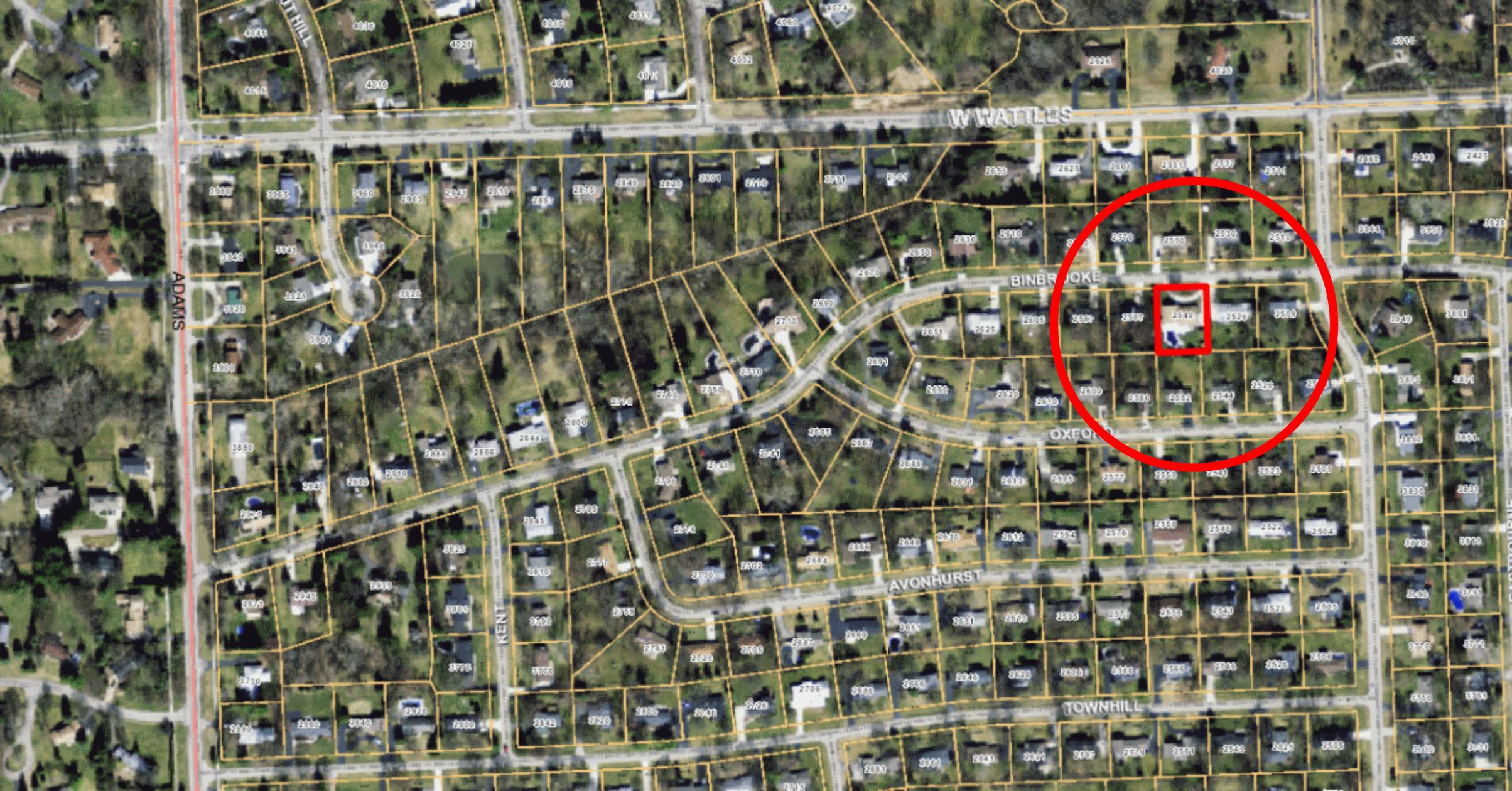


4. HEARING OF CASES

- B. VARIANCE REQUEST, ARBEN AND EMIRA MEKA, 2529 BINBROOKE – In order to construct a covered porch at the front of the house, an 8 foot variance to the required 40 foot front yard setback.

ZONING ORDINANCE SECTION: 4.06 (C) R-1B Zoning





2630

2610

2590

2570

2550

2530

2510

BINBROOKE

2625

2605

2587

2567

2549

2529

2509

51

550

2620

2610

2600

2580

2552

2544

2526

2508

ORD

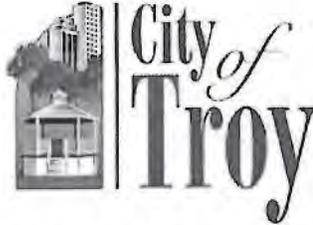
OXFORD

8

ZONING BOARD OF APPEALS APPLICATION

RECEIVED
SEP 3 - 2013
PLANNING

CITY OF TROY PLANNING DEPARTMENT
500 W. BIG BEAVER ROAD
TROY, MICHIGAN 48084
PHONE: 248- 524-3364
E-MAIL: evanspm@troymi.gov



FEE \$150.00
<http://troymi.gov/Government/Departments/CodeEnforcement.aspx>

THE ZONING BOARD OF APPEALS MEETS THE THIRD TUESDAY OF EACH MONTH AT 7:30 P.M. AT CITY HALL. PLEASE FILE A COMPLETE APPLICATION AND FEE, AT LEAST 27 DAYS BEFORE THE MEETING DATE.

1. ADDRESS OF THE SUBJECT PROPERTY: 2529 Binbrooke Dr. Troy MI 48084
2. PROPERTY TAX IDENTIFICATION NUMBER(S): 88-20-19-126-008 Lot:149
3. ZONING ORDINANCE SECTIONS RELATED TO THE REQUEST: R-1B
4. HAVE THERE BEEN ANY PREVIOUS APPEALS INVOLVING THIS PROPERTY? If yes, provide date(s) and particulars: N/A
5. APPLICANT:

NAME ARIBEN and EMIRA MEKA

COMPANY _____

ADDRESS 2529 Binbrooke Dr.

CITY Troy STATE MI ZIP 48084

PHONE 586-258-9895

E-MAIL a-meka@yahoo.com

AFFILIATION TO THE PROPERTY OWNER: self

* underscore

6. PROPERTY OWNER:

NAME ARBEN and EMIRA MEKA
COMPANY _____
ADDRESS 2529 Bimbrocke Dr.
CITY TROY STATE MI ZIP 48084
TELEPHONE 586-258-9895
E-MAIL _____

The undersigned hereby declares under penalty of perjury that the contents of this application are true to the best of my (our) knowledge, information and belief.

The applicant accepts all responsibility for all of the measurements and dimensions contained within this application, attachments and/or plans, and the applicant releases the City of Troy and its employees, officers, and consultants from any responsibility or liability with respect thereto.

I, ARBEN MEKA (APPLICANT) HEREBY DEPOSE AND SAY THAT ALL THE ABOVE STATEMENTS CONTAINED IN THE INFORMATION SUBMITTED ARE TRUE AND CORRECT AND GIVE PERMISSION FOR THE BOARD MEMBERS AND CITY STAFF TO ENTER THE PROPERTY TO ASCERTAIN PRESENT CONDITIONS.

APPLICANT SIGNATURE _____ DATE _____

PRINT NAME: ARBEN MEKA

PROPERTY OWNER SIGNATURE _____ DATE _____

PRINT NAME: ARBEN MEKA

Failure of the applicant or their authorized representative to appear before the Board as scheduled shall be cause for denial or dismissal of the case with no refund of fees. If the person appearing before the Board is not the applicant or property owner, signed permission must be presented to the Board.

The applicant will be notified of the time and date of the hearing by first class mail.

We the owners of the property feel that the proposed covered porch should be reconsidered for the following reasons below:

Statement of practical difficulty:

- The proposed front of the house covered porch will not be harmful or alter the essential character of the area in which our property is located.
- This covered porch will not impair the supply of light nor air to the adjacent property.
- The covered porch will not increase the congestion in the public streets.
- The covered porch will not increase the danger of fire or endanger the public safety.
- We feel that this covered porch will not diminish the established value of the property in contrary will increase the existing value.
- The covered porch will not impair any public health, safety, comfort, morals or welfare of the inhabitants of the City.
- We also feel that the covered front porch will protect the house from wind, snow or rain, therefore, protecting the value of the home.

Respectfully,

Arben and Emira Meka

Date _____

NEEDS BZA Appeal

Steve Burns

From: Steve Burns
Sent: Thursday, August 29, 2013 8:53 AM
To: 'A_Meka@yahoo.com'
Subject: 2529 Binbrooke

Arben,

We are in receipt of your permit request for additions to the existing home. The R1-B zoning district requires a 40' front yard setback. The proposed covered front porch is shown at 32'. A covered front porch is not permitted to encroach into the front yard setback.

Therefore you would need to revise your plan or you can attempt to obtain a variance of 8' from the required front yard setback from the Board of Zoning Appeals. If you decide to apply to the BZA take this application and a copy of your plan to the planning counter at city hall and request an application.

Thanks,

Steve Burns,
Building Official
City of Troy
248-524-3348
SAFEbuilt MI

GENERAL NOTES

- CODE COMPLIANCE**
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS AND PROVISIONS SET FORTH IN THE 2009 MICHIGAN RESIDENTIAL CODE (MRC)
 - ALL INSULATION REQUIREMENTS SHALL COMPLY WITH THE PRESCRIPTIVE ENERGY CODE REQUIREMENTS CONTAINED IN THE 2009 MICHIGAN UNIFORM ENERGY CODE
 - ALL ELECTRICAL, PLUMBING, AND HVAC WORK SHALL COMPLY WITH THE PREVAILING APPLICABLE CODE RELATIVE TO EACH DISCIPLINE
- EMERGENCY EGRESS**
- ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE AND RESCUE. BASEMENT AREA
 - WITH HABITABLE SPACE AND AREAS OF SLEEPING SHALL MEET EMERGENCY EGRESS REQUIREMENTS AS PER 2009 MRC R310
- SMOKE DETECTORS**
- ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE 2009 MRC R 314
 - SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS R314.3
 - SMOKE ALARMS SHALL BE INSTALLED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS. R314.3
 - WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT R314.3
 - ALL SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP
- CARBON MONOXIDE ALARMS**
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELING UNITS THAT HAVE ATTACHED GARAGES. R315
- LIGHT FIXTURING COMPLIANCE**
- A MINIMUM OF 50 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY EFFICIENT LAMPS AS PER THE 2009 MICHIGAN UNIFORM ENERGY CODE 401.2 AND 404.1

- SAFETY OR TEMPERED GLAZING IS REQUIRED AT THE FOLLOWING LOCATIONS:**
- SWINGING, SLIDING, BI-FOLD GLASS DOORS R308.4
 - ADJACENT TO A DOOR WHERE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES
 - GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING:
 - EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET
 - BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR AREA
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY IN A STRAIGHT LINE OF THE GLAZING.
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE STANDING OR WALKING SURFACE
 - GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN A 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
 - GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

- EMERGENCY ESCAPE AND RESCUE OPENINGS**
- BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENT CONTAINS ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. WHERE A DOOR OR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3 OF THE 2009 MRC. THE NET CLEAR OPENING DIMENSIONS REQUIRED SHALL BE OBTAINED BY THE NORMAL OPERATION OF EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHTS BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2 OF THE 2009 MRC. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
 - ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5.0 SQUARE FEET FOR GRADE FLOOR OPENINGS).
 - THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
 - THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24 INCHES.
 - EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

GENERAL FRAMING NOTES

- THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. GENERAL CONTRACTOR TO CONSULT WITH STRUCTURAL ENGINEER FOR ACCURACY OF INFORMATION
- ALL FRAMING SHALL BE OF DOUGLAS FIR-LARCH, HEM-FIR, SOUTHERN PINE, AND/OR SPRUCE-PINE-FIR AND SHALL COMPLY WITH THE LOADING AND SPAN REQUIREMENTS AS PER 2009 MICHIGAN RESIDENTIAL CODE
 - PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.
 - ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
 - ALL HEADERS SHALL BE (2) 2X10 WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED
 - FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
 - PROVIDE 1 X 4 CROSS BACK AT MID POINT OF SPAN OR 8'-0" ON CENTER MAXIMUM ON ALL FLOORS.
 - ALL EXTERIOR CORNERS INSIDE AND OUTSIDE SHALL BE BRACED WITH 1/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d COMMONS AT 6" O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C. AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS.
 - ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THROUGH ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY THE LOAD.
 - PROVIDE DOUBLE 2 X 8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0" O.C. MINIMUM
 - HIP, VALLEY RAFTERS, AND RIDGE BOARD SHALL BE ONE 2X SIZE LARGER THAN RAFTERS.
 - ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
 - WHERE PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEARS THE SEAL OF A REGISTERED ENGINEER IN THE STATE OF MICHIGAN.
 - ALL CEILING JOISTS AND RAFTERS BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY THE LOAD.
 - ALL BASEMENT WALLS, BEAMS, AND COLUMNS SHALL BE DESIGNED BY A LOCAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AND SHALL MEET ALL APPLICABLE BUILDING AND CONSTRUCTION CODES.
 - ALL SOLID FRAMING, COLUMNS, BEAMS, ETC. SHALL BE DESIGNED BY A LOCAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN AND SHALL MEET ALL APPLICABLE BUILDING AND CONSTRUCTION CODES.
 - ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 X 4 AND 2 X 6 WOOD STUDS.

GENERAL NOTES

- REFER TO SECTION SHEETS FOR ALL CEILING, PLATE HEEL, AND WALL HEIGHTS.
- REFER TO ELEVATIONS FOR ADDITIONAL WINDOW INFORMATION AND HEADER SIZES.
- ALL STEEL CONNECTIONS SHALL BE OF THE BOLTED AND SEALED TYPE (IF APPLICABLE)
- ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, AND REGULATIONS
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND THE DESIGN OFFICE FOR JUSTIFICATION
- ALL DIMENSIONS SHOULD BE READ AND CALCULATED AND NEVER SCALED.
- ALL FOOTINGS SHALL EXTEND BELOW FROST LINE AND SHALL BEAR ON FIRM UNDISTURBED SOIL. CAPABLE OF HANDLING THE BUILDING LOADS. CONSULT LOCAL STRUCTURAL ENGINEER, LICENSED IN THE STATE OF MICHIGAN, FOR PROPER FOOTING AND REINFORCING SIZES. A SOILS ENGINEER AND A SOIL AND BORING TEST MAY BE REQUIRED TO ESTABLISH PROPER FOOTING SIZES.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- IF BACKFILL EXCEEDS 4 FT AGAINST ANY FOUNDATION WALL - REINFORCE AS PER CODE.
- THE HOME DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACTS OF ERROR AND/OR OMISSIONS OF THE CONTRACTOR AND/OR SUB-CONTRACTORS.

GENERAL SCOPE OF WORK

- To construct additions and renovations to the existing One Story family dwelling located at 2529 Binbrooke Drive in Troy, Michigan, which consists of the following:
- Demolition of existing rooms, exterior walls, windows, and doors, interior walls and doors, and portion of existing roof over Front Porch as required for construction of new additions.
 - 542 Square Foot Master Bedroom and Bathroom Addition over heated crawl space, which consist of the following:
 - 15 x 20 Master Bedroom with vaulted ceiling, Entrance Corridor, and windows at East and South exterior walls.
 - 10.67 x 6.42 Walk-in Closet with wood shelves and hanging rods.
 - Master Bedroom Bathroom with Spa Tub, Two 54 inch Vanities, Water Closet, Linen Closet, 6.583 x 4.0 Walk-in Shower with shower bench, and windows at South and West exterior walls.
 - 10.67 x 7.0 Study Nook with built-in shelving, desk, and wall cabinets, and new window located at East exterior wall.
 - 24.0 x 5.0 Living Room expansion at North exterior wall which includes:
 - Removal of existing Living Room Ceiling and Ceiling Joists as required for new vaulted ceiling (ridge running east and west)
 - Reverse vaulted gable ceiling at new exterior window located at North exterior wall.
 - New interior bearing column
 - Built-in book shelf ant West end wall
 - New Entrance door and sidelight
 - New window at North exterior wall
 - Ne 8 x 25 Covered Front Porch with stone piers and framed columns, porch rail, and vaulted ceiling as indicated on drawings.
 - Re-shingle existing roof.
 - Replace existing aluminum siding with new horizontal siding and trim.
 - Add stone or cultured stone over portions of existing brick veneer as indicated on drawings.

OUTLINE SPECS FOR PROPOSED SCOPE OF WORK

- 2 x 6 Wood Stud Exterior Framing at all Exterior Walls
- 1/2" Gypsum wall board and Ceilings
- 8'-0" First Floor Plate Height
- Poured Concrete trench footings with 8" cmu grade blocks as required.
- 2 x 10 Wood Floor Joist 16" O.C. with 1/2" T and G Plywood Sub-Floor at First Floor Framing
- Pre-Engineered Roof Trusses with 1/2" CDX Plywood Sheathing, 15 lb. minimum Roof Felt, and Asphalt Shingles over 4/12 and 3.5/12 Roof Pitches with continuous Ridges Vents where required.
- Cornice Detail includes 24 inch Overhangs with Ice and Water Shield at all Eaves, Metal Drip Edge, Aluminum Gutters and Downspouts as required with appropriate splash guards or discharge conduits as required, 1 x 6 cellular PVC Fascia, 1 x 6 cellular PVC Frieze Board, and cellular PVC Soffit with 2" continuous Soffit Vent.
- Exterior Wall Composition includes Brick or Stone Veneer, Air Space, House Wrap, 1/2 Plywood Wall Sheathing, 2 x 6 Wood studs with Double 2 x 6 Top Plate, R-20 Wall Insulation, and 1/2" Gypsum Wall Board
- Heated Crawl Space to have 3 inch Poured Concrete Floor Slab Over 6 Mil Visqueen Vapor Barrier, and 3 inch Minimum Compacted Sand or Pea Stone Base, R-10 Perimeter Rigid Insulation under Floor Slab (continuous x 24" wide) and R-13 at Crawl Space Exterior Walls.
- Insulation shall be as follows:
 - R-20 Minimum at Exterior Walls
 - R-38 Minimum at Ceiling
 - R-30 at Floor Perimeter (R-19 Minimum)
 - R-13 at Crawl Space Exterior Walls
 - R-10 under Crawl Slab

AREA CALCULATIONS

EXISTING FIRST FLOOR	1643.0 Sq. Ft.
PROPOSED MASTER BEDROOM and BATH	542.0 Sq. Ft.
PROPOSED LIVING ROOM EXPANSION	120 Sq. Ft.
TOTAL COMBINED FLOOR AREA	2305.0 Sq. Ft.
EXISTING GARAGE	525.0 Sq. Ft.
EXISTING REAR COVERED PORCH	268.0 Sq. Ft.
PROPOSED FRONT PORCH	188.0 Sq. Ft.
TOTAL BUILDING FOOTPRINT	3286.0 Sq. Ft.

DESIGN LOADS

USE	LIVE LOAD (LBS)	DEAD LOAD (LBS)	TOTAL LOAD (LBS)
Attics with limited storage	20	10 min	30
Guardrails and Handrails	220		
Rooms other than Sleeping Rooms	40	10 min	50
Sleeping Rooms	30	10 min	40
Stairs	40	10 min	50
Roof	25	10 min	35

WIND LOADS: Basic minimum wind speed for the Design of wind pressure on a Residence is 90 MPH

DEAD LOADS: The actual weight of materials and construction shall be used for determining the actual Dead load with consideration for the dead load of fixed service equipment. Dead loads consist of the weight of the structure and include finish materials, cabinets, countertops, floor finishes, walls, floors, and roofs, plus any permanently fixed loads such as fixed service equipment. Verify actual weight of building materials, appliances, and permanent equipment and furnishings to determine actual dead load to be incorporated in the final design total loads

ATTIC LOAD NOTES
Attics without storage are those where the minimum clear height between joist and rafter is less than 42 inches. Or where there are not two or more adjacent trusses with the same web configuration capable of containing a rectangle 42 inches high by 2 feet wide, or greater, located within the plane of the truss. For attics without storage, the live load need not be assumed to act concurrently with any other live load requirements.

For Attics with limited space and constructed with trusses, the live load need be applied only to those portions of the bottom chord where there are two or more adjacent trusses with the same web configuration capable of containing a rectangle 42 inches high by 2 feet wide, or greater, located within the plane of the truss. The rectangle shall fit between the top of the bottom chord and the bottom of any other truss member, provided that each of the following criteria is met:

- The attic area is accessible by a pull-down stairway or framed opening in accordance with code requirements
- The truss has a bottom chord pitch less than 2:12

Attic spaces served by a fixed stairway shall be designed to support a minimum live load as specified in the 2009 MRC for sleeping areas)

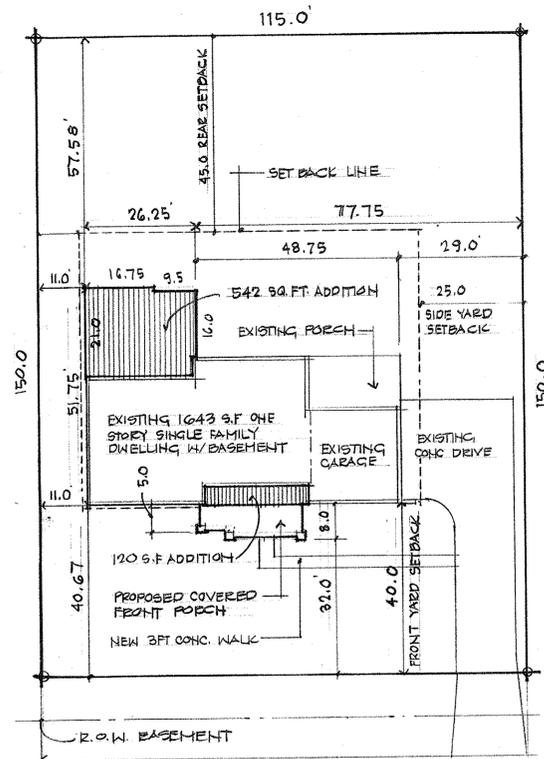
STAIR LOAD NOTE

Individual stair treads shall be designed for the uniformly distributed live load or a 300 lb concentrated load acting over an area of 4 square inches, whichever produces the greater stress.

TABLE 402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT ^a R-VALUE	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^b	FLOOR R-VALUE	BASEMENT WALL R-VALUE ^b	SLAB c R-VALUE AND DEPTH	CRAWL SPACE ^e WALL R-VALUE
5A	0.35	0.60	38	20 or 13 + 5e	13/17	30d	10/13	10, 2ft	10/13
6A	0.35	0.60	49	20 or 13 + 5e	15/19	30d	15/19	10, 4ft	10/13
7	0.35	0.60	49	21	19/21	38d	15/19	10, 4ft	10/13

- The fenestration U-factor column excludes skylights.
- The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less, in zones 1-3 for heated slabs.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25% or less of the exterior, R-5 sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25% of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.
- The second R-value applies when more than half the insulation is on the interior.



BINBROOKE DRIVE

SITE PLAN

SCALE: 1" = 20.0'

LEGAL DESCRIPTION
T24, R11E, SEC 19 TOWN ACRES SUB HA 5 LOT 149

LAND AREA
115.0 x 150.0 = 17,250 SQ FT OR .40 ACRES

ZONING & SETBACK REQUIREMENTS
R-1D
FRONT YARD 40.0 REQUIRED / 40.0 PROVIDED
SIDE YARD (1) 10.0 REQUIRED / 11.0 PROVIDED
SIDE YARD (2) 25.0 REQUIRED / 29.0 PROVIDED
REAR YARD 45.0 REQUIRED / 57.58 PROVIDED

LOT COVERAGE
30% MAXIMUM ALLOWED
19% ACTUAL (3286 FOOT PRINT / 17,250 # LOT AREA)

NOTE
DIMENSIONS SHOWN ARE BASED ON SITE PLAN PROVIDED BY OWNER. OWNER IS RESPONSIBLE TO OBTAIN CERTIFIED LAND SURVEY TO ENSURE MEETS 4 BOUNDS AND SETBACKS ARE ACCURATE

Proposed Additions and Renovations to 2529 Binbrooke Dr. Troy, Michigan 48084

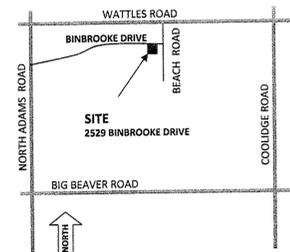
Prepared for:
Arben and Emira Meka & Family
2529 Binbrooke Dr.
Troy, Michigan 48084

Drawing Index

- A-1 DEMOLITION PLAN
- A-2 FOUNDATION PLAN
- A-3 FLOOR PLAN
- A-4 ROOF PLAN
- A-5 NORTH & SOUTH EXTERIOR ELEVATIONS
- A-6 EAST & WEST EXTERIOR ELEVATIONS
- A-7 CROSS SECTION A-A
- A-8 CROSS SECTION B-B & FRONT PORCH ELEVATION/SECTION

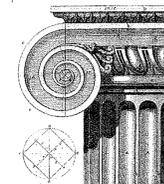
Prepared on:
August 26, 2013

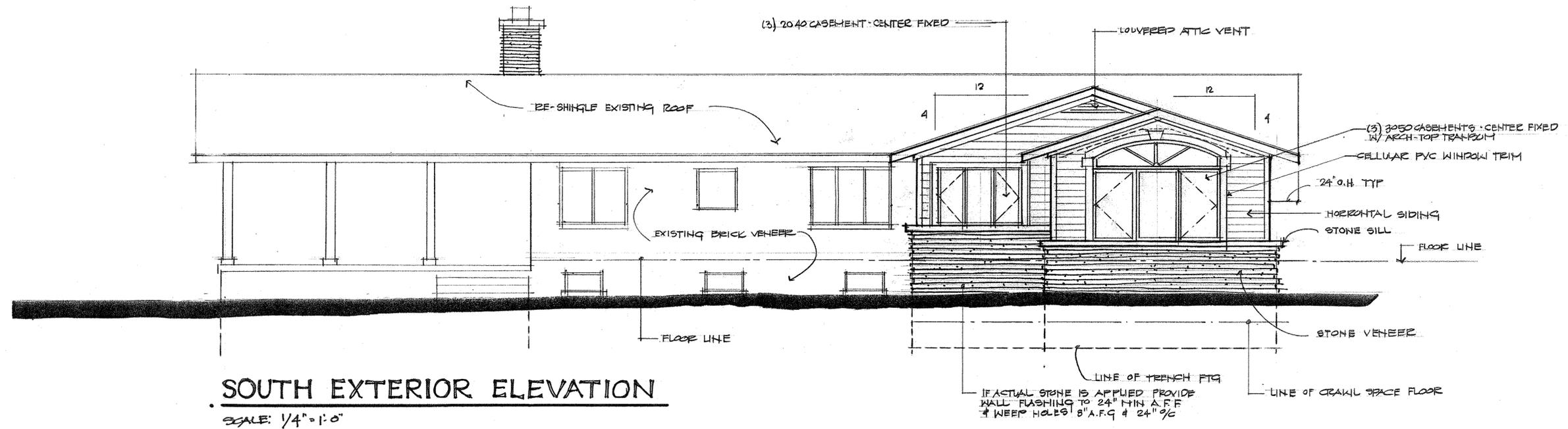
Vicinity Guide



THESE DRAWINGS ARE BEING SUBMITTED FOR:
 PRELIMINARY REVIEW
 PLAN REVIEW
 PERMIT
 CONSTRUCTION

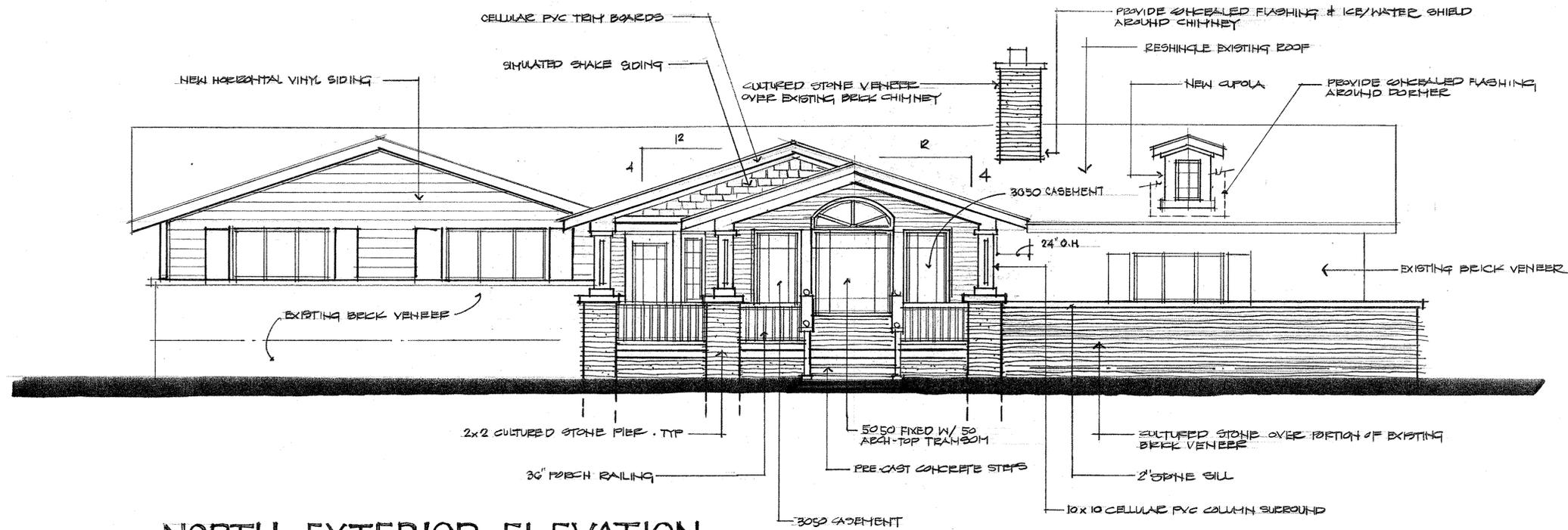
Prepared by:
Design Office of Michael A. Colonna
39100 Augusta
Sterling Heights, MI 48313
810.908.2481





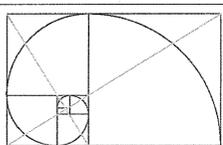
SOUTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



NORTH EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



Design Office of
 Michael A. Colonna
 39100 Augusta
 Sterling Heights, Michigan
 48313
 (810) 908-2481

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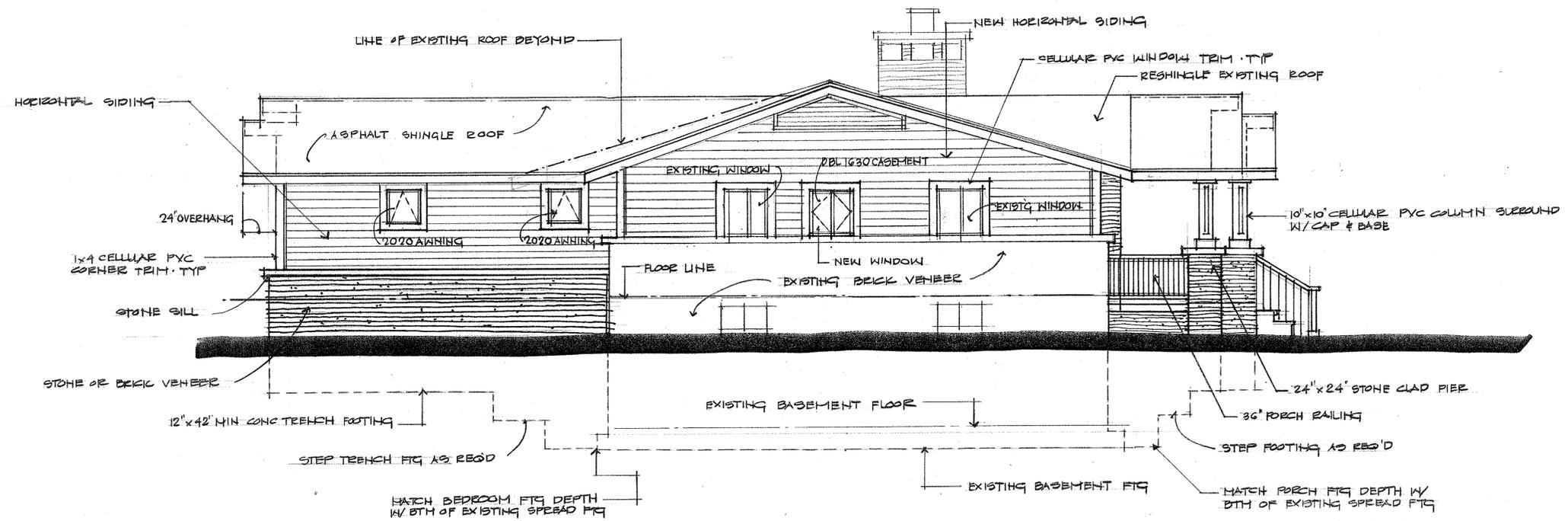
PROJECT:
 ADDITIONS & RENOVATIONS TO
 2529 Binbrooke Dr.
 Troy, Michigan 48084

DATE:
 AUGUST 26, 2013

SHEET TITLE
 EXTERIOR ELEVATIONS

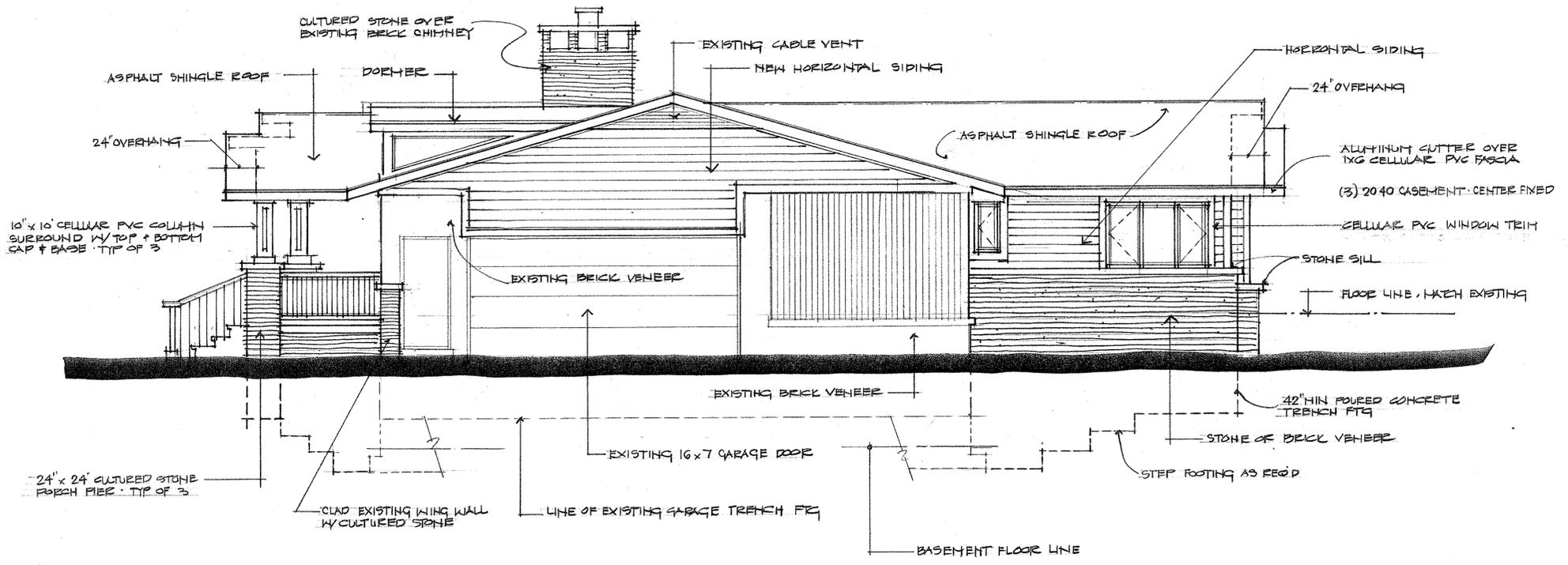
DRAWING:

A-5



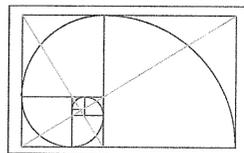
EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



WEST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



Design Office of
 Michael A. Colonna
 39100 Augusta
 Sterling Heights, Michigan
 48313
 (810) 908-2481

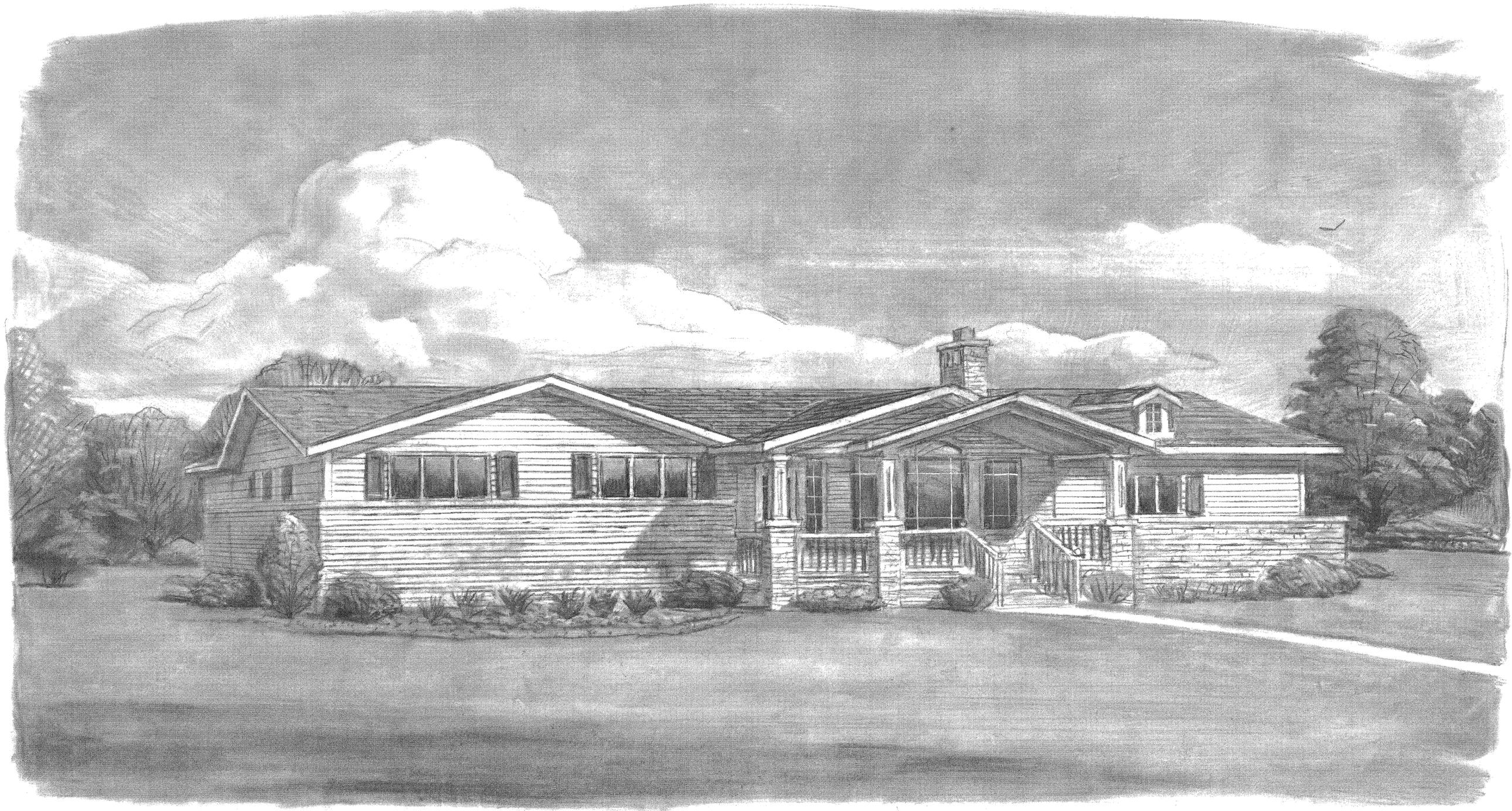
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PROJECT:
 ADDITIONS & RENOVATIONS TO
 2529 Binbrooke Dr.
 Troy, Michigan 48084

DATE:
 AUGUST 26, 2013

SHEET TITLE
 EXTERIOR ELEVATIONS

DRAWING:
A-6





Dear Neighbor:

Our family just moved in this lovely neighborhood, at the 2529 Binbrooke address.

We are planning to upgrade the house to make it more comfortable and up to date.

As you can see from the picture below, the future floor plan of the house will include a covered porch. The city of Troy has approved the porch but not the cover (the roof).

We decided to appeal the decision as we feel that the roof of the porch will not interfere and will not block the view or light of any of the surrounding houses. We actually believe this modification to the house will enhance the overall appearance of our neighborhood and will increase the value of the property.

We are looking for your support regarding our appeal. If you can sign the petition (below) in support to this appeal it would really help us with the case.

The latest date we can turn in the petition to the board of appeals is 9/24/13, if you can return the signed form to our mailbox (black color) at the front of our house prior to this date it would be greatly appreciated.

If you have any questions regarding this matter , please do not hesitate to contact us at 586-764-2021.

With respect,

Mr. and Mrs. Meka (homeowners)



Full Name Jeff DeGenhart Address 2610 BINBROOKE
Signature THEODORE L. DEGENHART Date 9/23/13

Dear Neighbor:

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name

Jeanne Fowler

Address

2625 Binbrooke

Signature

Jeanne Fowler

Date

9-23-13

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name Patricia Bebone ^{Patricia Bebone} Address 2529 Binbrooke Drive
Signature P. Bebone Date 9/23/13

Dear Neighbor:

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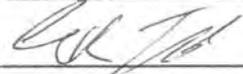
With respect,

Mr. and Mrs. Meka (homeowners)



Full Name EVAN R. Treharne

Address 2590 Binbrooke

Signature 

Date 9-23-13

Dear Neighbor:

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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name JAMES WORRE

Address 2549 BIN BROKE

Signature [Handwritten Signature]

Date 9/24/13

Dear Neighbor:

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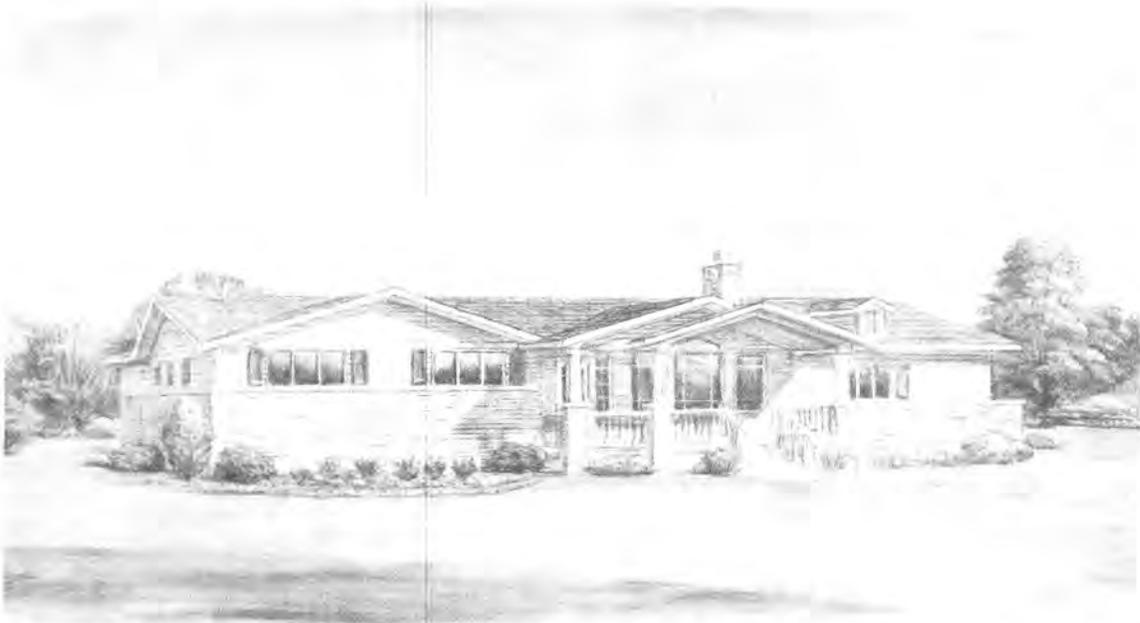
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With respect,

Mr. and Mrs. Meka (homeowners)



Full Name Robert A. RAYMOND

Address 2530 Binbrooke Dr. Troy

Signature 

Date 9/23/13

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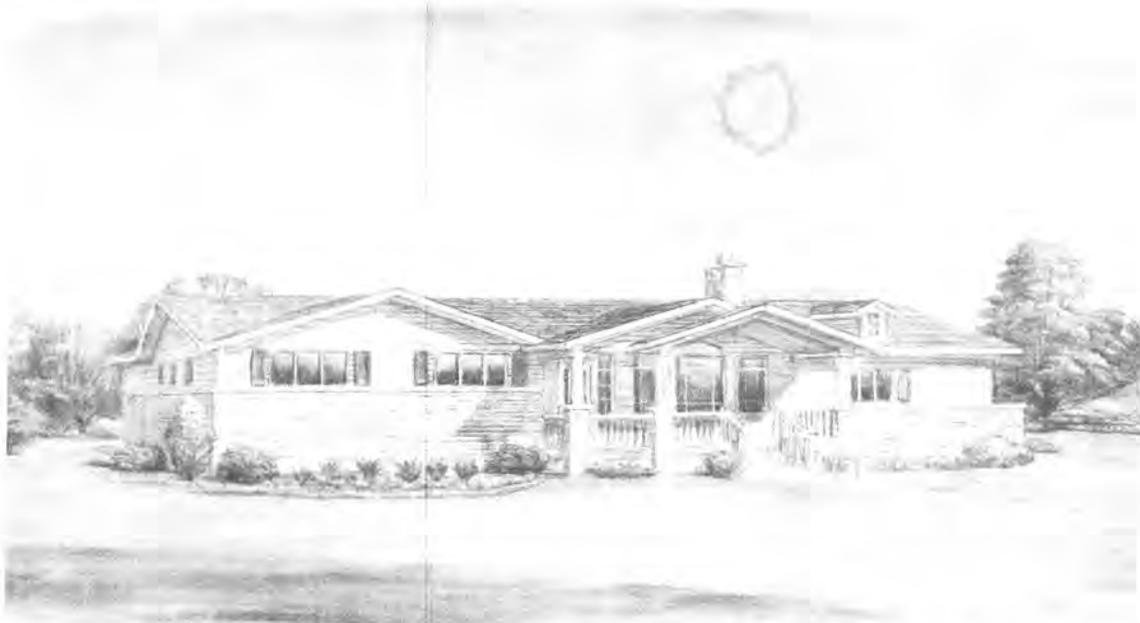
We are looking for your support regarding our appeal. If you can sign the petition (below) in support to this appeal it would really help us with the case.

The latest date we need the petition is 10/15/13, if you can return the signed form to our mailbox (black color) at the front of our house prior to this date it would be greatly appreciated.

If you have any questions regarding this matter , please do not hesitate to contact us at 586-764-2021.

With respect,

Mr. and Mrs. Meka (homeowners)



Full Name KAREN MULHINCH

Address 2510 Binbrooke Dr.

Signature Karen Mulhinch

Date 10/3/13