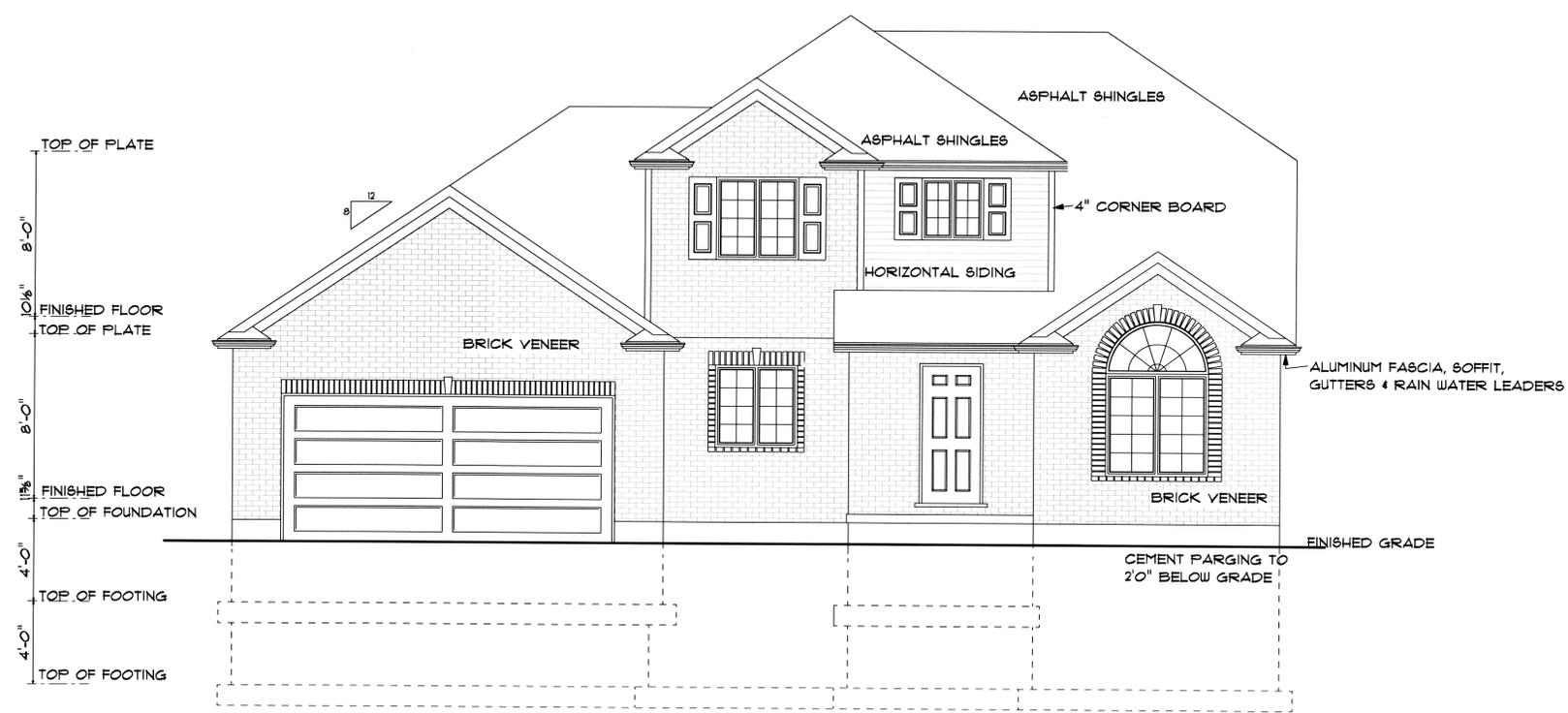
NOTE:
 VENTILATE ROOF TO 1/300TH OF INSULATED CEILING AREA



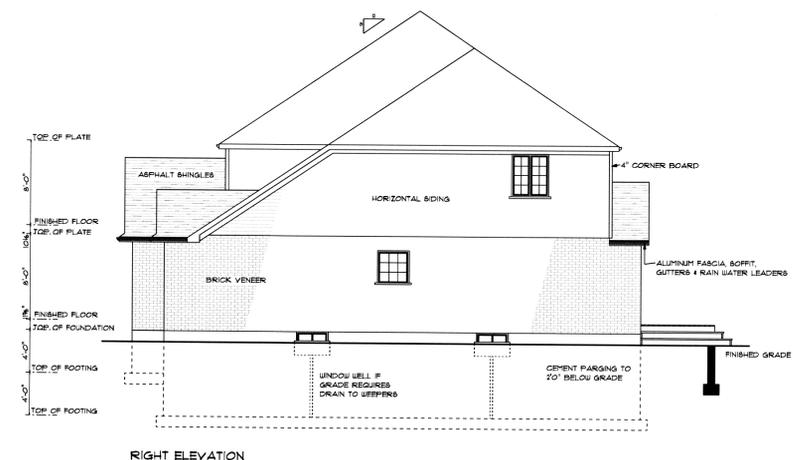
CROSS SECTION A-A



REAR ELEVATION



FRONT ELEVATION



RIGHT ELEVATION

POLY ARCH INC.

4445 GRATIOT
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ARCHITECT: POLY ARCH INC.

CLIENT: COMMERCIAL MAINTENANCE AND SUPPLY
 930 W. 11 MILE RD
 MADISON HTS, MI 48071

PROJECT: BROOKVIEW DEVELOPMENT
 BROOKVIEW LANE (FORMERLY 6308 EVANSWOOD)
 LOTS 1-5
 TROY, MI

DATE: 9-10-13
 PROJECT #: 13-052
 DRAWN BY: EKH
 CHECKED BY: BEI
 REVISION

SHEET #: