

ZONING BOARD OF APPEALS

The Board of Zoning Appeals is a group of seven of your neighbors or peers appointed by City Council to pass judgment on requests for variances and other matters that are brought before them. A variance is a relaxation of the literal provisions of the Zoning Ordinance. Petitioners must indicate a hardship or practical difficulty running with the land that would warrant the granting of the variance.

PROCEDURE

The Board will hear the items in the order that they appear on the agenda. When an item is called, the Chairman will verify that the petitioner is present. Then the City Administration will summarize the facts of the case. The petitioner will then be given an opportunity to address the Board to explain the justification for the action requested.

After the petitioner makes their presentation, and answers any questions that the Board may have, the Chairman will open the Public Hearing. Any person wishing to speak on the request should raise their hand and when recognized by the Chairman, come up to the podium. The speaker should identify themselves with name and address, indicate their relationship to the property in question (i.e. next door neighbor, live behind the property, etc.), state whether they are in favor of or against the variance request and give reasons for their opinion. Comments must be directed through the Chairman. Comments should be kept as brief as possible and closely pertain to the matter under consideration. Only one person will be recognized by the Chairman to speak at one time.

At the conclusion of public comments the Chairman will close the Public Hearing. Once the Public Hearing is closed, no other public comment will be taken unless in response to a specific question by a member of the Board. The Board will then make a motion to approve, deny, or table (delay action) the request. In order for the request to pass a minimum of four votes for approval are needed. If the request is not granted, the applicant has the right to appeal the Board's decision to Oakland County Circuit Court.

VARIANCE REVIEW STANDARDS ZONING ORDINANCE SECTION 15.04 (E) (2)

Dimensional or other non-use variances shall not be granted by the Zoning Board of Appeals unless it can be determined that all of the following facts and conditions exist:

- a) Exceptional characteristics of property for which the variance is sought make compliance with dimensional requirements substantially more difficult than would be the case for the great majority of properties in the same zoning district. Characteristics of property which shall be considered include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation and other similar characteristics.
- b) The characteristics which make compliance with dimensional requirements difficult must be related to the premises for which the variance is sought, not some other location.
- c) The characteristics which make compliance with the dimensional requirements shall not be of a personal nature.
- d) The characteristics which make compliance with dimensional requirements difficult must not have been created by the current or a previous owner.
- e) The proposed variance will not be harmful or alter the essential character of the area in which the property is located, will not impair an adequate supply of light and air to adjacent property, or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, or unreasonably diminish or impair established property value within the surrounding area, or in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the City.



ZONING BOARD OF APPEALS MEETING AGENDA

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

Allen Kneale, Chair, and Glenn Clark, Vice Chair
Bruce Bloomingdale, Kenneth Courtney
David Eisenbacher, Tom Krent, David Lambert
Orestis Kaltsounis (Alternate), Paul McCown (Alternate)

October 15, 2013

7:30 P.M.

Council Chamber

1. ROLL CALL
2. APPROVAL OF MINUTES – September 17, 2013
3. APPROVAL OF AGENDA
4. HEARING OF CASES
 - A. VARIANCE REQUEST, NICOLAIE SANTA, 2245 ALEXANDER – In order to build a shed in the front yard adjacent to Paris, a variance from the requirement that sheds can be located only in rear yards.

ZONING ORDINANCE SECTION: 7.03 (B) (2) (a)
 - B. VARIANCE REQUEST, ARBEN AND EMIRA MEKA, 2529 BINBROOKE – In order to construct a covered porch at the front of the house, an 8 foot variance to the required 40 foot front yard setback.

ZONING ORDINANCE SECTION: 4.06 (C) R-1B Zoning
 - C. VARIANCE REQUEST, ROBERT A. CHAPMAN, 482 STARR – In order to split a parcel into two parcels, a variance from the requirement that new parcels have a 60 foot width and frontage. One of the proposed lots will have a 50 foot width and frontage.

ZONING ORDINANCE SECTION: 4.06 (C) R-1E Zoning
5. COMMUNICATIONS
6. MISCELLANEOUS BUSINESS
7. PUBLIC COMMENT
8. ADJOURNMENT

NOTICE: People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymi.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

On September 17, 2013, at 7:30 p.m., in the Council Chambers of Troy City Hall, Chair Kneale called the Zoning Board of Appeals meeting to order.

1. ROLL CALL

Present:

Allen Kneale
Bruce Bloomingdale
Kenneth Courtney
David Eisenbacher
Thomas Krent
David Lambert
Paul McCown

Absent

Glenn Clark

Also Present:

Paul Evans, Zoning and Compliance Specialist
Julie Quinlan Dufrane, Assistant City Attorney

2. APPROVAL OF MINUTES – July 16, 2013

Moved by Courtney
Seconded by Eisenbacher

RESOLVED, to approve the July 16, 2013 meeting minutes.

Yes: All

MOTION PASSED

3. APPROVAL OF AGENDA – No changes

4. HEARING OF CASES

A. Variance request, Kenneth and Rosemary Lugar, 3144 Upton – In order to construct an addition to the house, a 6 foot variance from the required 10 foot side yard setback, Zoning Ordinance Section 4.06 (C) R-1B Zoning District

Moved by Courtney
Seconded by Bloomingdale

RESOLVED, to grant the request.

Yes: All

MOTION PASSED

- B. Variance request, Paul R. and Linda R. Ford, 2726 Williams - In order to construct a new shed on an existing foundation, a 1 foot variance from the requirement that detached accessory buildings are no closer than 6 feet to a side lot line. The shed is proposed to be set back 5 feet from the side lot line. Zoning Ordinance Section 7.03 (B) (2) (d)

Moved by Krent
Seconded by Eisenbacher

RESOLVED, to grant the request.

Yes: All

MOTION PASSED

- 5. COMMUNICATIONS – None
- 6. MISCELLANEOUS BUSINESS – None
- 7. PUBLIC COMMENT – None
- 8. ADJOURNMENT – The Zoning Board of Appeals meeting ADJOURNED at 7:57 p.m.

Respectfully submitted,

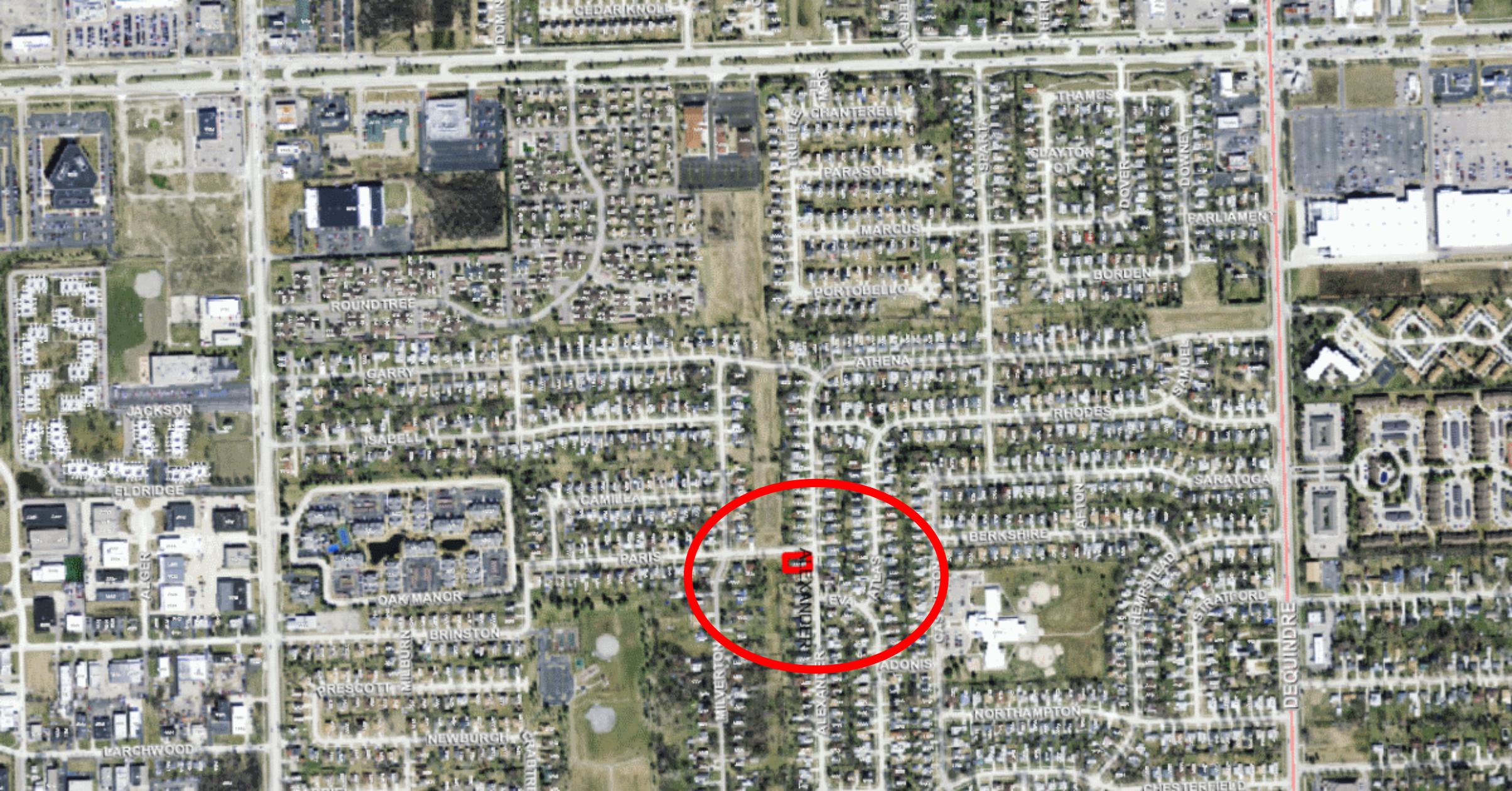
Allen Kneale, Chair

Paul Evans, Zoning and Compliance Specialist

4. HEARING OF CASES

- A. VARIANCE REQUEST, NICOLAIE SANTA, 2245 ALEXANDER – In order to build a shed in the front yard adjacent to Paris, a variance from the requirement that sheds can be located only in rear yards.

ZONING ORDINANCE SECTION: 7.03 (B) (2) (a)





2393

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2414

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2177

EVA

1

2243

2165

2181

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2162

PARIS

ALEXANDER

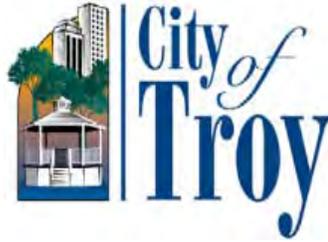
ATLAS

EVA



ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov



FEE \$150.00
<http://troymi.gov/Government/Departments/CodeEnforcement.aspx>

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: _____

2. PROPERTY TAX IDENTIFICATION NUMBER(S): _____

3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: _____

4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: _____

5. APPLICANT:

NAME _____

COMPANY _____

ADDRESS _____

CITY _____ STATE _____ ZIP _____

PHONE _____

E-MAIL _____

AFFILIATION TO THE PROPERTY OWNER: _____

6. PROPERTY OWNER:

NAME _____

COMPANY _____

ADDRESS _____

CITY _____ STATE _____ ZIP _____

TELEPHONE _____

E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, _____ (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE _____ DATE _____

PRINT NAME: _____

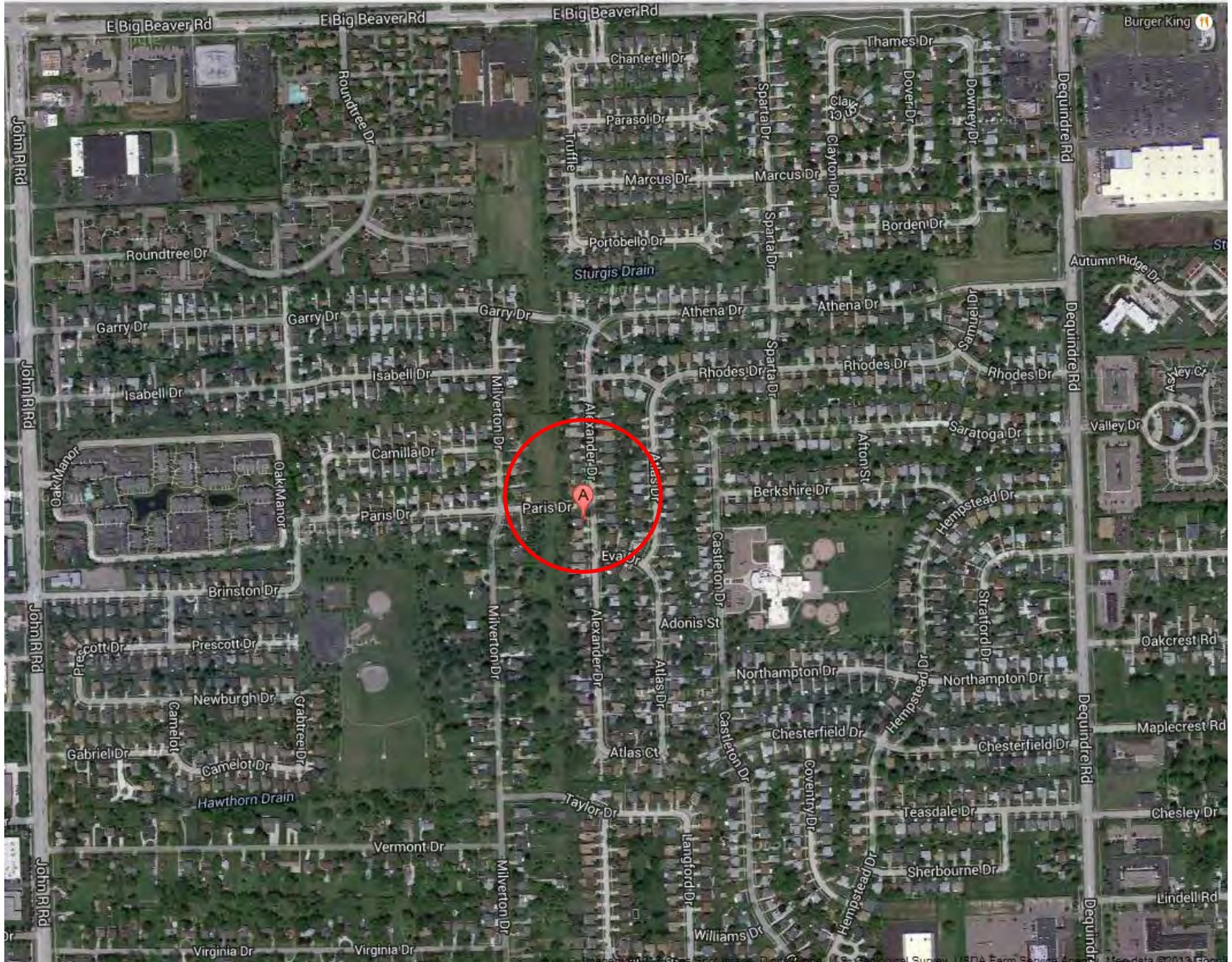
PROPERTY OWNER SIGNATURE _____ DATE _____

PRINT NAME: _____

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

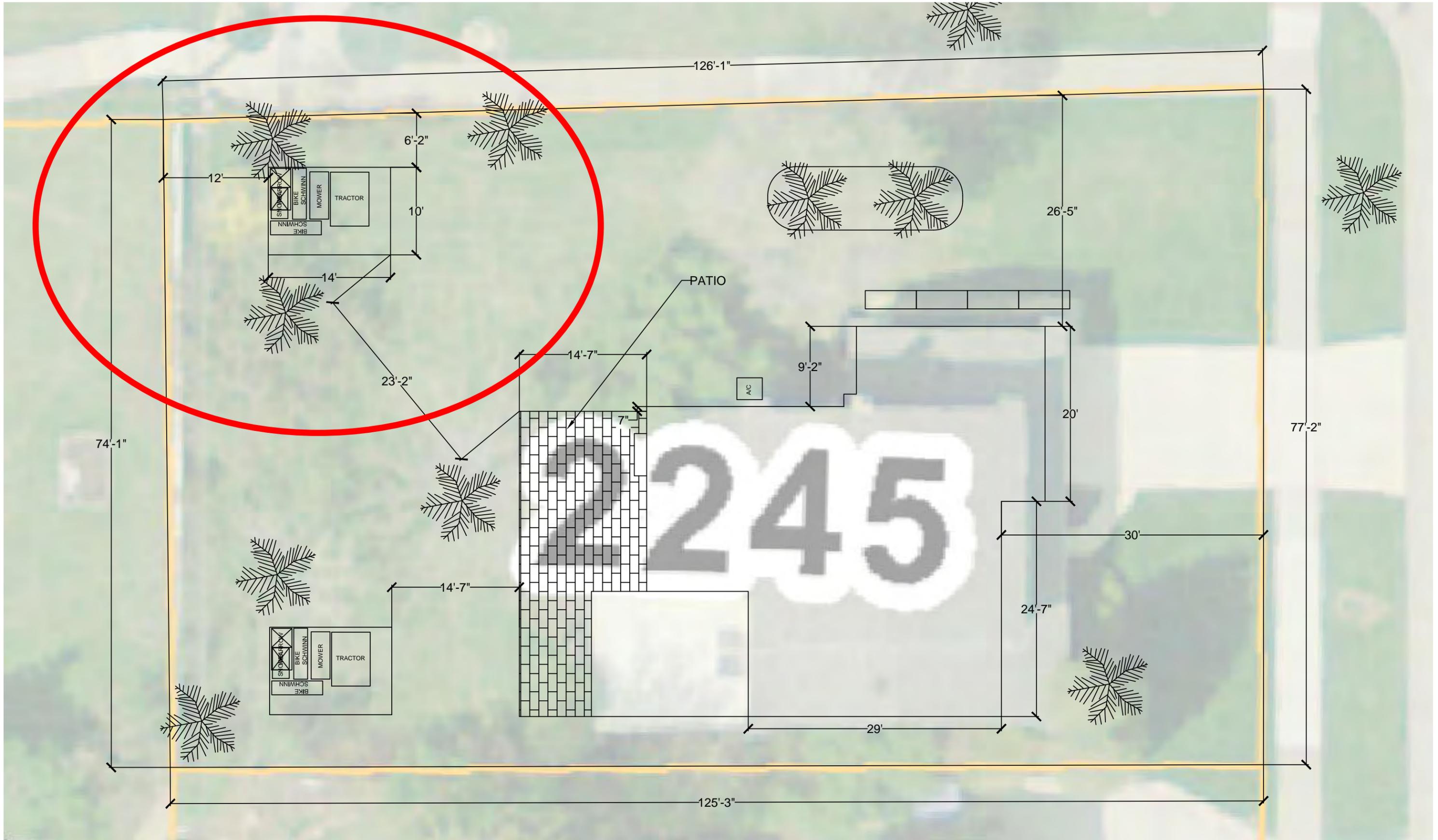
The applicant will be notified of the time and date of the hearing by first class mail.

2245 Alexander Dr., Troy, MI

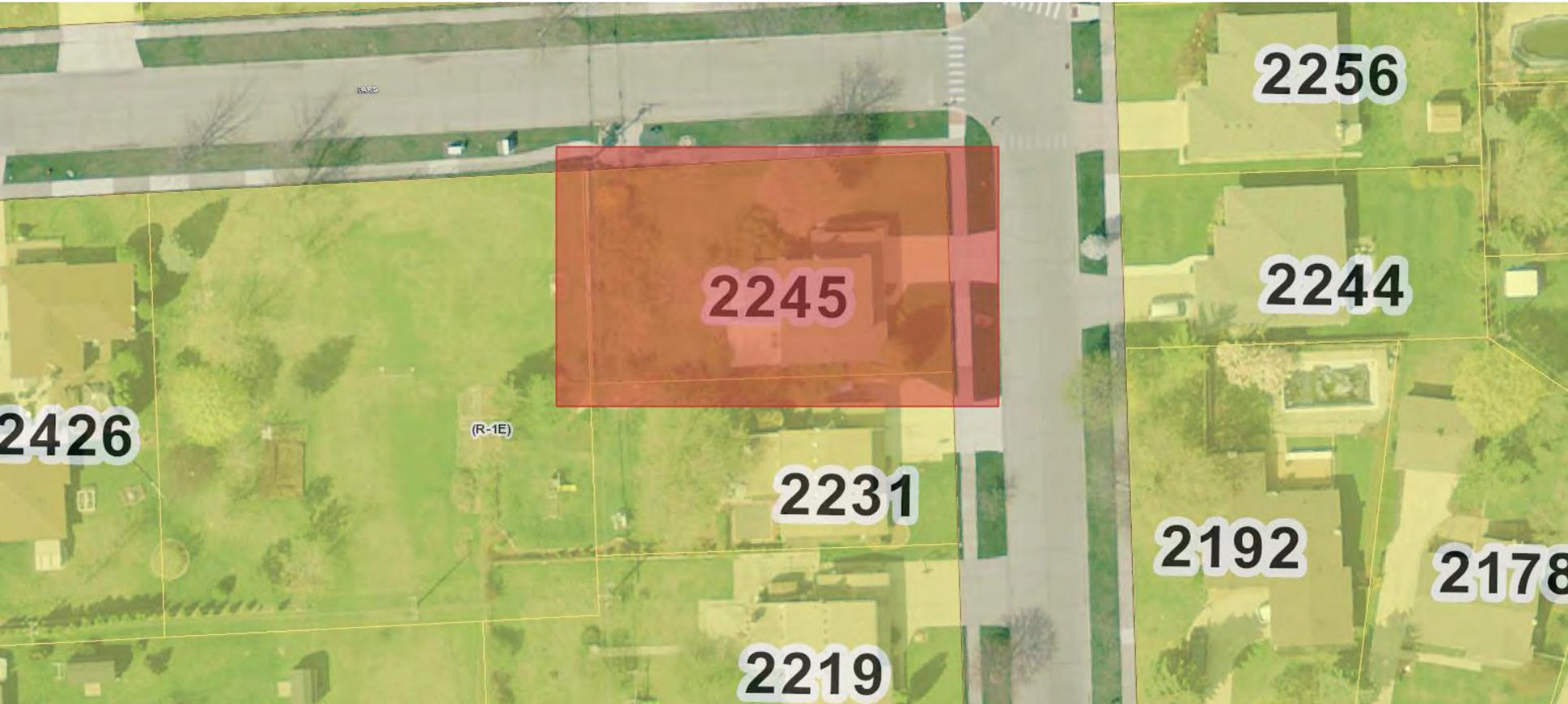


2245 Alexander Dr., Troy, MI





2245 Alexander Dr., Troy, MI



2245 Alexander Dr., Troy, MI



Dining Room Window cover by Florida Room.

Florida Room, All outside walls are glass sliding doors

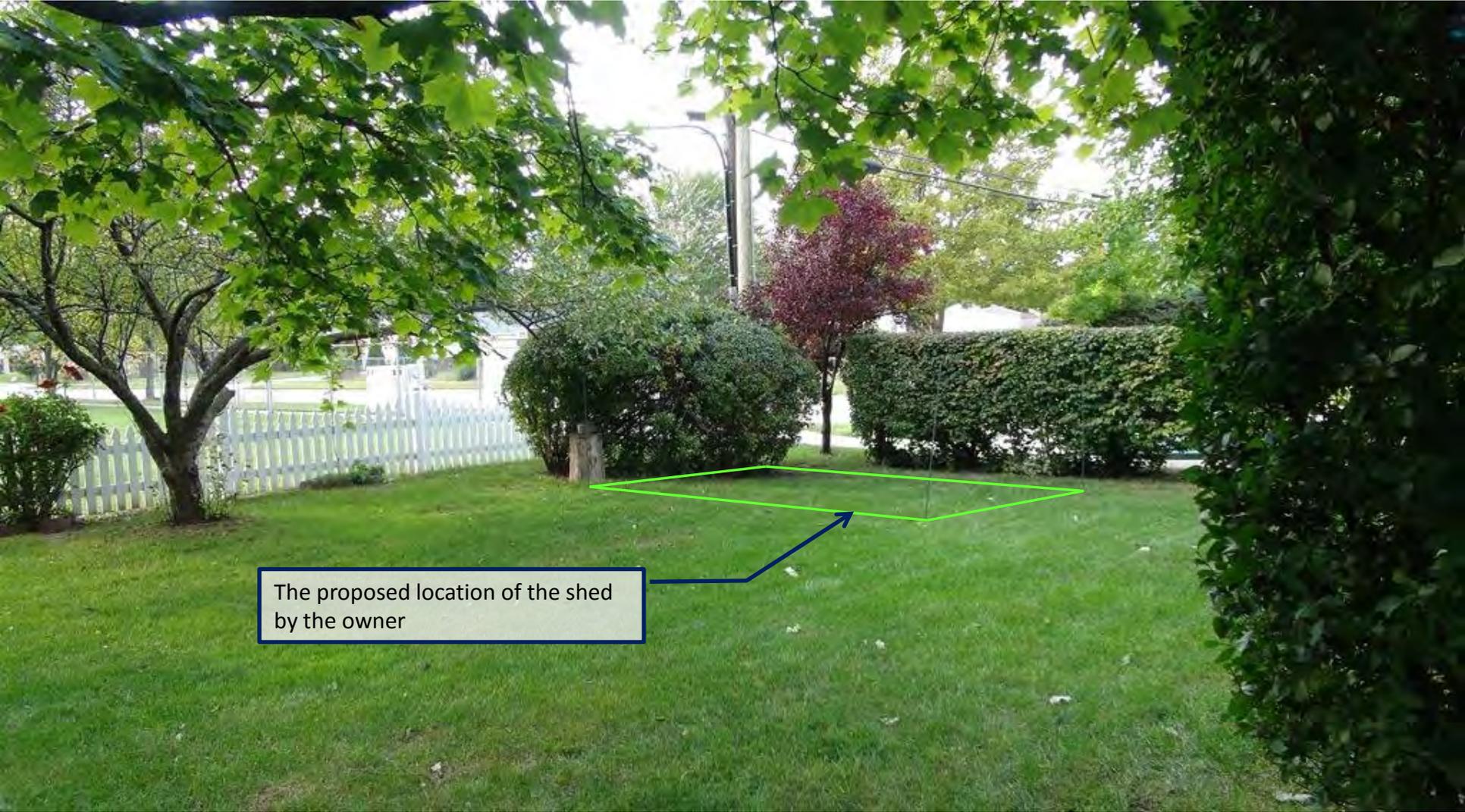
Desired location of the shed by the owner

Compliance location of the shed

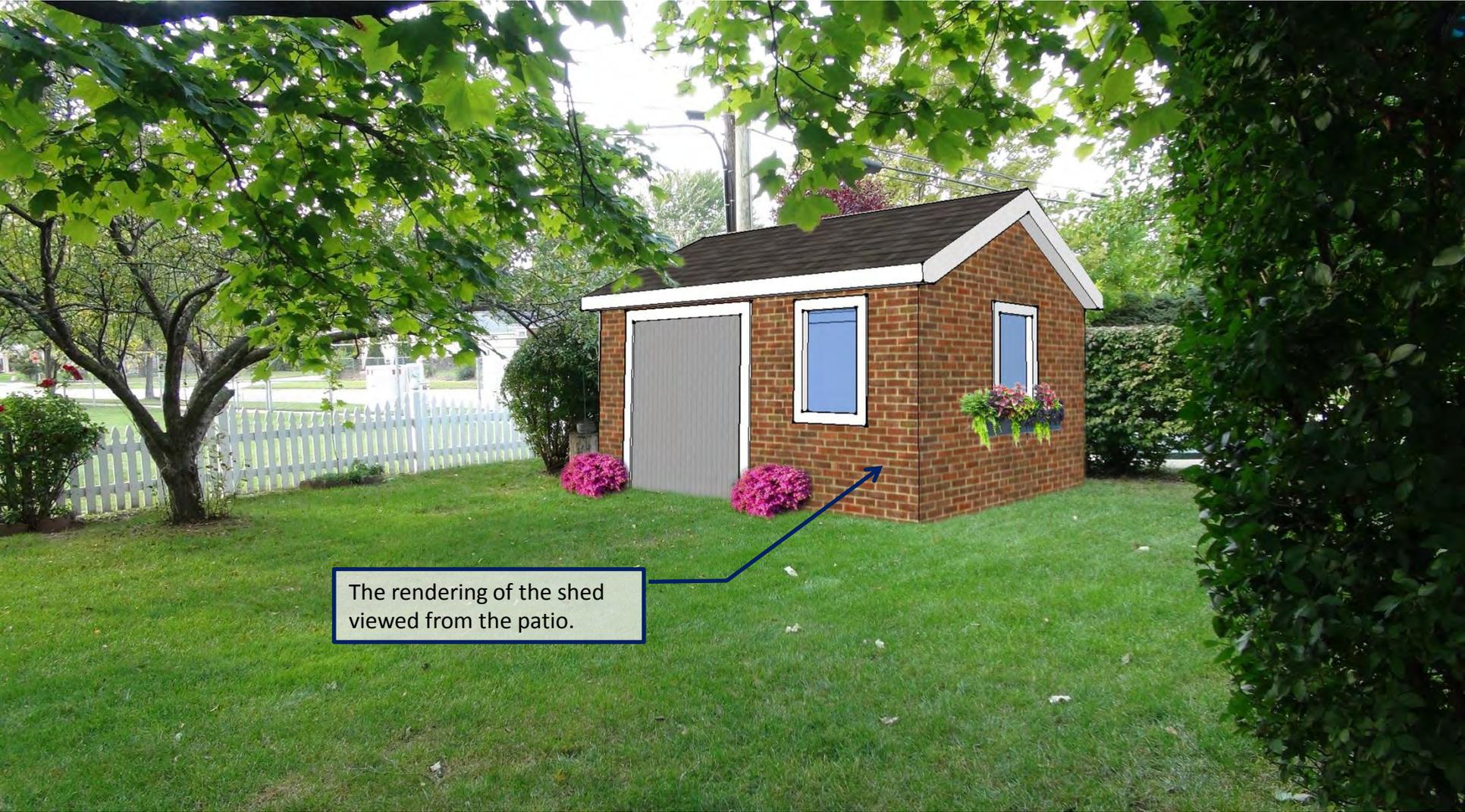
The main reason to build the shed in the location as shown, is because we have a sewer lift station next to our backyard, less than 200 feet from the house (actual distance is around 50 feet). There is a strong odor coming from the ventilation pipe, some time gets inside the house when is hot outside. Also we have limited space in the rear yard, limited daylight we get in the dining room. The backyard is very shaded also.

The actual size of the lot is 0.21 acres
Foot print of the house = 0.04 acres.
Area of the two front house = 0.1 acres.
Area available to build the shed is less than 0.04 acres, considering the easement lines.

Sewer Lift Station



The proposed location of the shed by the owner



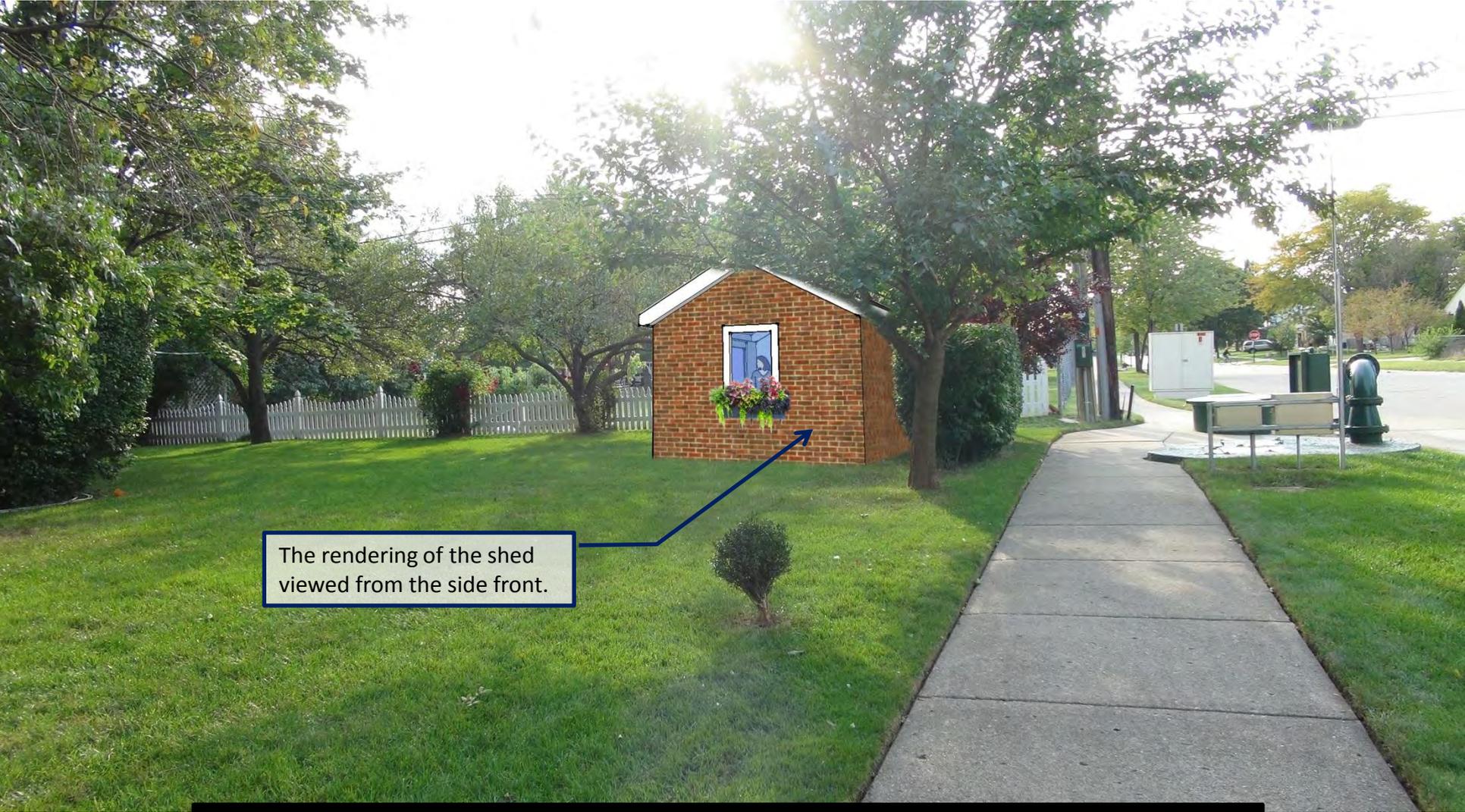
The rendering of the shed viewed from the patio.

2245 Alexander Dr., Troy, MI



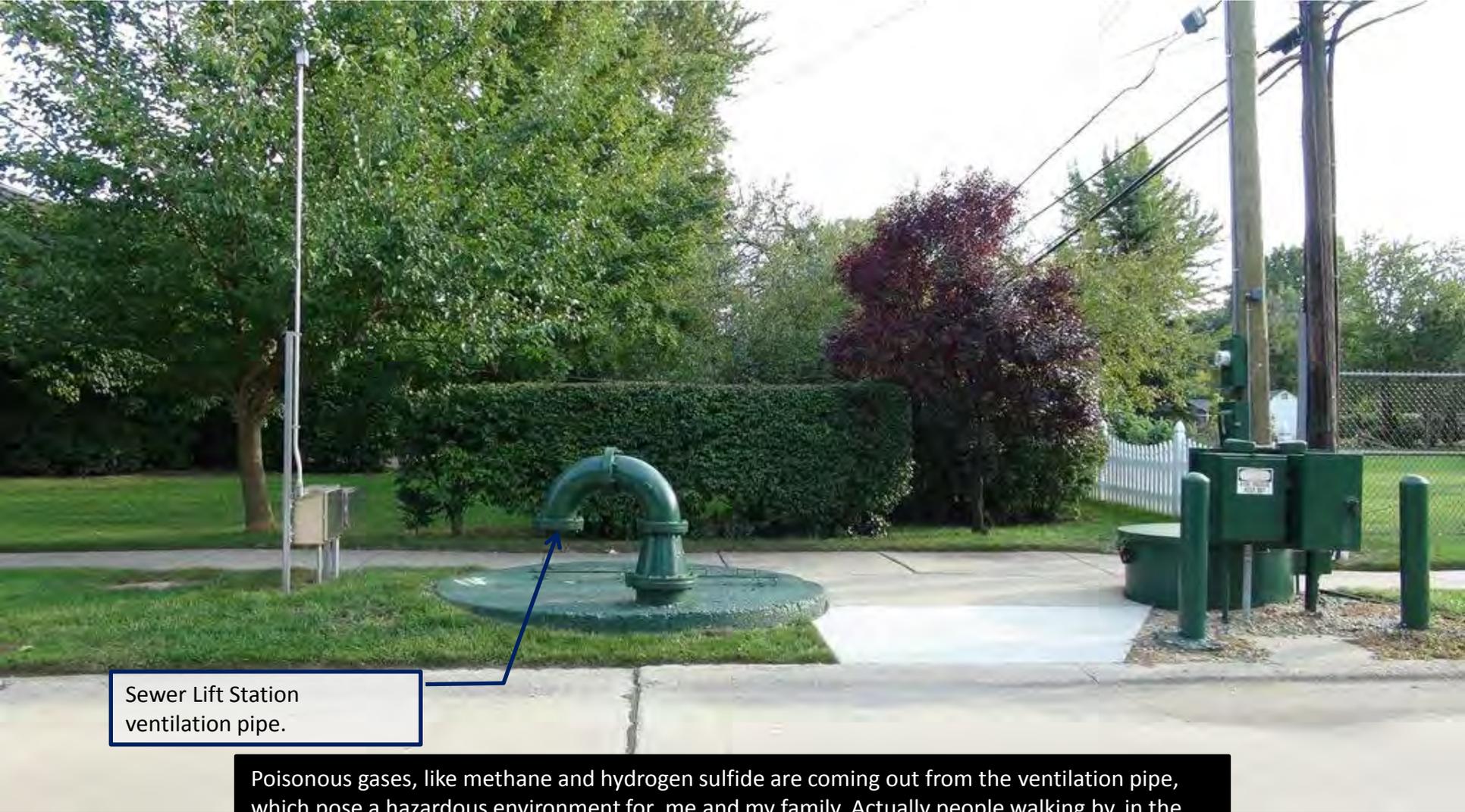
The proposed location of the shed
by the owner

2245 Alexander Dr., Troy, MI



The rendering of the shed viewed from the side front.

Location of the proposed shed does not represent any harm or danger for adjacent property. It is not going to pose any congestion on public streets or side walks or public safety. By contrary, is going to provide me some health protection and comfort, beside the storage space I need.

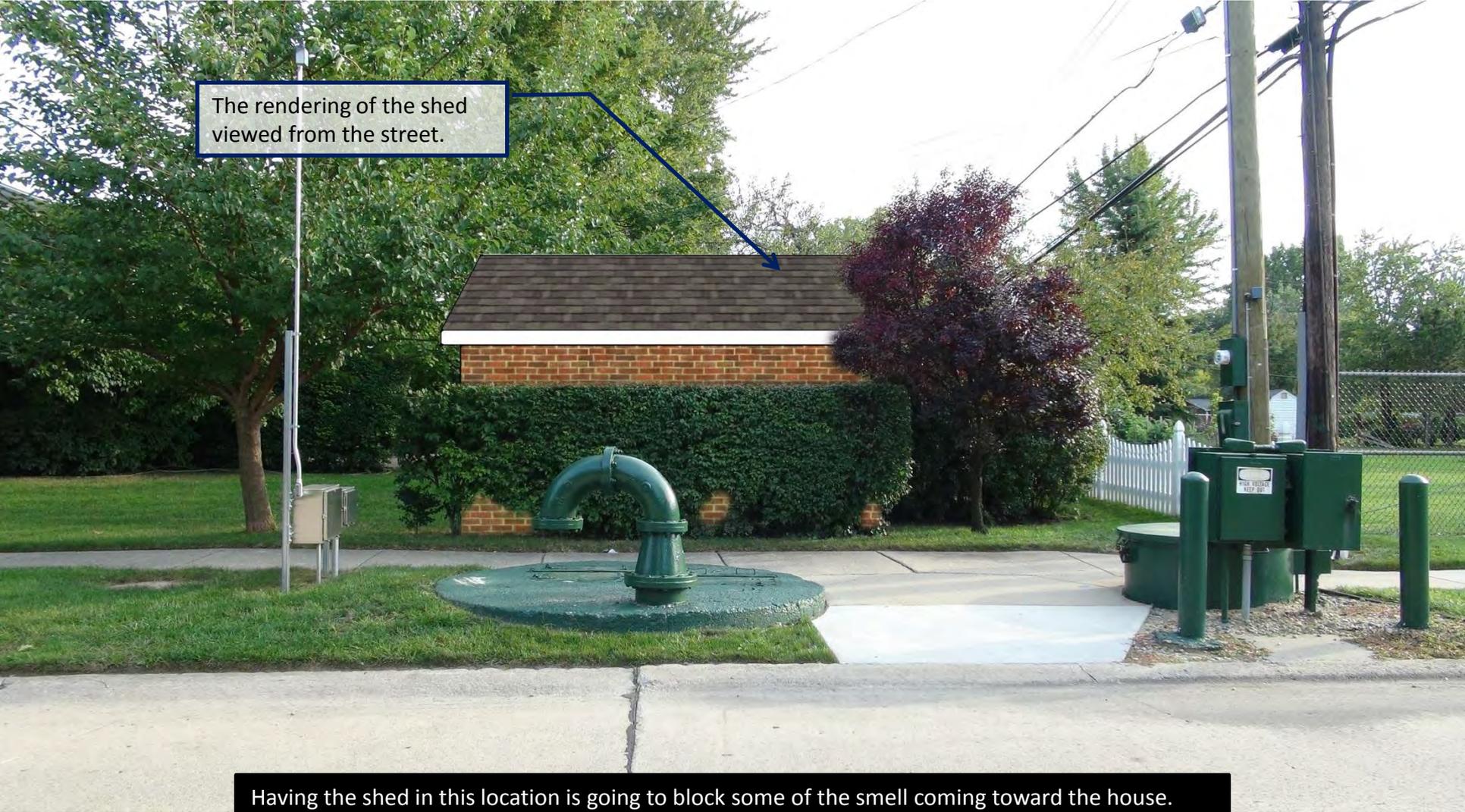


Sewer Lift Station ventilation pipe.

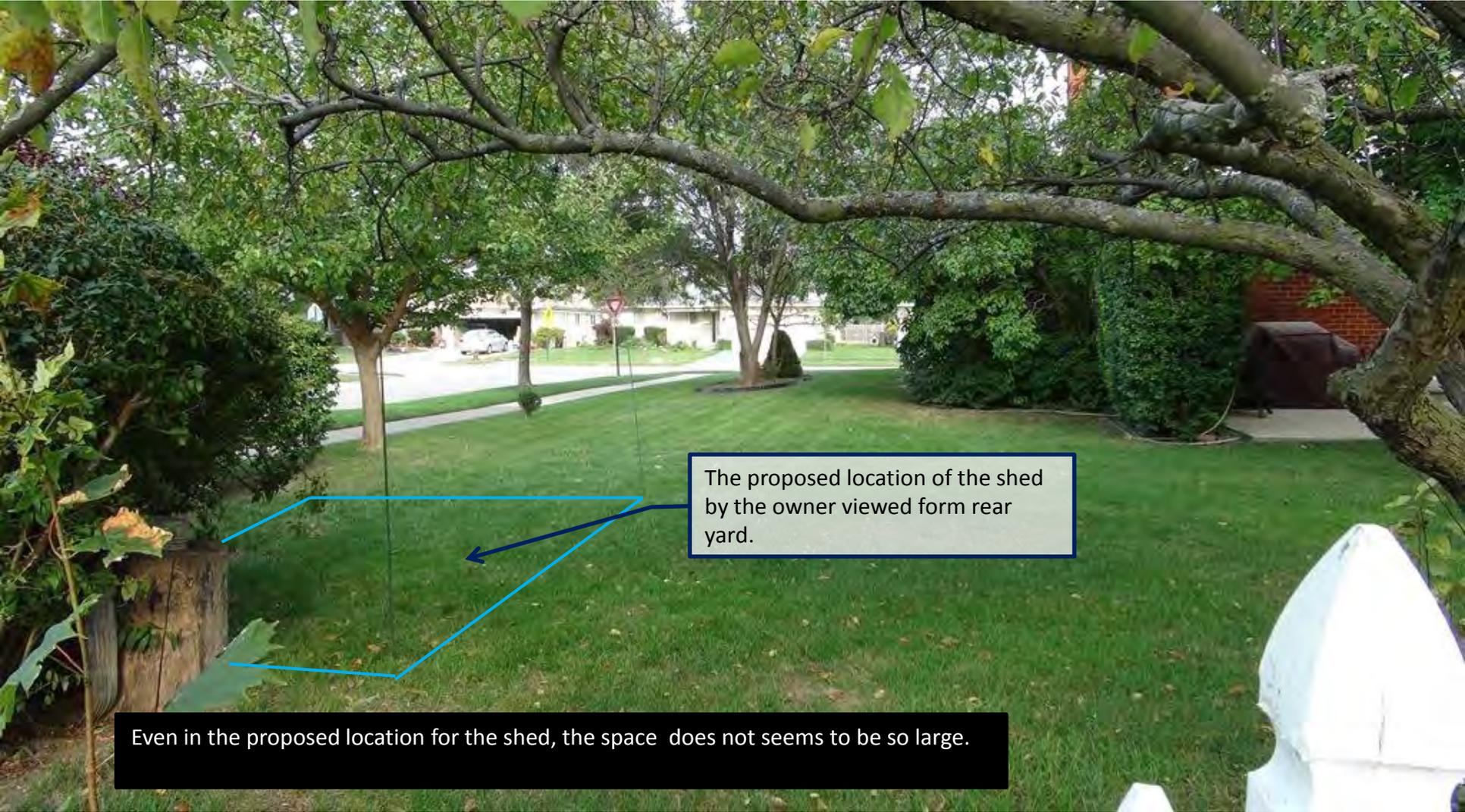
Poisonous gases, like methane and hydrogen sulfide are coming out from the ventilation pipe, which pose a hazardous environment for me and my family. Actually people walking by, in the summer hot days are switching side walks.

2245 Alexander Dr., Troy, MI

The rendering of the shed viewed from the street.

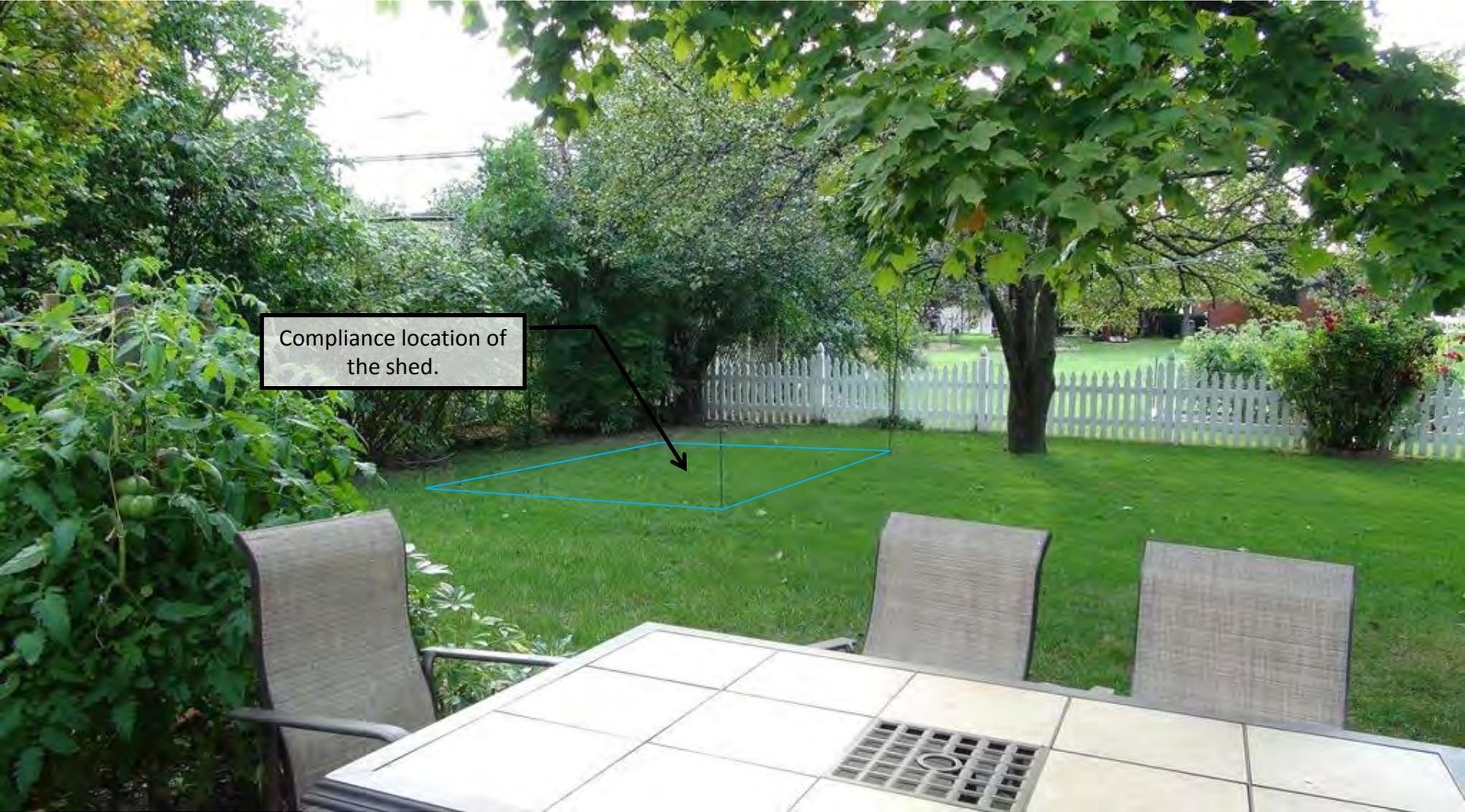


Having the shed in this location is going to block some of the smell coming toward the house. I don't have to see this ugly sight from my patio and I don't have to answer every time a friend or a guest is asking "what is that pipe over there?"
The sight is ugly compared with the sight of the proposed location of the shed.



The proposed location of the shed by the owner viewed form rear yard.

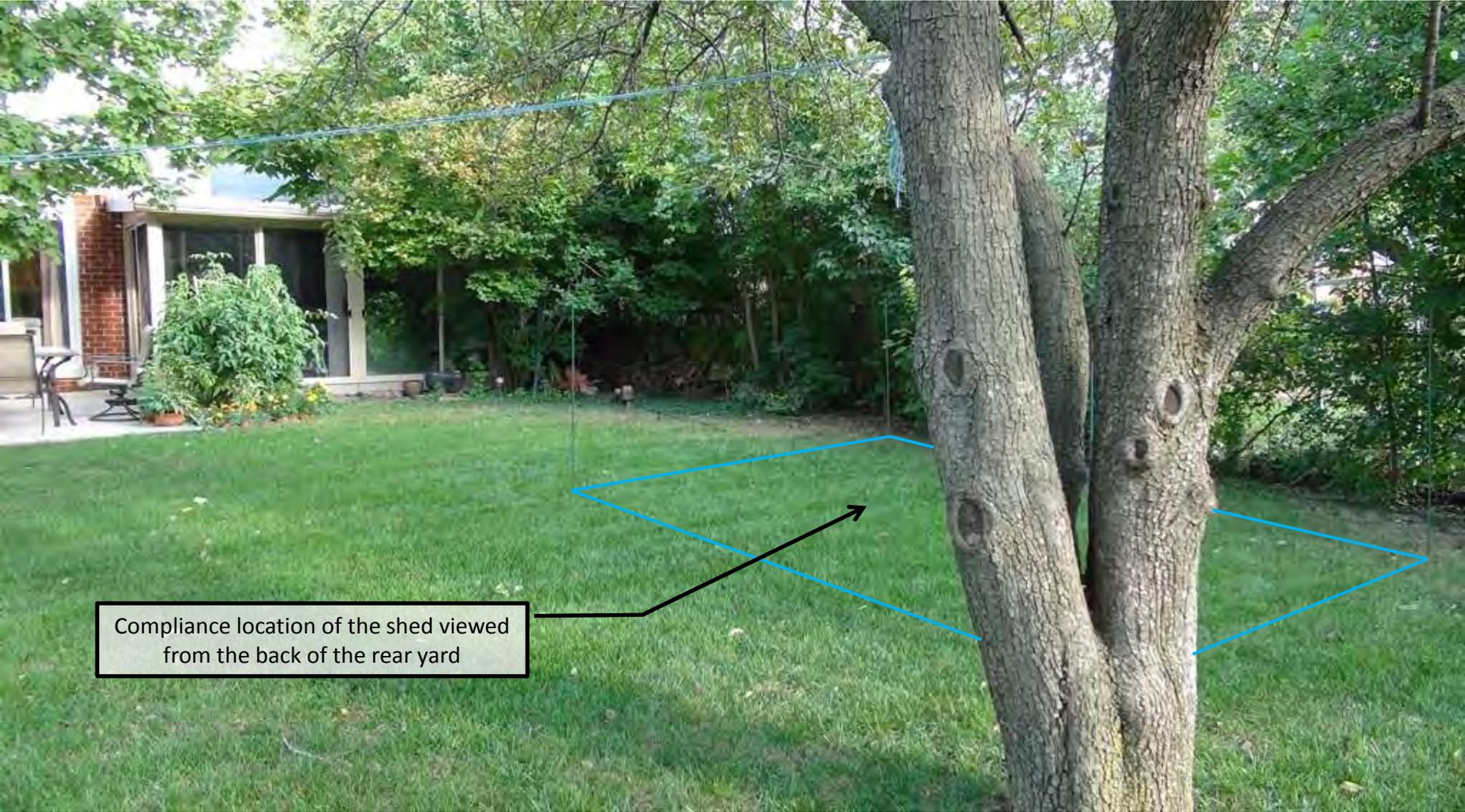
Even in the proposed location for the shed, the space does not seem to be so large.



Compliance location of the shed.

The rendering of the shed viewed from the patio.





Compliance location of the shed viewed from the back of the rear yard

2245 Alexander Dr., Troy, MI

To improve inside light inside the house this bush was cut, also we do not have any flowers or plants in front of Florida room for the same reason, as of now. Pictures were taken last fall.



This area was paved initially and now is restored as was long time ago, being the extension of the concrete patio.

From this view it can be seen how crowded everything is. In real life is even more dramatic than appears on this picture.

2245 Alexander Dr., Troy, MI



Style of the shed to be build by the owner for reference, only



Sewer lift station as viewed by pedestrians walking or bicycling. It does not seem so safe, especially when it is dark outside, is not illuminated during night time.

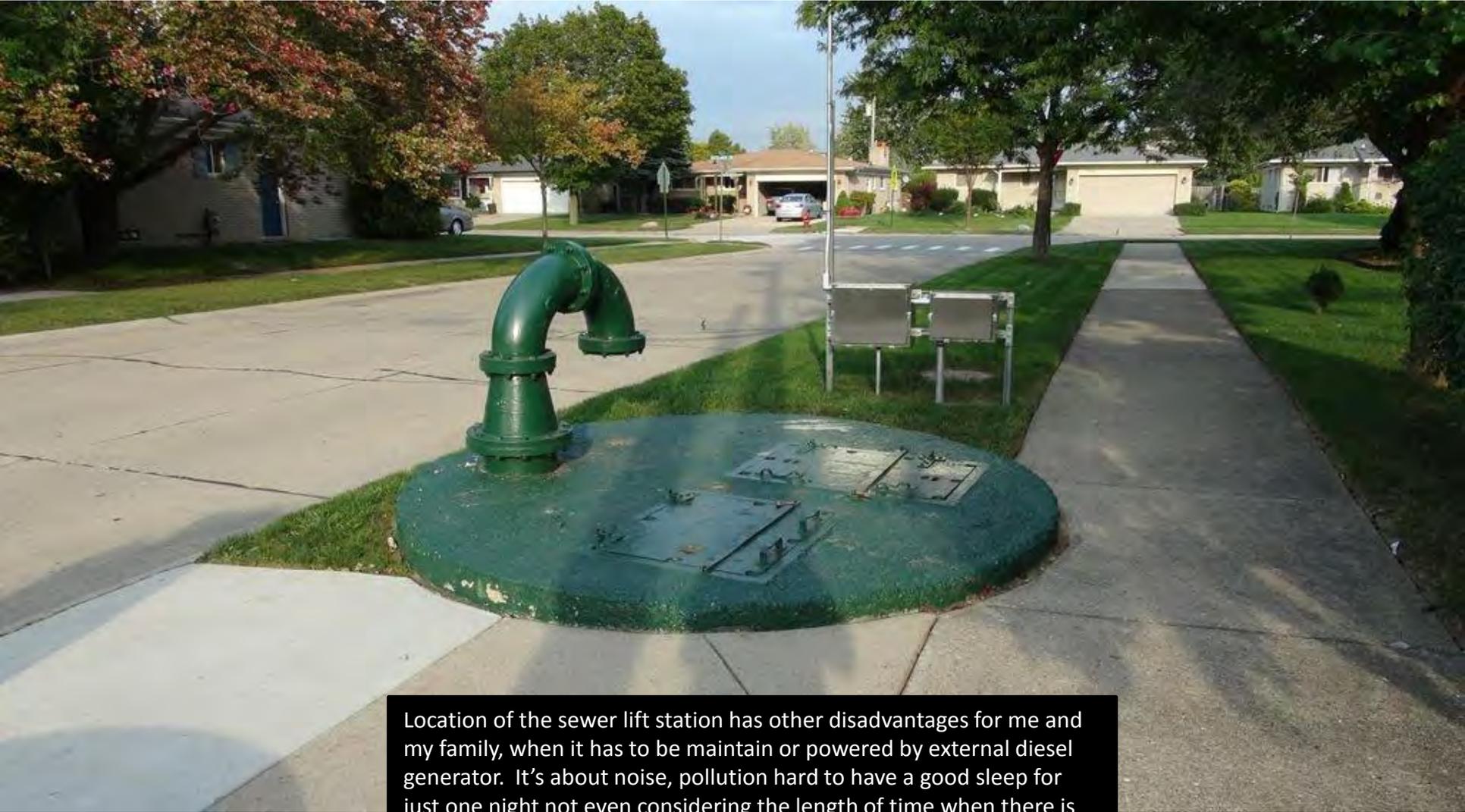
2245 Alexander Dr., Troy, MI



2245 Alexander Dr., Troy, MI



2245 Alexander Dr., Troy, MI



Location of the sewer lift station has other disadvantages for me and my family, when it has to be maintain or powered by external diesel generator. It's about noise, pollution hard to have a good sleep for just one night not even considering the length of time when there is no electric power from the grid, which some times can be days.

Oct. 1, 2013

City of Troy
Planning Dept.
500 W. Big Beaver
Troy, MI 48084

RECEIVED

OCT - 4 2013

PLANNING

Ref. - Request for variance from
requirement that sheds be
located only in rear yards
by the owner of property at
2245 Alexander Dr.

The original reason for
establishing an ordinance
requiring sheds to be in
rear yards should prevail;
unless some unusual extreme
hardship would be imposed
on the property owner by
(cont.)

complying to the rear
yard requirement.

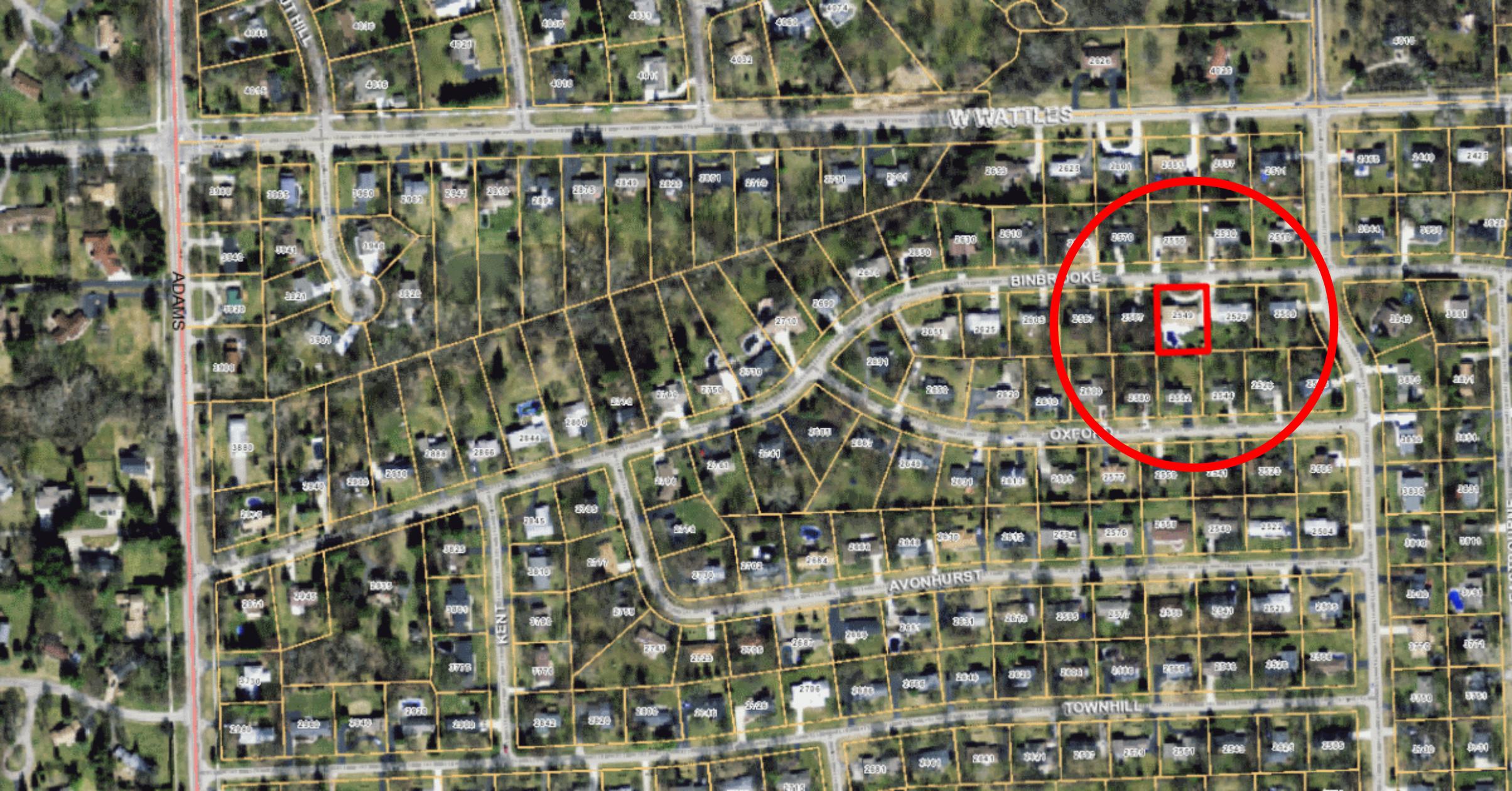
Sincerely,

Roy T. Burgess
2315 Atlas Dr.
Troy, MI 48083

4. HEARING OF CASES

- B. VARIANCE REQUEST, ARBEN AND EMIRA MEKA, 2529 BINBROOKE – In order to construct a covered porch at the front of the house, an 8 foot variance to the required 40 foot front yard setback.

ZONING ORDINANCE SECTION: 4.06 (C) R-1B Zoning



ADAMS

W WATTLES

W WATTLES

BINBROOKE

OXFORD

AVONHURST

TOWNHILL

2549



2630

2610

2590

2570

2550

2530

2510

BINBROOKE

08

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2544

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2508

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102.00

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ORD

OXFORD

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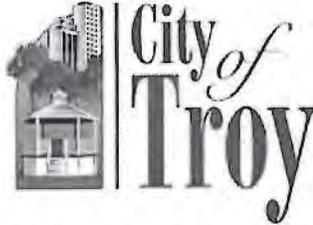
R-203-2-1

R-136-4-4

ZONING BOARD OF APPEALS APPLICATION

RECEIVED
SEP 3 - 2013
PLANNING

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov



FEE \$150.00
<http://troymi.gov/Government/Departments/CodeEnforcement.aspx>

THE ZONING BOARD OF APPEALS MEETS THE THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL. PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST 27 DAYS BEFORE THE MEETING DATE.

- 1. ADDRESS OF THE SUBJECT PROPERTY: 2529 Binbrooke Dr. Troy MI 48084
- 2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-19-126-008 Lot:149
- 3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R-1B
- 4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: N/A
- 5. APPLICANT:
 - NAME ARIBEN and EMIRA MEKA
 - COMPANY _____
 - ADDRESS 2529 Binbrooke Dr.
 - CITY Troy STATE MI ZIP 48084
 - PHONE 586-258-9895
 - E-MAIL a-meka@yahoo.com
 - AFFILIATION TO THE PROPERTY OWNER: self

* underscore

6. PROPERTY OWNER:

NAME ARBEN and EMIRA MEKA
COMPANY _____
ADDRESS 2529 Bimbrocke Dr.
CITY TROY STATE MI ZIP 48084
TELEPHONE 586-258-9895
E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, ARBEN MEKA (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE _____ DATE _____

PRINT NAME: ARBEN MEKA

PROPERTY OWNER SIGNATURE _____ DATE _____

PRINT NAME: ARBEN MEKA

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.

We the owners of the property feel that the proposed covered porch should be reconsidered for the following reasons below:

Statement of practical difficulty:

- The proposed front of the house covered porch will not be harmful or alter the essential character of the area in which our property is located.
- This covered porch will not impair the supply of light nor air to the adjacent property.
- The covered porch will not increase the congestion in the public streets.
- The covered porch will not increase the danger of fire or endanger the public safety.
- We feel that this covered porch will not diminish the established value of the property in contrary will increase the existing value.
- The covered porch will not impair any public health, safety, comfort, morals or welfare of the inhabitants of the City.
- We also feel that the covered front porch will protect the house from wind, snow or rain, therefore, protecting the value of the home.

Respectfully,

Arben and Emira Meka

Date _____

NEEDS BZA Appeal

Steve Burns

From: Steve Burns
Sent: Thursday, August 29, 2013 8:53 AM
To: 'A_Meka@yahoo.com'
Subject: 2529 Binbrooke

Arben,

We are in receipt of your permit request for additions to the existing home. The R1-B zoning district requires a 40' front yard setback. The proposed covered front porch is shown at 32'. A covered front porch is not permitted to encroach into the front yard setback.

Therefore you would need to revise your plan or you can attempt to obtain a variance of 8' from the required front yard setback from the Board of Zoning Appeals. If you decide to apply to the BZA take this application and a copy of your plan to the planning counter at city hall and request an application.

Thanks,

Steve Burns,
Building Official
City of Troy
248-524-3348
SAFEbuilt MI

GENERAL NOTES

- CODE COMPLIANCE**
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS AND PROVISIONS SET FORTH IN THE 2009 MICHIGAN RESIDENTIAL CODE (MRC)
 - ALL INSULATION REQUIREMENTS SHALL COMPLY WITH THE PRESCRIPTIVE ENERGY CODE REQUIREMENTS CONTAINED IN THE 2009 MICHIGAN UNIFORM ENERGY CODE
 - ALL ELECTRICAL, PLUMBING, AND HVAC WORK SHALL COMPLY WITH THE PREVAILING APPLICABLE CODE RELATIVE TO EACH DISCIPLINE
- EMERGENCY EGRESS**
- ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE AND RESCUE. BASEMENT AREA
 - WITH HABITABLE SPACE AND AREAS OF SLEEPING SHALL MEET EMERGENCY EGRESS REQUIREMENTS AS PER 2009 MRC R310
- SMOKE DETECTORS**
- ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE 2009 MRC R 314
 - SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS R314.3
 - SMOKE ALARMS SHALL BE INSTALLED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. R314.3
 - WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT R314.3
 - ALL SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP
- CARBON MONOXIDE ALARMS**
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELING UNITS THAT HAVE ATTACHED GARAGES. R315
- LIGHT FIXTURING COMPLIANCE**
- A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY EFFICIENT LAMPS AS PER THE 2009 MICHIGAN UNIFORM ENERGY CODE 401.2 AND 404.1

- SAFETY OR TEMPERED GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:**
- SWINGING, SLIDING, BI-FOLD GLASS DOORS R308.4
 - ADJACENT TO A DOOR WHERE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES
 - GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING:
 - EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
 - BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR AREA
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY IN A STRAIGHT LINE OF THE GLAZING.
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE STANDING OR WALKING SURFACE
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN A 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

- EMERGENCY ESCAPE AND RESCUE OPENINGS**
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENT CONTAINS ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE PROVIDED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3 OF THE 2009 MRC. THE NET CLEAR OPENING DIMENSIONS REQUIRED SHALL BE OBTAINED BY THE NORMAL OPERATION OF EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHTS BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2 OF THE 2009 MRC. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
 - ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5.0 SQUARE FEET FOR GRADE FLOOR OPENINGS).
 - THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
 - THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24 INCHES.
 - EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

GENERAL FRAMING NOTES

- THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO CONSULT WITH STRUCTURAL ENGINEER FOR ACCURACY OF INFORMATION
- ALL FRAMING SHALL BE OF DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE, AND/OR SPRUCE-PINE-FIR AND SHALL COMPLY WITH THE LOADING AND SPAN REQUIREMENTS AS PER 2009 MICHIGAN RESIDENTIAL CODE
 - PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
 - ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
 - ALL HEADERS SHALL BE (2) 2X10 WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED
 - FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
 - PROVIDE 1 X 4 CROSS BACK AT MID POINT OF SPAN OR 8'-0" ON CENTER MAXIMUM ON ALL FLOORS.
 - ALL EXTERIOR CORNERS INSIDE AND OUTSIDE SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d COMMONS AT 6" O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
 - ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THROUGH ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY THE LOAD.
 - PROVIDE DOUBLE 2 X 8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0" O.C. MINIMUM
 - HIP, VALLEY RAFTERS, AND RIDGE BOARD SHALL BE ONE 2X SIZE LARGER THAN RAFTERS.
 - ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
 - WHERE PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEARS THE SEAL OF A REGISTERED ENGINEER IN THE STATE OF MICHIGAN.
 - ALL CEILING JOISTS AND RAFTERS BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY THE LOAD.
 - ALL BASEMENT WALLS, BEAMS, AND COLUMNS SHALL BE DESIGNED BY A LOCAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AND SHALL MEET ALL APPLICABLE BUILDING AND CONSTRUCTION CODES.
 - ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. SHALL BE DESIGNED BY A LOCAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AND SHALL MEET ALL APPLICABLE BUILDING AND CONSTRUCTION CODES.
 - ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 X 4 AND 2 X 6 WOOD STUDS.

GENERAL NOTES

- REFER TO SECTION SHEETS FOR ALL CEILING, PLATE HEEL, AND WALL HEIGHTS.
- REFER TO ELEVATIONS FOR ADDITIONAL WINDOW INFORMATION AND HEADER SIZES.
- ALL STEEL CONNECTIONS SHALL BE OF THE BOLTED AND SEALED TYPE (IF APPLICABLE)
- ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, AND REGULATIONS
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND THE DESIGN OFFICE FOR JUSTIFICATION
- ALL DIMENSIONS SHOULD BE READ AND CALCULATED AND NEVER SCALED.
- ALL FOOTINGS SHALL EXTEND BELOW FROST LINE AND SHALL BEAR ON FIRM UNDISTURBED SOIL. CAPABLE OF HANDLING THE BUILDING LOADS. CONSULT LOCAL STRUCTURAL ENGINEER, LICENSED IN THE STATE OF MICHIGAN, FOR PROPER FOOTING AND REINFORCING SIZES. A SOILS ENGINEER AND A SOIL AND BORING TEST MAY BE REQUIRED TO ESTABLISH PROPER FOOTING SIZES.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- IF BACKFILL EXCEEDS 4 FT AGAINST ANY FOUNDATION WALL - REINFORCE AS PER CODE.
- THE HOME DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACTS OF ERROR AND/OR OMISSIONS OF THE CONTRACTOR AND/OR SUB-CONTRACTORS.

GENERAL SCOPE OF WORK

- To construct additions and renovations to the existing One Story family dwelling located at 2529 Binbrooke Drive in Troy, Michigan, which consists of the following:
- Demolition of existing rooms, exterior walls, windows, and doors, interior walls and doors, and portion of existing roof over Front Porch as required for construction of new additions.
 - 542 Square Foot Master Bedroom and Bathroom Addition over heated crawl space, which consist of the following:
 - 15 x 20 Master Bedroom with vaulted ceiling, Entrance Corridor, and windows at East and South exterior walls.
 - 10.67 x 6.42 Walk-in Closet with wood shelves and hanging rods.
 - Master Bedroom Bathroom with Spa Tub, Two 54 inch Vanities, Water Closet, Linen Closet, 6.583 x 4.0 Walk-in Shower with shower bench, and windows at South and West exterior walls.
 - 10.67 x 7.0 Study Nook with built-in shelving, desk, and wall cabinets, and new window located at East exterior wall.
 - 24.0 x 5.0 Living Room expansion at North exterior wall which includes:
 - Removal of existing Living Room Ceiling and Ceiling Joists as required for new vaulted ceiling (ridge running east and west)
 - Reverse vaulted gable ceiling at new exterior window located at North exterior wall.
 - New interior bearing column
 - Built-in book shelf ant West end wall
 - New Entrance door and sidelight
 - New window at North exterior wall
 - Ne 8 x 25 Covered Front Porch with stone piers and framed columns, porch rail, and vaulted ceiling as indicated on drawings.
 - Re-shingle existing roof.
 - Replace existing aluminum siding with new horizontal siding and trim.
 - Add stone or cultured stone over portions of existing brick veneer as indicated on drawings.

OUTLINE SPECS FOR PROPOSED SCOPE OF WORK

- 2 x 6 Wood Stud Exterior Framing at all Exterior Walls
- 1/2" Gypsum wall board and Ceilings
- 8'-0" First Floor Plate Height
- Poured Concrete trench footings with 8" cmu grade blocks as required.
- 2 x 10 Wood Floor Joist 16" O.C. with 1/2" T and G Plywood Sub-Floor at First Floor Framing
- Pre-Engineered Roof Trusses with 1/2" CDX Plywood Sheathing, 15 lb. minimum Roof Felt, and Asphalt Shingles over 4/12 and 3.5/12 Roof Pitches with continuous Ridges Vents where required.
- Cornice Detail includes 24 inch Overhangs with Ice and Water Shield at all Eaves, Metal Drip Edge, Aluminum Gutters and Downspouts as required with appropriate splash guards or discharge conduits as required, 1 x 6 cellular PVC Fascia, 1 x 6 cellular PVC Frieze Board, and cellular PVC Soffit with 2" continuous Soffit Vent.
- Exterior Wall Composition includes Brick or Stone Veneer, Air Space, House Wrap, 1/2 Plywood Wall Sheathing, 2 x 6 Wood studs with Double 2 x 6 Top Plate, R-20 Wall Insulation, and 1/2" Gypsum Wall Board
- Heated Crawl Space to have 3 inch Poured Concrete Floor Slab Over 6 Mil Visqueen Vapor Barrier, and 3 inch Minimum Compacted Sand or Pea Stone Base, R-10 Perimeter Rigid Insulation under Floor Slab (continuous x 24" wide) and R-13 at Crawl Space Exterior Walls.
- Insulation shall be as follows:
 - R-20 Minimum at Exterior Walls
 - R-38 Minimum at Ceiling
 - R-30 at Floor Perimeter (R-19 Minimum)
 - R-13 at Crawl Space Exterior Walls
 - R-10 under Crawl Slab

AREA CALCULATIONS

EXISTING FIRST FLOOR	1643.0 Sq. Ft.
PROPOSED MASTER BEDROOM and BATH	542.0 Sq. Ft.
PROPOSED LIVING ROOM EXPANSION	120 Sq. Ft.
TOTAL COMBINED FLOOR AREA	2305.0 Sq. Ft.
EXISTING GARAGE	525.0 Sq. Ft.
EXISTING REAR COVERED PORCH	268.0 Sq. Ft.
PROPOSED FRONT PORCH	188.0 Sq. Ft.
TOTAL BUILDING FOOTPRINT	3286.0 Sq. Ft.

DESIGN LOADS

USE	LIVE LOAD (LBS)	DEAD LOAD (LBS)	TOTAL LOAD (LBS)
Attics with limited storage	20	10 min	30
Guardrails and Handrails	220		
Rooms other than Sleeping Rooms	40	10 min	50
Sleeping Rooms	30	10 min	40
Stairs	40	10 min	50
Roof	25	10 min	35

WIND LOADS: Basic minimum wind speed for the Design of wind pressure on a Residence is 90 MPH

DEAD LOADS: The actual weight of materials and construction shall be used for determining the actual Dead load with consideration for the dead load of fixed service equipment. Dead loads consist of the weight of the structure and include finish materials, cabinets, countertops, floor finishes, walls, floors, and roofs, plus any permanently fixed loads such as fixed service equipment. Verify actual weight of building materials, appliances, and permanent equipment and furnishings to determine actual dead load to be incorporated in the final design total loads

ATTIC LOAD NOTES
Attics without storage are those where the minimum clear height between joist and rafter is less than 42 inches. Or where there are not two or more adjacent trusses with the same web configuration capable of containing a rectangle 42 inches high by 2 feet wide, or greater, located within the plane of the truss. For attics without storage, the live load need not be assumed to act concurrently with any other live load requirements.

For Attics with limited space and constructed with trusses, the live load need be applied only to those portions of the bottom chord where there are two or more adjacent trusses with the same web configuration capable of containing a rectangle 42 inches high by 2 feet wide, or greater, located within the plane of the truss. The rectangle shall fit between the top of the bottom chord and the bottom of any other truss member, provided that each of the following criteria is met:

- The attic area is accessible by a pull-down stairway or framed opening in accordance with code requirements
- The truss has a bottom chord pitch less than 2:12

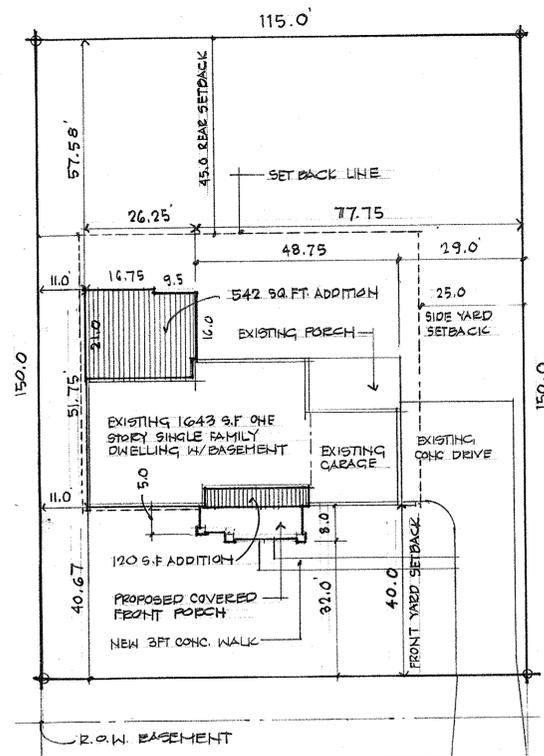
Attic spaces served by a fixed stairway shall be designed to support a minimum live load as specified in the 2009 MRC for sleeping areas)

STAIR LOAD NOTE
Individual stair treads shall be designed for the uniformly distributed live load or a 300 lb concentrated load acting over an area of 4 square inches, whichever produces the greater stress.

TABLE 402.1.1
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT ^a U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^b	FLOOR R-VALUE	BASEMENT WALL R-VALUE ^b	SLAB c R-VALUE AND DEPTH	CRAWL SPACE ^e WALL R-VALUE
5A	0.35	0.60	38	20 or 13 + 5e	13/17	30d	10/13	10, 2ft	10/13
6A	0.35	0.60	49	20 or 13 + 5e	15/19	30d	15/19	10, 4ft	10/13
7	0.35	0.60	49	21	19/21	38d	15/19	10, 4ft	10/13

- The fenestration U-factor column excludes skylights.
- The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less, in zones 1-3 for heated slabs.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25% or less of the exterior, R-5 sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25% of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- The second R-value applies when more than half the insulation is on the interior.



BINBROOKE DRIVE

SITE PLAN

SCALE: 1" = 20.0'
LEGAL DESCRIPTION: T24, R11E, SEC 19 TOWN ACRES SUB HA 5 LOT 149

LAND AREA
115.0 x 150.0 = 17,250 SQ FT OR .40 ACRES

ZONING & SETBACK REQUIREMENTS
R-1D

FRONT YARD	40.0 REQUIRED / 40.0 PROVIDED
SIDE YARD (1)	10.0 REQUIRED / 11.0 PROVIDED
SIDE YARD (2)	25.0 REQUIRED / 29.0 PROVIDED
REAR YARD	45.0 REQUIRED / 57.58 PROVIDED

LOT COVERAGE
30% MAXIMUM ALLOWED
19% ACTUAL (3286 FOOT PRINT / 17,250 # LOT AREA)

NOTE
DIMENSIONS SHOWN ARE BASED ON SITE PLAN PROVIDED BY OWNER. OWNER IS RESPONSIBLE TO OBTAIN CERTIFIED LAND SURVEY TO ENSURE METES & BOUNDS AND SETBACKS ARE ACCURATE

Proposed Additions and Renovations to 2529 Binbrooke Dr. Troy, Michigan 48084

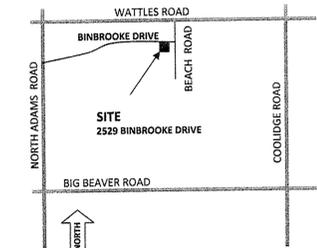
Prepared for:
Arben and Emira Meka & Family
2529 Binbrooke Dr.
Troy, Michigan 48084

Drawing Index

- A-1 DEMOLITION PLAN
- A-2 FOUNDATION PLAN
- A-3 FLOOR PLAN
- A-4 ROOF PLAN
- A-5 NORTH & SOUTH EXTERIOR ELEVATIONS
- A-6 EAST & WEST EXTERIOR ELEVATIONS
- A-7 CROSS SECTION A-A
- A-8 CROSS SECTION B-B & FRONT PORCH ELEVATION/SECTION

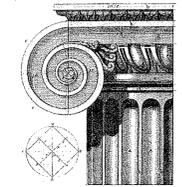
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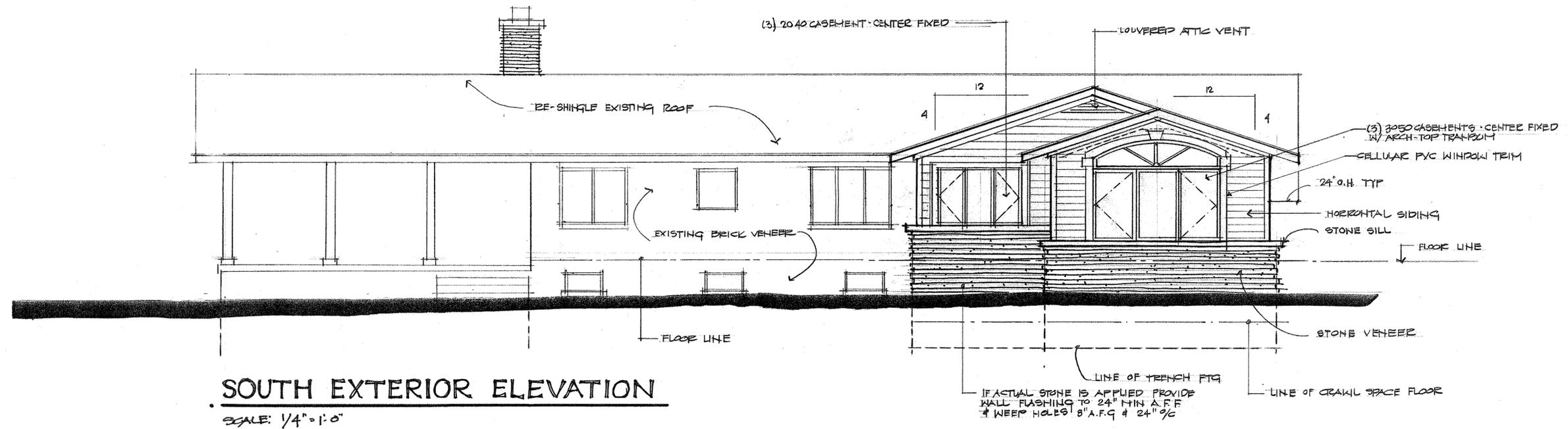
Vicinity Guide



THESE DRAWINGS ARE BEING SUBMITTED FOR:
 PRELIMINARY REVIEW
 PLAN REVIEW
 PERMIT
 CONSTRUCTION

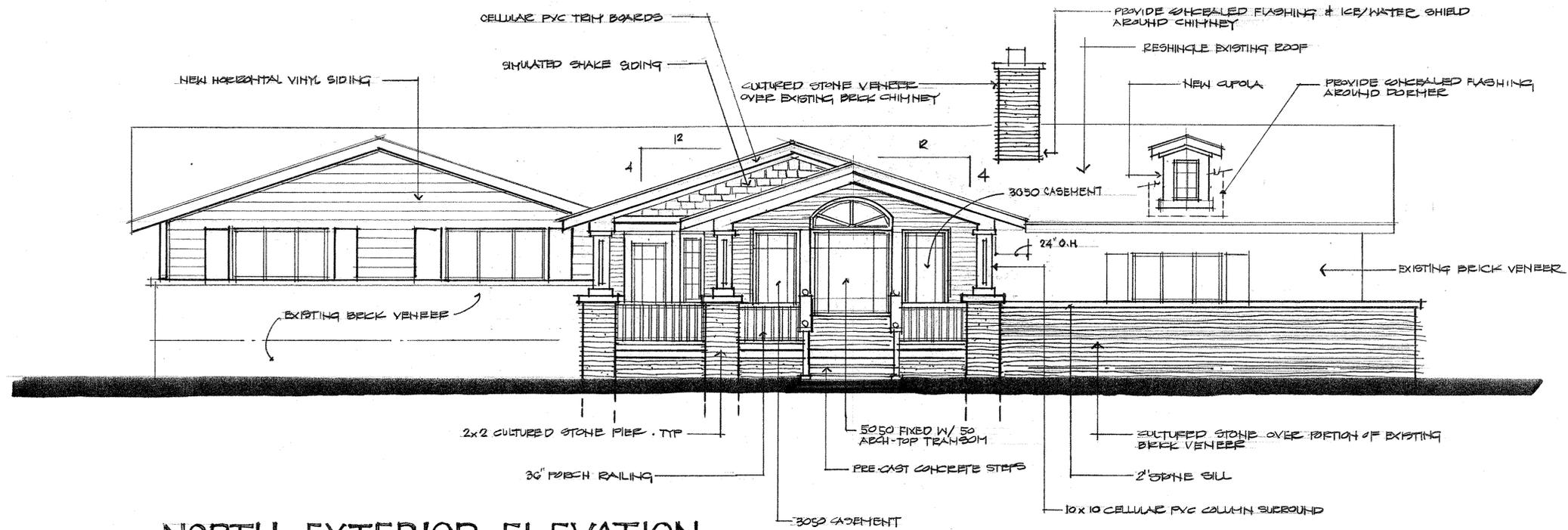
Prepared by:
Design Office of Michael A. Colonna
39100 Augusta
Sterling Heights, MI 48313
810.908.2481





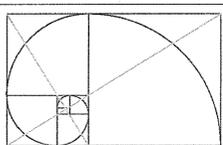
SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



Design Office of
 Michael A. Colonna
 39100 Augusta
 Sterling Heights, Michigan
 48313
 (810) 908-2481

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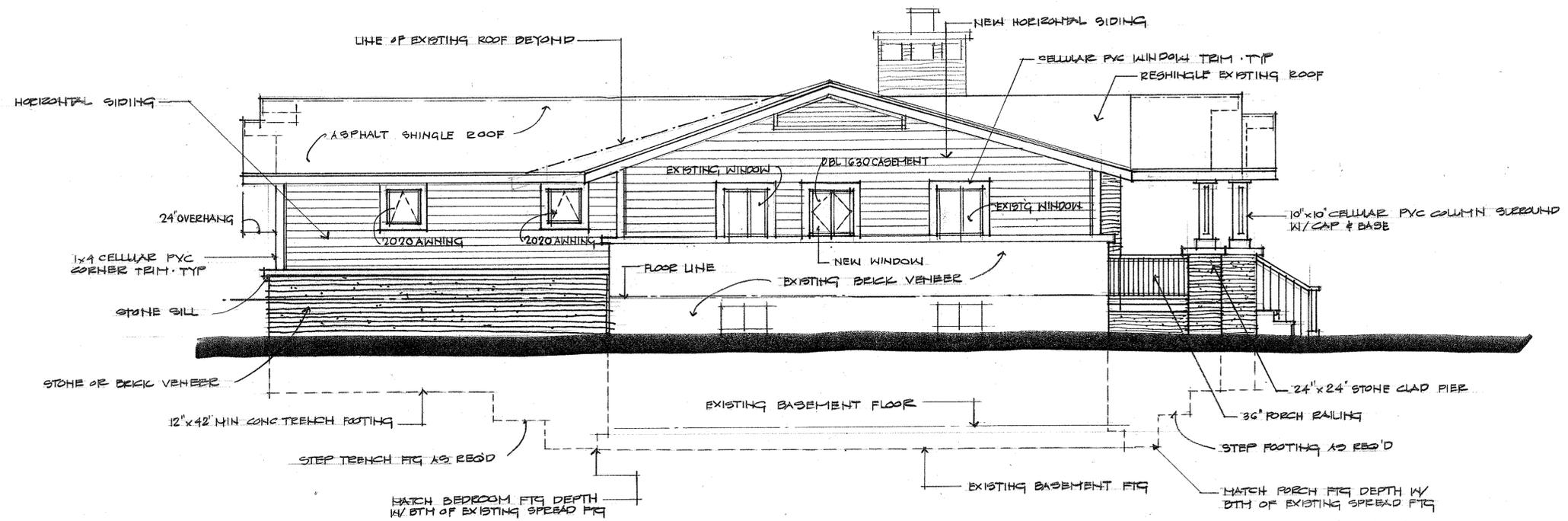
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 ADDITIONS & RENOVATIONS TO
 2529 Binbrooke Dr.
 Troy, Michigan 48084

DATE:
 AUGUST 26, 2013

SHEET TITLE
 EXTERIOR ELEVATIONS

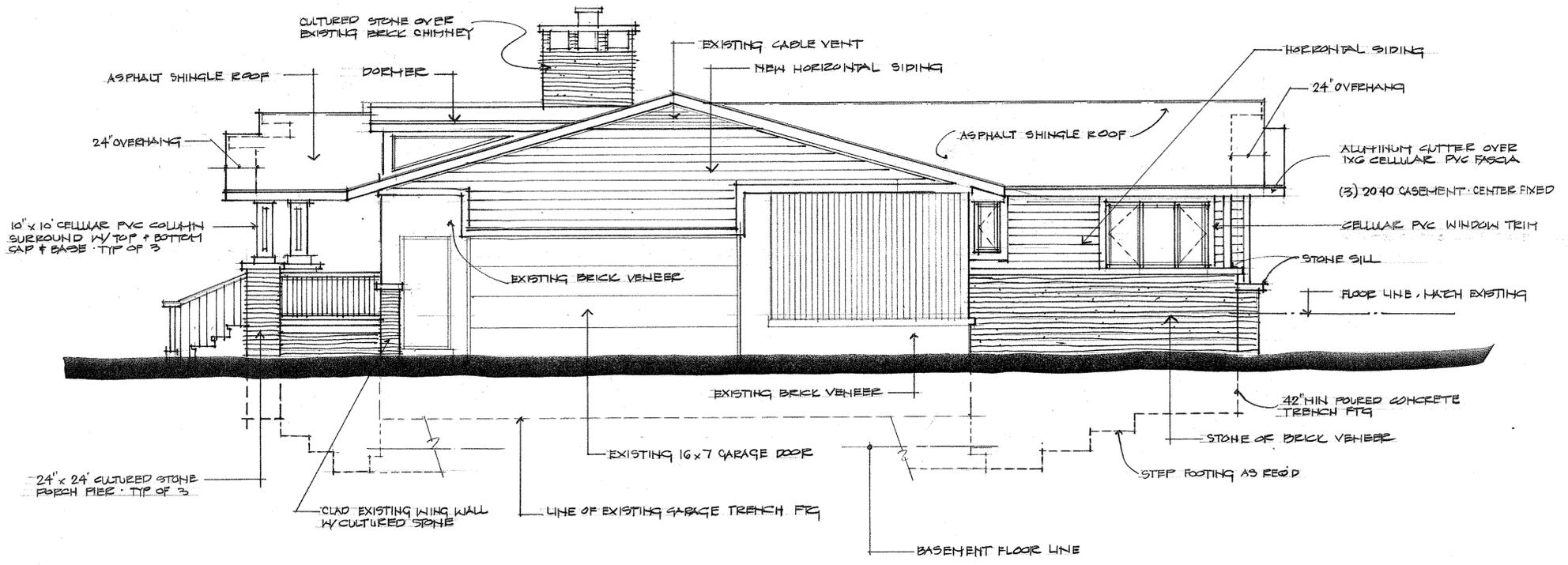
DRAWING:

A-5



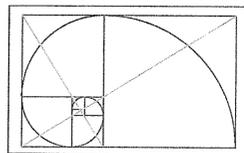
EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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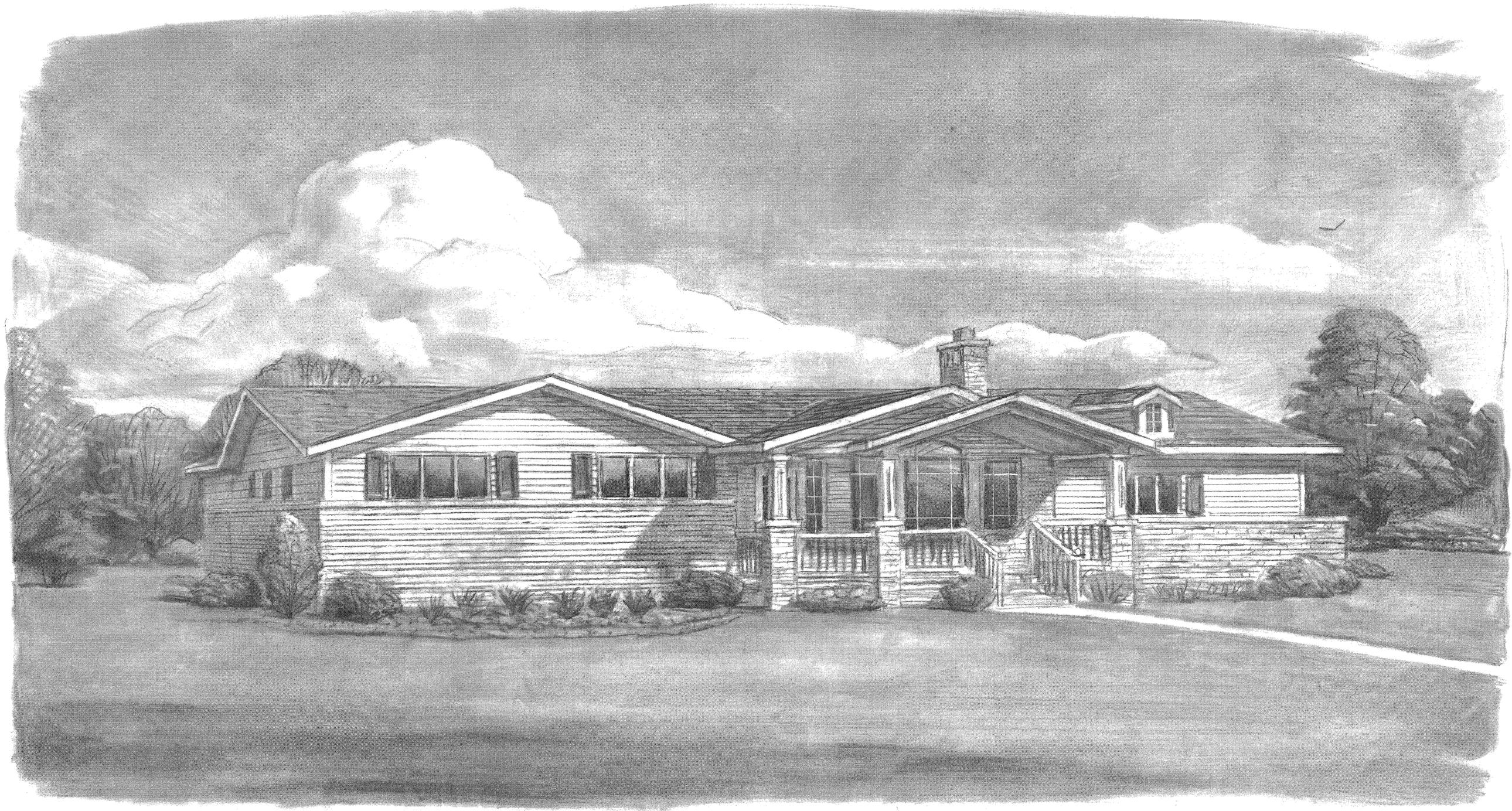
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PROJECT:
 ADDITIONS & RENOVATIONS TO
 2529 Binbrooke Dr.
 Troy, Michigan 48084

DATE:
 AUGUST 26, 2013

SHEET TITLE
 EXTERIOR ELEVATIONS

DRAWING:
A-6





Dear Neighbor:

Our family just moved in this lovely neighborhood, at the 2529 Binbrooke address.

We are planning to upgrade the house to make it more comfortable and up to date.

As you can see from the picture below, the future floor plan of the house will include a covered porch. The city of Troy has approved the porch but not the cover (the roof).

We decided to appeal the decision as we feel that the roof of the porch will not interfere and will not block the view or light of any of the surrounding houses. We actually believe this modification to the house will enhance the overall appearance of our neighborhood and will increase the value of the property.

We are looking for your support regarding our appeal. If you can sign the petition (below) in support to this appeal it would really help us with the case.

The latest date we can turn in the petition to the board of appeals is 9/24/13, if you can return the signed form to our mailbox (black color) at the front of our house prior to this date it would be greatly appreciated.

If you have any questions regarding this matter , please do not hesitate to contact us at 586-764-2021.

With respect,

Mr. and Mrs. Meka (homeowners)



Full Name

Lee DeGenhart

Address

2610 BINBROOKE

Signature

THEODORE L. DEGENHART

Date

9/23/13

Dear Neighbor:

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name

Jeanne Fowler

Address

2625 Binbrooke

Signature

Jeanne Fowler

Date

9-23-13

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name Patricia Bebone

Address 2529 Binbrooke Drive

Signature Patricia Bebone

Date 9/23/13

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name EVAN R. Treharne

Address 2590 Binbrooke

Signature *[Handwritten Signature]*

Date 9-23-13

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name JAMES WORRE

Address 2549 BIN BROOKE

Signature [Handwritten Signature]

Date 9/24/13

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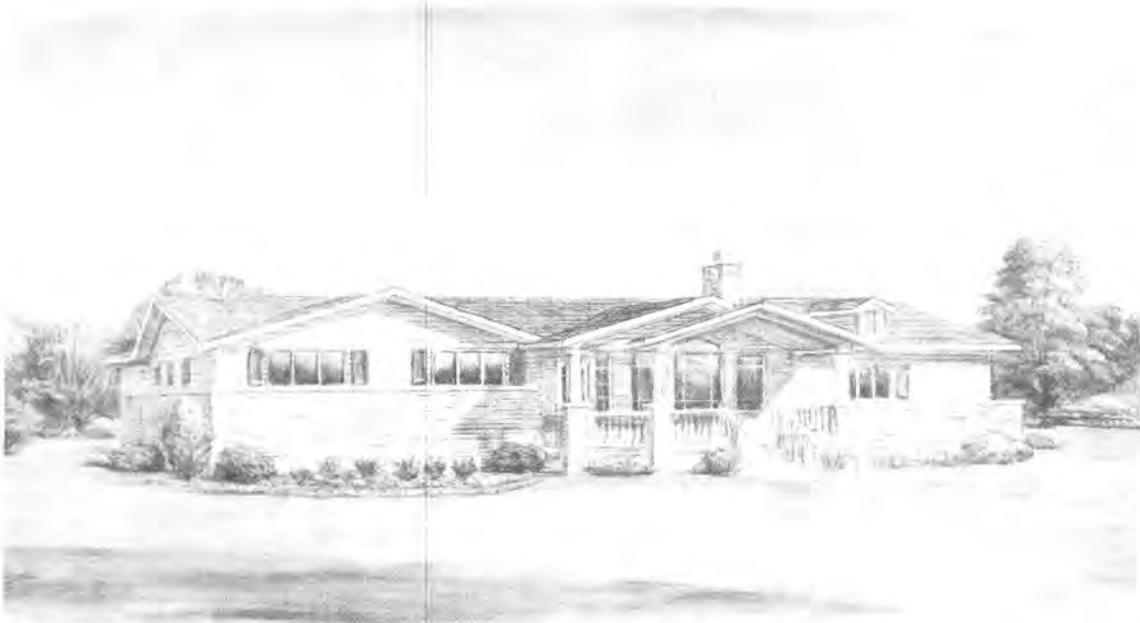
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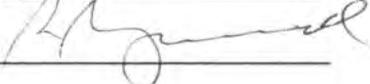
With respect,

Mr. and Mrs. Meka (homeowners)



Full Name Robert A. RAYMOND

Address 2530 Binbrooke Dr. Troy

Signature 

Date 9/23/13

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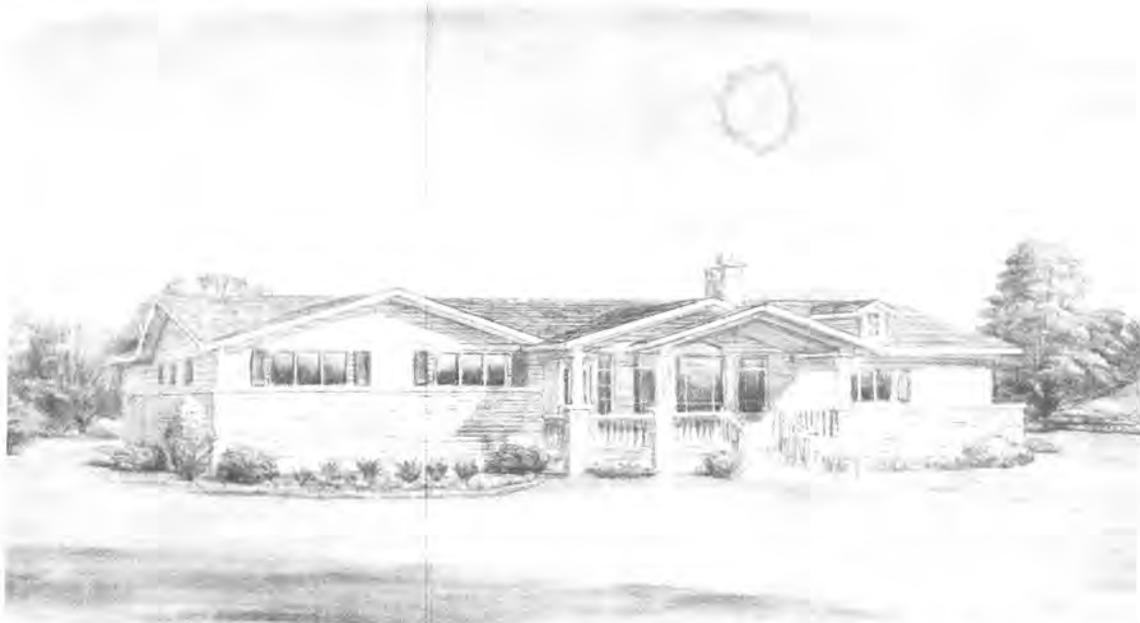
We are looking for your support regarding our appeal. If you can sign the petition (below) in support to this appeal it would really help us with the case.

The latest date we need the petition is 10/15/13, if you can return the signed form to our mailbox (black color) at the front of our house prior to this date it would be greatly appreciated.

If you have any questions regarding this matter , please do not hesitate to contact us at 586-764-2021.

With respect,

Mr. and Mrs. Meka (homeowners)



Full Name KAREN MULHINCH

Address 2510 Binbrooke Dr.

Signature Karen Mulhinch

Date 10/3/13

4. HEARING OF CASES

- C. VARIANCE REQUEST, ROBERT A. CHAPMAN, 482 STARR – In order to split a parcel into two parcels, a variance from the requirement that new parcels have a 60 foot width and frontage. One of the proposed lots will have a 50 foot width and frontage.

ZONING ORDINANCE SECTION: 4.06 (C) R-1E Zoning

I-75

LIVERNOS

COACHMAN

STARR

STARR

PLUM

HICKORY

HICKORY

CHERRY

HARTSHORN

LANE

COOK

CHERRY

BEACON HILL

LAMPLIGHTER





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STARR

BEACON HILL



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STARR

BEACON HILL

(MF)

(R-1E)

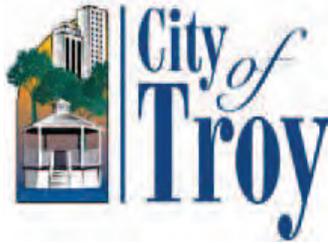
(R-1E)

(R-1E)

(R-1E)

ZONING BOARD OF APPEALS APPLICATION

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov



FEE \$150.00
<http://troymi.gov/Government/Departments/CodeEnforcement.aspx>

THE ZONING BOARD OF APPEALS MEETS THE **THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL.** PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST **27 DAYS BEFORE** THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 482 STARR, TROY, MI 48084
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 20-27-180-020
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: Section 4.06 (lot width)
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: NO
5. APPLICANT:
NAME Robert A. Chapman
COMPANY _____
ADDRESS 1206 Hickory
CITY Royal Oak STATE MI ZIP 48073
PHONE 586-899-3970
E-MAIL rac@wowway.com
AFFILIATION TO THE PROPERTY OWNER: Applicant is property owner.

6. PROPERTY OWNER:

NAME Robert A. Chapman
COMPANY _____
ADDRESS 1206 Hickory
CITY Royal Oak STATE MI ZIP 48073
TELEPHONE 586-899-3970
E-MAIL rac@wowway.com

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, Robert A. Chapman (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE _____ DATE 9/18/2013

PRINT NAME: Robert A. Chapman

PROPERTY OWNER SIGNATURE _____ DATE 9/18/2013

PRINT NAME: Robert A. Chapman

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.

STEVEN D. ADAMS, P.C.
ATTORNEY AT LAW
24410 John R
Hazel Park, Michigan 48030
(248) 543-6100
FAX # (248) 545-2755

September 18, 2013

STATEMENT OF PRACTICAL DIFFICULTY

Introduction

The subject property is a single family home zoned as R-1E. The following are the critical dimensions of the subject parcel and the minimum dimensions required by the zoning ordinance.

	<u>Required</u>	<u>Existing</u>
Area	7,500 sq. ft.	19,886 sq. ft.
Width	60 feet	117.7 feet
Sides Setbacks	5/15 ft.	14.2/55.5 ft.

Petitioner is proposing a lot split which would leave two parcels with the following dimensions.

	<u>Minimum</u>	<u>Lot A</u>	<u>Lot B</u>
Area	7,500 sq. ft.	11,436 sq. ft.	8,450 sq. ft.
Width	60 ft.	67.67 ft.	50 ft.
Side Setbacks	5/15 ft.	5.4/13.7 ft.	5/15 ft.

Petitioners intention is to remodel and expand the existing 1 story home, demolish the existing detached garage, and to build a new home on the split lot similar to the new homes built on the recently split lots at 2339, 2351, and 2363 Kirkton, in the subject neighborhood.

Practical Difficulty

The "Parcel Variance Report" prepared by the City of Troy includes 81 parcels which have an average width of 70 feet, and a standard deviation of 20 feet (means that 65% of the lot widths fall between 50 feet and 90 feet. Of the 81 parcels in the

subject neighborhood, 24 are less the 60 feet minimum lot size. The subject parcel is at the eastern end of Starr Road, which dead ends in front of the property.

Subject properties eastern neighbor is a multi family development, which is separated by a 6' chain link fence. This chain link fence would be adjacent to the side setback of 13.7 ft. of Lot A.

The character of the neighborhood has been changing to a greater density over the years, in part driven by higher land costs on a square foot basis. Allowance of the requested split would not alter the essential character of the neighborhood; it would directly impact few, if any, neighboring parcels.

Allowing the split would give rise to parcels within 1 standard deviation of the neighborhood average and significant new investment, which would upgrade the existing neighborhood, which was built in the 60's.

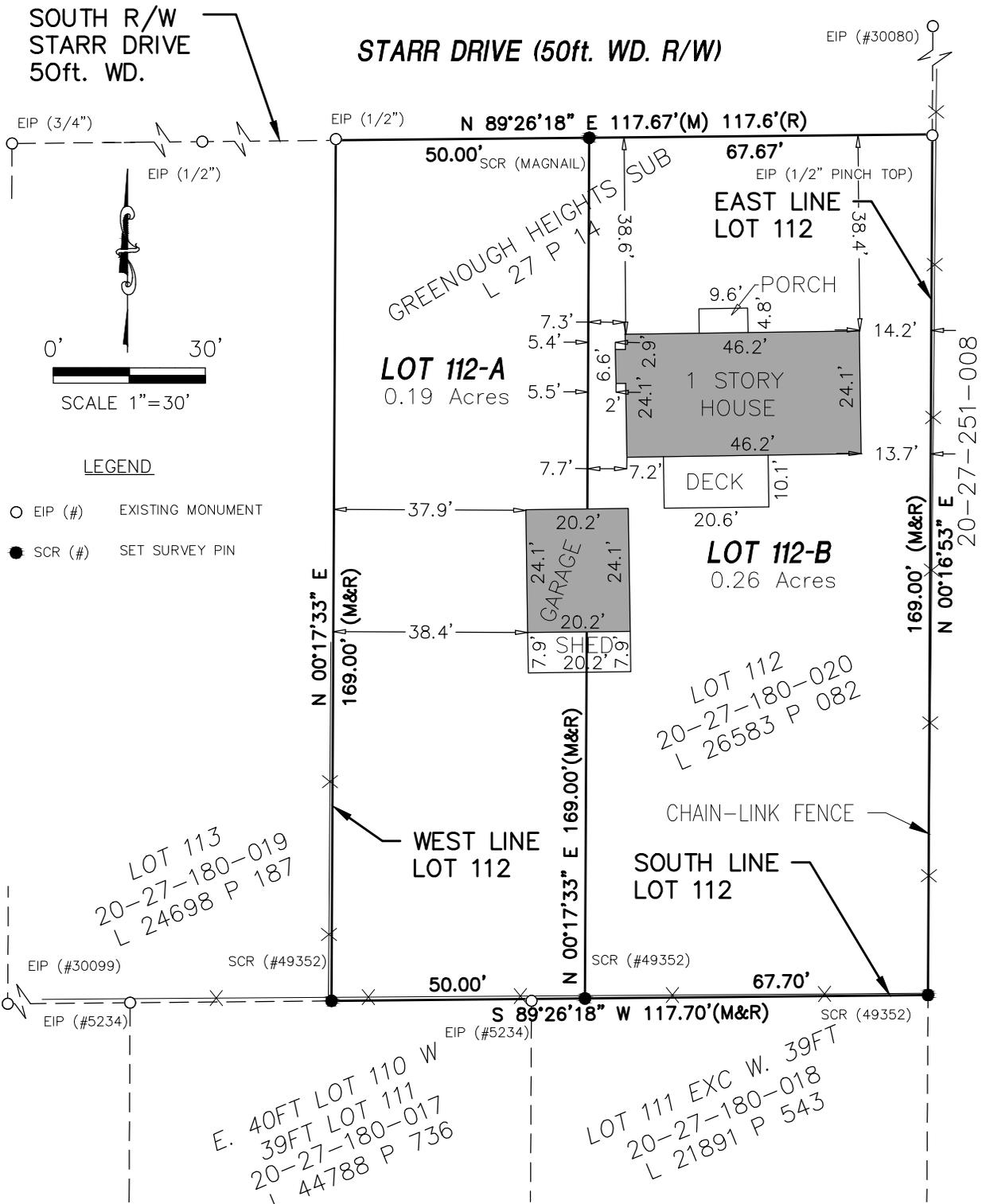
An additional home on the dead end portion of Starr Road should not impair the adequate supply of air or light to surrounding parcels, nor increase congestion or fire hazard. The additional investment in the neighborhood should enhance the value of surround parcels.

Respectfully Submitted,
STEVEN D. ADAMS, P.C.

By: /s/ Steven D. Adams
Steven D. Adams, Attorney for Petitioner

SDA/Imp

CERTIFIED SURVEY



PROPOSED SPLIT FROM LOT 112 (LOT 112-A)

THE WEST 50 FEET OF LOT 112, OF GREENOUGH HEIGHTS SUBDIVISION RECORDED IN LIBER 27 PAGE 14 OF OAKLAND COUNTY RECORDS AND SITUATED IN SECTION 27, T2N, R11E, OAKLAND COUNTY, MICHIGAN.

PROPOSED REMAINDER OF LOT 112 (LOT 112-B)

EXCEPTING THE WEST 50 FEET OF LOT 112, OF GREENOUGH HEIGHTS SUBDIVISION RECORDED IN LIBER 27 PAGE 14 OF OAKLAND COUNTY RECORDS AND SITUATED IN SECTION 27, T2N, R11E, OAKLAND COUNTY, MICHIGAN.

I HEREBY STATE THAT I HAVE SURVEYED AND MAPPED THE LAND PLATTED AND/OR DESCRIBED JUNE 2013, AND THAT THE RATIO OF CLOSURE ON THE UNADJUSTED FIELD OBSERVATIONS OF SAID SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF 1:5000, AND THAT THE REQUIREMENTS OF PA 132, OF 1970 (AS AMENDED) HAVE BEEN COMPLIED WITH.

CLIENT: ENLOW ENGINEERING, LLC	JAX LAND SURVEYING, LLC	DATE: 08/09/13
LOT SPLIT SECTION 27, T2N, R11E, CITY OF TROY, OAKLAND CO., MI	PO BOX 392 CHELSEA, MI 48118 PH: 734.780.6437	DRAWN BY: FZ SCALE: 1" = 30' PAGE: 1 OF 1

CITY PROVIDED EXHIBIT FOLLOWS THIS PAGE

Keep in mind:

The information is for *lot frontage*, which is different than *lot width*.

Lot frontage is the width of the front lot line.

Lot width is measured at the front setback line. In this district that is 25 feet back from the front lot line.

By using the map, you can estimate which lots might have a wider or narrower lot width than the frontage.

By calculating one standard deviation, you can further examine statistically whether the average frontage is skewed by a small number of lots that are either very wide or narrow.

Applying one standard deviation to either side of the average frontage tells us where about 68% of the lots within the sample fall.

From Wikipedia:

“**The Standard deviation** is a widely used measurement of variability or diversity used in [statistics](#) and [probability theory](#). It shows how much variation or "[dispersion](#)" there is from the "average" ([mean](#), or expected/budgeted value). A low standard deviation indicates that the data points tend to be very close to the [mean](#), whereas high standard deviation indicates that the data are spread out over a large range of values.”

For further explanation here is another good source
<http://www.robertniles.com/stats/stdev.shtml>



Parcel Variance Report



Address: 365 CHERRY	Parcel Frontage: 68	Area: 396
Address: 364 HICKORY	Parcel Frontage: 100	Area: 461
Address: 355 CHERRY	Parcel Frontage: 68	Area: 396
Address: 304 STARR	Parcel Frontage: 95	Area: 591
Address: 303 HICKORY	Parcel Frontage: 60	Area: 415
Address: 302 HICKORY	Parcel Frontage: 99	Area: 493
Address: 336 STARR	Parcel Frontage: 60	Area: 520
Address: 368 STARR	Parcel Frontage: 65	Area: 530
Address: 412 STARR	Parcel Frontage: 118	Area: 572
Address: 352 STARR	Parcel Frontage: 65	Area: 530
Address: 403 STARR	Parcel Frontage: 118	Area: 550
Address: 362 CHERRY	Parcel Frontage: 68	Area: 396

391 STARR	65	529
Address:	Parcel Frontage:	Area:
412 HICKORY	59	380
Address:	Parcel Frontage:	Area:
302 HICKORY	106	472
Address:	Parcel Frontage:	Area:
377 CHERRY	60	380
Address:	Parcel Frontage:	Area:
482 STARR	118	567
Address:	Parcel Frontage:	Area:
424 STARR	40	418
Address:	Parcel Frontage:	Area:
318 STARR	100	600
Address:	Parcel Frontage:	Area:
440 STARR	40	418
Address:	Parcel Frontage:	Area:
	39	416
Address:	Parcel Frontage:	Area:
332 STARR	70	540
Address:	Parcel Frontage:	Area:
399 STARR	64	529
Address:	Parcel Frontage:	Area:
335 STARR	65	529
Address:	Parcel Frontage:	Area:
459 STARR	69	452
Address:	Parcel Frontage:	Area:
383 STARR	65	529
Address:	Parcel Frontage:	Area:
445 STARR	69	452
Address:	Parcel Frontage:	Area:
433 HICKORY	60	458
Address:	Parcel Frontage:	Area:
425 HICKORY	58	454
Address:	Parcel Frontage:	Area:
315 STARR	65	529
Address:	Parcel Frontage:	Area:
423 STARR	78	470
Address:	Parcel Frontage:	Area:
351 STARR	65	529
Address:	Parcel Frontage:	Area:
317 STARR	65	529
Address:	Parcel Frontage:	Area:
473 STARR	69	452
Address:	Parcel Frontage:	Area:



**These two parcels
are considered one
79 foot wide parcel.**

431 STARR	69	452
Address:	Parcel Frontage:	Area:
483 HICKORY	79	491
Address:	Parcel Frontage:	Area:
369 HICKORY	53	401
Address:	Parcel Frontage:	Area:
	60	415
Address:	Parcel Frontage:	Area:
405 HICKORY	94	424
Address:	Parcel Frontage:	Area:
392 HICKORY	57	371
Address:	Parcel Frontage:	Area:
367 STARR	65	529
Address:	Parcel Frontage:	Area:
305 STARR	75	549
Address:	Parcel Frontage:	Area:
467 HICKORY	79	496
Address:	Parcel Frontage:	Area:
484 HICKORY	64	387
Address:	Parcel Frontage:	Area:
476 HICKORY	59	380
Address:	Parcel Frontage:	Area:
404 HICKORY	59	379
Address:	Parcel Frontage:	Area:
326 HICKORY	53	366
Address:	Parcel Frontage:	Area:
320 HICKORY	53	366
Address:	Parcel Frontage:	Area:
424 HICKORY	61	385
Address:	Parcel Frontage:	Area:
467 CHERRY	60	375
Address:	Parcel Frontage:	Area:
345 CHERRY	53	366
Address:	Parcel Frontage:	Area:
353 HICKORY	53	401
Address:	Parcel Frontage:	Area:
345 HICKORY	60	415
Address:	Parcel Frontage:	Area:
460 HICKORY	59	380
Address:	Parcel Frontage:	Area:
310 HICKORY	53	366
Address:	Parcel Frontage:	Area:
391 CHERRY	70	404
Address:	Parcel Frontage:	Area:

315 CHERRY	106	472
Address:	Parcel Frontage:	Area:
2242 PLUM	91	463
Address:	Parcel Frontage:	Area:
2310 KIRKTON	75	386
Address:	Parcel Frontage:	Area:
391 HICKORY	74	447
Address:	Parcel Frontage:	Area:
432 HICKORY	57	375
Address:	Parcel Frontage:	Area:
356 HICKORY	59	380
Address:	Parcel Frontage:	Area:
346 HICKORY	53	366
Address:	Parcel Frontage:	Area:
455 CHERRY	117	492
Address:	Parcel Frontage:	Area:
335 CHERRY	53	366
Address:	Parcel Frontage:	Area:
325 CHERRY	53	366
Address:	Parcel Frontage:	Area:
321 HICKORY	92	479
Address:	Parcel Frontage:	Area:
338 HICKORY	53	366
Address:	Parcel Frontage:	Area:
447 CHERRY	60	378
Address:	Parcel Frontage:	Area:
419 CHERRY	59	381
Address:	Parcel Frontage:	Area:
405 CHERRY	118	495
Address:	Parcel Frontage:	Area:
456 STARR	118	574
Address:	Parcel Frontage:	Area:
319 STARR	65	529
Address:	Parcel Frontage:	Area:
455 HICKORY	78	494
Address:	Parcel Frontage:	Area:
383 HICKORY	93	481
Address:	Parcel Frontage:	Area:
444 HICKORY	59	380
Address:	Parcel Frontage:	Area:
384 HICKORY	57	373
Address:	Parcel Frontage:	Area:
433 CHERRY	59	372
Address:	Parcel Frontage:	Area:

384 STARR	65	530
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Address:	Parcel Frontage:	Area:
2363 KIRKTON	78	413

Address:	Parcel Frontage:	Area:
2351 KIRKTON	61	377

Address:	Parcel Frontage:	Area:
2339 KIRKTON	61	376

Summary Parcel Frontage

Number of Parcels Selected	81
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Avg (Mean)	70
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Standard Deviation (STDEV)	20
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