

PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
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planning@troymi.gov

Michael W. Hutson, Chair, and Mark Maxwell, Vice Chair
Donald Edmunds, Philip Sanzica, Robert Schultz, Thomas Strat
John J. Tagle, Lon M. Ullmann and Mark J. Vleck

January 11, 2011

7:30 P.M.

Council Chamber

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – December 14, 2010 Regular Meeting
4. PUBLIC COMMENTS – For Items Not on the Agenda

SPECIAL USE REQUEST

5. PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (File Number SU 385) – Proposed Additions to St. Joseph Chaldean Catholic Church, 2442 E. Big Beaver, South side of Big Beaver, East of John R, Section 25, Currently Zoned R-1E (One Family Residential) and RM-1 (Multiple Family Residential) Districts

OTHER BUSINESS

6. DISTRIBUTION OF DRAFT CITY OF TROY ZONING ORDINANCE
7. ELECTION OF OFFICERS
8. PUBLIC COMMENTS – Items on Current Agenda
9. PLANNING COMMISSION COMMENTS

ADJOURN

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

The Regular Meeting of the Troy City Planning Commission was called to order by Vice Chair Maxwell at 7:30 p.m. on December 14, 2010, in the Council Chamber of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
 Mark Maxwell
 Philip Sanzica
 Robert Schultz
 Thomas Strat
 John J. Tagle
 Lon M. Ullmann
 Mark J. Vleck

Absent:

Michael W. Hutson

Also Present:

R. Brent Savidant, Acting Planning Director
 Allan Motzny, Assistant City Attorney
 Zachary Branigan, Carlisle/Wortman Associates, Inc.
 Kathy L. Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2010-12-078

Moved by: Schultz
 Seconded by: Strat

RESOLVED, To approve the Agenda as prepared.

Yes: All present (8)
 Absent: Hutson

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2010-12-079

Moved by: Strat
 Seconded by: Ullmann

RESOLVED, To approve the minutes of the October 26, 2010 Special/Study meeting as prepared.

Yes: Edmunds, Maxwell, Sanzica, Schultz, Strat, Ullmann, Vleck
 Abstain: Tagle
 Absent: Hutson

MOTION CARRIED

Resolution # PC-2010-12-080

Moved by: Schultz
Seconded by: Sanzica

RESOLVED, To approve the minutes of the November 23, 2010 Special/Study meeting as prepared.

Yes: All present (8)
Absent: Hutson

MOTION CARRIED**4. PUBLIC COMMENTS – Items not on the Agenda**

There was no one present who wished to speak.

SPECIAL USE REQUEST**5. PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (File Number SU 384) – Proposed LA Fitness, 1501 Maple Lane, South of Maple and West of Coolidge, Section 31, Currently Zoned M-1 (Light Industrial) District**

Mr. Branigan explained the Special Use and Preliminary Site Plan application for LA Fitness is before the Commission again because of a GIS error that occurred with the public hearing notification at the November meeting. The action taken at the November meeting is void and the item is before the Commission for reconsideration. Mr. Branigan assured the Commission that the public hearing notification for the December meeting has fully complied with the Michigan Zoning Enabling Act.

Mr. Branigan presented a summary of the proposed Special Use and Preliminary Site Plan application and addressed the following:

- Site description and surrounding zoning.
- Current zoning (M-1 Light Industrial) and Master Plan designation (Transit Center Land Use).
- Site access and circulation, specifically to the north and east.
 - Right turn deceleration lane on Maple Road – Recommendation of Orchard, Hiltz & McCliment (OHM) and City Engineer (for Final Site Plan).
 - Cross Access Easements to Doyle Drive (private drive) and self-storage facility to the south.
- Parking.
 - Calculations and proposed reduction.
 - Parking Analysis prepared by Professional Engineering Associates (PEA) and OHM.
 - Trip Generation and Turn Lane Evaluation prepared by PEA.

- Landscaping.
- Elevation and Lighting (Photometric Plan required at Final Site Plan).
- Special Use Approval standards.

Mr. Branigan supported the application as submitted. He recommended the Planning Commission grant the required parking modification and approval of the Preliminary Site Plan and Special Use application conditioned on the cross access easement to Doyle Drive, as noted on the Resolution prepared by City staff.

James Butler of Professional Engineering Associates, 2430 Rochester Court, Troy, was present to represent the petitioner. He said they have no objection to the draft Resolution prepared by City staff and confirmed there are no changes to the Site Plan application from the November meeting. Mr. Butler said he is not aware whether the applicant addressed a cross access easement with the owner of Doyle Drive.

Mr. Strat commended the applicant on incorporating bio-swales and addressed the incorporation of bio-swales in future projects.

PUBLIC HEARING OPENED

John Rohrbeck of 2440 Yorkshire, Birmingham, was present. Mr. Rohrbeck posed questions relating to the building setback, hours of operation, height of building, lighting, and site location access as relates to Edenborough.

Eric Bean, present on behalf of the petitioner, addressed the hours of operation. He stated the facility would most likely be open from 6 am to 10:30 pm and assured that the hours of operation would meet City requirements.

Mr. Branigan replied to the questions posed by Mr. Rohrbeck as follows:

- Front yard setback is 216 feet.
- Building height is 3 stories, 40 feet maximum.
- Photometric plan required at final site plan approval; lighting to meet all City requirements.
- Facility entrance is east of Edenborough.

Chris Corden of Grand/Sakwa Properties, 28470 Thirteen Mile, Farmington Hills, was present. Mr. Corden said Grand/Sakwa informed the applicant that they would not agree to a cross access easement to Doyle Drive because of concerns with increased traffic. He indicated traffic studies prepared for the proposed LA Fitness did not calculate the increase traffic that the future Birmingham/Troy Transit Center would generate. Mr. Corden also stated that Grand/Sakwa Properties own the self-storage facility to the south.

PUBLIC HEARING CLOSED

Vice Chair Maxwell announced the Board is in receipt of two communications.

- The Conrad's of 2252 Yorkshire, Birmingham, expressed support of the proposed application.
- Ken Gorski representing Pembroke Manor Association, Birmingham, expressed concerns with traffic and lighting.

There was discussion relating to the designations on the site plan for cross access easements to Doyle Drive (to show potential future access) and the self-storage facility to the south.

Resolution # PC-2010-12-081

Moved by: Schultz

Seconded by: Ullmann

RESOLVED, The Planning Commission hereby approves a reduction in the number of required parking spaces for the proposed LA Fitness and warehouse space to 419 when a total of 970 spaces are required on the site based on off-street parking space requirements, as per Article XL. This 551-space reduction is justified through a comparison of parking spaces provided for similar uses in the area, as outlined in the Parking Analysis provided by PEA and a report prepared by OHM.

BE IT FURTHER RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the LA Fitness indoor commercial recreation facility, located on the south side of Maple and west of Coolidge (1501 Maple Lane), Section 31, within the M-1 zoning district, be granted, subject to the following:

1. In the event the applicant is unsuccessful in acquiring a cross access easement to Doyle Drive, the applicant may proceed, subject to administrative approval, provided all Traffic Engineering concerns are addressed prior to Final Site Plan Approval.
2. That the cross access easement is shown to the east on the site plan and shall be granted to the City of Troy.

Yes: All present (8)

Absent: Hutson

MOTION CARRIED

OTHER BUSINESS

6. **APPROVAL OF 2011 PLANNING COMMISSION MEETING SCHEDULE**

Mr. Savidant introduced the item.

Resolution # PC-2010-12-082

Moved by: Schultz
Seconded by: Edmunds

RESOLVED, That the Troy City Planning Commission hereby establishes the following schedule for their meetings during the calendar year 2011:

1. Regular Meetings will be held on the second Tuesday of each month, as necessary, with the exception of November 8.
2. Special/Study Meetings will be held on the fourth Tuesday of each month, as necessary, with the exception of February 22 and December 27.
3. If additional Special/Study Meetings become necessary, alternate Special/Study Meeting dates may be set at the discretion of the Commission.

Yes: All present (8)
Absent: Hutson

MOTION CARRIED

7. **PUBLIC COMMENTS** – Items on Current Agenda

There was no one present who wished to speak.

8. **PLANNING COMMISSION COMMENTS**

Mr. Branigan gave an update and status report on the Rewrite of the Zoning Ordinance. He informed the Board that he would be giving a presentation on the Big Beaver Design Guidelines at the December 15, 2010 Downtown Development Authority (DDA) meeting.

Mr. Strat addressed the new SketchUp software.

Mr. Vleck announced his term expires at the end of the year. He said he would not be seeking another term because of personal and business reasons. Mr. Vleck thanked everyone for the wonderful experience.

Members applauded Mr. Vleck and thanked him for his years of service.

Everyone expressed happy holiday wishes.

The Regular Meeting of the Planning Commission adjourned at 8:16 p.m.

Respectfully submitted,

Mark Maxwell, Vice Chair

Kathy L. Czarnecki, Recording Secretary

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DATE: January 7, 2011

TO: Planning Commission

FROM: R. Brent Savidant, Acting Planning Director

SUBJECT: PUBLIC HEARING – SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW (File Number SU 385) – Proposed Additions to St. Joseph Chaldean Catholic Church, 2442 E. Big Beaver, South side of Big Beaver, east of John R, Section 25, Currently Zoned R-1E (One Family Residential) and RM-1 (Multiple Family Residential) Districts

The petitioner, St. Joseph Chaldean Catholic Church, submitted the above referenced application for additions to the St. Joseph Chaldean Catholic Church site. Proposed additions include the following:

- Additional curb cut on Big Beaver
- New asphalt drive and drop off area on west side of church
- New entry vestibule on west side of church
- Renovated vestibule on east side of church

The application will require a number of variances from the Board of Zoning Appeals. The attached report prepared by Carlisle/Wortman Associates, Inc. summarizes the application, and describes the necessary variances.

No action is required of the Planning Commission at the January 11, 2011 Regular meeting. The item will be considered by the Planning Commission following Board of Zoning Appeals action on the required variances.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SU 385

G:\SPECIAL USE\SU 385 St Joseph Chaldean Catholic Church Sec 25\SU-385 St. Joseph Church 01 11 11.docx



Legend

- Road Centerline
 - Major Road
 - Industrial Road
 - Local Road
- Hydrography Poly
- Hydrography Arc
- Parcels
- Aerial Photos - 2008
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

432 0 216 432Feet

Scale 1: 2,594





Legend

Road Centerline

-  Major Road
-  Industrial Road
-  Local Road

Zoning

-  (PUD) Planned Unit Development
-  (B-1) Local Business District
-  (B-2) Community Business District
-  (B-3) General Business District
-  (R-C) Research Center District
-  (C-F) Community Facilities District
-  (C-J) Consent Judgment
-  (E-P) Environmental Protection District
-  (R-EC) Residential Elder Care
-  (P-1) Vehicular Parking District
-  (H-S) Highway Service District
-  (M-1) Light Industrial District
-  (O-1) Office Building District
-  (O-M) Office Mid-Rise District
-  (OSC) Office Service Commercial District
-  (CR-1) One Family Residential Cluster District
-  (R-1A) One Family Residential District
-  (R-1B) One Family Residential District
-  (R-1C) One Family Residential District
-  (R-1D) One Family Residential District
-  (R-1E) One Family Residential District
-  (R-1T) One Family Attached Residential District
-  (R-2) Two Family Residential District
-  (R-M) Multiple Family Residential Medium Density District
-  (RM-1) Multiple Family Residential District (Low Density)
-  (RM-2) Multiple Family Residential District (Medium Density)
-  (RM-3) Multiple Family Residential District (High Density)

Hydrography Poly

Hydrography Arc

Parcels

Aerial Photos - 2008

-  Red: Band_1
-  Green: Band_2
-  Blue: Band_3

432 0 216 432Feet

Scale 1: 2,594





CARLISLE/WORTMAN ASSOCIATES, INC.

Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

Date: December 20, 2010

Preliminary Site Plan For City of Troy, Michigan

Applicant: Monsignor Zouhair Toma Kajbou

Project Name: St. Joseph Chaldean Catholic Church Renovations

Plan Date: Submitted to Troy Planning Department December 3, 2010

Location: 2442 East Big Beaver Road

Zoning: R1-E and RM-1

Action Requested: Preliminary Site Plan Approval

Required Information: Deficiencies noted

PROJECT AND SITE DESCRIPTION

We are in receipt of a preliminary site plan submittal for the renovation of an existing church property. The project proposes several significant changes, including a new access drive to Big Beaver Road, a new drop-off area and circulation route, two small building additions and renovations, and renovations to an outdoor area with a grotto.

Location of Subject Property:

The property is located on the south side of Big Beaver Road, between John R Road and Dequindre Road.

Size of Subject Property:

The parcel is 5.712 acres.

Proposed Uses of Subject Parcel:

The applicant proposes to continue using the site as a church.

Current Use of Subject Property:

The subject property is currently a church.

Current Zoning:

The property is currently split-zoned. The east portion of the site is zoned R-1E, Single Family Residential District, and the west portion is zoned RM-1, Multiple Family Residential District, Low Rise.

Zoning Classification of Adjacent Parcels and Current Land Use:

North: (across Big Beaver) R-1E, Single Family Residential District; single family homes

West: RM-1, Multiple Family Residential District, Low Rise; single and multiple family residential homes

South: RM-1, Multiple Family Residential District, Low Rise; single and multiple family residential homes; and R-1E, Single Family Residential District; vacant property and a detention basin.

East: R-1E, Single Family Residential District; single family homes

BUILDING LOCATION AND SITE ARRANGEMENT

The existing church is located on the west side of the overall site. There are two additional large buildings containing a rectory, office, small hall (central building) and a large hall (east building). The site is accessed via two driveways, one at the center of the lot and another (right-turn only) at the east end of the lot. A central driveway provides access to the majority of parking, which is located south of the buildings, although some parking also exists along Big Beaver, north of the buildings. The primary components of site arrangement are not proposed to be altered, only added to, as we will describe in the site access and circulation section of this review.

Items to be Addressed: *None*

AREA, WIDTH, HEIGHT, SETBACKS

The conditions for special use approval for a church are established in Section 10.30.04. There are several dimensional requirements that must be considered here. First, the setbacks for all sides of the project are 50 feet, which is a greater setback requirement than most uses in the R-1-E and RM-1 Districts. Second, a church requires a minimum of 120 feet of frontage on a major thoroughfare. Third, parking is not permitted in a required yard that is adjacent to a public street, nor is parking permitted adjacent to residentially zoned property.

Several elements of this site do not comply with all these requirements, but this is due to the existing church having been developed prior to the adoption of those requirements. Applicable subsections of Section 10.30.04. state:

B. Front, side and rear yard setbacks shall be a minimum of fifty (50) feet.

E. "Parking shall not be permitted in the required yards adjacent to any public street or adjacent to any land zoned for residential purposes, other than that which is developed or committed for uses other than the construction of residential dwellings. Such yards shall be maintained as landscaped open space. This landscaped yard area requirement related to parking areas adjacent to residentially zoned land shall apply to parking areas for which site plans were approved after July 1, 2000."

For the purposes of this review, we should note that parking does exist on the east, south, and west sides adjacent residential, within the required 50-foot yards (setbacks). This is a condition which predates the original site plan, however, and it is specifically exempted in the Ordinance requirements (given that it was approved prior to July 1, 2000). Therefore, this is a legal, conforming condition. However, this does not exempt future changes or additions that require site plan review from complying with this requirement.

Consequently, the proposed third access drive and drop-off area, which would cut through the landscaped area along the site's west end that does not have parking currently, would violate the Ordinance as designed. In other words, while the portions of the site that provide parking within the 50-foot setback were approved prior to July 1, 2000 and comply with the Ordinance, any new activity requiring site plan approval may not violate this setback and must comply, including the proposed. Further, while the site plan is not dimensioned, it is clear that the proposed west vestibule entry also violates the setback rule here and is also not permitted without relief from a variance. In order to permit the development of the vestibule, the access drive, and the drop off area, the applicant must appear before the Zoning Board of Appeals and obtain a variance from the minimum 50-foot setback adjacent residentially zoned properties for churches as established by Section 10.30.04.E.

While height data has not been provided by the applicant, we can confirm that, based on observation made during a site visit, that the existing buildings do not exceed maximum requirements.

Required and Provided Dimensions:

Section 30.10.02 and special use provisions for churches require the following setbacks and height limits (all dimensions are estimated, as they were not provided on the plans):

	<u>Required:</u>	<u>Provided:</u>
Setbacks		
Front (north)	50 feet	Approximately 50 feet to parking, 120 feet to building
Side (existing) (west)	50 feet	Approximately 50 feet to building, approximately 3 feet to rear yard parking (conforming as it was approved prior to July 1, 2000)
Side (proposed) (west)	50 feet	Approximately 5 feet to drive, approximately 37 to new vestibule
Side (east)	50 feet	Approximately 8 feet (conforming as it was approved prior to July 1, 2000)
Rear (south)	50 feet	Approximately 232 feet to building, approximately 10.5 feet to rear yard parking (conforming as it was approved prior to July 1, 2000)
Building Height	25 Feet, 2.5 stories	Unknown (although this proposal does not alter/impact maximum height)

Items to be Addressed: 1.) provide dimensional data. 2.) Obtain variances from dimensional deficiencies noted herein.

PARKING

Parking:

The site plan indicates a total of 321 parking spaces which includes 13 barrier free parking spaces.

Parking Calculations:

The parking calculations provided by the applicant are as follows:

<u>Required</u>	<u>Provided</u>
One (1) space per 3 seats or 6 feet of bench seating in the main worship area. This church accommodates 800 seats and requires 267 spaces	321 spaces
Banquet room requires one space for each two persons capacity plus one for each employee for each ten seats. This site's banquet facilities accommodate 325 seats, requiring 163 guest spaces and 34 employee spaces, for 196 total required spaces.	
Office space requires one space for every 200 square feet of usable area. This site has 1,000 square feet of office for 5 required spaces.	
Rectory requires two spaces	
Total required spaces is $267 + 196 + 5 + 2 = 470$ spaces	

The site is technically deficient in parking. However, the uses on the site do not occur concurrently. The banquet hall uses do not take place at the same time as services. The banquet use required 196 spaces, well under the provided 321. The Church itself requires 267 spaces, also under the provided 321. Further, the proposed improvements do not affect the capacity of the site and this is a previously existing nonconformity that functions in its current configuration. Consequently, we have no reservations with regard to parking..

Items to be Addressed: None.

SITE ACCESS AND CIRCULATION

Proposed Circulation:

The site is accessed via two existing driveways. The plan would add a third at the extreme west end of the property. We do not necessarily oppose the third driveway, and defer to the City engineer in this regard. However, as noted elsewhere in this review the significant drive, vestibule, and drop-ff area in the required landscaped setback along the west side of the building violates the Ordinance and must be removed or a variance must be obtained to allow it to proceed.

Sidewalks:

The site has an 8-foot wide sidewalk along its Big Beaver Road frontage and sidewalks throughout the site. The site plan should incorporate a sidewalk connection between Big Beaver and the buildings, however.

Items to be Addressed: 1.) Remove west driveway and improvements on west side of building or obtain variance to allow development in the setback. 2.) Provide sidewalk connection to the main road sidewalks.

NATURAL RESOURCES

The site is previously developed and contains no significant natural features, although there are mature landscaping elements. The proposed plan would not impact any protected natural features, but would impact a mature landscaped area along the west side of the building. Please see our landscaping and site access and circulation sections of this review for more information in this regard.

Items to be Addressed: None.

LANDSCAPING

A landscape plan has been submitted, however it does not provide landscaping that takes into account the status of this project as a project requiring special use approval and does not take into consideration the specific use standards for churches.

While the existing parking does not need to comply, the new improvements (were they authorized by a variance) on the west side would need to follow Ordinance requirements. Whenever the off-street parking is adjacent to land zoned and developed or developable for residential purposes, the parking area shall be screened from that adjacent residential area by the placement of a four feet six inch (4' 6") high landscaped earth berm. The top of the berm shall be landscaped with a minimum of a double row, ten (10) feet apart, of upright coniferous evergreens (pine or spruce species, as acceptable to the Department of Parks and Recreation), five (5) to six (6) feet in height, twenty (20) feet on center, staggered ten (10) feet on center.

Also, developments in the R1-B District that are not single family homes require a greenbelt and greenbelt trees. They also require a minimum of 10% landscaped open space. The project meets these standards.

Items to be Addressed: Provide revised landscaping to comply with Ordinance requirements if a variance is obtained.

LIGHTING

The applicant has not provided a photometric plan for this project. Full lighting details will be provided for final site plan approval.

Items to be Addressed: None.

SPECIAL USE

In the R1-E District, churches are permitted as a special use. This project would significantly alter the conditions of the original approval of this project and would impact adjacent properties. It contemplates improvements on the site that are within required setbacks adjacent residential properties and changes the plan that was approved for this property. As such, a special use permit must be issued for the revised site plan to allow the project to move forward, in accordance with Section 03.31.00. We understand that the applicant has not submitted for special use approval at this time, but will provide the following brief comments for guidance for the applicant and Planning Commission as the project moves forward. We will provide a full review of the site's compliance with Special Use provisions once the applicant submits an application for special use approval.

For any special use, according to Section 03.31.04, the Planning Commission shall review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.

Use Standards

The applicant should be aware that Section 10.30.04 lists several conditions for churches within the R1-E District (items labeled "not applicable" are not impacted by the application submitted and reviewed). They are as follows:

- A. *Buildings of greater than the maximum height allowed in Article XXX, "Schedule of Regulations", may be allowed provided that the front, side and rear yards are increased one (1) foot for each foot of building height which exceeds the maximum height allowed. (Rev. 07-10-2000) (Not applicable.)*
- B. *Front, side and rear yard setbacks shall be a minimum of fifty (50) feet. (Deficiencies noted in the area, width, height and setbacks section of this review. Variances are required.)*
- C. *The site shall be so located as to have at least one (1) property line abutting a Major Thoroughfare of not less than one hundred twenty (120) feet of right-of-way width, existing or proposed, and all ingress and egress to the site shall be directly onto such major thoroughfare or a marginal access service drive thereof, with the following exceptions: (Criteria met.)*
 - 1. *The Planning Commission may permit access drives to streets or thoroughfares other than Major Thoroughfares, in those instances where they determine that such access would improve the traffic safety characteristics in the area of the site, while not negatively impacting adjacent residential properties. (Not applicable.)*
- D. *One or more of the following locational criteria may be considered by the Planning Commission as a basis for approval or denial of proposals for church development:*
 - 1. *Location at the intersection of two (2) Major Thoroughfares, each of which has a right-of-way width of at least one hundred twenty (120) feet (existing or proposed). (Not applicable.)*

2. *Location abutting a Freeway right-of-way. (Not applicable.)*
3. *Location involving a total Major Thoroughfare frontage block (extending between two intersecting local streets). (Not applicable.)*
4. *Location where the site has at least one (1) property line, apart from its Major Thoroughfare frontage, in common with land which is developed, zoned, or otherwise committed for use other than the construction of One-Family Residential dwellings. (Not applicable.)*

These criteria are intended, in part, to assure that the location of a church will not negatively impact the potential for the logical extension of single-family residential development in the adjacent area.

*E. Parking shall not be permitted in the required yards adjacent to any public street or adjacent to any land zoned for residential purposes, other than that which is developed or committed for uses other than the construction of residential dwellings. Such yards shall be maintained as landscaped open space. This landscaped yard area requirement related to parking areas adjacent to residentially zoned land shall apply to parking areas for which site plans were approved after July 1, 2000. **(Variance required to permit proposed activities in the side yard.)***

F. Whenever the off-street parking is adjacent to land zoned and developed or developable for residential purposes, the parking area shall be screened from that adjacent residential area by the placement of a four feet six inch (4' 6") high landscaped earth berm. The top of the berm shall be landscaped with a minimum of a double row, ten (10) feet apart, of upright coniferous evergreens (pine or spruce species, as acceptable to the Department of Parks and Recreation), five (5) to six (6) feet in height, twenty (20) feet on center, staggered ten (10) feet on center.

This landscaped berm requirement shall apply to parking areas for which site plans were approved after July 1, 2000. The screening for parking areas established or proposed for construction before that date is permitted to be in the form of a continuous obscuring wall, four feet six inches (4'6") in height, in accordance with the provisions of Article XXXIX, Environmental Provisions. This screenwall shall be provided at or adjacent to those sides of the parking area which lie adjacent to residentially zoned land. Such parking area screenwalls shall also be provided adjacent to residentially zoned land wherein the above-described landscaped berm requirement does not apply. (Not applicable.)

G. Whenever facilities such as community halls, fellowship or social halls, recreation facilities and other similar uses are proposed as incidental to the principal church or worship facility use, such secondary facilities shall not be constructed or occupied in advance of the sanctuary or principal worship area of the church complex. (Not applicable.)

1. *The seating capacity of such incidental use areas shall not exceed that of the sanctuary or principal worship area of the church complex. (Not applicable.)*

2. *Parking shall be provided for such incidental use areas at one-half (½) the rate of that required for the sanctuary or principal worship area, and shall be in addition to the parking required for the principal worship area. (Not applicable.)*
 3. *Such incidental facilities must be used for church, worship, or religious education purposes, in a manner which is consistent with residential zoning and compatible with adjacent residential property. They shall not be used, leased or rented for commercial purposes. (Not applicable.)*
 4. *Active indoor recreation facilities, such as gymnasiums, shall be located at least eighty (80) feet from any residentially zoned land, other than that which is developed or committed for uses other than the construction of residential dwellings. (Not applicable.)*
- H. *All structures, appurtenances, and fixtures related to outdoor recreation purposes shall be located a minimum of one hundred (100) feet from any residentially zoned property, other than that which is developed or committed for uses other than the construction of residential dwellings. (Not applicable.)*

Standards of Approval

Section 03.31.05 states that before approving any requests for Special Use Approval, the Planning Commission, or the City Council, where indicated, shall find that:

1. *The land use or activity being proposed shall be of such location, size and character as to be compatible with the orderly development or use of adjacent land and/or Districts.*
2. *The land use or activity under consideration is within the capacity limitations of the existing or proposed public services and facilities which serve its location.*

These criteria will be evaluated once an application has been submitted.

Items to be addressed: Submit an application for special use approval.

SUBMITTAL REQUIREMENTS

Section 3.43.01 establishes the requirements for preliminary site plan approval. The only outstanding element required for site plan approval is full dimensions of setbacks.

Items to be Addressed: Provide dimensions.

RECOMMENDATIONS

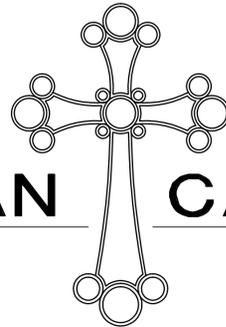
This project cannot move forward as designed without relief from the Ordinance. Therefore, we recommend that the Planning Commission postpone action on the applicant's request until such time as they can apply for and potentially obtain a series of variances from the Zoning Board of Appeals and to provide a revised application addressing the other items noted herein, and including a new application for special use approval.

St. Joseph Church, December 20, 2010

A handwritten signature in black ink, appearing to read "Zachary Branigan", written over a horizontal line.

CARLISLE/WORTMAN ASSOCIATES, INC.
Zachary G. Branigan, LEED AP, AICP
Associate

ST. JOSEPH CHALDEAN CATHOLIC CHURCH



2440-44 EAST BIG BEAVER ROAD
 NW 1/4 OF SEC. 25, T.2N., R.11E.
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

JAD JOB NO.:1007

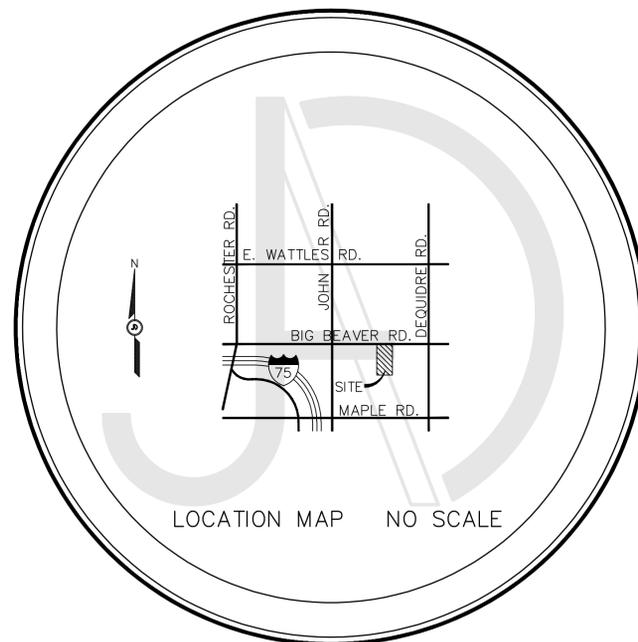
ZONING: R1-E: ONE FAMILY RESIDENTIAL DISTRICT
LEGAL DESCRIPTION:

A PARCEL OF LAND BEING PART OF THE NORTHWEST CORNER OF SECTION 25, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
 COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; S.00°24'53"E., 102.01 FEET ALONG THE N.-S. 1/4 LINE TO THE P.O.B.; THENCE CONTINUING ALONG SAID LINE S.00°24'53"E., 565.60 FEET; THENCE S.89°24'08"W., 432.27 FEET; THENCE N.00°14'11"E., 572.10 FEET TO THE SOUTH R.O.W. LINE OF BIG BEAVER ROAD (102.00' 1/2 WD.); THENCE ALONG SAID S. R.O.W. LINE S.89°44'48"E., 437.88 FEET (M.) TO THE P.O.B. CONTAINING 5.712 ACRES OF LAND.
 SUBJECT TO ANY AND ALL EASEMENTS OF RECORDS, IF ANY.
 ALSO KNOWN AS PARCEL IDENTIFICATION NUMBER: 20-25-126-024.

PROJECT DIRECTORIES:

CITY OF TROY
 500 WEST BIG BEAVER
 TROY, MICHIGAN 48084
 TELEPHONE: 248-524-3300

ROAD COMMISSION FOR OAKLAND COUNTY
 MR. ED PEET
 PERMIT SUPERVISOR
 PERMITS & ENVIRONMENTAL CONCERNS DEPARTMENT
 2420 PONTIAC LAKE ROAD
 WATERFORD, MI 48328
 TELEPHONE: 248-858-4835



SHEET INDEX:

- COVER
 PC-1. TOPOGRAPHICAL SURVEY
 PC-2. PRELIMINARY SITE PLAN
 PC-3. PRELIMINARY GRADING PLAN
 PC-4. PRELIMINARY LANDSCAPING PLAN

TERMS AND CONDITIONS FOR ELECTRONIC DATA:

This document is provided in electronic format for the referenced project. It is understood and agreed that any use or reuse of original or altered files will be at the user's own risk and legal responsibility. It is also agreed that the electronic files provided by J.A.D. Engineering Services, Inc. (JAD) are being provided for general information purposes only. Neither the electronic files nor any CAD versions are to be relied on for construction layout purposes. The user expressly indemnifies and holds JAD harmless for any and all claims, suits, liability, demands or other costs arising out of or resulting from the unauthorized use of these materials. JAD makes no representation as to the accuracy of the information provided by the electronic media. Data on electronic media can deteriorate or be modified without the knowledge of JAD. Electronic media viruses are increasing in complexity and growth. JAD advises all users to scan any disc received from outside sources with a current anti-virus program. It is understood and agreed that JAD will not be responsible for any damage caused by such a virus. If any virus is detected by your system on any media received from JAD it is your responsibility to contact us immediately.



3 FULL WORKING DAYS
 BEFORE YOU DIG.
 CALL MISS DIG
 1-(800)-482-7171
 FOR LOCATION OF
 UNDERGROUND FACILITIES

**UTILITY AND TYPE OF PRODUCT
 SPECIFIC GROUP IDENTIFYING COLOR**

SAFETY RED	-ELECTRIC POWER DISTRIBUTION AND TRANSMISSION -MUNICIPAL ELECTRIC SYSTEMS
HIGH-VISIBILITY, SAFETY YELLOW	-GAS DISTRIBUTION AND TRANSMISSION. -OIL DISTRIBUTION AND TRANSMISSIONS. DANGEROUS MATERIALS, PRODUCT LINES.
SAFETY-ALERT ORANGE	-TELEPHONE AND TELEGRAPH SYSTEMS. -CABLE TELEVISION. -POLICE AND FIRE COMMUNICATIONS.
SAFETY- PRECAUTION BLUE	-WATER SYSTEMS.
SAFETY-BROWN	-SEWER SYSTEMS.
SAFETY-GREEN	-STORM SYSTEMS.
HIGH-VISIBILITY, SAFETY-PINK	-LAND SURVEY MONUMENTATION.

NOTES TO CONTRACTORS:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE LATEST APPROVED PLANS BY THE MUNICIPALITY AND ALL OTHER GOVERNMENTAL AGENCIES, CONSULTANTS WHOSE JURISDICTION APPLY TO THIS PROJECT.
 THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS. THE FAILURE OF THIS CONDITION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNERS/ENGINEERS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

**ENGINEERS
 J.A.D. ENGINEERING SERVICES, INC.**

4197 COURT ANTHONY
 WATERFORD, MICHIGAN 48328
 Telephone: (248) 739-9955
 JAD222@SBCGLOBAL.NET

PROPERTY OWNER

ST. JOSEPH CHALDEAN CATHOLIC CHURCH
 2442 E. BIG BEAVER ROAD
 TROY, MICHIGAN 48083
 CONTACT PERSON:
REVEREND MONSIGNOR ZOUHAIR TOMA KAJBOU
 TELEPHONE: 248-528-3676
 FACSIMILE: 248-524-1957

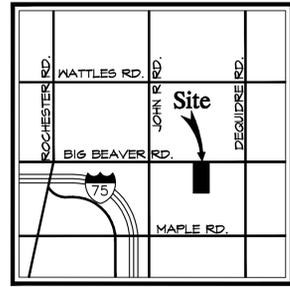
ARCHITECT



G.A.V. & ASSOCIATES, INC.
 31471 NORTHWESTERN HWY., SUITE #2
 FARMINGTON HILLS, MI. 48334
 (248) 985-9101
 FAX (248) 985-9105
 EMAIL: GAV@GAVASSOCIATES.COM

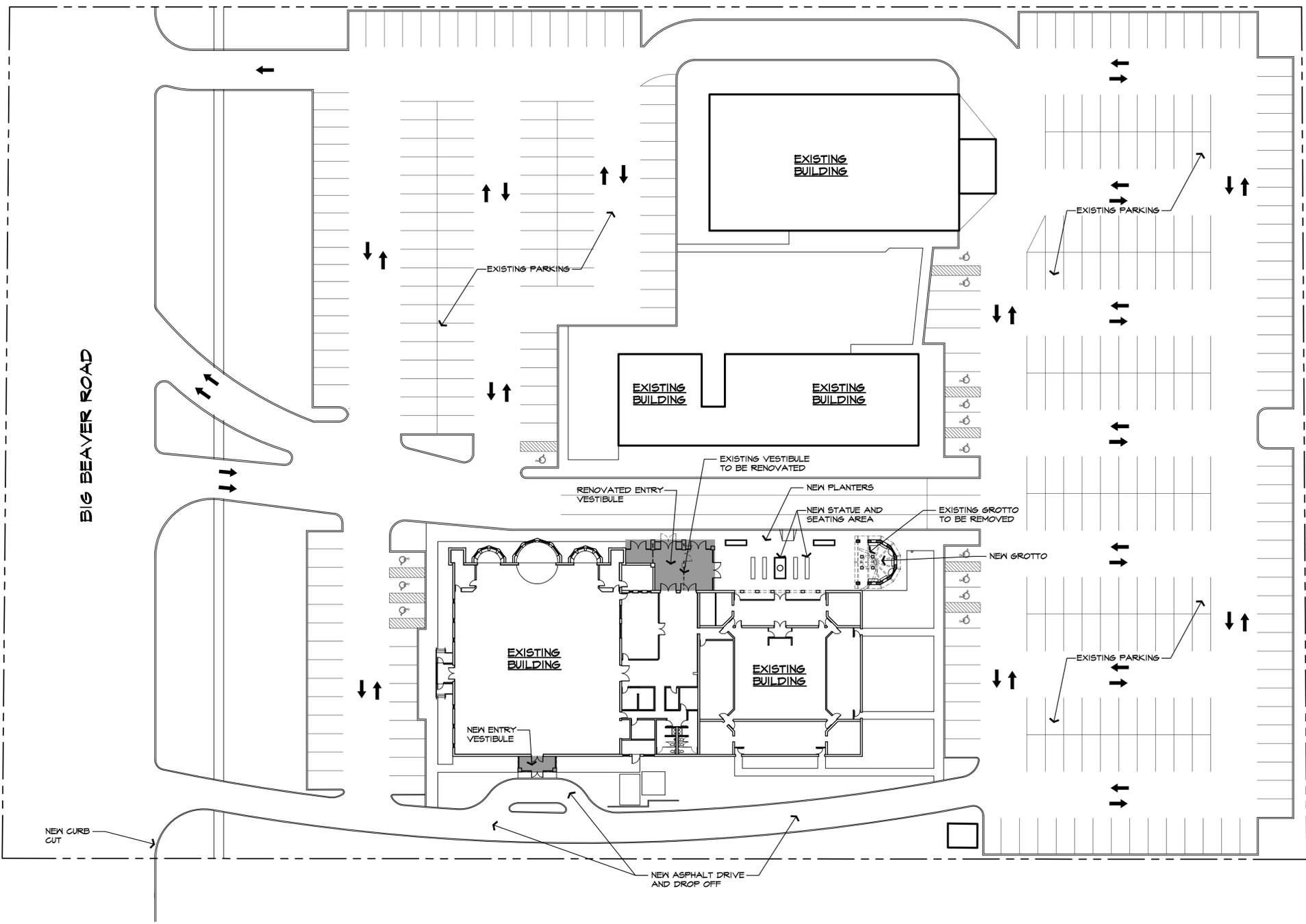
SITE & BUILDING DATA:
 ZONING - "RI-E" ONE FAMILY RESIDENTIAL DISTRICT
 FOR OTHER SITE/BUILDING DATA SEE SHEET C-4

ISSUED FOR	DATE
REVIEW	8-11-10
PRELIMINARY SPA	12-2-10



NORTH
LOCATION MAP
 NOT TO SCALE

ARCHITECTURAL DESIGN
 RESIDENTIAL COMMERCIAL INDUSTRIAL
 G.A.V. & ASSOCIATES, INC.
 31471 NORTHWESTERN HWY., SUITE #2
 FARMINGTON HILLS, MI. 48334
 (248) 985-9101
 FAX (248) 985-9105
 EMAIL: GAV@GAVASSOCIATES.COM



NORTH
SITE PLAN
 SCALE: 1" = 30'-0"

RENOVATIONS AND ADDITIONS TO:
 2442 E. BIG BEAVER ROAD
 TROY, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	GA	GA

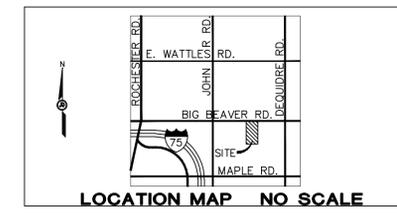
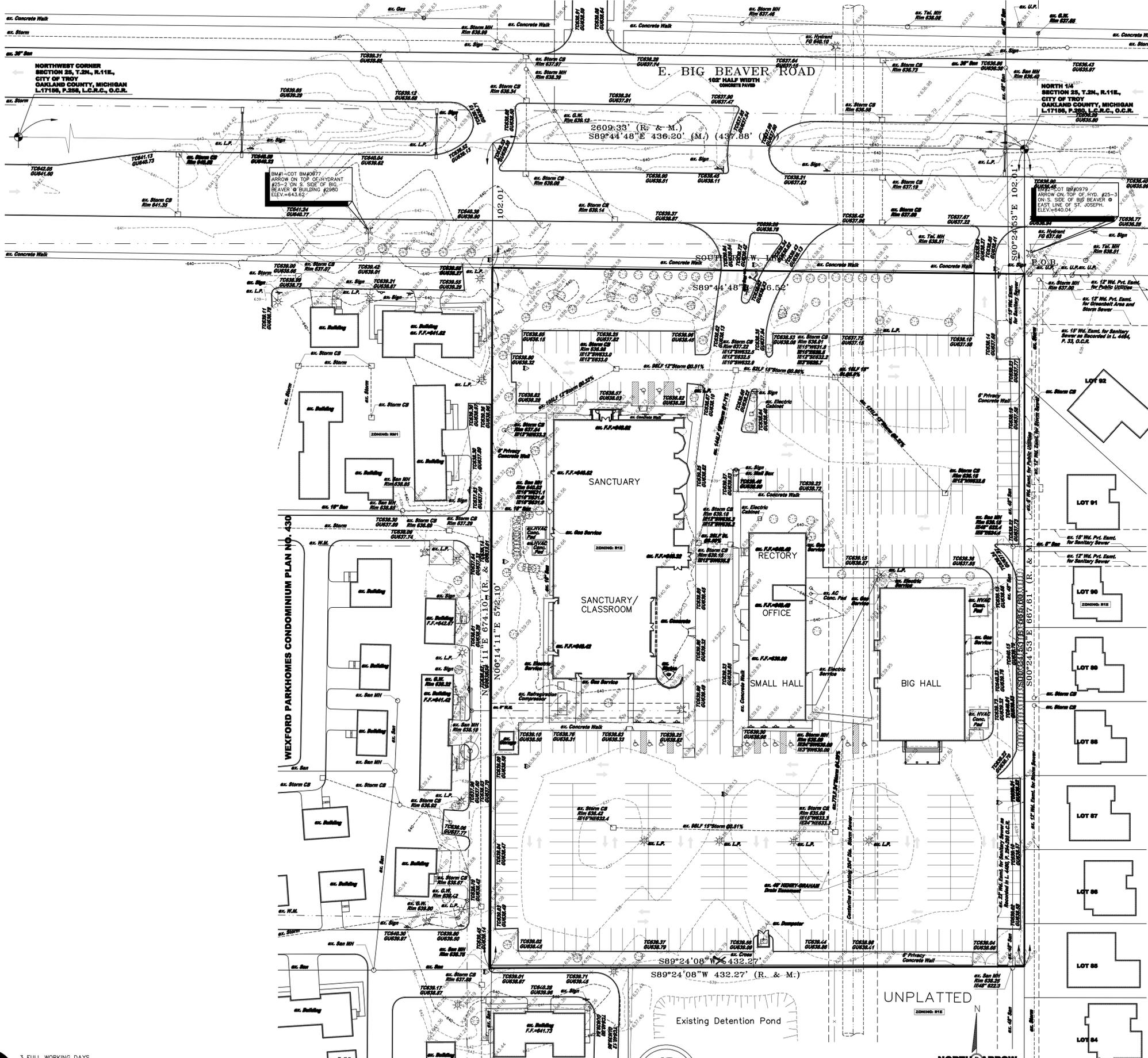
SCALE : 1" = 30'-0"

FILE NAME : 10070_SP.101

JOB # : 10070

SHEET TITLE
 SITE PLAN

SHEET #
 SP.101



LEGAL DESCRIPTION:

A PARCEL OF LAND BEING PART OF THE NORTHWEST CORNER OF SECTION 25, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 25; THENCE 162.01 FEET ALONG THE N. 1/4 LINE TO THE P.O.B.; THENCE CONTINUING ALONG SAID LINE S. 89° 24' 53" E., 102.01 FEET; THENCE S. 89° 24' 53" E., 432.27 FEET TO THE SOUTH B.L.M. LINE OF BIG BEAVER ROAD (162.01' 1/2 W.B.); THENCE ALONG SAID S. B.L.M. LINE S. 89° 24' 53" E., 432.27 FEET (BL) TO THE P.O.B. CONTAINING 0.712 ACRES OF LAND. SUBJECT TO ANY AND ALL ENCUMBRANCES OF RECORD, IF ANY. ALSO KNOWN AS PARCEL IDENTIFICATION NUMBER: 25-25-125-024.

DESCRIPTION	LEGEND	
	EXISTING	PROPOSED
STORM/SEWER	MANHOLE	MANHOLE
SANITARY/SEWER	MANHOLE	MANHOLE
WATER LINE	GATE VALVE	GATE VALVE
UTILITY POLE/POWER LINE	UTILITY POLE W/GUY WIRE	UTILITY POLE W/GUY WIRE
GAS LINE	GAS VALVE	GAS VALVE
CONCRETE PAVEMENT		
SILT FENCE		
FENCE		
FABRIC FILTER FENCE		
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	11-30-277-078	11-30-277-078
FIRST FLOOR ELEVATION	FF=987.7	PROP. FF=987.7
BASEMENT FLOOR ELEV.	BF=987.7	PROP. BF=987.7
GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
CENTRELINE OF PAVEMENT		
SPOT ELEVATION	882.42	882.71
CONTOUR LINE	SW	882.71
BOTT. SWALE ELEV.	987.7	987.7
TOP OF STAIRS ELEV.	987.775	987.715
BOTTOM OF STAIRS ELEV.	987.785	987.785
TOP OF CURB ELEVATION	882.42	882.71
EASEMENT		
SURFACE DRAINAGE FLOW		

FLOOD ZONE DETERMINATION: FIRM CITY OF TROY-OAKLAND COUNTY-MICHIGAN PANEL# 26125-0536 (NORTH PART OF PROPERTY) PANEL# 26125-0561 (SOUTH PART OF PROPERTY) MAP REVISED JANUARY 16-2009. PROPERTY DOES NOT LIE WITHIN A MINIMAL OR NO IMPACT FLOOD ZONE.

TOPO NOTES: THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE DERIVED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

BENCH MARK-NAVD88 DATUM: BM#2 (CITY OF TROY BM9279) TOP OF ARROW ON HYDRANT #25-2 LOCATED ON THE S. SIDE OF BIG BEAVER AT EAST LINE OF ST. JOSEPH CHURCH ELEV=643.621 (DATED 07/08/2005)

BM#2 (CITY OF TROY BM9279) TOP OF ARROW ON HYDRANT #25-3 LOCATED ON THE S. SIDE OF BIG BEAVER AT EAST LINE OF ST. JOSEPH CHURCH ELEV=640.041 (DATED 07/08/2005)



1747 Henbert Street
West Bloomfield, MI 48324

Telephone: (248) 739-9955
Facsimile: (248) 363-4639
JAD222@SBCGLOBAL.NET

CLIENT: ST. JOSEPH CHALDEAN CHURCH
2440-44 EAST BIG BEAVER ROAD
CITY OF TROY, MICHIGAN
TELEPHONE: 248-689-4242

SHEET TITLE: TOPOGRAPHICAL SURVEY
PROJECT TITLE: ST. JOSEPH CHALDEAN CHURCH
2440-44 EAST BIG BEAVER ROAD
NW 1/4 OF SEC. 25, T.2N., R.11E.
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PROJECT NO.: 1007
DRAWN: JAD
CHECKED: JAD
APPROVED: JAD

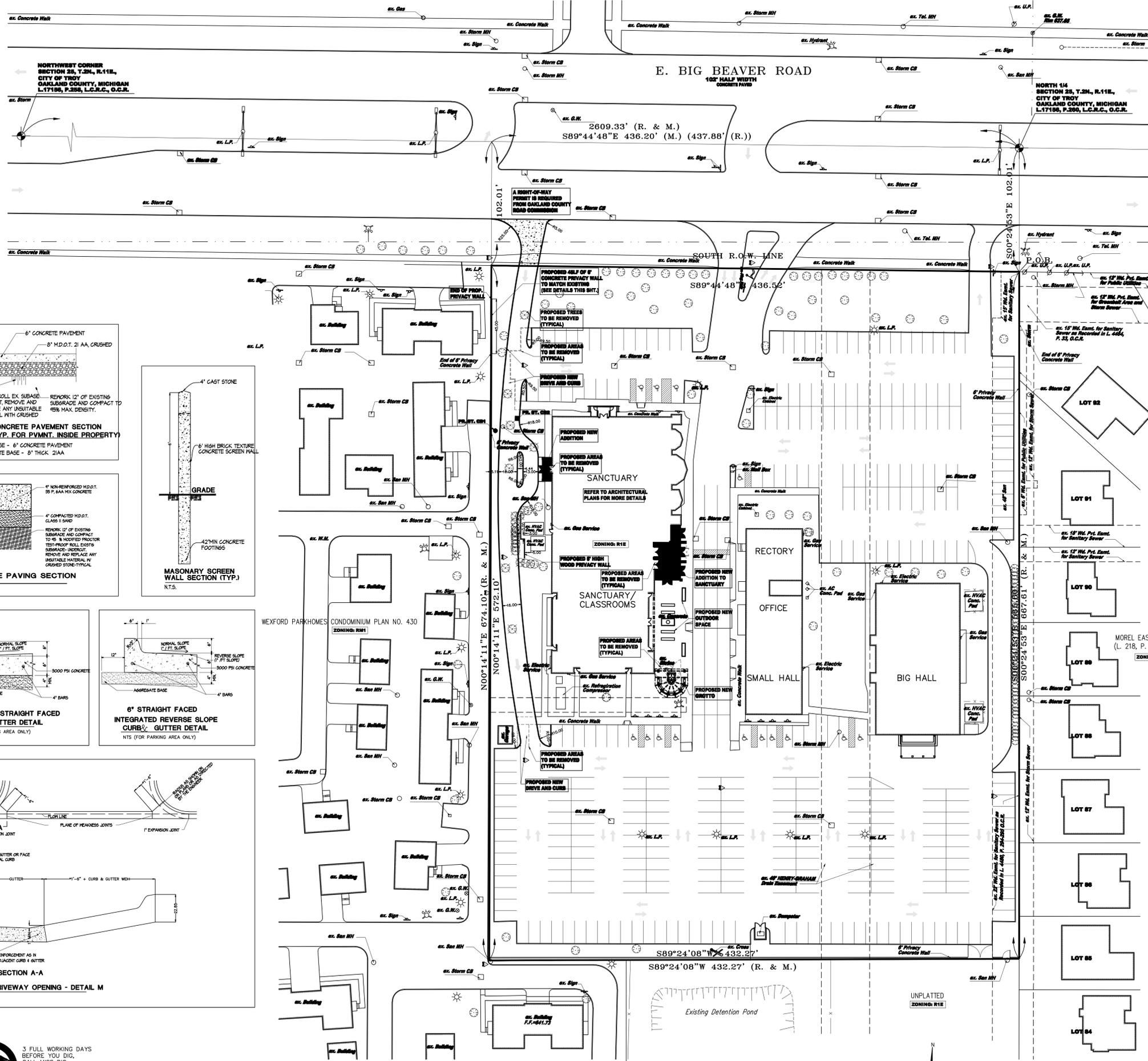
ISSUED FOR: DATE
TOPO SURVEY 10-03-10
PRELIM SITE PLAN 11-01-10

SCALE: 1"=40'
SHEET NO.:

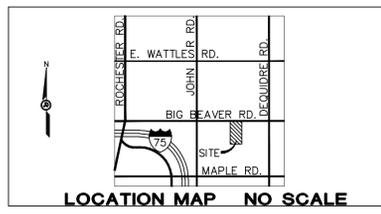
PC-1

3 FULL WORKING DAYS BEFORE YOU DIG. CALL MISS DIG 1-(800)-482-7171 FOR LOCATION OF UNDERGROUND FACILITIES

TOPOGRAPHICAL SURVEY
SCALE: 1"=40'
NORTH ARROW



E. BIG BEAVER ROAD
102' HALF WIDTH CONCRETE PAVED



LEGAL DESCRIPTION:

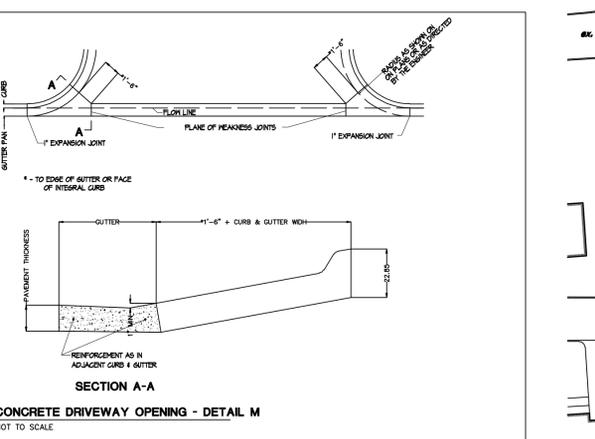
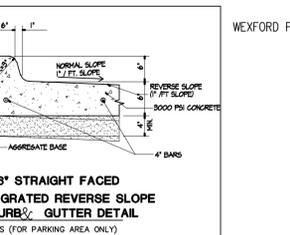
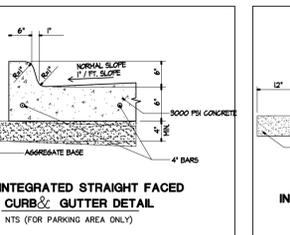
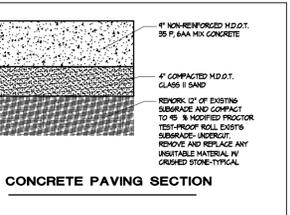
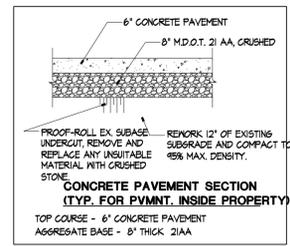
A PARCEL OF LAND BEING PART OF THE NORTHWEST CORNER OF SECTION 25, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 25, T.2N., R.11E., 162.01 FEET ALONG THE N-S. 1/4 LINE TO THE P.O.B.; CONTINUING ALONG SAID LINE S.89°24'08"W, 432.27 FEET; THENCE S.89°24'08"W, 432.27 FEET TO THE SOUTH S.W. CORNER OF SAID SECTION 25, T.2N., R.11E., THENCE ALONG SAID S. W. CORNER LINE S.89°24'08"W, 432.27 FEET (BL) TO THE P.O.B. CONTAINING 0.712 ACRES OF LAND. SUBJECT TO ANY AND ALL ENCUMBRANCES OF RECORD, IF ANY. ALSO KNOWN AS PARCEL IDENTIFICATION NUMBER: 28-30-277-078.

DESCRIPTION	LEGEND	
	EXISTING	PROPOSED
STORM/SEWER	MANHOLE	MANHOLE
SANITARY/SEWER	MANHOLE	MANHOLE
WATER LINE	GATE VALVE	GATE VALVE
UTILITY POLE/POWER LINE	GATE VALVE	GATE VALVE
UTILITY POLE W/GUY WIRE	GATE VALVE	GATE VALVE
GAS LINE	GATE VALVE	GATE VALVE
CONCRETE PAVEMENT	GATE VALVE	GATE VALVE
SILT FENCE	GATE VALVE	GATE VALVE
FENCE	GATE VALVE	GATE VALVE
FABRIC FILTER FENCE	GATE VALVE	GATE VALVE
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	11-30-277-078	11-30-277-078
FIRST FLOOR ELEVATION	FF=987.7	PROP. FF=987.7
BASEMENT FLOOR ELEV.	BF=987.7	PROP. BF=987.7
GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
CENTERLINE OF PAVEMENT	CL	CL
SPOT ELEVATION	SP	SP
CONTOUR LINE	CON	CON
BOTT. SWALE ELEV.	SW	SW
TOP OF STAIRS ELEV.	ST	ST
BOTTOM OF STAIRS ELEV.	BS	BS
TOP OF CURB ELEVATION	TC	TC
EASEMENT	EAS	EAS
SURFACE DRAINAGE FLOW	DF	DF

FLOOD ZONE DETERMINATION
FIRM: CITY OF TROY-OAKLAND COUNTY-MICHIGAN
PANEL# 28125-0530 (NORTH PART OF PROPERTY)
PANEL# 28125-0530 (SOUTH PART OF PROPERTY)
MAP REVISED JANUARY 16-2009
PROPERTY DOES LIE WITHIN A MINIMAL OR NO IMPACT FLOOD ZONE.

TOPO NOTES
THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE DERIVED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

BENCH MARK-NAVD88 DATUM
BM#2 (CITY OF TROY 8M977) TOP OF ARROW ON HYDRANT #25-2 LOCATED ON THE SOUTH SIDE OF BIG BEAVER AT EAST LINE OF ST. JOSEPH CHURCH. ELEV.=443.621 (DATED 07/08/2005)
BM#3 (CITY OF TROY 8M979) TOP OF ARROW ON HYDRANT #25-3 LOCATED ON THE S. SIDE OF BIG BEAVER AT EAST LINE OF ST. JOSEPH CHURCH. ELEV.=440.041 (DATED 07/08/2005)



3 FULL WORKING DAYS BEFORE YOU DIG. CALL MISS DIG 1-(800)-482-7171 FOR LOCATION OF UNDERGROUND FACILITIES



4197 Court Anthony
Waterford, MI 48328

Telephone: (248) 739-9955
JAD222@SBCGLOBAL.NET

CLIENT:
ST. JOSEPH CHALDEAN CHURCH
2440-44 EAST BIG BEAVER ROAD
CITY OF TROY, MICHIGAN
TELEPHONE: 248-689-4242

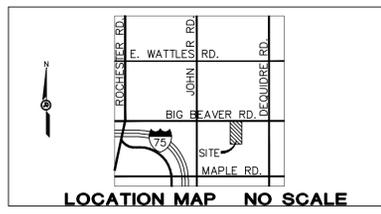
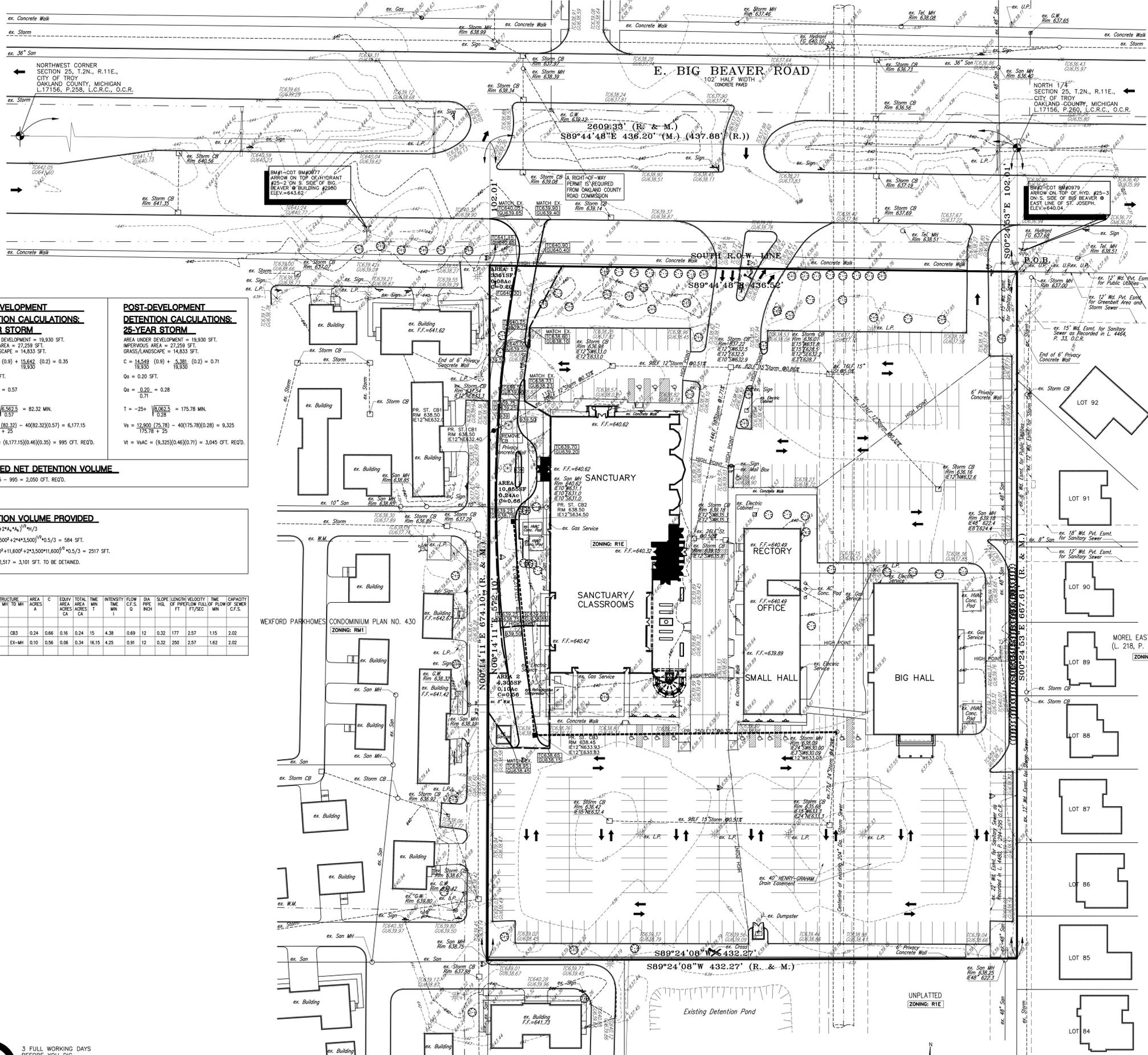
SHEET TITLE:
PRELIMINARY SITE PLAN
PROJECT TITLE:
ST. JOSEPH CHALDEAN CHATHOLIC CHURCH
2440-44 EAST BIG BEAVER ROAD
NW 1/4 OF SEC. 25, T.2N., R.11E.
CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PROJECT NO.: 1007
DRAWN: JAD
CHECKED: JAD
APPROVED: JAD

ISSUED FOR: DATE
TOPO SURVEY: 10-03-10
PRELIM. SITE PLAN: 11-01-10

SCALE: 1"=40'
SHEET NO:

PC-2



ZONING: R1-E: ONE FAMILY RESIDENTIAL DISTRICT
LEGAL DESCRIPTION:

A PARCEL OF LAND BEING PART OF THE NORTHWEST CORNER OF SECTION 25, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; S.00°24'53\"/>

DESCRIPTION	LEGEND	
	EXISTING	PROPOSED
STORM/SEWER		
SANITARY/SEWER		
WATER LINE		
UTILITY POLE/POWER LINE		
UTILITY POLE W/GUY WIRE		
GAS LINE		
CONCRETE PAVEMENT		
SILT FENCE		
FENCE		
FABRIC FILTER FENCE		
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	11-30-277-078	11-30-277-078
FIRST FLOOR ELEVATION	FF=987.7	PROP. FF=987.7
BASEMENT FLOOR ELEV.	BF=987.7	PROP. BF=987.7
GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
CENTRELINE OF PAVEMENT		
SPOT ELEVATION		
CONTOUR LINE		
BOTT. SWALE ELEV.	987.7	(987.7)
TOP OF STAIRS ELEV.	987.775	(987.775)
BOTTOM OF STAIRS ELEV.	987.785	(987.785)
TOP OF CURB ELEVATION		
EASEMENT		
SURFACE DRAINAGE FLOW		

FLOOD ZONE DETERMINATION
 FIRM: CITY OF TROY-OAKLAND COUNTY-MICHIGAN PANEL# 261250-0553G (NORTH PART OF PROPERTY) PANEL# 261250-0561G (SOUTH PART OF PROPERTY) MAP REVISED JANUARY 16-2009
 PROPERTY DOES LIE WITHIN A MINIMAL OR NO IMPACT FLOOD ZONE.

TOPO NOTES
 THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE DERIVED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

BENCH MARK-NAVD88 DATUM
 THE BENCHMARK DESCRIPTIONS, ELEVATIONS, AND LABELS CONTAINED ON THIS LIST IS SUBJECT TO CHANGE, WITHOUT PRIOR NOTICE, AT ANY TIME DUE TO ONGOING CONSTRUCTION AND MAINTENANCE PROJECTS THROUGHOUT THE CITY OF TROY. IT IS STRONGLY ADVISED TO FIELD MEASURE THE ELEVATION DIFFERENCE BETWEEN A MINIMUM OF TWO BENCHMARKS TO VERIFY A BENCHMARK ELEVATION BEFORE USE ON THIS PROJECT.

BM#1 (CITY OF TROY BM0977) TOP OF ARROW ON HYDRANT #25-2 LOCATED ON THE S. SIDE OF BIG BEAVER AT EAST LINE OF ST. JOSEPH CHURCH. ELEV.=643.62 (DATED 07/08/2005)

BM#2 (CITY OF TROY BM0979) TOP OF ARROW ON HYDRANT #25-3 LOCATED ON THE S. SIDE OF BIG BEAVER AT EAST LINE OF ST. JOSEPH CHURCH. ELEV.=640.04 (DATED 07/08/2005)

PRE-DEVELOPMENT DETENTION CALCULATIONS: 10-YEAR STORM

AREA UNDER DEVELOPMENT = 19,930 SFT.
 IMPERVIOUS AREA = 27,259 SFT.
 GRASS/LANDSCAPE = 14,833 SFT.

$C = 4.288 \cdot (0.9) + 15.642 \cdot (0.9) = 0.35$
 $19,930$

$Q_0 = 0.20 \text{ SFT.}$
 $Q_0 = 0.20 = 0.57$
 0.35

$T = -25 + \frac{16,562.5}{0.57} = 82.32 \text{ MIN.}$

$V_s = 10,500 \cdot (82.32) - 40(82.32)(0.57) = 6,177.15$
 $82.32 + 25$

$V_t = V_sAC = (6,177.15)(0.46)(0.35) = 995 \text{ CFT. REQ'D.}$

REQUIRED NET DETENTION VOLUME
 $V_{net} = 3,045 - 995 = 2,050 \text{ CFT. REQ'D.}$

POST-DEVELOPMENT DETENTION CALCULATIONS: 25-YEAR STORM

AREA UNDER DEVELOPMENT = 19,930 SFT.
 IMPERVIOUS AREA = 27,259 SFT.
 GRASS/LANDSCAPE = 14,833 SFT.

$C = 14.549 \cdot (0.9) + 5.381 \cdot (0.2) = 0.71$
 $19,930$

$Q_0 = 0.20 \text{ SFT.}$
 $Q_0 = 0.20 = 0.28$
 0.71

$T = -25 + \frac{16,062.5}{0.28} = 175.78 \text{ MIN.}$

$V_s = 12,900 \cdot (175.78) - 40(175.78)(0.28) = 9,325$
 $175.78 + 25$

$V_t = V_sAC = (9,325)(0.46)(0.71) = 3,045 \text{ CFT. REQ'D.}$

DETENTION VOLUME PROVIDED

$V_p = (A^2 + A + 27A^2 + V_p^2)^{1/3}$
 $V_{net} = (4^2 + 3,500^2 + 27 \cdot 4^2 + 3,500^2)^{1/3} = 584 \text{ SFT.}$
 $V_{net} = (3,500^2 + 11,600^2 + 27 \cdot 3,500^2 + 11,600^2)^{1/3} = 2517 \text{ SFT.}$
 $V_p = 584 + 2,517 = 3,101 \text{ SFT. TO BE DETAINED.}$

AREA	STRUCTURE	AREA FROM MH TO MH	AREA A	EQUIV. AREA CA	TOTAL AREA CA	TIME MIN	INTENSITY I	FLOW C.F.S.	DIA PIPE INCH	SLOPE PER 100	LENGTH FT	VELOCITY FT/SEC	TIME MIN	CAPACITY C.F.S.
1	CB2	CB3	0.24	0.66	0.16	0.24	15	4.38	0.69	12	0.32	177	2.57	1.15
2	CB3	EX-MH	0.10	0.56	0.06	0.34	16.15	4.25	0.91	12	0.32	250	2.57	1.62

3 FULL WORKING DAYS BEFORE YOU DIG, CALL MISS DIG 1-(800)-482-7171 FOR LOCATION OF UNDERGROUND FACILITIES



4197 Court Anthony
 Waterford, MI 48328

Telephone: (248) 739-9955
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CLIENT:
ST. JOSEPH CHALDEAN CHURCH
 2440-44 EAST BIG BEAVER ROAD
 CITY OF TROY, MICHIGAN
 TELEPHONE: 248-689-4242

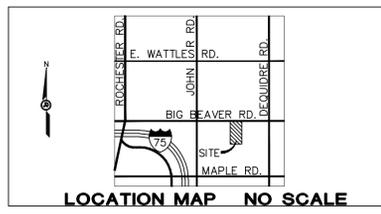
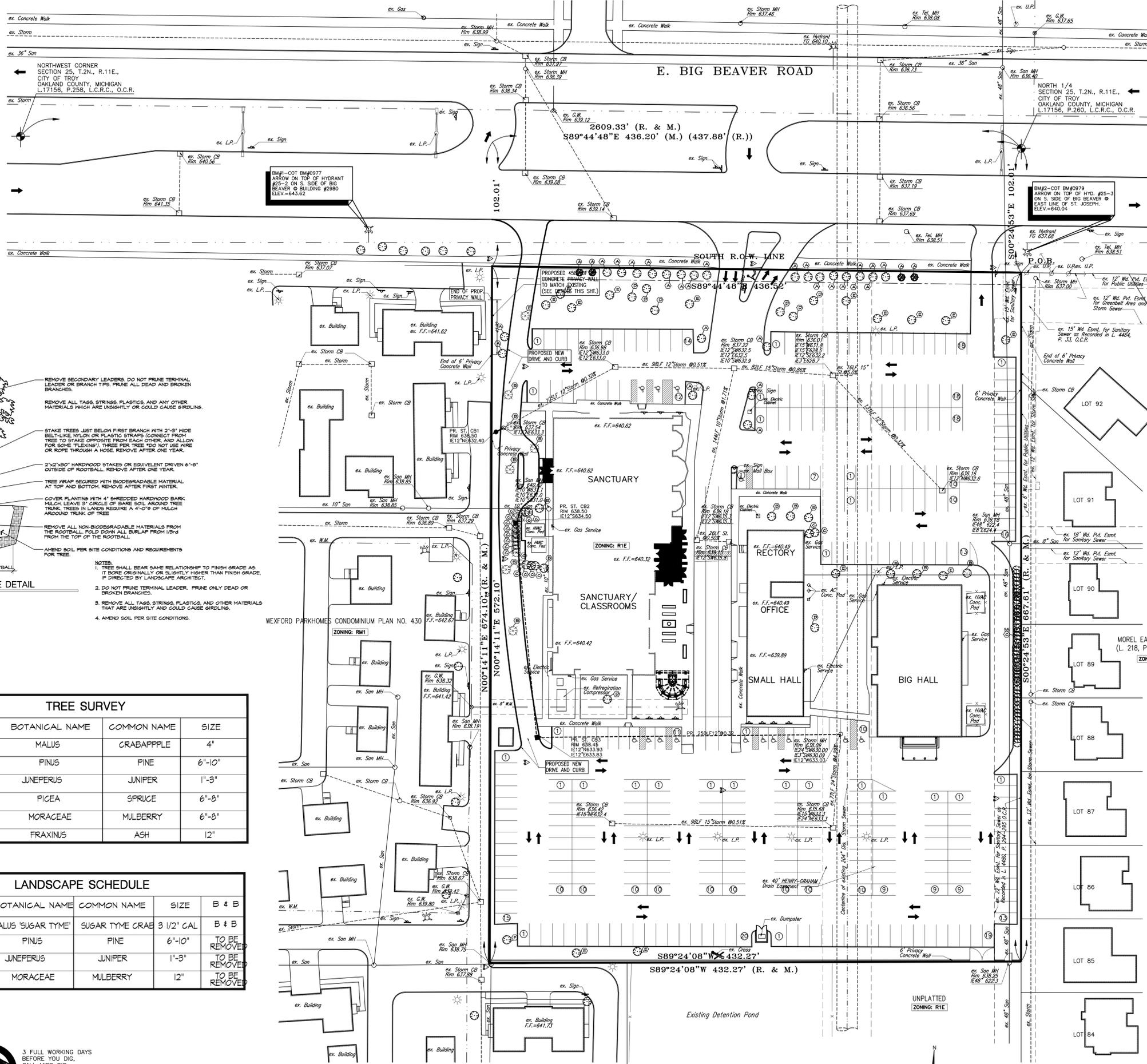
SHEET TITLE:
PRELIMINARY GRADING PLAN
PROJECT TITLE:
ST. JOSEPH CHALDEAN CHATHOLIC CHURCH
 2440-44 EAST BIG BEAVER ROAD
 NW 1/4 OF SEC. 25, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN

PROJECT NO.:
 1007
DRAWN JAD
CHECKED JAD
APPROVED JAD

ISSUED FOR DATE
 TOPO SURVEY 10-03-10
 PRELIM SITE PLAN 11-01-10

SCALE: 1"=40'
SHEET NO.:

PC-3



ZONING: R1-E: ONE FAMILY RESIDENTIAL DISTRICT
LEGAL DESCRIPTION:
 A PARCEL OF LAND BEING PART OF THE NORTHWEST CORNER OF SECTION 25, T.2N., R.11E., CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
 COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION; S.00°24'53"E, 102.01 FEET ALONG THE N.-S. 1/4 LINE TO THE P.O.B.; THENCE CONTINUING ALONG SAID LINE S.00°24'53"E, 555.50 FEET; THENCE S.89°24'08"W, 432.27 FEET; THENCE N.00°14'11"E, 572.10 FEET TO THE SOUTH R.O.W. LINE OF BIG BEAVER ROAD (102.00' 1/2 WD.); THENCE ALONG SAID S. R.O.W. LINE S.89°44'48"E, 437.88 FEET (M.) TO THE P.O.B. CONTAINING 5.712 ACRES OF LAND, SUBJECT TO ANY AND ALL EASEMENTS OF RECORDS, IF ANY. ALSO KNOWN AS PARCEL IDENTIFICATION NUMBER: 20-25-126-024.

DESCRIPTION	LEGEND	
	EXISTING	PROPOSED
STORM/SEWER	MANHOLE CB	MANHOLE CB
SANITARY/SEWER	MANHOLE CB	MANHOLE CB
WATER LINE	PIPE W/VALVE	PIPE W/VALVE
UTILITY POLE/POWER LINE	POLE	POLE
UTILITY POLE W/GUY WIRE	POLE	POLE
GAS LINE	PIPE	PIPE
CONCRETE PAVEMENT	CONCRETE	CONCRETE
SILT FENCE	SILT FENCE	SILT FENCE
FENCE	FENCE	FENCE
FABRIC FILTER FENCE	FABRIC FILTER FENCE	FABRIC FILTER FENCE
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	11-30-277-078	11-30-277-078
FIRST FLOOR ELEVATION	FF=987.7	PROP. FF=987.7
BASEMENT FLOOR ELEV.	BF=987.7	PROP. BF=987.7
GARAGE FLOOR ELEVATION	GF=987.7	PROP. GF=987.7
CENTERLINE OF PAVEMENT	C	C
SPOT ELEVATION	SPOT	SPOT
CONTOUR LINE	CONTOUR	CONTOUR
BOTT. SWALE ELEV.	SW	SW
TOP OF STAIRS ELEV.	STAIRS	STAIRS
BOTTOM OF STAIRS ELEV.	STAIRS	STAIRS
TOP OF CURB ELEVATION	CURB	CURB
EASEMENT	EASEMENT	EASEMENT
SURFACE DRAINAGE FLOW		

FLOOD ZONE DETERMINATION
 F1.0A
 CITY OF TROY-OAKLAND COUNTY-MICHIGAN
 PANEL# 261250-0553 (NORTH PART OF PROPERTY)
 PANEL# 261250-0561 (SOUTH PART OF PROPERTY)
 MAP REVISED JANUARY 16-2009
 PROPERTY DOES LIE WITHIN A MINIMAL OR NO IMPACT FLOOD ZONE.

BENCH MARK-NAVD88 DATUM
 THE BENCHMARK DESCRIPTIONS, ELEVATIONS, AND LABELS CONTAINED ON THIS LIST IS SUBJECT TO CHANGE, WITHOUT PRIOR NOTICE AT ANY TIME DUE TO ONGOING CONSTRUCTION AND MAINTENANCE PROJECTS THROUGHOUT THE CITY OF TROY. IT IS STRONGLY ADVISED TO FIELD MEASURE ELEVATION DIFFERENCE BETWEEN A MINIMUM OF TWO BENCHMARKS TO VERIFY A BENCHMARK ELEVATION BEFORE USE ON THIS PROJECT.

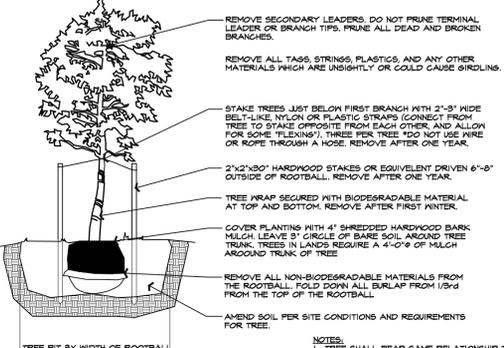
LANDSCAPE REQUIREMENTS
ZONING ORDINANCE-SEC. 39.80.02
 1. STRIP OF LAND 10' IN WIDTH ADJACENT ANY PUBLIC STREET/FREEMAN OR R.O.W. LANDSCAPED WITH A MINIMUM OF ONE (1) TREE FOR EACH (20) LINEAR FEET OF PROPERTY ABUTTING SAID R.O.W.
 TREE REQUIREMENTS IN 10' STRIP ABUTTING R.O.W.:
 10' STRIP=38.52'20"=21.83 TREES (USE 23 TREES REQUIRED)
 (TREES PROVIDED: 15 TREES)

ZONING ORDINANCE-SEC. 39.80.03
 1. ALL PARKING AREAS OCCURRING WITHIN THE DEVELOPMENT AREA SHALL BE PROVIDED WITH A MIN. FIVE (5) FOOT CONCRETE SIDEWALK BETWEEN THE SUBJECT PARKING AREAS AND THE RESIDENTIAL DEVELOPMENT.
 (PROVIDED)

ZONING ORDINANCE-SEC. 39.80.04
 1. CONCRETE SIDEWALK FIVE (5) FEET IN WIDTH, (EIGHT (8) FEET IN WIDTH FOR BIKWAY FACILITIES) SHALL BE CONSTRUCTED ACROSS ALL PUBLIC STREET FRONTAGES.
 (PROVIDED)

ZONING ORDINANCE-SEC. 39.80.05
 1. IN ADDITION TO ANY LANDSCAPE BUFFER REQUIRED BY SEC. 39.80.02, TEN (10) PERCENT OF THE NET SITE AREA SHALL BE DEVELOPED AS LANDSCAPED OPEN SPACE. SAID LANDSCAPED OPEN SPACE SHALL BE LOCATED ONLY WHEN LOCATED IN THE FRONT OR SIDE YARDS, PEDESTRIAN WALKS, PLANTERS, AND OTHER DECORATIVE ELEMENTS MAY BE INCLUDED IN SUCH LANDSCAPED AREAS, NO MORE THAN TWENTY (20) PERCENT OF THE REQUIRED LANDSCAPED AREA MAY CONSIST OF DURABLE NON-LIVING LANDSCAPED MATERIAL.
 LANDSCAPED AREAS SHALL BE COUNTABLE ONLY WHEN SUCH ARE TWO HUNDRED (200) SQUARE FEET MORE IN AREA, AND WHEN TYPICALLY FIVE (5) FEET OR MORE IN WIDTH.
 TOTAL NET AREA = 248,803.35 SQ.FT/10/100=
 OPEN SPACE REQUIRED = 24,880.335 SQ.FT/10/100 = 2,488.0335
 EXISTING OPEN SPACE PROVIDED = 248,803.35 SQ.FT/10/100 = 44,796 SQ.FT.
 (PROVIDED)

PARKING REQUIREMENTS
ZONING ORDINANCE-SEC. 40.21.21 RELIGIOUS WORSHIP FACILITIES
 ONE (1) FOR EACH (3) SEATS OR SIX (6) FEET OF BENCH SEATING IN THE MAIN UNIT OF WORSHIP.
 EXISTING SEATING CAPACITY IN SANCTUARY = 800 SEATS
 REQUIRED PARKING SPACES FOR SANCTUARY = 800/3 = 266.7/USE 267 SPACES.
ZONING ORDINANCE-SEC. 40.21.31.B BANQUET ROOM
 ONE (1) FOR EACH TWO (2) PERSONS WITH THE SEATING CAPACITY OF THE ESTABLISHMENT, PLUS ONE (1) EMPLOYEE PARKING SPACE FOR EACH TEN (10) SEATS WITHIN THE SEATING CAPACITY OR ONE (1) FOR EACH TWENTY (20) SQUARE FEET OF BANQUET AREA, WHICHEVER IS GREATER.
 EXISTING SEATING CAPACITY IN BANQUET ROOM = 325 SEATS
 REQUIRED PARKING SPACES FOR GUESTS = 325/2 = 162.5/USE 163 SPACES.
 REQUIRED PARKING SPACES FOR EMPLOYEES = 325/10 = 32.5/USE 33 SPACES.
 TOTAL REQUIRED PARKING SPACES FOR BANQUET ROOM = 196 SPACES
ZONING ORDINANCE-SEC. 40.21.71 BUSINESS AND PROF. OFFICES
 ONE (1) FOR EACH TWO HUNDRED (200) SQUARE FEET OF USABLE FLOOR AREA, AS INDICATED IN SECTION 04-20.63.
 REQUIRED PARKING SPACES FOR GUESTS = 1,000/200 = 5 SPACES.
ZONING ORDINANCE-SEC. 40.21.12 ONE-FAMILY ATTACHED
 TWO (2) FOR EACH DWELLING UNIT.
 MAXIMUM PARKING REQUIREMENT FOR SINGLE USE = 267 SPACES
 EXISTING PARKING PROVIDED = 321 SPACES



REMOVE SECONDARY LEADERS. DO NOT PRUNE TERMINAL LEADER OR BRANCH TIPS. PRUNE ALL DEAD AND BROKEN BRANCHES.
 REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER MATERIALS WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 STAKE TREES JUST BELOW FIRST BRANCH WITH 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRIPS (CONNECT FROM TREE TO STAKE OPPOSITE FROM EACH OTHER, AND ALLOW FOR SOME "FLAKING"). THREE PER TREE. DO NOT USE WIRE OR ROPE THROUGH A HOSE. REMOVE AFTER ONE YEAR.
 2"x2" HARDWOOD STAKES OR EQUIVALENT DRIVEN 6"-8" OUTSIDE OF ROOTBALL. REMOVE AFTER FIRST WINTER.
 TREE WRAP SECURED WITH BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER FIRST WINTER.
 COVER PLANTING WITH 4" SHREDDED HARDWOOD BARK MULCH LEAVE 2" CIRCLE OF BARE SOIL AROUND TREE TRUNK. TREES IN LANDS REQUIRE A 4'-0" OF MULCH AROUND TRUNK OF TREE.
 REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE ROOTBALL. FOLD DOWN ALL BURLAP FROM 1/8" FROM THE TOP OF THE ROOTBALL.
 AMEND SOIL PER SITE CONDITIONS AND REQUIREMENTS FOR TREE.

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE
(A)	22	MALUS	CRABAPPLE	4"
(B)	8	PINUS	PINE	6'-10"
(C)	62	JUNEPERUS	JUNIPER	1'-3"
(D)	8	PICEA	SPRUCE	6'-8"
(E)	14	MORACEAE	MULBERRY	6'-8"
(F)	1	FRAXINUS	ASH	12"

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	B & B
(A)	4	MALUS 'SUGAR TYME'	SUGAR TYME CRAB	3 1/2" CAL	B & B
(B)	5	PINUS	PINE	6'-10"	TO BE REMOVED
(C)	10	JUNEPERUS	JUNIPER	1'-3"	TO BE REMOVED
(E)	1	MORACEAE	MULBERRY	12"	TO BE REMOVED

3 FULL WORKING DAYS BEFORE YOU DIG. CALL MISS DIG 1-(800)-482-7171 FOR LOCATION OF UNDERGROUND FACILITIES

PRELIMINARY LANDSCAPE PLAN
 SCALE: 1"=40'
 NORTH ARROW

J.A.D. Engineering Services, Inc.

4197 Court Anthony
 Waterford, MI 48328
 Telephone: (248) 739-9955
 JAD222@SBCGLOBAL.NET

CLIENT:
ST. JOSEPH CHALDEAN CHURCH
 2440-44 EAST BIG BEAVER ROAD
 CITY OF TROY, MICHIGAN
 TELEPHONE: 248-689-4242

SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN
 PROJECT TITLE:
ST. JOSEPH CHALDEAN CATHOLIC CHURCH
 2440-44 EAST BIG BEAVER ROAD
 NW 1/4 OF SEC. 25, T.2N., R.11E.
 CITY OF TROY, OAKLAND COUNTY, MICHIGAN

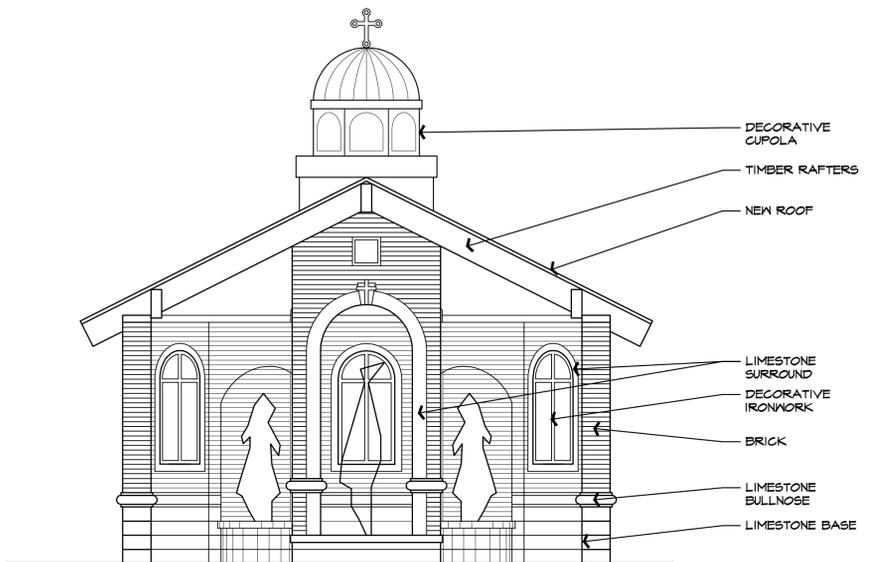
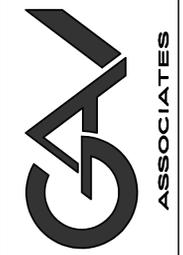
PROJECT NO.:
 1007
DRAWN JAD
CHECKED JAD
APPROVED JAD

ISSUED FOR DATE
 TOPO SURVEY 10-03-10
 PRELIM SITE PLAN 11-01-10

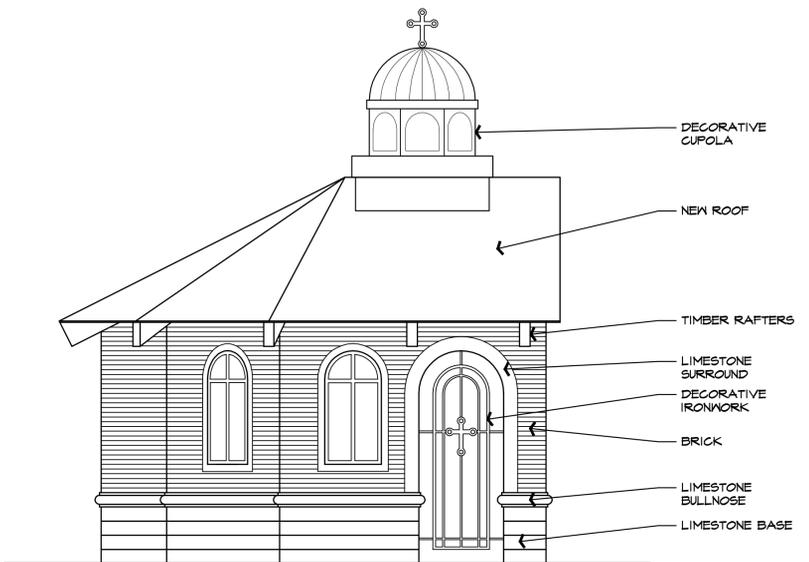
SCALE: 1"=40'
SHEET NO.:
 PC-4

ISSUED FOR	DATE
REVIEW	8-11-10
PRELIMINARY SPA	12-2-10

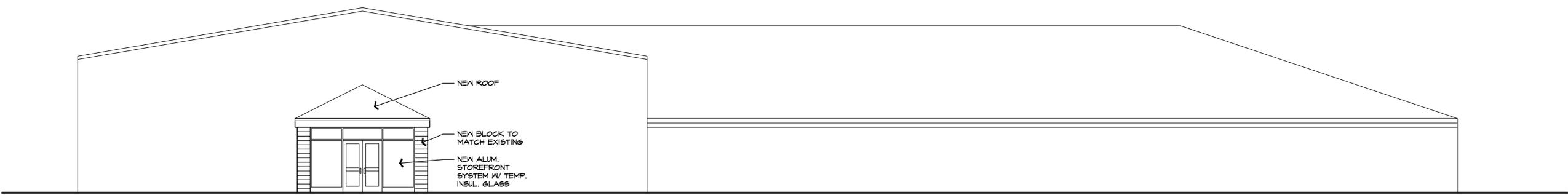
ARCHITECTURAL DESIGN
 RESIDENTIAL
 COMMERCIAL
 INDUSTRIAL
 G.A.V. & ASSOCIATES, INC.
 31471 NORTHWESTERN HWY., SUITE #2
 FARMINGTON HILLS, MI. 48334
 (248) 985-9101
 FAX (248) 985-9105
 EMAIL: GAV@GAVASSOCIATES.COM



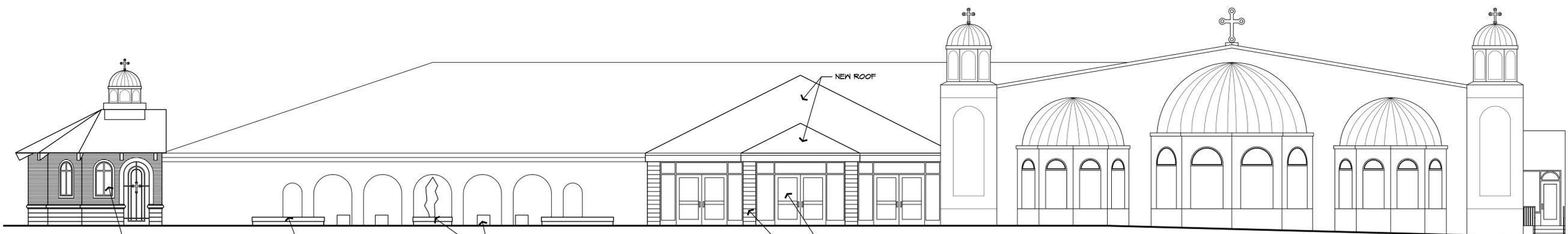
NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

RENOVATIONS AND ADDITIONS TO:
 2442 E. BIG BEAVER ROAD
 TROY, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
DS	GA	GA

SCALE : AS SHOWN

FILE NAME : 10070_A.102

JOB # : 10070

SHEET TITLE
 ELEVATIONS

SHEET #
A.102

REC'D

CITY OF TROY PRELIMINARY SITE PLAN APPLICATION

DEC 2 2010

DATE SUBMITTED: 12-03-10

PLANNING DEPT.

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER
TROY, MICHIGAN 48084
248- 524-3364
FAX: 248-524-3382
E-MAIL: planning @ troymi.gov



SITE PLAN FILE NUMBER SP 231-A
SITE PLAN REVIEW FEE (\$1000.00) pd
SITE PLAN RENEWAL FEE (\$500.00)
FINAL PLAN REVIEW FEE (\$100.00)
ESCROW FEE (\$1500.00) pd

NOTICE TO THE APPLICANT

REGULAR MEETINGS OF THE CITY PLANNING COMMISSION ARE HELD ON THE SECOND TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL. TO BE ELIGIBLE FOR CONSIDERATION AT A PLANNING COMMISSION REGULAR MEETING, A PETITIONER SHALL FILE A COMPLETE PRELIMINARY SITE PLAN APPLICATION, TOGETHER WITH THE APPROPRIATE FEE, NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE DATE OF THAT REGULAR MEETING. APPLICATIONS FOR SITE PLAN APPROVAL INVOLVING AN ENVIRONMENTAL IMPACT STATEMENT SHALL BE FILED NOT LATER THAN FORTY-FIVE (45) DAYS BEFORE THE REGULAR MEETING DATE.

WHEN IT IS DETERMINED THAT THE APPLICATION IS COMPLETE AND MEETS THE REQUIREMENTS OF THE CITY OF TROY ZONING ORDINANCE AND OTHER APPLICABLE LAWS, THE PLANNING DIRECTOR SHALL PLACE THE ITEM ON A FUTURE AVAILABLE PLANNING COMMISSION AGENDA.

PLEASE FILE ORIGINAL APPLICATION FORMS.

1. NAME OF THE PROPOSED DEVELOPMENT: St. Joseph Chaldean Catholic Church

2. LOCATION OF THE SUBJECT PROPERTY: 2442 East Big Beaver Road

THE SUBJECT PROPERTY HAS A FRONTAGE OF 436.52' FEET AND A DEPTH OF 674.10' FEET ON East Big Beaver Road STREET, LOCATED BETWEEN Dequidre AND John R. STREETS. THE ACREAGE OF THE SITE IS 5.712 ACRES

3. ZONING CLASSIFICATION OF THE SUBJECT PROPERTY: R1-E, RM-1

4. TAX IDENTIFICATION NUMBER(S) (SIDWELL) OF SUBJECT PROPERTY: 20-25-126-024

5. DESCRIPTION OF PROPOSED USE: Existing Church Campus w/renovations

GROSS BLDG. AREA OF THIS PROJECT TOTAL G.B.A. ON SITE

6. APPLICANT FOR SITE PLAN APPROVAL:
NAME Monsignor Zouhair Toma Kajbou
COMPANY St. Joseph Chaldean Catholic Church
ADDRESS 2442 E. Big Beaver Road
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-528-3676
E-MAIL monsrztoma@msn.com

OWNER OF THE SUBJECT PROPERTY:
NAME Monsignor Zouhair Toma Kajbou
COMPANY St. Joseph Chaldean Catholic Church
ADDRESS 2442 E. Big Beaver Road
CITY Troy STATE MI ZIP 48083
TELEPHONE 248-528-3676
E-MAIL monsrztoma@msn.com

7. THE APPLICANT BEARS THE FOLLOWING RELATIONSHIP TO THE OWNER OF THE SUBJECT PROPERTY: Same

8. SIGNATURE OF APPLICANT [Signature] DATE 12/3/2010

9. SIGNATURE OF PROPERTY OWNER [Signature] DATE 12/3/2010

Date: January 11, 2011
To: Planning Commission
From: R. Brent Savidant, Acting Planning Director
Subject: DISTRIBUTION OF DRAFT CITY OF TROY ZONING ORDINANCE

A hard copy of the Draft City of Troy Zoning Ordinance will be distributed to all Planning Commission members at the January 11, 2011 Regular meeting. A summary of the proposed changes will also be distributed at the meeting.

Following distribution, the document and proposed changes will be discussed with the Planning Commission.

cc: Richard Carlisle, Carlisle/Wortman Associates, Inc.

G:\ZOTAs\ZOTA 236 Zoning Ordinance Rewrite\PC Memo 01 11 2011.docx

DATE: January 6, 2011
TO: Planning Commission
FROM: R. Brent Savidant, Acting Planning Director
SUBJECT: ELECTION OF OFFICERS

The Planning Commission By-Laws call for the election of Officers (Chair and Vice Chair) and recommendation of appointments to the Board of Zoning Appeals (BZA Representative and BZA Alternate) each January at the Planning Commission Regular meeting.

The Chair shall take nominations from the floor for each position, with the election following immediately thereafter.

Article 3 of the Planning Commission By-Laws is attached for your information.

Attachments:

1. Planning Commission By-Laws (excerpt).

G:\Planning Commission\Planning Commission Elections PC Memo 01 11 11.doc

ARTICLE III – ELECTION OF OFFICERS AND APPOINTMENT OF BZA REPRESENTATIVES

- Section 1. Each January at the Regular Meeting, the Planning Commission shall:
- A. Conduct elections of Officers (Chairman and Vice Chairman); and
 - B. Recommend appointments to Board of Zoning Appeals (BZA Representative and BZA Alternate).

The Chairman shall take nominations from the floor with the election immediately thereafter.

- Section 2. Candidates receiving a majority vote of the total number of members shall be declared elected as a Planning Commission Officer or recommended as a BZA Representative or Alternate.

- Section 3. The Planning Commission Officers shall take office immediately following their election. Officers shall hold their office for a term of one (1) year, or until their successors are elected and assume office. The BZA Representative and BZA Alternate shall assume their responsibilities following confirmation of their appointments by City Council. The BZA Representative and BZA Alternate shall hold their office for a term of one (1) year, or until their successors are appointed and assume office.

- Section 4. The Method of Voting on Nominees shall be as follows:

- A. The Chairperson shall ask for nominations from the floor. A second shall not be required in order to nominate a person as an Officer or BZA Representative or BZA Alternate. The chairperson shall announce each nomination as he or she hears it. If it becomes apparent to the chairperson that there are no further nominations, the chair shall inquire “are there further nominations?” If there are no further nominations, the chair shall declare the nominations as closed.
- B. If there is only one nominee for each position, a single resolution may be used to elect all the officers. The resolution must be approved by a majority of Planning Commission members by a roll call vote.
- C. If there is only one nominee for a particular position, a resolution electing that person to the particular position shall be approved by roll call vote.

- D. If there is more than one nominee for a position, voting shall take place by calling the roll of the Planning Commission and each member is to indicate the name of the individual he or she wishes to fill the position. If one candidate receives a majority vote, that person shall be deemed elected and the chairperson shall announce such election. If no candidate receives a majority vote, the candidate with the least number of votes shall be eliminated from the ensuing ballot and the procedure shall be repeated until one candidate receives a majority vote.

G:\Planning Commission\By-Laws\ARTICLE III Excerpt.doc