



PLANNING COMMISSION MEETING AGENDA REGULAR MEETING

500 W. Big Beaver
Troy, MI 48084
(248) 524-3364
www.troymi.gov
planning@troymi.gov

May 10, 2011

7:30 P.M.

Council Chamber

1. ROLL CALL
2. APPROVAL OF AGENDA
3. APPROVAL OF MINUTES – April 26, 2011 Special/Study Session
4. PUBLIC COMMENTS – For Items Not on the Agenda

PRELIMINARY SITE PLAN REVIEW

5. PRELIMINARY SITE PLAN REVIEW (File Number SP 343 D) – Proposed Site Improvements, North side of Big Beaver, West of Crooks (1500 W. Big Beaver), Section 20, Zoned O-1 (Low Rise Office) District
6. PRELIMINARY SITE PLAN REVIEW (File Number SP 968) – Proposed Suburban Cadillac Buick, North of Maple, West of Crooks (1810 Maplelawn), Section 29, Zoned M-1 (Light Industrial) District

SPECIAL USE REQUEST

7. PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW – Proposed Maple Plaza Renovations (McDonald's Restaurant with Drive-Thru Facility), Northwest Corner of Maple and Livernois (72 W. Maple), Section 28, Zoned B-2 (Community Business) District

STUDY ITEMS

8. POTENTIAL REZONING AND DEVELOPMENT PROJECT – East side of Stephenson, north of Fourteen Mile (466 Stephenson), Section 35, Currently Zoned RC (Research Center) District
9. POTENTIAL DEVELOPMENT PROJECT – Potential Tim Horton's Restaurant, Northwest corner of Square Lake and Dequindre (43003 Dequindre), Section 1, Currently Zoned NN (Neighborhood Node) District

OTHER BUSINESS

10. **PUBLIC COMMENTS** – Items on Current Agenda

11. **PLANNING COMMISSION COMMENTS**

ADJOURN

NOTICE: *People with disabilities needing accommodations for effective participation in this meeting should contact the City Clerk by e-mail at clerk@troymt.gov or by calling (248) 524-3317 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.*

The Special/Study Meeting of the Troy City Planning Commission was called to order by Chair Hutson at 7:30 p.m. on April 26, 2011 in the Council Board Room of the Troy City Hall.

1. ROLL CALL

Present:

Donald Edmunds
Michael W. Hutson
Tom Krent
Mark Maxwell
Philip Sanzica
Robert M. Schultz
Thomas Strat
John J. Tagle
Lon M. Ullmann

Also Present:

R. Brent Savidant, Acting Planning Director
Allan Motzny, Assistant City Attorney
Zachary Branigan, Carlisle/Wortman Associates, Inc.
Kathy Czarnecki, Recording Secretary

2. APPROVAL OF AGENDA

Resolution # PC-2010-04-021

Moved by: Schultz
Seconded by: Maxwell

RESOLVED, To approve the Agenda as prepared.

Yes: All present (9)

MOTION CARRIED

3. APPROVAL OF MINUTES

Resolution # PC-2011-04-022

Moved by: Edmunds
Seconded by: Strat

RESOLVED, To approve the minutes of the April 12, 2011 Regular meeting as prepared.

Yes: Edmunds, Hutson, Krent, Maxwell, Sanzica, Schultz, Strat, Tagle
Abstain: Ullmann

MOTION CARRIED

4. PUBLIC COMMENT

There was no one present who wished to speak.

5. BOARD OF ZONING APPEALS (BZA) REPORT

Mr. Strat presented a summary of the April 19, 2011 Board of Zoning Appeals meeting.

6. DOWNTOWN DEVELOPMENT AUTHORITY (DDA) REPORT

Mr. Savidant presented a summary of the April 27, 2011 DDA meeting.

7. PLANNING AND ZONING REPORT

Mr. Savidant reported on the newly adopted Zoning Ordinance.

Mr. Branigan reported on the windmills situated in front of City Hall.

PRELIMINARY SITE PLAN REVIEW

8. PRELIMINARY SITE PLAN REVIEW (File Number SP 967) – Proposed Gaucho Brazilian Steakhouse, 3635 Rochester Road, West Side of Rochester between Troywood and Colebrook, Section 22, Currently Zoned B-3 (General Business) District and P-1 (Vehicular Parking) District

Resolution #2011-04-023

Moved by: Tagle
Seconded by: Schultz

RESOLVED, That Preliminary Site Plan Approval, pursuant to Section 03.40.03 of the Zoning Ordinance, as requested for the proposed Gaucho Brazilian Steakhouse, located on the west side of Rochester between Troywood and Colebrook (3635 Rochester Road), in Section 22, within the B-3 zoning district, be granted, subject to the following conditions:

1. That the parking immediately to the south of the building be revisited or redesigned to consider angled parking and a sidewalk added to connect the entry point of the building to the western part of the building.
2. To grant the Planning Department discretion to eliminate one parking space, if necessary, from the site plan as originally submitted.

Yes: All present (9)

MOTION CARRIED

OTHER ITEMS

9. **PUBLIC COMMENT** – Items on Current Agenda

There was no one present who wished to speak.

10. **PLANNING COMMISSION COMMENT**

There was general Planning Commission discussion.

ADJOURN

The Special/Study Meeting of the Planning Commission adjourned at 8:34 p.m.

Respectfully submitted,

Michael W. Hutson, Chair

Kathy L. Czarnecki, Recording Secretary

G:\Planning Commission Minutes\2011 PC Minutes\Draft\04-26-11 Special Study Meeting_Draft.doc

DATE: March 5, 2011

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 343 D) – Proposed Site Improvements, North side of Big Beaver, West of Crooks (1500 W. Big Beaver), Section 20, Zoned O-1 (Low Rise Office) District

The petitioner, Facility Management Partners, submitted the above referenced Preliminary Site Plan Approval application for building and site improvements to the existing office building at 1500 Big Beaver. Proposed improvements include updating the building exterior, modifying the berm and landscaping in front of the building, and adding more parking.

Note, the application was submitted prior to adoption of the new Zoning Ordinance, therefore the “old” provisions were applied. Big Beaver Form-Based provisions do not apply for this application.

The attached report prepared by Carlisle/Wortman Associates, Inc. summarizes the application.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SP 343 D

G:\SITE PLANS\SP 343 D 1500 W Big Beaver Sec 20\SP-343 D 1500 Big Beaver 05 10 11.docx

PRELIMINARY SITE PLAN REVIEW

PRELIMINARY SITE PLAN REVIEW (File Number SP 343 D) – Proposed Site Improvements, North side of Big Beaver, West of Crooks (1500 W. Big Beaver), Section 20, Zoned O-1 (Low Rise Office) District

Proposed Resolution # PC-2011-05-

Moved by:

Seconded by:

WHEREAS, The applicant submitted the Preliminary Site Plan Approval application prior to adoption of the comprehensively rewritten Zoning Ordinance, therefore the now-repealed Zoning Ordinance provisions shall apply.

THEREFORE BE IT RESOLVED, That Preliminary Site Plan Approval, pursuant to Section 03.40.03 of the Zoning Ordinance, as requested for the proposed site improvements for 1500 W. Big Beaver, located on the north side of Big Beaver and west of Crooks, in Section 20, within the O-1 zoning district, be (granted, subject to the following conditions):

_____) or

(denied, for the following reasons: _____) or

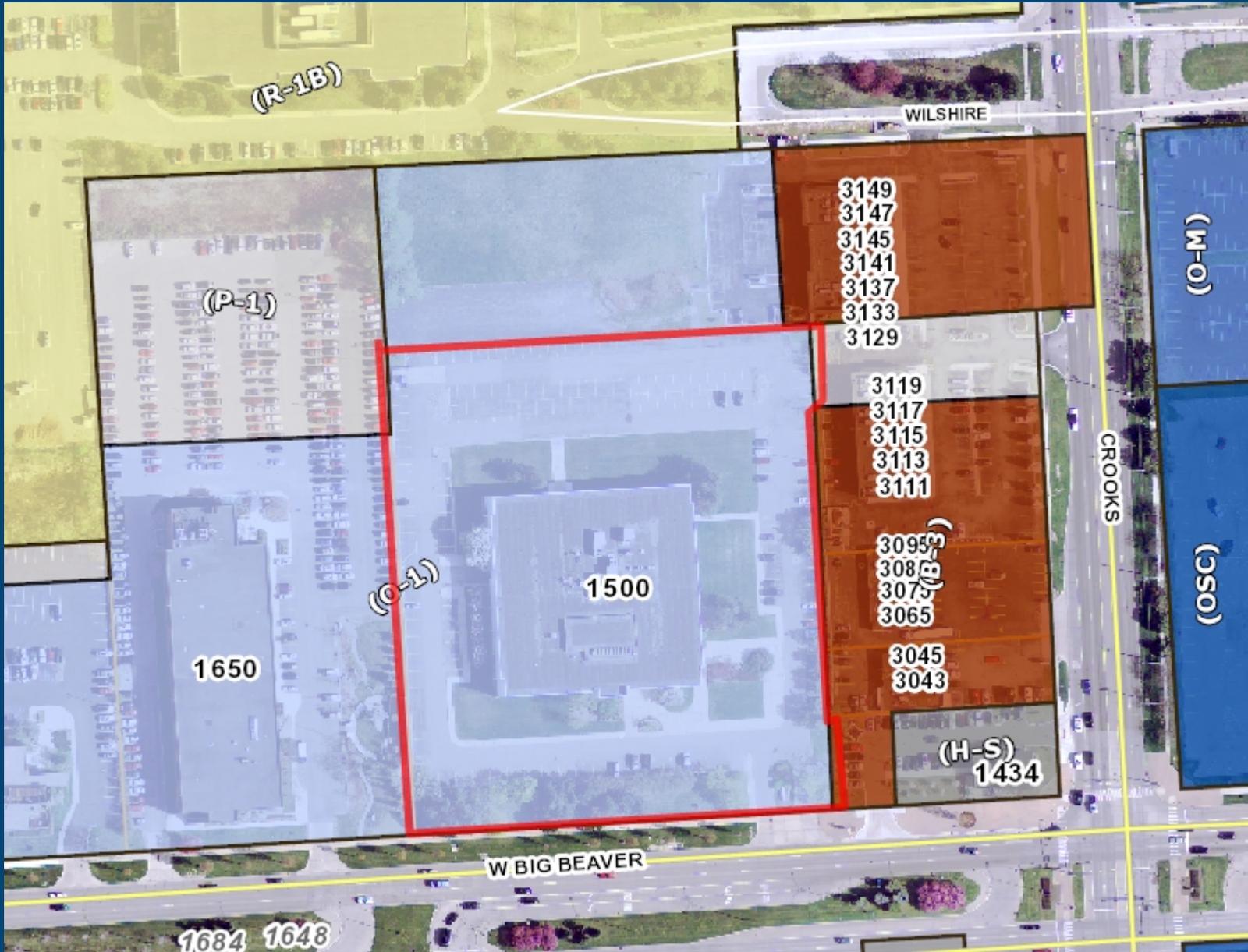
(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / DENIED



Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
- Zoning**
 -  (PUD) Planned Unit Development
 -  (B-1) Local Business District
 -  (B-2) Community Business District
 -  (B-3) General Business District
 -  (R-C) Research Center District
 -  (C-F) Community Facilities District
 -  (C-J) Consent Judgment
 -  (E-P) Environmental Protection District
 -  (R-EC) Residential Elder Care
 -  (P-1) Vehicular Parking District
 -  (H-S) Highway Service District
 -  (M-1) Light Industrial District
 -  (O-1) Office Building District
 -  (O-M) Office Mid-Rise District
 -  (OSC) Office Service Commercial District
 -  (CR-1) One Family Residential Cluster District
 -  (R-1A) One Family Residential District
 -  (R-1B) One Family Residential District
 -  (R-1C) One Family Residential District
 -  (R-1D) One Family Residential District
 -  (R-1E) One Family Residential District
 -  (R-1T) One Family Attached Residential Distr
 -  (R-2) Two Family Residential District
 -  (R-M) Multiple Family Residential Medium De
 -  (RM-1) Multiple Family Residential District Lc
 -  (RM-2) Multiple Family Residential District (M
 -  (RM-3) Multiple Family Residential District (Hi
-  Ponds and Basins
-  Streams and Creeks
-  Parcels

Aerial Photos - 2010

-  Red:Band_1
-  Green:Band_2

Printed: 4/25/2011

312 0 156 312Feet

Scale 1: 1,872



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.



CARLISLE/WORTMAN ASSOCIATES, INC.

Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

MEMORANDUM

TO: Brent Savidant
FROM: Zachary Branigan
DATE: May 4, 2011
RE: 1500 W. Big Beaver parking addition

We are in receipt of a preliminary site plan for a parking lot expansion project at 1500 W. Big Beaver Road. The submittal includes an engineered site plan, a tree preservation plan, a landscape plan, and an existing conditions plan with topography and a full tree survey. It is our understanding that this submittal met with your satisfaction for preliminary site plan submittal given the limited nature of the project. We have received comments from the engineering fire, and public works department, none of which had any comments or objections to the project. We agree with your assessment that the provided information is sufficient to review the plan for preliminary site plan review. Given the limited nature of the project, we are providing a more focused review in a memorandum format.

The application was received by the City of Troy prior to the enacting of the new Zoning Ordinance, and it is the intention and right of the applicant to be processed under the regulations of the former Zoning Ordinance. All requirements of the City of Troy noted herein are therefore requirements that were present under the former, now repealed, Ordinance.

Parking

The site currently provides 264 parking spaces, spread throughout the site. The building is 76,400 square feet in area. Assuming an 80% usable square footage calculation, as the applicant has in this instance, 61,120 square feet of the building may be considered usable. We acknowledge that few square feet may actually be calculated as useable given a detailed review of the floor plan, but this calculation method is acceptable and common for a building with an adaptable floor plan and which is vacant or leasable to a wide variety of tenants.

Assuming the 80% usable calculation, and using the required parking calculation from the former Ordinance, 305 spaces would be required (61,120/one space for every 200 square feet of usable area = 305 spaces). The new parking area, which would expand an existing front yard parking area, would bring the site into compliance with this requirement, allowing for a total of 305 spaces on the site.

The applicant has also included a landbanked bay of 21 additional potential parking spaces in the rear yard, which would bring the total parking up to 326 spaces. We support the concept of landbanking these spaces.

It is our understanding that the applicant is requesting the new spaces and landbanked spaces, as well as a series of landscape revisions, to make the site more marketable and move-in ready for prospective tenants, and to provide maximum flexibility in the future with regard to the potential of adding newly permitted non-office uses to the site. This would require a new site plan approval process, of course. Parking in the front yard is prohibited in most cases in the Big Beaver Form Based Code District, which this site falls under in the new Ordinance. However, as stated previously, this project is being processed under the former Ordinance, which allows the proposed parking configuration.

Landscaping

The new parking area would impact an existing berm and many existing trees. The site plan application includes a survey which demonstrates that the site has 91 existing trees, 51 of which are to be removed. One of these trees is dead. The landscape plan shows that 33 new trees will be added to the site, along with extensive shrubs and groundcovers. The site plan also includes a new 3-foot berm along the front parking area, in accordance with the design recommendations of the Big Beaver Design Guidelines, to replace the larger berm displaced by the new parking.

We support the provision of the new berm, which is of sufficient height to screen the cars in the adjacent parking area, as intended in the Guidelines. We also support the proposed species and configuration of the new landscaping materials, which should help enhance the site and mitigate for the impact of removing the more mature trees and larger berm.

The site plan also includes improved hardscape elements near the entrance of the building, including a variety of decorative pavers and integrated planting beds. A new bench, provided in accordance with the Big Beaver Design Guidelines, is also proposed at the center of the site adjacent to the existing 8-foot wide sidewalk in a new hardscape decorative concrete paver area. The applicant has not provided proposed material details or samples of these elements in this submittal, as the former Ordinance did not require them; however, we recommend that you encourage the applicant to bring these to the meeting with the Planning Commission.

Site design and other requirements

We support the applicant's design elements which were inspired by the Big Beaver Design Guidelines. The extended apron and walkway area between the building and the street, done in decorative concrete pavers, along with the enhanced parking landscaping, new screening berm, new greenbelt trees, enhanced hardscape elements, and overall new site landscaping treatments, will go far in mitigating the addition of new parking between the building and the street. We typically object to the provision of parking in this area, however, it is not prohibited under the former Ordinance, and the site plan does a commendable job of incorporating site design techniques to connect the building with the street, make it more accommodating for pedestrians,

and improve its marketability and street presence, all while bringing the site into compliance with the minimum parking requirements of the former Ordinance.

Recommendation

The preliminary site plan application to expand the existing parking area complies with the Zoning Ordinance and brings the site into compliance with Ordinance requirements. We do not support the provision of excess parking; however, the application does not violate any regulation of the former Ordinance and has been reviewed by the other departments of the City for stormwater management, traffic, and safety, and has been found to be without fault. Also the excess 21 spaces are proposed to be landbanked in the rear yard, and the site design incorporates many characteristics of the Big Beaver Design Guidelines in order to make the site more accessible to pedestrians and to mitigate the potential negative characteristics of the expanded parking area. Therefore, we recommend the Planning Commission approve the applicant's request for preliminary site plan approval.

Please do not hesitate to contact us with any questions, comments, or concerns.

Sincerely,



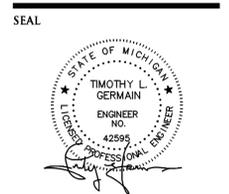
CARLISLE/WORTMAN ASSOCIATES, INC.
Zachary G. Branigan, LEED AP, AICP
Associate

225-02-1108



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
1500 W. Big Beaver Road
Troy, Michigan

CLIENT
Core Partners
320 Martin Street, Suite 140
Birmingham, MI 48009

Contact: Matthew Farrell
(248) 399-9999 x101 - Tel.
(248) 399-9393 - Fax

PROJECT LOCATION
Part of the SE 1/4
of Section 20
T.2N., R.11E.
City of Troy,
Oakland County, Michigan

SHEET
Engineering Site Plan



REVISIONS
04-18-11 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
R. Johnson
DESIGNED BY:
T. Germain
APPROVED BY:
T. Germain
DATE:
April 18, 2011
SCALE: 1" = 40'
40 20 0 20 40 60
NFE JOB NO. SHEET NO.
G419 SP1



SHEET INDEX

SP1	ENGINEERING SITE PLAN
SP2	BOUNDARY / TOPOGRAPHIC / TREE SURVEY
L1	TREE PRESERVATION PLAN
L2	LANDSCAPE PLAN

PAVING NOTE
LIMITED AREAS OF THE EXISTING PARKING LOT TO BE REPAIRED AS NEEDED. AREAS TO BE IDENTIFIED DURING ENGINEERING REVIEW PHASE.

DETENTION NOTE
DETENTION FOR THIS SITE IS PROVIDED VIA AN OFFSITE REGIONAL DETENTION SYSTEM CONSTRUCTED AS PART OF THE CROOKS ROAD RETAIL PROJECT IN 2003 PER CITY ENGINEER.

NOTES
PERMIT REQUIRED FROM OAKLAND COUNTY ROAD COMMISSION FOR PROPOSED WORK WITHIN THE BIG BEAVER RD. RIGHT-OF-WAY.

A SOIL EROSION PERMIT IS REQUIRED FROM THE CITY OF TROY ENGINEERING DEPARTMENT FOR THIS PROJECT.

CONTACT MARK FIFE, MDEC REGARDING NPDES PERMIT-BY-RULE PROGRAM AT (517) 241-8993

LIGHTING NOTE
ANY NEW SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWNWARD AWAY FROM ADJACENT PROPERTIES IN ACCORDANCE WITH COMMUNITY STANDARDS. PROPOSED SITE LIGHTING SHALL MATCH EXISTING SITE LIGHTING IN INTENSITY, STYLE & HEIGHT.

SITE DATA

SITE AREA GROSS:	224,931.48 SFT. OR 5.16 ACRES
ZONING:	0-1 (OFFICE BUILDING)
EXISTING:	0-1 (OFFICE BUILDING)
BUILDING USE:	2 STORY OFFICE
BUILDING DATA (GROSS AREA):	
EXISTING BUILDING:	86,830 SFT.
SITE DATA:	
SITE AREA:	224,931.48 SFT. 100.0%
BUILDING FOOTPRINT:	40,476.09 SFT. 18.0%
PARKING & DRIVES:	120,881.89 SFT. 53.7%
OPEN SPACE/LANDSCAPE:	63,573.50 SFT. 28.3%
SETBACK REQUIREMENTS:	REQUIRED PROVIDED
FRONT:	131.4' (L) 131.4' (R)
LEAST SIDE:	20.0' 92.3' (W)
REAR:	40.0' 135.1' (E)
TOTAL SIDE:	40.0' 227.4'
REAR:	20.0' 161.0' (N)

LOADING/UNLOADING AREA

EXISTING TO 450' =	500 SF PROVIDED MINIMUM
LANDSCAPE DATA:	
REQUIRED:	10' x FRONTAGE (BIG BEAVER RD.) = 4,437.00 SFT.
PROVIDED:	26.25' x 443.7' (BIG BEAVER RD.) = 11,647.13 SFT.
REQUIRED:	10% OF SITE AREA = 22,493.15 SFT.
TOTAL PROVIDED:	= 22,493.15 SFT.
TOTAL REQUIRED:	= 38,261.16 SFT.
PARKING REQUIREMENTS:	
REQUIRED:	1/200 SF USABLE BUILDING SPACE (80% OF 80,000) = 40,000 SPACES
TOTAL PROVIDED:	305 SPACES INCLUDING 8 BARRIER FREE SPACES
TOTAL REQUIRED:	305 SPACES INCLUDING 8 BARRIER FREE SPACES
TOTAL PROVIDED:	305 SPACES INCLUDING 12 BARRIER FREE SPACES & 21 LAND BANKED PARKING SPACES

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

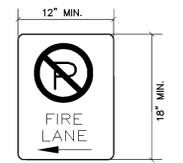
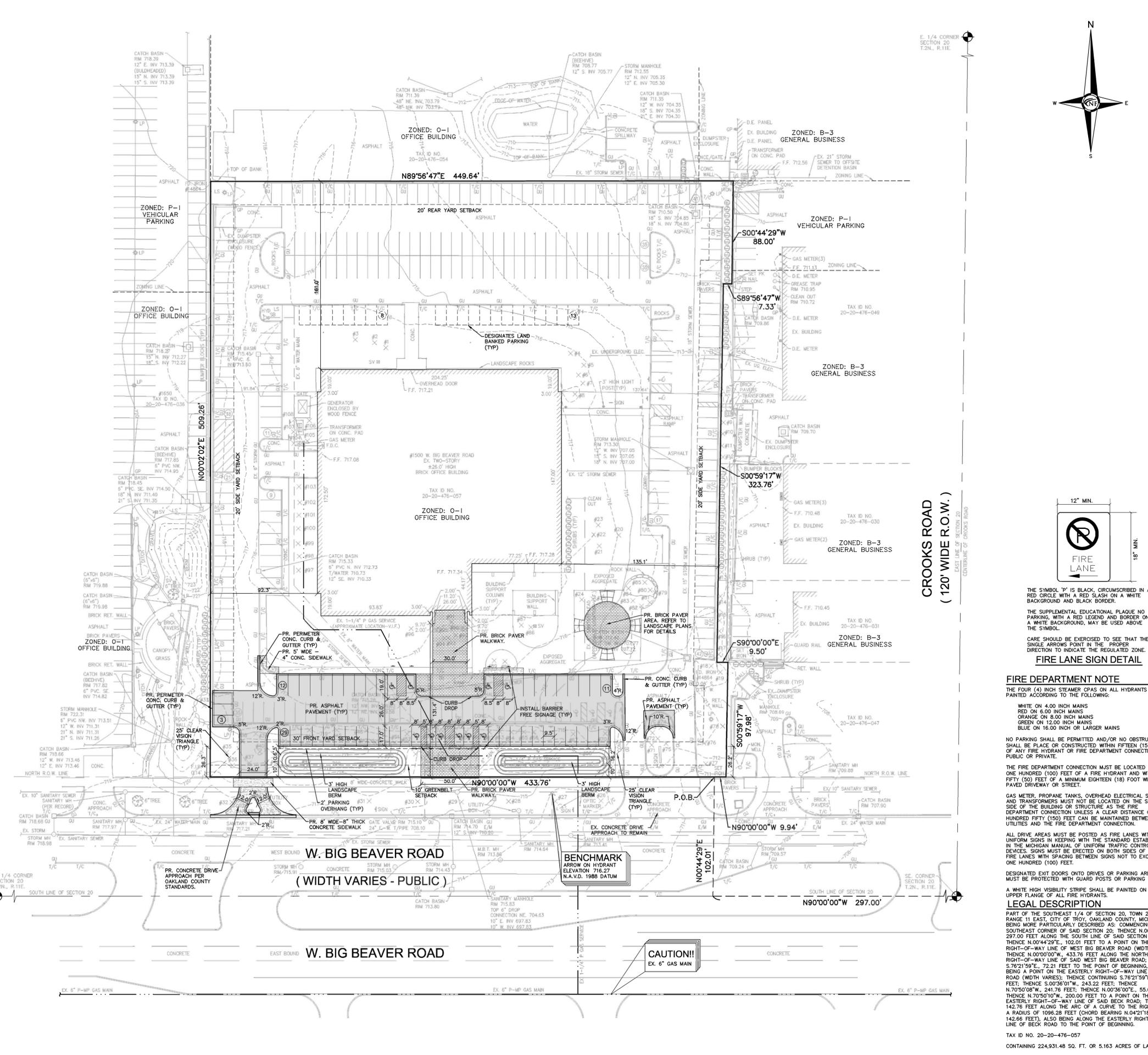
LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATER MAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY WIRE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	C.O.		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	CB		PR. R. Y. CATCH BASIN
	MANHOLE		PROPOSED LIGHT POLE
	TC 600.00		PR. TOP OF CURB ELEVATION
	GU 600.00		PR. TOP OF ELEVATION
	TW 600.00		PR. TOP OF WALK ELEVATION
	TP 600.00		PR. TOP OF P.W.M. ELEVATION
	FG 600.00		FINISH GRADE ELEVATION

LEGAL DESCRIPTION
PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 20; THENCE N.00°00'00"W, 297.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 20; THENCE N.00°44'29"E, 102.01 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST BIG BEAVER ROAD (WIDTH VARIES); THENCE N.00°00'00"W, 433.76 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID WEST BIG BEAVER ROAD; THENCE S.76°21'59"E, 72.21 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF BECK ROAD (WIDTH VARIES); THENCE CONTINUING S.76°21'59"E, 420.26 FEET; THENCE S.00°36'01"W, 243.22 FEET; THENCE N.70°50'08"W, 241.76 FEET; THENCE N.00°36'00"E, 55.00 FEET; THENCE N.70°50'10"W, 200.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID BECK ROAD; THENCE 142.76 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1096.28 FEET (CHORD BEARING N.04°21'18"E, 142.66 FEET), ALSO BEING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF BECK ROAD TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION
PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 20; THENCE N.00°00'00"W, 297.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 20; THENCE N.00°44'29"E, 102.01 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST BIG BEAVER ROAD (WIDTH VARIES); THENCE N.00°00'00"W, 433.76 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID WEST BIG BEAVER ROAD; THENCE S.76°21'59"E, 72.21 FEET TO THE POINT OF BEGINNING, ALSO BEING A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF BECK ROAD (WIDTH VARIES); THENCE CONTINUING S.76°21'59"E, 420.26 FEET; THENCE S.00°36'01"W, 243.22 FEET; THENCE N.70°50'08"W, 241.76 FEET; THENCE N.00°36'00"E, 55.00 FEET; THENCE N.70°50'10"W, 200.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID BECK ROAD; THENCE 142.76 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1096.28 FEET (CHORD BEARING N.04°21'18"E, 142.66 FEET), ALSO BEING ALONG THE EASTERLY RIGHT-OF-WAY LINE OF BECK ROAD TO THE POINT OF BEGINNING.

TAX ID NO. 20-20-476-057
CONTAINING 224,931.48 SQ. FT. OR 5.163 ACRES OF LAND.



FIRE LANE SIGN DETAIL
THE SYMBOL 'P' IS BLACK, CIRCUMSCRIBED IN A RED CIRCLE WITH A RED SLASH ON A WHITE BACKGROUND AND BLACK BORDER.

THE SUPPLEMENTAL EDUCATIONAL PLAQUE NO PARKING, WITH A RED LEGEND AND BORDER ON A WHITE BACKGROUND, MAY BE USED ABOVE THE SYMBOL.

CARE SHOULD BE EXERCISED TO SEE THAT THE SINGLE ARROWS POINT IN THE PROPER DIRECTION TO INDICATE THE REGULATED ZONE.

FIRE DEPARTMENT NOTE
THE FOUR (4) INCH STEAMER CPAS ON ALL HYDRANTS WILL BE PAINTED ACCORDING TO THE FOLLOWING:
WHITE ON 4.00 INCH MAINS
RED ON 6.00 INCH MAINS
ORANGE ON 8.00 INCH MAINS
GREEN ON 12.00 INCH MAINS
BLUE ON 16.00 INCH OR LARGER MAINS

NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION, PUBLIC OR PRIVATE.

THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE PAVED DRIVEWAY OR STREET.

ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT TO EXCEED ONE HUNDRED (100) FEET.

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

A WHITE HIGH VISIBILITY STRIPE SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS.

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TAX ID NO. 20-20-476-057
CONTAINING 224,931.48 SQ. FT. OR 5.163 ACRES OF LAND.

Tree Inventory List

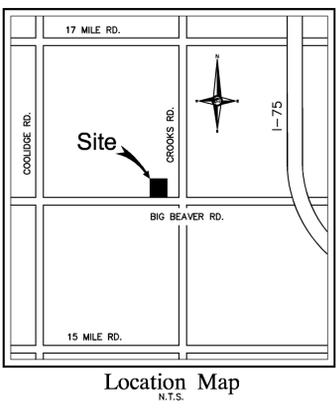
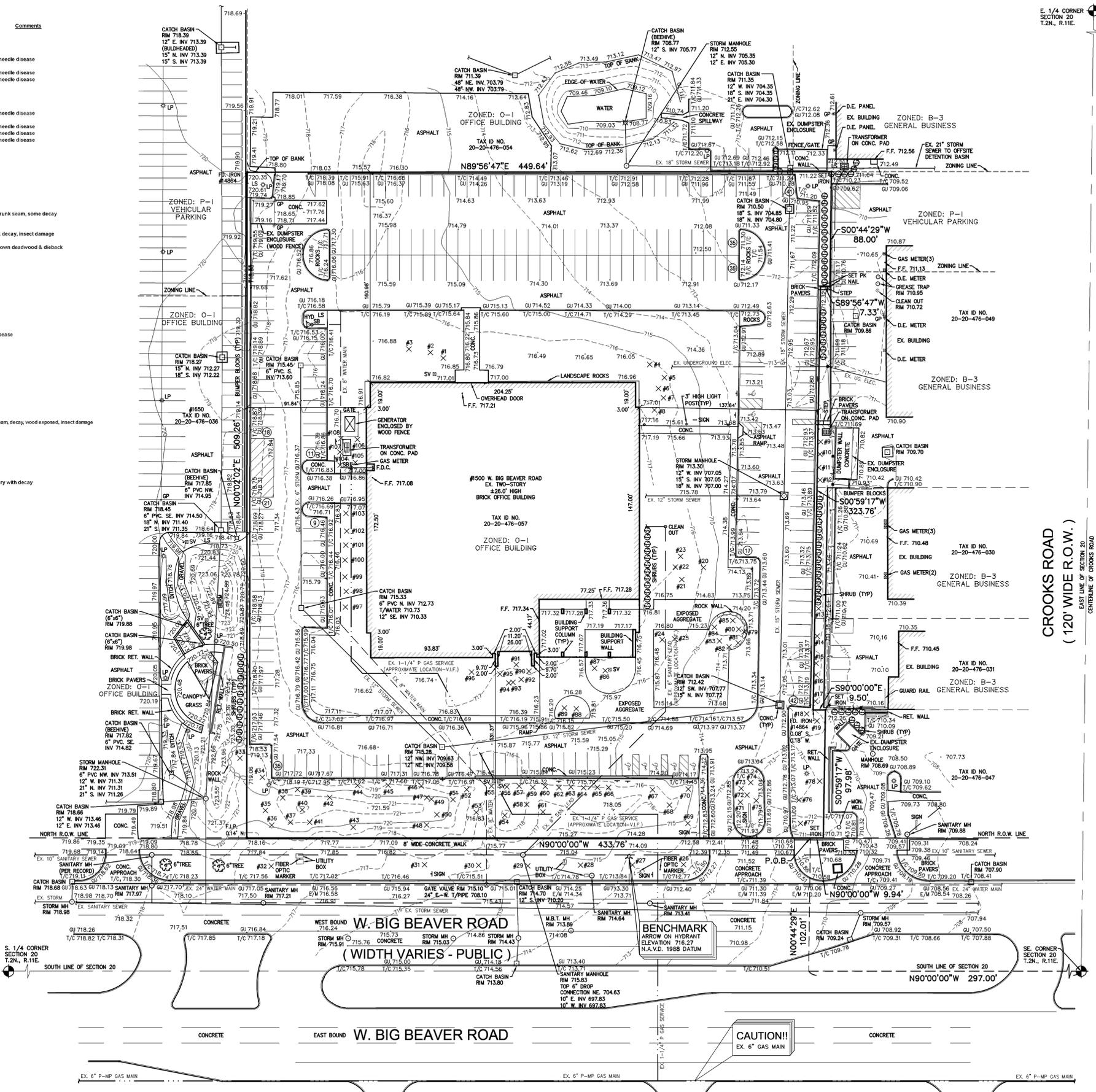
Client Name: Core Partners
 Job Number: G419
 Job Location: 1500 W Big Beaver, Troy
 Date Completed: 4/11/2011

Condition Description Notes:
 *Good - no observed structural defects
 *Fair - minor structural defects, marginal form, some insect activity noted
 *Poor - major structural defects, poor form, insect infested

*Structural defects may include decayed wood, cracks, root problems, weak branch unions, cankers, poor tree architecture, dead/dying branches due to various causes.

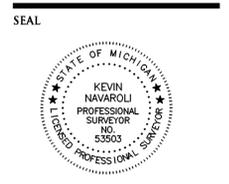
Tree #	Botanical Name	Common Name	Di.	Type	Other Di.	Condition	Comments
1	Pinus nigra	Austrian Pine	14			Good	
2	Pinus nigra	Austrian Pine	13			Good	
3	Pinus nigra	Austrian Pine	8			Good	
4	Pinus nigra	Austrian Pine	13			Good	Some diplopia needle disease
5	Pinus nigra	Austrian Pine	15			Good	
6	Pinus nigra	Austrian Pine	14			Fair	Some diplopia needle disease
7	Pinus nigra	Austrian Pine	12			Fair	Some diplopia needle disease
8	Pinus nigra	Austrian Pine	12			Fair	Some diplopia needle disease
9	Pinus nigra	Austrian Pine	14			Good	
10	Pinus nigra	Austrian Pine	14			Good	
11	Pinus nigra	Austrian Pine	11			Good	
12	Pinus nigra	Austrian Pine	12			Good	
13	Pinus nigra	Austrian Pine	11			Fair	Some diplopia needle disease
14	Pinus nigra	Austrian Pine	13			Good	
15	Pinus nigra	Austrian Pine	12			Fair	Some diplopia needle disease
16	Pinus nigra	Austrian Pine	12			Fair	Some diplopia needle disease
17	Pinus nigra	Austrian Pine	13			Fair	Some diplopia needle disease
18	Pinus nigra	Austrian Pine	13			Fair	Some diplopia needle disease
19	Pinus nigra	Austrian Pine	14			Good	
20	Pinus nigra	Austrian Pine	14			Good	
21	Pinus nigra	Austrian Pine	12			Good	
22	Pinus nigra	Austrian Pine	14			Good	
23	Pinus nigra	Austrian Pine	14			Good	
24	Malus spp.	Crabapple spp.	7		Twin	Good	
25	Acer rubrum	Red Maple	8			Good	
26	Acer rubrum	Red Maple	7			Good	
27	Acer rubrum	Red Maple	10			Fair	In-rolled basal trunk seam, some decay
28	Acer rubrum	Red Maple	8			Good	
29	Acer rubrum	Red Maple	10			Good	
30	Acer rubrum	Red Maple	9			Good	
31	Acer rubrum	Red Maple	6			Poor	Extensive trunk decay, insect damage
32	Acer rubrum	Red Maple	7			Good	
33	Acer saccharinum	Boxelder	29			Good	
34	Pinus nigra	Austrian Pine	12			Good	Approx. 30% crown deadwood & dieback
35	Pinus nigra	Austrian Pine	12			Good	
36	Pinus nigra	Austrian Pine	12			Good	
37	Pinus nigra	Austrian Pine	14			Good	
38	Pinus nigra	Austrian Pine	11			Good	
39	Pinus nigra	Austrian Pine	12			Good	
40	Pinus nigra	Austrian Pine	12			Good	
41	Pinus nigra	Austrian Pine	15			Good	
42	Pinus nigra	Austrian Pine	14			Good	
43	Acer platanoides	Norway Maple	13			Good	Pitch canker disease
44	Acer platanoides	Norway Maple	13			Good	
45	Pinus nigra	Austrian Pine	14			Good	
46	Pinus nigra	Austrian Pine	13			Good	
47	Pinus nigra	Austrian Pine	14			Good	
48	Pinus nigra	Austrian Pine	14			Good	
49	Pinus nigra	Austrian Pine	13			Good	
50	Pinus nigra	Austrian Pine	13			Good	
51	Pinus nigra	Austrian Pine	9			Good	
52	Pinus nigra	Austrian Pine	13			Good	
53	Pinus nigra	Austrian Pine	12			Good	
54	Pinus nigra	Austrian Pine	14			Good	
55	Crataegus phaenopynum	Washington Hawthorn	6	Multiple	8 stems	Good	Trunk damage
56	Crataegus phaenopynum	Washington Hawthorn	5	Multiple	8 stems	Good	
57	Crataegus phaenopynum	Washington Hawthorn	5	Multiple	7 stems	Good	
58	Pinus nigra	Austrian Pine	16	Multiple	6 stems	Good	
59	Crataegus phaenopynum	Washington Hawthorn	3	Multiple	6 stems	Good	In-rolled trunk seam, decay, wood exposed, insect damage
60	Crataegus phaenopynum	Washington Hawthorn	5	Multiple	4 stems	Good	
61	Pinus nigra	Austrian Pine	14	Multiple	4 stems	Good	
62	Crataegus phaenopynum	Washington Hawthorn	6	Multiple	5 stems	Good	
63	Crataegus phaenopynum	Washington Hawthorn	6	Multiple	4 stems	Good	
64	Crataegus phaenopynum	Washington Hawthorn	6	Multiple	4 stems	Good	
65	Crataegus phaenopynum	Washington Hawthorn	6	Multiple	6 stems	Good	
66	Crataegus phaenopynum	Washington Hawthorn	5	Multiple	5 stems	Good	
67	Acer platanoides	Norway Maple	11			Poor	Basal trunk injury with decay
68	Acer platanoides	Norway Maple	11			Poor	
69	Acer platanoides	Norway Maple	12			Good	
70	Acer platanoides	Norway Maple	9			Good	
71	Malus spp.	Crabapple spp.	6			Good	
72	Malus spp.	Crabapple spp.	4			Good	
73	Malus spp.	Crabapple spp.	4			Good	
74	Malus spp.	Crabapple spp.	6			Good	
75	Malus spp.	Crabapple spp.	6			Good	
76	Acer platanoides	Norway Maple	9			Good	
77	Acer platanoides	Norway Maple	13			Good	
78	Ulmus americana	Desert Elm	20			Good	
79	Pinus strobus	Eastern White Pine	11			Good	
80	Pinus mugo	Mugo Pine	4	Multiple	4, 3	Good	
81	Pinus mugo	Mugo Pine	4	Multiple	4, 4, 3, 3	Good	
82	Malus spp.	Crabapple spp.	5			Good	
83	Malus spp.	Crabapple spp.	5			Good	
84	Malus spp.	Crabapple spp.	3			Good	
85	Pinus mugo	Mugo Pine	3	Multiple	6 stems	Good	
86	Malus spp.	Crabapple spp.	8		Twin	7	Good
87	Malus spp.	Crabapple spp.	4			Good	
88	Malus spp.	Crabapple spp.	4			Good	
89	Malus spp.	Crabapple spp.	4			Good	
90	Malus spp.	Crabapple spp.	3			Good	
91	Malus spp.	Crabapple spp.	4			Good	
92	Malus spp.	Crabapple spp.	6			Good	
93	Malus spp.	Crabapple spp.	6			Good	
94	Malus spp.	Crabapple spp.	6			Good	
95	Malus spp.	Crabapple spp.	6			Good	
96	Malus spp.	Crabapple spp.	6			Good	
97	Pinus strobus	Eastern White Pine	11			Good	
98	Malus spp.	Crabapple spp.	6			Good	
99	Malus spp.	Crabapple spp.	7			Good	
100	Malus spp.	Crabapple spp.	7			Good	
101	Malus spp.	Crabapple spp.	8			Good	
102	Malus spp.	Crabapple spp.	7			Good	
103	Malus spp.	Crabapple spp.	7			Good	
104	Malus spp.	Crabapple spp.	7			Good	
105	Pyrus calleryana	Bradford Pear	12			Good	
106	Pyrus calleryana	Bradford Pear	13			Good	
107	Malus spp.	Crabapple spp.	7			Good	
108	Malus spp.	Crabapple spp.	7			Good	

ANTHONY J. DOMBROWSKI
 Registered Forester
 State of Michigan ID #330100669



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 1500 W. Big Beaver Road
 Troy, Michigan

CLIENT
 Core Partners
 320 Martin Street, Suite 140
 Birmingham, MI 48009

Contact: Matthew Farrell
 (248) 399-9999 x101 - Tel.
 (248) 399-9393 - Fax

PROJECT LOCATION
 Part of the SE 1/4
 of Section 20
 T.2N., R.11E.
 City of Troy,
 Oakland County, Michigan

SHEET
 Boundary / Topographic /
 Tree Survey



REVISIONS
 04-18-11 ISSUED FOR SITE PLAN REVIEW

APPROVED BY:
 K. Navaroli

DATE:
 April 18, 2011

SCALE: 1" = 40'

NFE JOB NO. G419 SHEET NO. SP2

LEGAL DESCRIPTION
 PART OF THE SOUTHEAST 1/4 OF SECTION 20, TOWN 2 NORTH, RANGE 11 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 20; THENCE N.00°00'00"W, 297.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 20; THENCE N.00°44'29"E, 102.01 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WEST BIG BEAVER ROAD (WIDTH VARIES); THENCE N.00°00'00"W, 433.76 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE; THENCE N.00°02'02"E, 509.26 FEET; THENCE S.00°51'17"W, 323.76 FEET; THENCE S.90°00'00"E, 9.50 FEET; THENCE S.00°51'17"W, 97.98 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE; THENCE N.90°00'00"W, 9.94 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING.

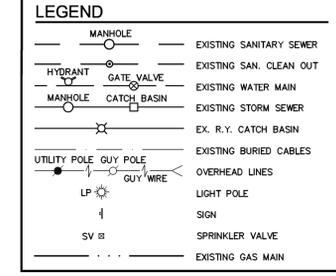
TAX ID NO. 20-20-476-057
 CONTAINING 224,931.48 SQ. FT. OR 5.163 ACRES OF LAND.

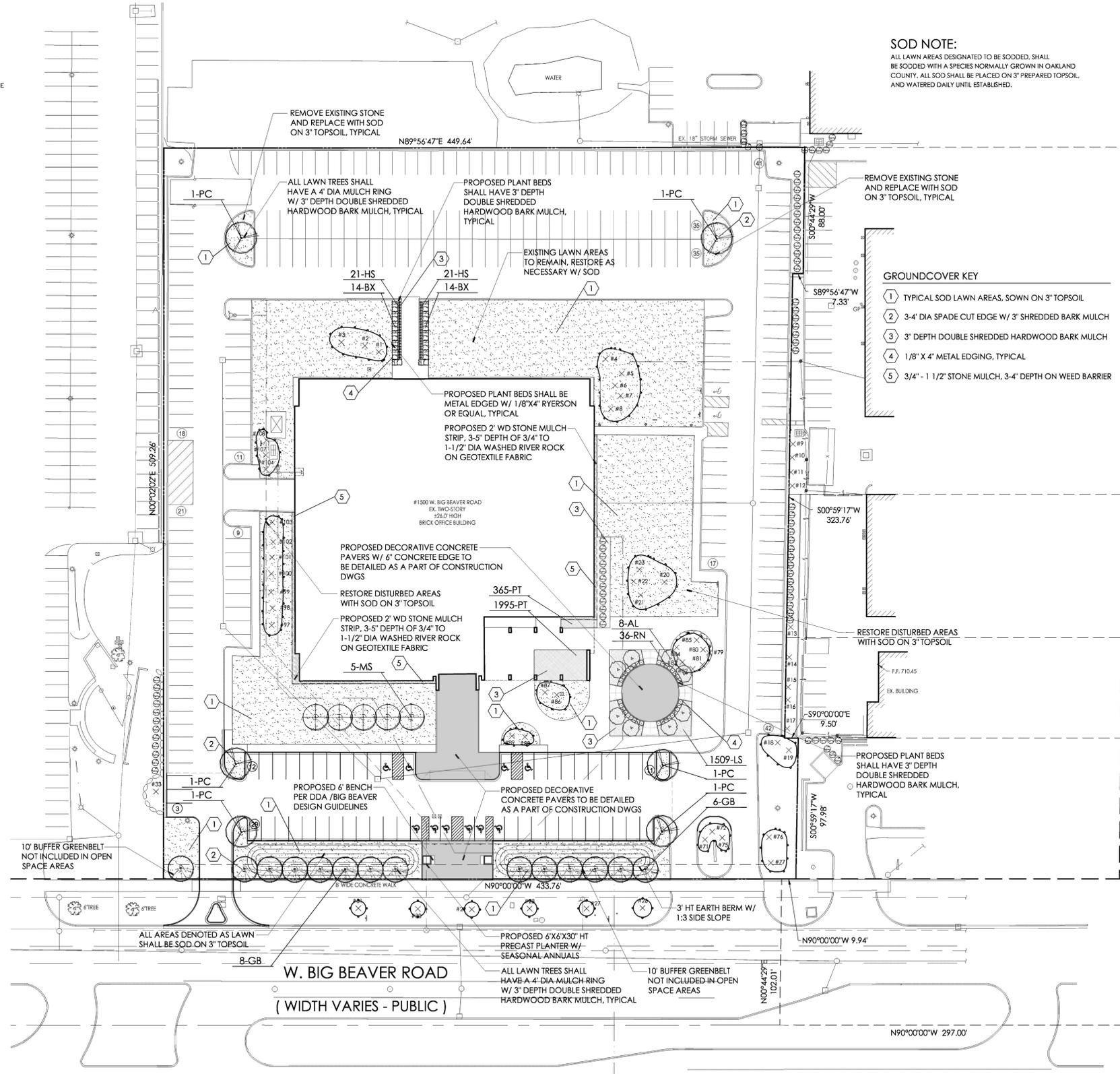
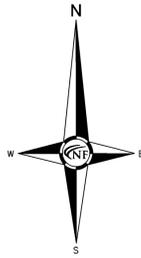
FLOOD HAZARD NOTE
 THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA INDICATED BY FLOOD INSURANCE RATE MAP (FIRM) NO. 26125C0533F OR 26125C0534F DATED: SEPTEMBER 29, 2006

TOPOGRAPHIC SURVEY NOTES
 ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
 UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE AS TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
 THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

CERTIFICATE OF SURVEY
 WE HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED.

KEVIN NAVAROLI, PLS. DATE: 4-18-11
 NO.: 53503



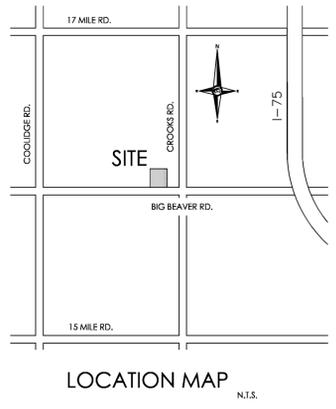


SOD NOTE:
 ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A SPECIES NORMALLY GROWN IN OAKLAND COUNTY. ALL SOD SHALL BE PLACED ON 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHED.

- GROUND COVER KEY**
- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
 - 2 3-4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
 - 3 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
 - 4 1/8" X 4" METAL EDGING, TYPICAL
 - 5 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER

GENERAL LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERFERENCE OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
4. PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
6. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST TWO (2) YEARS FOLLOWING PLANTING.
7. ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
8. CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 4" IN ALL LAWN AREAS.
9. PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.
10. SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATE.
11. AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 FERT. MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
12. ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK. SPREAD TO A DEPTH OF 4" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUND COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PIECES ON INCONSISTENT SIZE.
13. NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
14. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
15. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE CONTRACT PERIOD.
16. THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
17. THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
18. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.



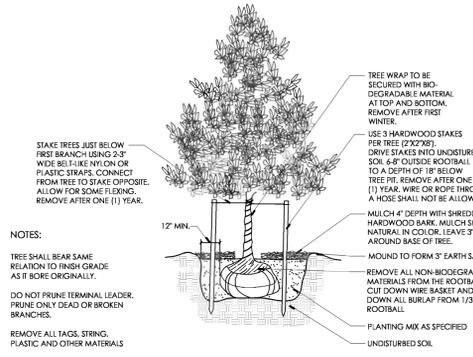
LANDSCAPE REQUIREMENTS

EXISTING SITE ZONING: O-1, OFFICE DISTRICT
 EXISTING SITE AREA: 224,931.48 S.F. OR 5.16 ACRES

FRONTAGE LANDSCAPE
 10' WD., 1 TREE / 30 L.F. OF FRONTAGE
 REQUIRED:
 BIG BEAVER: 433.76 L.F.
 433.76 L.F. / 30 L.F. = 14.46 OR 15 TREES REQUIRED
 PROVIDED: 14 TREES, INCL. 1 EXISTING

SITE LANDSCAPE
 REQUIRED: 10% OF SITE AREA
 224,931.48 S.F. x 10% = 22,493.15 S.F.
 PROVIDED: 38,261.16 S.F. (17%)

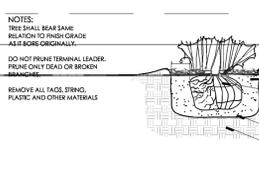
CROOKS ROAD
 EAST LINE OF SECTION 20
 (120' WIDE R.O.W.)



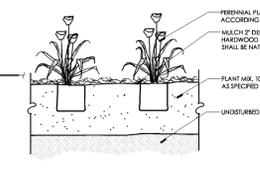
DECIDUOUS TREE PLANTING DETAIL

PLANT SCHEDULE

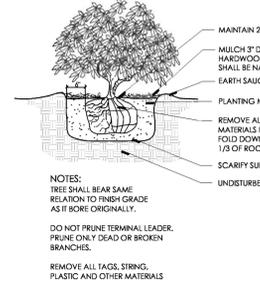
KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
TREES						
AL	8	Amelanchier laevis Allegheny Serviceberry	6-8' HT	SEE PLAN	B&B	CLUMP FORM
GB	14	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	3" CAL	SEE PLAN	B&B	FULL HEAD
MS	5	Malus 'Spring Snow' Spring Snow Crabapple	2" CAL	SEE PLAN	B&B	FULL HEAD
PC	6	Pyrus calleryana 'Aristocrat' Aristocrat Pear	3" CAL	SEE PLAN	B&B	FULL HEAD
SHRUBS						
BX	28	Buxus x 'Winter Gem' Winter Gem Boxwood	30" HT	30" OC	B&B	MAINTAIN AS HEDGE
RN	36	Rosa x 'Nearly Wild' Nearly Wild Shrub Rose	5 GAL	3' OC	CONT	MAINTAIN AS HEDGE
GROUNDCOVERS/PERENNIALS						
HS	42	Hemerocallis 'Stella D'Oro' Stella D'Oro Daylily	2 GAL	2' OC	CONT	
LS	1509	Liriope spicata Creeping Lily-turf	#1 POT	12" OC	CONT	
PT	2360	Pachysandra terminalis Pachysandra	#1 POT	8" OC	CONT	



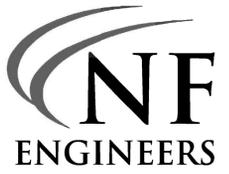
HEDGE PLANTING DETAIL



PERENNIAL PLANTING DETAIL



SHRUB PLANTING DETAIL



**CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 1500 W. Big Beaver Road
 Troy, Michigan

CLIENT
 Core Partners
 320 Martin Street, Suite 140
 Birmingham, MI 48009

Contact: Matthew Farrell
 (248) 399-9999 x101 - Tel.
 (248) 399-9393 - Fax

PROJECT LOCATION
 Part of the SE 1/4
 of Section 20
 T.2N., R.11E.
 City of Troy,
 Oakland County, Michigan

SHEET
 Landscape Plan



REVISIONS
 04-18-11 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
 G. Ostrowski
DESIGNED BY:
 G. Ostrowski

APPROVED BY:
 G. Ostrowski

DATE:
 April 18, 2011
SCALE:
 1" = 40'
 40 20 0 20 40 60
NFE JOB NO.
 G419
SHEET NO.
 L2

DATE: March 5, 2011

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PRELIMINARY SITE PLAN REVIEW (File Number SP 968) – Proposed Suburban Cadillac Buick, North of Maple, West of Crooks (1810 Maplelawn), Section 29, Zoned M-1 (Light Industrial) District

The petitioner, Studio Design, submitted the above referenced Preliminary Site Plan Approval application for a significant renovation of the Somerset Cadillac Buick building at 1810 Maplelawn. Proposed improvements include removal and replacement of 12,260 square feet of building area, a new 2,461 square foot mezzanine and a 774 square foot addition.

Note, the application was submitted prior to adoption of the new Zoning Ordinance. The attached report prepared by Carlisle/Wortman Associates, Inc. summarizes the application.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SP 968

G:\SITE PLANS\SP 968 Suburban Cadillac Buick Sec 29\SP-968 Suburban Cadillac 05 10 11.docx

PRELIMINARY SITE PLAN REVIEW

PRELIMINARY SITE PLAN REVIEW (File Number SP 968) – Proposed Suburban Cadillac Buick, North of Maple, West of Crooks (1810 Maplelawn), Section 29, Zoned M-1 (Light Industrial) District

Proposed Resolution # PC-2011-05-

Moved by:

Seconded by:

WHEREAS, The applicant submitted the Preliminary Site Plan Approval application prior to adoption of the comprehensively rewritten Zoning Ordinance, therefore the now-repealed Zoning Ordinance provisions shall apply.

THEREFORE BE IT RESOLVED, That Preliminary Site Plan Approval, pursuant to Section 03.40.03 of the Zoning Ordinance, as requested for the proposed site improvements for Suburban Cadillac Buick, located north of Maple, west of Crooks, at 1810 Maplelawn, in Section 29, within the M-1 zoning district, be (granted, subject to the following conditions):

_____) or

(denied, for the following reasons: _____) or

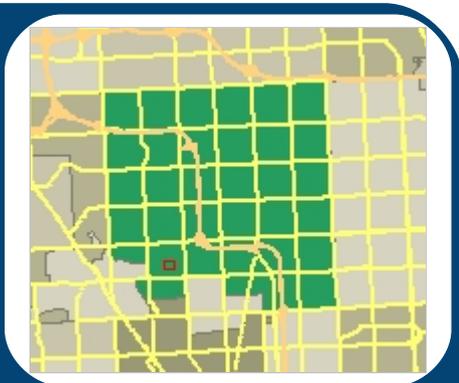
(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / DENIED



Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red:Band_1
 -  Green:Band_2
 -  Blue:Band_3

346 0 173 346Feet

Scale 1: 2,075





Legend

-  I-75
- Road Centerline**
 -  Major Road
 -  Industrial Road
 -  Local Road
- Zoning (Old)**
 -  (PUD) Planned Unit Development
 -  (B-1) Local Business District
 -  (B-2) Community Business District
 -  (B-3) General Business District
 -  (R-C) Research Center District
 -  (C-F) Community Facilities District
 -  (C-J) Consent Judgment
 -  (E-P) Environmental Protection District
 -  (R-EC) Residential Elder Care
 -  (P-1) Vehicular Parking District
 -  (H-S) Highway Service District
 -  (M-1) Light Industrial District
 -  (O-1) Office Building District
 -  (O-M) Office Mid-Rise District
 -  (OSC) Office Service Commercial District
 -  (CR-1) One Family Residential Cluster District
 -  (R-1A) One Family Residential District
 -  (R-1B) One Family Residential District
 -  (R-1C) One Family Residential District
 -  (R-1D) One Family Residential District
 -  (R-1E) One Family Residential District
 -  (R-1T) One Family Attached Residential Distr
 -  (R-2) Two Family Residential District
 -  (R-M) Multiple Family Residential Medium De
 -  (RM-1) Multiple Family Residential District Lc
 -  (RM-2) Multiple Family Residential District (M
 -  (RM-3) Multiple Family Residential District (Hi
-  Ponds and Basins
-  Streams and Creeks
-  Parcels

Aerial Photos - 2010

-  Red:Band_1
-  Green:Band 2

Printed: 5/6/2011

346 0 173 346Feet

Scale 1: 2,075





CARLISLE/WORTMAN ASSOCIATES, INC.
Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

Date: May 4, 2011

Preliminary Site Plan Review For City of Troy, Michigan

Applicant: Suburban Maplelawn, LLC

Project Name: Suburban Cadillac - Buick

Plan Date: Rev. April 29, 2011

Location: 1810 Maplelawn Drive

Zoning: PV, Planned Vehicle Sales District

Action Requested: Preliminary Site Plan Approval

Required Information: Deficiencies noted

PROJECT AND SITE DESCRIPTION

We are in receipt of a preliminary site plan which includes a site plan, lighting plan, enlarged area site plan, landscape plan, floor plans, and elevations. The site plan submittal provides sufficient information for a preliminary review.

The submittal is divided between references to the adopted 2011 Zoning Ordinance and the former Zoning Ordinance, Chapter 39. The landscaping plan, for instance, refers to the site's former designation as M-1, Light Industrial District, and refers to the requirements under the former Ordinance for landscaping. The site plan refers to the new designation of the site for zoning and dimensions, but the old Ordinance for parking regulations. Regardless of the notations on the submittal, the application was technically processed before the new Ordinance was enacted. However, the dimensional requirements of the PV District are largely similar to the former M-1 District. We will make special notation where any differences occur or would affect the outcome of the review. In short, we will review the plan for compliance formally with

the old Ordinance, but will demonstrate compliance where applicable with newer adopted regulations.

The applicant intends to demolish a portion of an existing automotive dealership building and construct a new, larger portion of that building (largely on the former building's footprint) to allow for an expanded operation. Additional site improvements will be made as the building is renovated. Existing landscaping will be maintained and new landscaping will be added.

The site is surrounded on its south, east, and north sides by other PV District properties, and by IB, Integrated Industrial Business District, on the west side. The site has frontage on Maplelawn Drive, in the Troy Auto Mall highlighted in the Troy Master Plan.

Location of Subject Property:

The property is located on the west side of Maplelawn Drive, approximately halfway between Maple Road and Crooks Road.

Size of Subject Property:

The parcel is 7.24 acres, or 315,375 gross square feet in size. Excluding the Maplelawn Drive right-of-way, the site is 274,525 net square feet in size.

Proposed Uses of Subject Parcel:

The applicant proposes to continue using the site for the existing automotive sales business.

Current Use of Subject Property:

The subject property is currently occupied by an automotive dealership building with sales floor area, offices, parts, and service areas.

Current Zoning:

The property is currently zoned PV, Planned Vehicle Sales District.

Zoning Classification of Adjacent Parcels and Current Land Use:

North: PV, Planned Vehicle Sales District; automotive dealership
South: PV, Planned Vehicle Sales District; automotive dealership
East: PV, Planned Vehicle Sales District (across Maplelawn Drive); automotive dealership
West: IB, Integrated Industrial Business District; Design Center

BUILDING LOCATION AND SITE ARRANGEMENT

The existing building is located at the center of the site with parking on all sides and a pair of entrances to Maplelawn Drive. The proposed site arrangement is nearly identical, albeit with a slightly larger building and slightly expanded landscaping areas. We have no objection to the proposed site arrangement.

Items to be Addressed: *None.*

AREA, WIDTH, HEIGHT, SETBACKS

Required and Provided Dimensions:

Section 30.20.00 of the old Ordinance and Section 4.19.D.2 of the new Ordinance require the following setbacks and height limits:

	<u>Required:</u>	<u>Provided:</u>
Front (to Maplelawn Drive R.O. W)	30 feet (current Ordinance) 50 feet (old Ordinance)	155 feet
Rear (to west property line)	20 feet (both)	163 feet
Side (to south property line)	10 feet (both)	146 feet
Side (to north property line)	10 feet (both)	15 feet
Building Height	Maximum of 4 stories or 50 feet (current Ordinance) Maximum of 3 stories or 40 feet (old Ordinance)	2 stories, 28 feet, 4 inches
Lot coverage	Maximum 40 percent (both)	12.8 percent

The minimum site area for the PV District is 15 acres, which was the same for automobile dealerships permitted as special uses in the former M-1 District. This site is 7.4 acres gross, 6.3 acres net. The site area, however, is a previously existing legal nonconformity and is allowed to remain.

Items to be Addressed: None.

PARKING

Proposed Parking:

The site plan shows 721 total parking spaces throughout the site, reserved for employees, customers, vehicle storage, new vehicle and used vehicle display, and service.

Parking Calculations:

The parking calculations provided are as follows.

<u>Required</u>	<u>Provided</u>
<p>Two spaces for every one service bay plus one space for every 200 square feet of showroom area (<u>old</u> Ordinance)</p> <p style="text-align: center;">36 service bays = 72 service spaces 8,610 square feet of showroom area/200 = 43 spaces</p> <p style="text-align: center;">43 + 72 = 115 spaces required</p>	<p style="text-align: center;">44 customer spaces 44 pre-owned vehicle display spaces 126 new vehicle display spaces 79 service spaces 106 employee spaces 322 vehicle storage spaces 721 total spaces provided</p>
<p>Two spaces for every one service bay plus one space for every 250 square feet of showroom area (<u>new</u> Ordinance)</p> <p style="text-align: center;">36 service bays = 72 service spaces 8,610 square feet of showroom area/250 = 34 spaces</p> <p style="text-align: center;">43 + 72 = 107 spaces required</p>	

The proposed plan greatly exceeds parking requirements, but the parking requirements do not take into account spaces set aside for vehicle display or storage. It is therefore customary in the former M-1, current PV District, to permit a large excess of proposed or available parking.

It is unclear how the specific provided sales floor area calculations were derived. The proposed main sales floor area is not detailed with an area calculation; however, the new proposed mezzanine is so detailed. Given the large excess of available parking, we do not object to the plan. However, a revised plan should further detail how the specific sales floor area of 8,610 square feet was derived, and should explain if the mezzanine area was included.

Items to be Addressed: Provide additional detail about how sales floor area calculation was derived.

SITE ACCESS AND CIRCULATION

Proposed Circulation:

The site will be accessed from two existing entrances on Maplawn Drive, as it currently exists. We have no objection to this approach. Site circulation will essentially remain unchanged, with the exception of the proposed additional new landscaped islands.

Sidewalks:

The applicant is proposing a new pedestrian-accessible platform around the front of the building, which ties in with existing pedestrian amenities along the adjacent parking area and throughout the customer parking area. Sidewalks are not provided throughout the west side of Maplawn in the PV District, an existing condition that may remain.

Items to be Addressed: None.

NATURAL RESOURCES

The site is an existing building with typical site landscaping. The proposed plan would not impact any protected natural features. The plan does, however, add new landscape materials and landscape islands for the front parking areas.

Items to be Addressed: None.

LANDSCAPING

The site plan provides landscaping information on a separate landscape plan, including full details about the quantity, species, and details of proposed materials. The plan also shows proposed material locations and new landscaped islands at the front of the building, increasing the landscaped area of the site.

Greenbelt:

A ten (10) foot wide greenbelt has been provided along the public street frontage.

Trees:

The site plan shows existing trees on site, and details plans to add 16 new trees. The greenbelt requirements in both the old and new Ordinances require one tree for every 30 linear feet of frontage. This site has 352 feet of frontage, requiring 12 trees. Four existing trees will be preserved and 8 new trees will be added to satisfy ordinance requirements.

Also, 8 additional trees will be added within the existing and proposed landscape islands between incorporated within the customer parking areas.

The proposed species are permitted species within the new Ordinance, and the proposed material dimensions actually exceed minimum tree DBH requirements.

Minimum landscaped area:

The proposed landscape plan provides 19,410 total square feet of landscaped area. The applicant's calculations are based on gross site area, but should be based on net site area. The net site area, 274,525, should be used. Under the former Ordinance, 10 percent of the site (27,453 square feet) should be provided. The new Ordinance requires double that, 20 percent or 54,905 square feet (however, the new Ordinance allows greenbelt and parking lot landscaping to be counted, as well as landscaped area anywhere on the site; the former Ordinance excluded many landscaped areas from the calculation).

Regardless of the calculation, the site is deficient in landscaped area. However, the plan does not eliminate any existing landscaped area, and therefore does not increase the level of nonconformity. This plan actually slightly reduced the nonconformity by adding landscape

*Suburban Cadillac Buick
May 4, 2011*

island area to the parking lot. Further, according to the Zoning Administrator, this is an existing site and the nonconformity is permitted to remain.

Items to be Addressed: None.

RECOMMENDATIONS

We support the proposed project and believe the project does meet or exceed minimum requirements. We recommend the Planning Commission approve the preliminary site plan application as presented.



CARLISLE/WORTMAN ASSOCIATES, INC.
Zachary G. Branigan, LEED AP, AICP
Associate



ALTERATION PROGRAM FOR
Suburban Collection

CADILLAC - BUICK SALES FACILITY
Troy, Michigan



ARCHITECT'S STATEMENT :

These Construction Documents were prepared for compliance with the Michigan Construction Codes in effect at the time of permit submittal. All engineers, contractors, suppliers involved with this Project shall comply with the same codes, issued and approved code modifications and/or City of Troy Planning Commission and Building Department rulings and whenever required shall provide Shop Drawings and Submittals clearly describing compliance to the Registered Design Professional in Responsible Charge for review and approval.

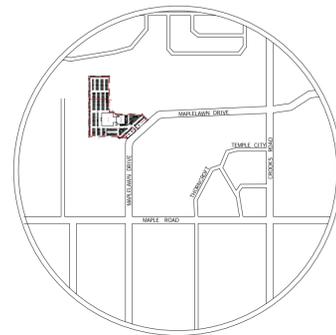
CITY OF TROY BUILDING DEPARTMENT SPECIAL NOTES:

- ELECTRICAL NOTES:**
 - PROVIDE EXIT SIGNS IN ALL AREAS.
 - ADJUST EXIST. FIRE ALARM SYSTEM FOR NEW FRONT ENTRY - POSSIBLE SPECIAL PERMIT REQUIRED.
 - CONNECT EXIST. AND EMERGENCY LIGHTS PER NEC ARTICLE 700-12.
 - PROVIDE EMERGENCY ILLUMINATION PER NEC ARTICLE 700-16.

- PLUMBING NOTES:**
 - IF WATER (DW) SHALL BE STATE APPROVED IN ACCORDANCE WITH THE MICHIGAN PLUMBING CODE 2009.0

- MECHANICAL NOTES:**
 - HVAC DUCT WORK AND GRILLS SHALL BE IN COMPLIANCE WITH MICHIGAN MECHANICAL CODE 2009.

- BUILDING NOTES:**
 - INSULATION SHALL COMPLY WITH FLAME SPREAD. ALL INSULATION MUST COMPLY WITH FLAME SPREAD REQUIREMENTS FOR BUILDINGS OF TYPE IIB CONSTRUCTION TYPE (25 OR LESS) PER CHAPTER 6 MBC 2003.
 - PROVIDE BARRIER FREE ACCESS TO THE SOUTH ENTRANCE DOORS.
 - PROVIDE EXIT AND EMERGENCY LIGHTS THROUGHOUT THIS BUILDING IN ACCORDANCE WITH CHAPTER 10 MBC 2003 AND NEC 2002 EMERGENCY LIGHTING SHALL BE ARRANGED TO PROVIDE ILLUMINATION OF AT LEAST ONE (1) FOOT CANDLE (1-1 LUX) AND A MINIMUM AT ANY POINT OF 0.1 (LUX) MEASURED ALONG THE PATH OF EGRESS AT THE FLOOR LEVEL. PROVIDE ADDITIONAL EMERGENCY EGRESS LIGHTING IN ALL VESTIBULES AND CORRIDOR PER CODE SECTION 1006.4.



LOCATION MAP No Scale

SHEET INDEX

- T - TITLE SHEET
- DESIGN INTENT PROGRAM
- 1 - MASTER SITE PLAN
- 2 - SITE PLAN ENLARGEMENT
- 3 - DEMOLITION PLAN
- 4 - EXISTING FLOOR PLAN
- 5 - CONSTRUCTION FLOOR PLAN
- 6 - DOOR and ROOM FINISH SCHEDULES
- 7 - REFLECTIVE CEILING PLAN
- 8 - FLOOR MATERIAL PLAN
- 9 - PAINT and FINISH FLOOR PLAN
- 10 - EXTERIOR CONSTRUCTION ELEVATIONS - DETAILS
- 11 - BUILDING SECTIONS
- 12 - INTERIOR ELEVATIONS #1
- 13 - INTERIOR ELEVATIONS #2
- 14 - INTERIOR ELEVATIONS #3
- 15 - WALL SECTIONS #1
- 16 - WALL SECTIONS #2
- 17 - WALL SECTIONS #3
- 18 - TOILET ROOM DETAILS
- 19 - STAIRS
- 20 - MISCELLANEOUS DETAILS
- 21 - ROOF PLAN
- 22 - SPECIFICATIONS #1
- 23 - SPECIFICATIONS #2
- S-1 FOUNDATION PLAN
- S-2 ROOF FRAMING PLAN
- S-3 STRUCTURAL DETAILS

- M-1 HEAT-VENTILATION and AIR CONDITION FLOOR PLAN
- M-2 PLUMBING PLAN
- M-3 MECHANICAL DETAILS

- E-1 ELECTRICAL LIGHTING FLOOR PLAN
- E-2 ELECTRICAL POWER - DATA - COMMUNICATIONS
- E-3 ELECTRICAL DETAILS

- ME-4 MECHANICAL - ELECTRICAL SPECIFICATIONS

GENERAL SITE NOTES:

- ALL EXISTING SITE CONDITIONS TO REMAIN AS IS. THERE IS TO BE LITTLE SITE CHANGES TO LAYOUT. ADJUST GRADING - DRAINAGE - SITE LIGHTING - OR LANDSCAPING ELEMENTS. REPAIR ASPHALT PAVEMENT.
- EXISTING BUILDING CONCRETE GRADE PATIO AND RAISED RAMPS SHALL BE REMOVED AND REPLACE WITH NEW CONCRETE PATIO AND CONCRETE STEPS WITH FULL SNOW MELTING HEATING ELEMENTS.
- CUT - PATCH AND REPAIR EXISTING ASPHALT TO INSTALL NEW RAISED PATIO AND STEPS.
- THEN IS TO BE NO CHANGE TO EXISTING PARKING COUNT OR EXISTING SPACE ALLOTMENTS.
- SITE AND BUILDING USE:
 - Parcel Number : 88-99-00-233-400
 - EXISTING ZONING: PV - Planned Vehicle Services - NO CHANGE
 - EXISTING SITE AREA: 7.24 ACRES (315,375 square feet) - NO CHANGE
 - Gross Site Area - Existing: 315,375 square feet
 - Net Site Area - New: 274,525 square feet
 - EXISTING BUILDING AREA:
 - foot print: 40,076 square feet
 - Parts Mezzanine: 5,184 square feet
 - Lower Floor: 840 square feet
 - TOTAL: 46,100 SQUARE FEET
 - Useable: 41,600 x 80% = 36,880 square feet
 - NEW BUILDING AREA:
 - foot print: 40,850 square feet
 - Parts Mezzanine: 5,184 square feet
 - Lower Floor: 840 square feet
 - New Mezzanine: 2,461 square feet
 - TOTAL: 49,935 SQUARE FEET
 - Useable: 49,935 x 80% = 39,948 square feet
 - THIS PROGRAM ADDS a Showroom Addition of: 774 SQUARE FEET plus a Mezzanine.
 - BUILDING USE: NO CHANGE:
 - Use Group: "B" Automotive Sales and Offices
 - Use Group: "S-1" Automotive Repair
 - Use Group: "F-1" Automotive Parts Storage
 - Existing Conditions:
 - Service and Parts = 25,920 square feet
 - Service Reception = 2,588 square feet
 - Offices = 3,000 square feet
 - Showroom = 8,568 square feet
 - Parts Mezzanine = 5,184 square feet
 - Lower Floor = 840 square feet
 - New Conditions:
 - Service and Parts = 25,920 square feet
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- SITE PARKING REQUIREMENTS:
 - Required: 1 - Space per 200 square feet Showroom
 - 2 - Spaces per each Service Stall
 - Have:
 - Showroom: 8,610 sq.ft. / 200 sq.ft. = 43 spaces required
 - Service Stalls: 36 stalls x 2 = 72 spaces required
 - Parking Conditions:
 - Total Parking Spaces - Existing = 721 spaces
 - Customer Spaces = 44 spaces
 - Pre-Owned Vehicles Display = 44 spaces
 - New Vehicle Display = 126 spaces
 - Service Spaces = 79 spaces
 - Employee Spaces = 106 space
 - Vehicle Storage = 322 spaces
- BUILDING DESIGNED FOR CUSTOMER OCCUPANCY: Clients and Staff = 150 person
- CONSTRUCTION TYPE: STEEL FRAMED AND MASONRY BEARING; TYPE 2B COMPARTMENTALIZED SEE DRAWING. WITH FULL FIRE SPRINKLER SYSTEM IN NEW BUILDING AREA INCLUDING SERVICE RECEPTION LANES, and DIRECT OFFICE WEST OF SERVICE RECEPTION LANES.
- Owner: Suburban Maplelawn, L.L.C.
Suburban Collection
1788 Maplelawn Drive
Troy, Michigan 48084
Mr. Tim LeRoy
1-248-519-9888
fax: 1-248-519-9889
email: tleroy@suburbancollection.com
- Architect: Studio Design-ST
1529-1531 South Wayne Road
Westland, Michigan 48186
Mr. Stanley Tkacz ALA, IIDA
1-734-728-5040
fax: 1-734-728-5310
email: st.studiodesign@sbcglobal.net
web: studiodesignst.com
- PV - Planned Vehicle Sales District - Site Dimensional Requirements
 - Stories: 2 Allowed
 - Height in Feet: 50'-0"
 - Front Yard: 30'-0"
 - Rear Yard: 20'-0"
 - Side Least: 10'-0"
 - Sides Total: 20'-0"
 - Max Lot Coverage: 40%
- HAVE:
 - Stories: 2
 - Height in Feet: 28'-4"
 - Front Yard: 155'-0"
 - Rear Yard: 16'-0"
 - Side Least: 15'-0"
 - Side Total: 161'-0"
 - Max Lot Coverage: 12.8%

SALES AND SERVICE FACILITIES
SUBURBAN CADILLAC - BUICK
1810 Maplelawn Drive,
Troy, Michigan



PROJECT

* 28 April 2010

REVISIONS

STUDIO DESIGN
1829 South Wayne Road Westland, Michigan 48186
tel: 734-728-5040 fax: 734-728-5310
email: st_studiodesign@sbcglobal.net

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sheet number

ADJACENT ZONING: IB - INDUSTRIAL BUSINESS DISTRICT

ADJACENT ZONING: IB - INDUSTRIAL BUSINESS DISTRICT

ADJACENT ZONING - MR - MULTI-FAMILY RESIDENTIAL



GENERAL SITE NOTES:

- ALL EXISTING SITE CONDITIONS TO REMAIN AS IS. THERE IS TO BE LITTLE TO NO SITE CHANGES TO LAYOUT. ADJUST GRADING - DRAINAGE - SITE LIGHTING - OR LANDSCAPING ELEMENTS. REPAIR ASPHALT PAVEMENT
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 - Useable: 41,600 x 80% = 36,880 square feet
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 - Useable: 49,935 x 80% = 39,948 square feet

THIS PROGRAM ADDS A Showroom Addition of 774 SQUARE FEET plus a Mezzanine.

BUILDING USE: NO CHANGE:

- Use Group: "B" Automotive Sales and Offices
- Use Group: "S-1" Automotive Repair
- Use Group: "F-1" Automotive Parts Storage

Existing Conditions:

- Service and Parts = 25,920 square feet
- Service Reception = 2,588 square feet
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SITE PARKING REQUIREMENTS:

- Required: 1- Space per 200 square feet Showroom
- 2- Spaces per each Service Stall
- Have: Showroom: 8,610 sq. ft. / 200 sq. ft. = 43 spaces required
- Service Stalls: 36 stalls x 2 = 72 spaces required

Parking Conditions:

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- New Vehicle Display = 126 spaces
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- Vehicle Storage = 322 spaces

6. BUILDING DESIGNED FOR CUSTOMER OCCUPANCY: Clients and Staff = 150 person

7. CONSTRUCTION TYPE: STEEL FRAMED AND MASONRY BEARING; TYPE 2B COMPARTMENTALIZED SEE FIRE DRAWING WITH FULL FIRE SPRINKLER SYSTEM IN NEW BUILDING AREA BUILDING; SERVICE RECEPTION LANES, and DIRECT OFFICE WEST OF SERVICE RECEPTION LANES.

8. Owner: Suburban Maplelawn, L.L.C.
 Suburban Collection
 1785 Maplelawn Drive
 Troy, Michigan 48064
 Mr. Tim LeRoy
 1-248-519-9888
 fax: 1-248-519-9889
 email: tleroy@suburban-collection.com

Architect: Studio Design-ST
 1529-1531 South Wayne Road
 Westland, Michigan 48186
 Mr. Stanley Tract, AIA, ITDA
 1-734-728-5040
 fax: 1-734-728-5310
 email: st_studiodesign@stglobal.net
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9. PV - Planned Vehicle Sales District - Site Dimensional Requirements

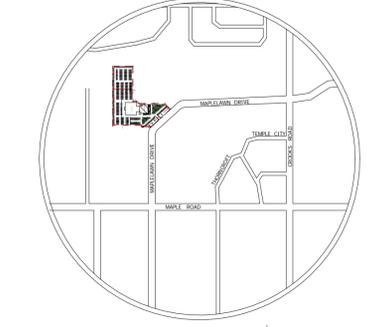
- Stories: 2 Allowed
- Height in Feet: 50'-0"
- Front Yard: 30'-0"
- Rear Yard: 20'-0"
- Side Least: 10'-0"
- Sides Total: 20'-0"
- Max Lot Coverage: 40%

HAVE:

- Stories: 2
- Height in Feet: 28'-4"
- Front Yard: 195'-0"
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- Side Total: 161'-0"
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ADJACENT ZONING - MR - MULTI-FAMILY RESIDENTIAL

ADJACENT ZONING - MR - MULTI-FAMILY RESIDENTIAL



LOCATION MAP No Scale

SALES AND SERVICE FACILITIES
SUBURBAN CADILLAC - BUICK
 1810 Maplelawn
 Troy, Michigan

STUDIO DESIGN
 planners - architects - engineers - interior designers
 1529 South Wayne Road - Westland, Michigan 48186
 phone: 734-728-5040 fax: 734-728-5310
 email: st_studiodesign@stglobal.net web: studiodesignst.com

PROJECT: 29 April 2011
 REVISIONS:

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date: 11 Feb 2011
 drawn by: ST
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2009-19
 project number

seal: **1**
 sheet number

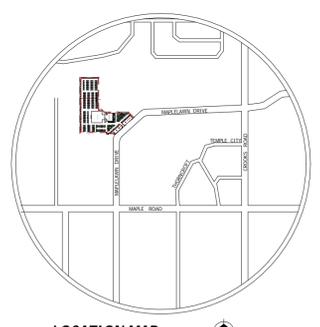


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 fax: 1-734-728-5310
 email: st.studiodesign@stcglobl.net
 web: studiodesign.com
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 - Stories: 2 Allowed
 - Height in Feet: 50'-0"
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 - Rear Yard: 20'-0"
 - Side Least: 10'-0"
 - Sides Total: 20'-0"
 - Max Lot Coverage: 40%

- HAVE:
- Stories: 2
 - Height in Feet: 28'-4"
 - Front Yard: 15'-0"
 - Rear Yard: 16'-3"
 - Side Least: 15'-0"
 - Side Total: 16'-0"
 - Max Lot Coverage: 12.8%



LOCATION MAP No Scale



ENLARGEMENT SITE PLAN
SCALE : 1" = 20'-0"

SALES AND SERVICE FACILITIES
SUBURBAN CADILLAC - BUICK
 1810 Maplelawn
 Troy, Michigan

STUDIO DESIGN
 ARCHITECTS PLANNERS
 1529-1531 South Wayne Road
 Westland, Michigan 48186
 Tel: 734-728-8040
 Fax: 734-728-5310
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PROJECT
 29 April 2011
 11 Feb 2011
 REVISIONS

11 Feb 2011
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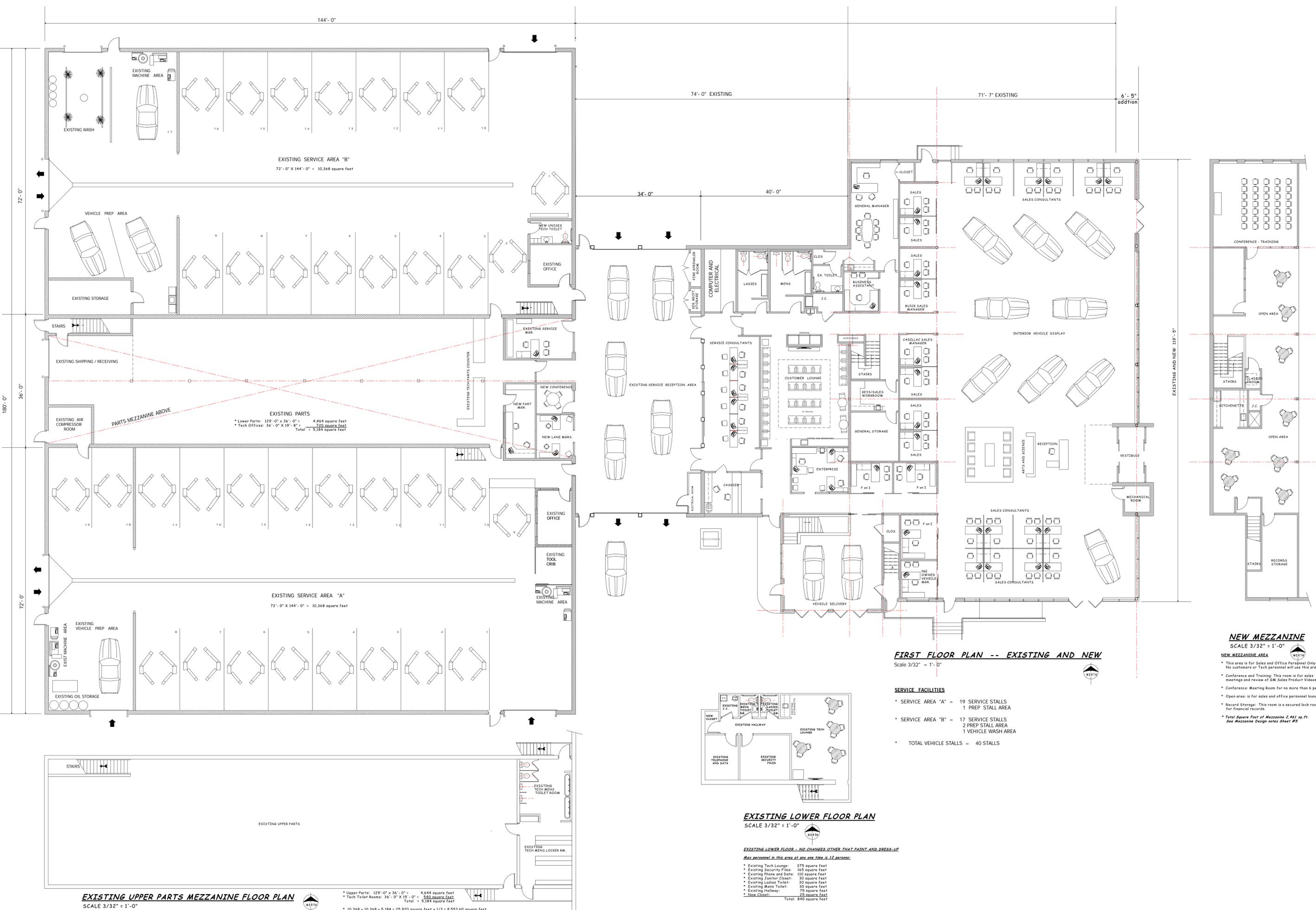
Project
 14 March 2011
 Full Master Floor Plan

STUDIO DESIGN
 ARCHITECTS - ENGINEERS - INTERIORS DESIGNERS
 1523 South Wayne Road - Westland, MI 48186
 phone: 734-728-5040 fax: 734-728-5310
 email: st...studiodesign@sbcglobal.net

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11 Jan 2011
 Date
 ST
 Drawn by
 Sheet
 2009-19
 Project number

MASTER USE FLOOR PLANS
 4A
 sheet number



FIRST FLOOR PLAN -- EXISTING AND NEW
 Scale 3/32" = 1'-0"

- SERVICE FACILITIES**
- * SERVICE AREA "A" = 19 SERVICE STALLS
 1 PREP STALL AREA
 - * SERVICE AREA "B" = 17 SERVICE STALLS
 2 PREP STALL AREA
 1 VEHICLE WASH AREA
 - * TOTAL VEHICLE STALLS = 40 STALLS

NEW MEZZANINE

- SCALE 3/32" = 1'-0"
- NEW MEZZANINE AREA**
- * This area is for Sales and Office Personnel Only. No customers or Tech personnel will use this area.
 - * Conference and Training: This room is for sales meetings and review of GM Sales Product Videos
 - * Conference: Meeting Room for no more than 6 persons.
 - * Open area: is for sales and office personnel lounge.
 - * Record Storage: This room is a secured lock room for financial records.
 - * Total Square Foot of Mezzanine 2,461 sq. ft. See Mezzanine Design notes Sheet #2

EXISTING LOWER FLOOR PLAN

SCALE 3/32" = 1'-0"

- EXISTING LOWER FLOOR - NO CHANGES OTHER THAN PAINT AND DRESS-UP**
- Max personnel in this area at any one time is 12 persons:
- * Existing Tech Lounge: 375 square feet
 - * Existing Security Files: 195 square feet
 - * Existing Phone and Data: 110 square feet
 - * Existing Janitor/Closet: 30 square feet
 - * Existing Ladies Toilet: 30 square feet
 - * Existing Mens Toilet: 30 square feet
 - * Existing Hallway: 72 square feet
 - * New Closet: 25 square feet
 - Total: 840 square feet

EXISTING UPPER PARTS MEZZANINE FLOOR PLAN
 SCALE 3/32" = 1'-0"

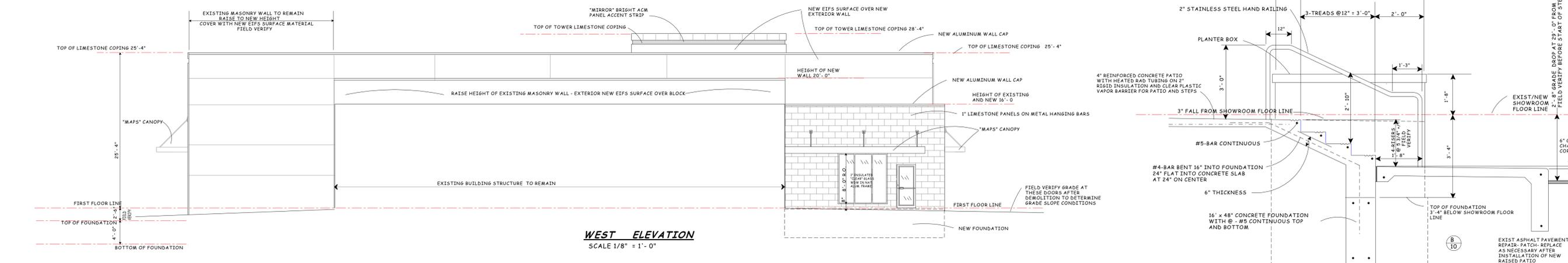
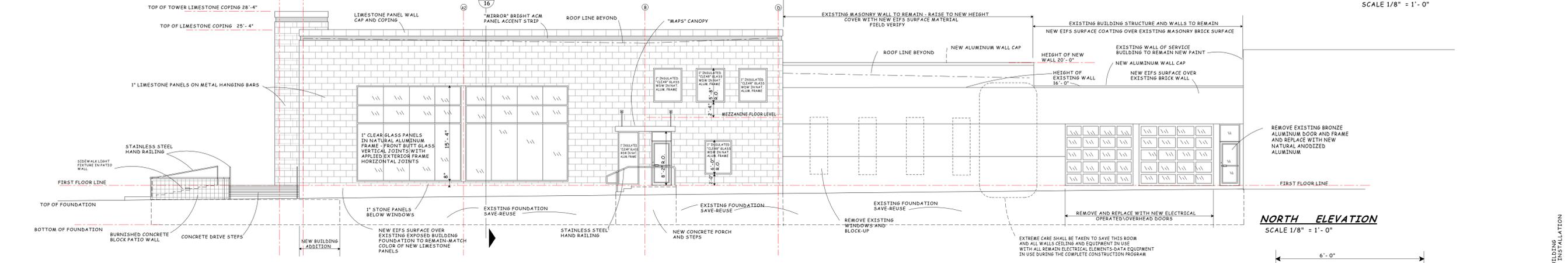
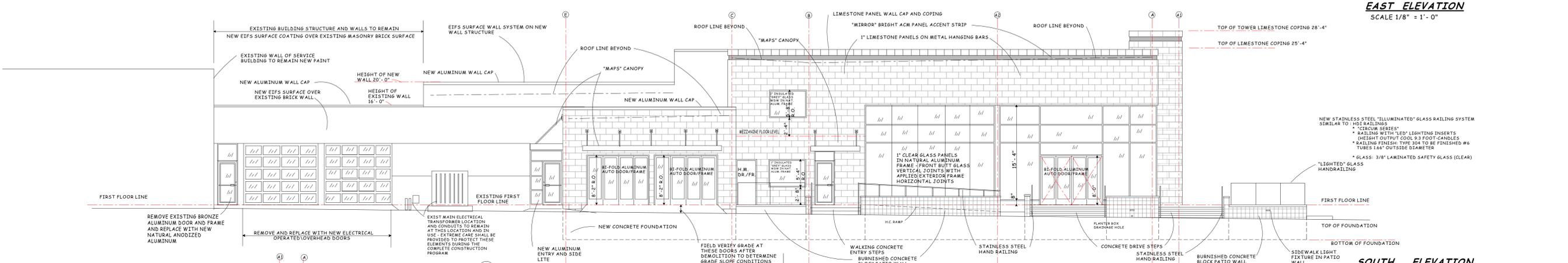
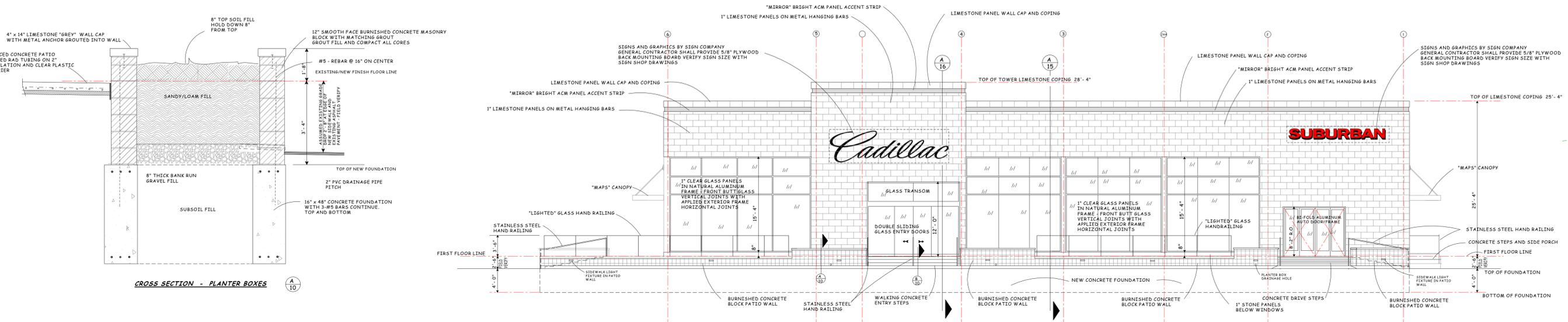
- * Upper Parts: 129'-0" x 36'-0" = 4,644 square feet
- * Tech Toilet Rooms: 36'-0" x 15'-0" = 540 square feet
- Total = 5,184 square feet

* 10,368 + 10,368 + 5,184 = 25,920 square feet x 1/3 = 8,640 square feet
 allowed Storage mezzanine = have 5,184 square feet

EXISTING SERVICE AREA "B"
 72'-0" X 144'-0" = 10,368 square feet

EXISTING PARTS
 * Lower Parts: 129'-0" x 36'-0" = 4,644 square feet
 * Tech Offices: 36'-0" x 15'-0" = 540 square feet
 Total = 5,184 square feet

EXISTING SERVICE AREA "A"
 72'-0" X 144'-0" = 10,368 square feet



SALES AND SERVICE FACILITIES
SUBURBAN CADILLAC - BUICK
 1810 Maplelawn Drive,
 Troy, Michigan

STUDIO DESIGN
 Planners - architects - engineers - interior designers
 1525 South Wayne Road - Westland, MI 48090
 phone: 734-728-5040 fax: 734-728-5310
 email: st_studio@studio-design.com stcglobal.net ctf_studio@studio-design.com

11 Jan 2011
 date
 drawn by ST
 sheet of
 2009-19
 project number

10
 sheet number

DATE: March 5, 2011

TO: Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW – Proposed Maple Plaza Renovations (McDonald's Restaurant with Drive-Thru Facility), Northwest Corner of Maple and Livernois (72 W. Maple), Section 28, Zoned B-2 (Community Business) District

The petitioner, SDA Architects, Inc., submitted the above referenced Special Use Approval application for a new McDonald's restaurant with drive-through, plus a significant renovation to an existing building on the site.

Note, the application was submitted prior to adoption of the new Zoning Ordinance. Therefore, the provisions of the now-repealed Zoning Ordinance shall apply.

The attached report prepared by Carlisle/Wortman Associates, Inc. summarizes the application.

Attachments:

1. Maps
2. Report prepared by Carlisle/Wortman Associates, Inc.

cc: Applicant
File/ SU 387

G:\SPECIAL USE\SU 387 Troy Maple Plaza Renovations_McDonald Restaurant Sec 28\Su 387 McDonalds 05 10 11.docx

SPECIAL USE APPROVAL AND PRELIMINARY SITE PLAN REVIEW

PUBLIC HEARING - SPECIAL USE REQUEST AND PRELIMINARY SITE PLAN REVIEW –
Proposed Maple Plaza Renovations (McDonald’s Restaurant with Drive-Thru Facility),
Northwest Corner of Maple and Livernois (72 W. Maple), Section 28, Zoned B-2 (Community
Business) District

Proposed Resolution # PC-2011-05-

Moved by:

Seconded by:

WHEREAS, The applicant submitted the Preliminary Site Plan Approval application prior to adoption of the comprehensively rewritten Zoning Ordinance, therefore the now-repealed Zoning Ordinance provisions shall apply.

RESOLVED, The Planning Commission hereby approves a reduction in the number of required parking spaces for the proposed Maple Plaza Renovations, including a McDonald’s Restaurant with Drive-Thru Facility, to 110 when a total of 154 spaces are required on the site based on off-street parking space requirements, as per Article XL. This 44-space reduction is justified through a parking analysis in a report prepared by Carlisle/Wortman Associates, Inc.

BE IT FURTHER RESOLVED, That Special Use Approval and Preliminary Site Plan Approval for the proposed Maple Plaza Renovations, including a McDonald’s Restaurant with Drive-Thru Facility, located at the northwest corner of Maple and Livernois, Section 28, within the B-2 zoning district, be granted, subject to the following:

_____) or

(denied, for the following reasons: _____) or

(postponed, for the following reasons: _____)

Yes:

No:

Absent:

MOTION CARRIED / DENIED

TROY MAPLE PLAZA RENOVATIONS

City of Troy Planning Department



Legend

-  I-75
-  Road Centerline
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Hydrography Poly
-  Hydrography Arc
-  Parcels
- Aerial Photos - 2010**
 -  Red: Band_1
 -  Green: Band_2
 -  Blue: Band_3

250 0 125 250Feet

Scale 1: 1,498



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 3/29/2011



CARLISLE/WORTMAN ASSOCIATES, INC.
Community Planners /Landscape Architects

605 S. Main, Suite 1
Ann Arbor, MI 48104
734-662-2200
fax 734-662-1935

6401 Citation Drive, Suite E
Clarkston, MI 48346
248-625-8480
fax 248-625-8455

Date: May 5, 2011

Special Use Review For City of Troy, Michigan

Applicant: John DeBruyne, SDA Architects

Project Name: Troy Maple Plaza and McDonald's

Plan Date: March 25, 2011

Location: 72 West Maple Road

Zoning: B-2 Community Business (former Ordinance)

Action Requested: Preliminary Site Plan Approval, Special Use Approval

Required Information: Deficiencies noted

PROJECT AND SITE DESCRIPTION

We are in receipt of a preliminary site plan and special use submittal for the renovation of an existing commercial building for a multi-tenant facility and a new outlot McDonald's restaurant. The project proposes a series of major improvements including a revised parking lot, major renovations including a reduced footprint for the existing building, a new separate restaurant building, extensive new landscaping, major exterior renovations, and revised on-site circulation. The presence of a proposed drive-through window requires the project to receive special use approval.

The application was received by the City of Troy prior to the enacting of the new Zoning Ordinance, and it is the intention and right of the applicant to be processed under the regulations of the former Zoning Ordinance. All requirements of the City of Troy noted herein are therefore requirements that were present under the former, now repealed, Ordinance.

Location of Subject Property:

The primary access to the property is located on the north side of Maple Road, just west of Livernois Road. The site has a secondary frontage on Livernois Road itself.

Size of Subject Property:

The parcel is 2.95 acres in size (gross) and 2.45 acres (net).

Proposed Uses of Subject Parcel:

The applicant proposes to use the existing building for a multi-tenant commercial/office building and a new outlot McDonald's restaurant.

Current Use of Subject Property:

The subject property is currently a partially vacant commercial building.

Current Zoning:

Under the former Ordinance, the property was zoned B-2, Community Business District.

Zoning Classification of Adjacent Parcels

North: R-2, Two-Family Residential District

West: B-2, Community Business District

South: Maple Road

East: Two smaller parcels zoned B-3, General Business District and Livernois Road

BUILDING LOCATION AND SITE ARRANGEMENT

The existing building is positioned at the rear (north) end of the subject site, and abuts the west property boundary. There is a significant underutilized area of the site along the north façade of the building. The new site plan makes use of much of the existing building, but reduces its footprint and changes how it interacts with the parking area. Also, a new outlot restaurant has been added to the south "peninsula" of the site. The access is shared using one major new driveway along the Maple Road frontage.

We support the revised site arrangement and believe that the configuration makes good use of an unusual parcel. While we have additional comments with regard to site circulation and parking, the overall site arrangement is acceptable and makes better use of the site than the current configuration.

Items to be Addressed: *None.*

AREA, WIDTH, HEIGHT, SETBACKS

The site is home to an existing building, and will house an additional building. Required and proposed setbacks are as follows:

	Required	McDonalds	Troy Maple Plaza
Setbacks			
Front (Maple)	75 feet	75 feet	NA
Front (Livernois)	75 feet	NA	165 feet (from future ROW)
Side (west)	20 feet	38 feet, 2 inches	54 feet
Side (east, around the two adjacent lots at the corner of Livernois and Maple Roads)	20 feet	130 feet, 10 inches	46 feet, 10 inches
Rear (north)	30 feet	NA	
Building Height	30 Feet, 2 stories	23 feet, 4 inches	Not provided, but existing building is clearly under the maximum

No detailed schedule of provided setbacks has been provided for the Troy Maple Plaza building as it has been for McDonalds. A schedule of setbacks should be provided on Sheet A as they have been on Sheet C1. We understand these sheets have been prepared by different architects.

Items to be Addressed: 1.) Provide detailed setback information on Sheet A. 2.) Show proposed final height of Troy Maple Plaza on Sheet C of the Troy Maple Plaza Drawings.

SITE ACCESS AND CIRCULATION

Proposed Circulation:

The site has four access points as it currently exists. The site plan consolidates the two drives along Maple Road into a single three-lane drive with a dedicated right and left out lane and a dedicated in/drive-through access lane.

Accessing the site from Maple Road, vehicles can turn right into a dedicated parking area, proceed north and veer left into the drive-through, or continue north to the Troy Maple Plaza or circulate around the McDonalds building.

Access on Livernois Road is unchanged. We support the applicant's design and believe that the consolidation of the two former drives into a single, three-lane drive will provide for adequate entry and exit.

Sidewalks:

Sidewalks and crosswalks connecting the parking area to the McDonalds restaurant are sufficient and allow for full access to all building entrances and the parking area that will commonly serve the dine-in customers. The parking area is also well connected to the Troy Maple Plaza, with dedicated crosswalks and sidewalks designed to provide access to most of the parking spaces directly to the buildings.

Items to be Addressed: None.

PARKING

Proposed Parking:

The site plan indicates a total of 110 spaces on the drawings, but in the narrative on Sheet CS (item 9) says there are 108. The drawing shows 110 parking spaces, which include 5 barrier free parking spaces. The applicant is also requesting a parking modification.

The Planning Commission is authorized to modify parking requirements by Section 40.20.12. It states:

The City recognizes that, due to the specific requirements of any given development, inflexible application of the parking standards may result in development with parking in excess of what is needed. The result may lead to excessive paving and stormwater runoff and reduction of area which would be left as open space. Accordingly, the Planning Commission may, in the reasonable exercise of discretion, permit deviations and allow less parking upon a finding that such deviations are likely to provide a sufficient number of parking spaces to accommodate the specific characteristics of the use in question. Such finding shall take into consideration the following standards and shall be based upon specific facts and information provided by the applicant, and such other information the Planning Commission shall determine relevant:

- A. *Nature of use. The nature of the particular use or combination of uses (as the case may be), relying upon accepted planning principles with regard to the anticipation of parking demand.*
- B. *Allocation of square footage. The allocation of square footage to and among uses, including the anticipation of long-term parking (e.g. grocery or movie theater uses), short term parking (e.g. dry cleaners), and/or the absence of parking for some portion of the use (e.g. drive-through use).*
- C. *Impact.*
 1. *The reasonably anticipated circumstance in the event there is excess parking demand where the number of parking spaces available and/or the likelihood that parking would occur on major thoroughfares or within residential neighborhoods.*
 2. *The need for and benefit of additional open space or landscaped areas on the area, which would not be feasible if the full number of required spaces were improved in the face of an apparent lack of need for all such spaces, taking into consideration accepted planning principles.*
- D. *Other specific reasons which are identified in the official minutes of the Planning Commission. The Planning Commission may attach conditions to the approval of a deviation from off-street parking requirements that bind such approval to the specific use in question.*

Parking Calculations:

<u>Required</u>	<u>Provided</u>
<p style="text-align: center;">Priya restaurant in Troy Maple Plaza: 111 seats (one space for every two seats = 56 spaces plus one space for every ten seats for employees = 11 spaces. $56 + 11 = 67$ seats for restaurant</p> <p style="text-align: center;">McDonalds restaurant: 60 seats (one space for every two seats = 30 spaces plus one space for every ten seats for employees = 6 spaces. $30 + 6 = 36$ seats for restaurant</p> <p style="text-align: center;">Office space (one space for every 200 square feet of usable space): First floor: $750 \text{ gross} \times 80\% \text{ usable rate} = 600 \text{ usable}$ $600 \text{ usable square feet} / 200 = 3 \text{ spaces}$ and Second floor: $1500 \text{ gross} \times 80\% \text{ usable rate} = 1200 \text{ usable}$ $1200 \text{ usable square feet} / 200 = 6 \text{ spaces}$ Total office = 9 spaces</p> <p style="text-align: center;">Beauty salon: Required to provide three spaces for each of the first two chairs and one and one half spaces for each of the remaining chairs. Therefore, with six proposed chairs, $(2 \times 3 = 6 \text{ spaces} + 4 \times 1.5 = 6 \text{ spaces}, 12 \text{ required total})$</p> <p style="text-align: center;">Retail spaces: One space for every 200 square feet of gross retail ($5,950 \text{ square feet proposed} / 200 = 29.75$) 30 spaces required)</p> <p style="text-align: center;"><i>The applicant incorrectly rounded down the required number of spaces for retail. 29.75 are required, therefore any fraction over 0.5 is rounded up to require 30 spaces.</i></p> <p style="text-align: center;">McDonald's drive-through stacking spaces: Nine spaces required for each drive-up station. While there are two ordering "boxes," there is only one station on the west façade. Therefore, 9 are required. 16 are illustrated on the plans, but the narrative on Sheet CS states that 9 are provided.</p> <p style="text-align: center;">Total onsite required: 154 plus 9 stacking</p>	<p>110 spaces plus 16 stacking spaces. The applicant has provided parking usage information for the existing restaurant and further justification for requested parking on Sheet CS. The applicant is requesting a parking modification.</p>

There are several incorrect references and calculations on Sheet CS. The Sheet states, in item 11, that 9 stacking spaces are proposed, but the drawing illustrates 16. The drawing also shows 110 spaces on-site, but the narrative states that 108 are provided (item 9). Also, the calculation of retail spaces was rounded down to 29, when it should have been rounded up to 30. Consequently, the actual calculations reveal that 154 spaces are required, plus 9 stacking spaces, rather than the 153 plus stacking indicated by the applicant. The drawing includes 110 spaces plus 16 stacking.

The site plan provides 44 spaces (154 – 110) less than that required by Ordinance. To justify this deficiency and support their request for a deviation, the applicant provided parking counts for the existing restaurant and an alternate parking calculation for the remaining site (on sheet CS, item 10). It states that when the peak occupancy for the restaurant hits, in the early evening and on weekends, the office and salon uses are closed. It also states that the restaurant, in real observations, requires only about 15 spaces at lunch, far less than the 67 required. Further, it

states that the dine-in traffic for McDonalds decreases in the evening, when the existing restaurant is busy. We have no detailed justification in this regard. However, we do recognize that the office and salon uses, which require 42 spaces combined, would be closed when the restaurant is busy. The applicant has shown that about 15 spaces are all that is required for the restaurant at lunch on a weekday, and up to about 65 on the dinner hour on a Saturday, even though 67 are required at all times, even at off-peak times, usually leaving at least 42 spaces unoccupied.

Assuming that the retail and McDonalds uses were at maximum capacity and were using all their parking, there is still sufficient evidence here that the offset hours of the office/salon uses and the sit-down restaurant, combined with the clear excess of parking required for the restaurant, are sufficient to justify the provision of 44 less spaces than are required. Therefore, given the information provided by the applicant that the requested deviation would allow the site to remain functional given the shared parking nature of the site, we recommend the Planning Commission approve the request.

Items to be Addressed: 1.) Correct calculations and references for parking on Sheet CS as detailed above. 2.) Obtaining a modification of 44 spaces from the Planning Commission.

NATURAL RESOURCES

The site is previously developed and contains no natural features. The proposed plan would not impact any protected natural features, and will actually improve the natural condition of the site by adding a refreshed landscaped area.

Items to be Addressed: None.

LANDSCAPING

A landscape plan has been submitted as part of this application. The plan must provide 10% site landscaping area. The site is 106,749 net square feet in area, requiring 10,675 square feet. The site plan includes 10,842 eligible square feet of landscaped area, exceeding requirements and expanding the site landscaping from the 383 square feet currently provided.

The site plan also includes required 10 foot wide greenbelts on both Maple and Livernois Roads. Trees must be provided at a rate of one tree for every 30 linear feet. On Maple Road, the site has 215 feet of linear eligible greenbelt frontage, requiring 8 street trees ($215/30 = 7.1 = 8$ trees). The applicant shows that 8 trees are provided between the building and right-of-way, satisfying Ordinance requirements.

On Livernois Road, 147 feet of linear feet of frontage are present, requiring 5 street trees ($147/30 = 4.9 = 5$ trees). The required trees are provided and appropriately located.

The remainder of the site is landscaped in several areas surrounding the customer parking areas and around the McDonalds restaurant. Proposed materials include a collection of 28 new trees in total, and a variety of groundcovers and shrubs.

Items to be Addressed: None.

LIGHTING

The applicant has provided a photometric plan with no lighting details for this project. Full lighting details will be required for final site plan approval. However, our preliminary look at the plans reveals that excessive lighting levels are proposed. For instance, as many as 11.7 foot-candles are proposed to encroach on the adjacent site to the west. Also, no information about lighting for the Troy Maple Plaza portion of the site has been provided.

No encroachment is permitted across property lines. For final site plan, the photometric plan must be revised to demonstrate the use of cutoff fixtures and no encroachment at the site boundary.

Items to be Addressed: Eliminate cross-boundary encroachment and detail lighting for the entire site for final site plan review.

SPECIAL USE REVIEW

For any special use, according to Section 03.31.04, the Planning Commission shall review the request, supplementary materials either in support or opposition thereto, as well as the Planning Department's report, at a Public Hearing established for that purpose, and shall either grant or deny the request, table action on the request, or grant the request subject to specific conditions.

Use Standards

Section 22.25.01 lists conditions for "Drive-up Windows or Service Facilities, as an Accessory to Restaurants Permitted Within this District." They are as follows:

- A. Ingress and egress shall be provided so as not to conflict with adjacent uses or adversely affect traffic flow on adjacent thoroughfares. *The site access has been revised to minimize traffic conflicts and consolidate access on Maple Road.*
- B. A minimum site area of one acre shall be required, with a minimum frontage of 150 feet on a Major Thoroughfare, as designated on the Master Thoroughfare Plan. *Satisfied.*
- C. Back-up or waiting space for drive-up windows or service facilities shall be provided, in a manner physically separated from off-street parking areas and drives, at a rate of eight (8) car spaces for each service window or facility, in addition to the space at the service window or facility. Drives providing such waiting spaces shall have a minimum clear width of thirteen (13) feet. *Satisfied.*
- D. The consumption of food within vehicles parked on the premises is prohibited. *The applicant should add a note stating that consumption of food within vehicles parked on the premises shall be prohibited.*

Standards of Approval

Section 03.31.05 states that before approving any requests for Special Use Approval, the Planning Commission, or the City Council, where indicated, shall find that:

1. *The land use or activity being proposed shall be of such location, size and character as to be compatible with the orderly development or use of adjacent land and/or Districts.*
2. *The land use or activity under consideration is within the capacity limitations of the existing or proposed public services and facilities which serve its location.*

We believe the land use as proposed by the site plan is of such location and character as to be compatible with the orderly development or use of adjacent land and/or Districts.

The City Engineer had no comment with regard to public services and facilities.

Items to be addressed: *Add a note indicating that consumption of food within vehicles parked on the premises shall be prohibited.*

SUBMITTAL REQUIREMENTS

Section 3.43.01 establishes the requirements for preliminary site plan approval. The minimum standards necessary for review have been met.

Items to be Addressed: None.

RECOMMENDATIONS

The project will allow for the renovation of an underutilized site and building in the City of Troy, will allow a current business (Priya Restaurant) to remain open, and will greatly enhance the site access and circulation, parking, landscaping, and architecture of the site. While the new Ordinance would not permit the building location as designed at this location, the former Ordinance requires this location. The drive-through design is efficient and minimizes pedestrian conflicts insofar as possible. The standards for special use approval have been met.

Therefore, we recommend the Planning Commission approve the requested parking deviation and preliminary site plan and recommend to the City Council that the applicant's request for special use approval be approved, conditioned on:

1. A revised site lighting plan being submitted for final site plan review that complies City of Troy requirements; and,
2. That all the informational and administrative elements noted in this letter are addressed in a revised preliminary site plan submittal.


CARLISLE/WORTMAN ASSOCIATES, INC.
Zachary G. Branigan, LEED AP, AICP
Associate

P:\PROJ\15\22973\00034_72 W. Maple Troy MI Survey\15\22973\00034.dwg, 3/14/2011 9:08:30 AM
NOT PUBLISHED - ALL RIGHTS RESERVED. WILCOX PROFESSIONAL SERVICES, L.L.C.

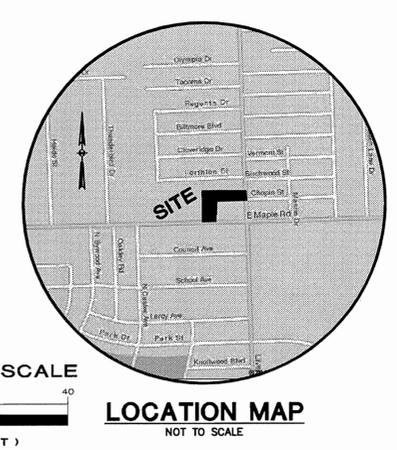
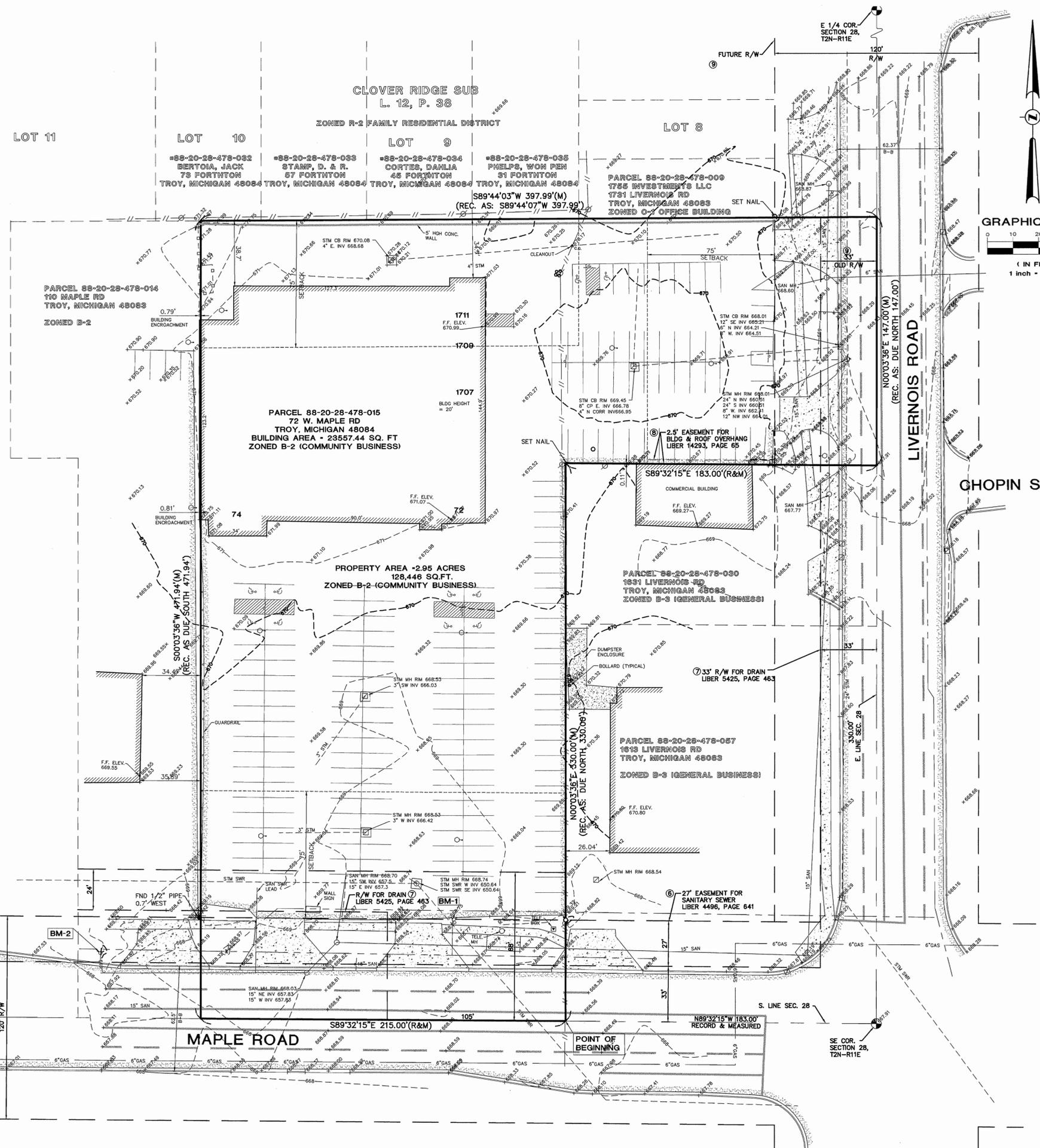
UTILITY NOTE
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

UTILITY CONTACTS
TELEPHONE
AT&T
421 EAST GRAND RIVER
HOWELL, MI. 48843
(517) 545-6911
GAS
CONSUMERS ENERGY
1030 FEATHERSTONE
PONTIAC, MI. 48342
(248) 858-4511
ELECTRIC
DTE ENERGY
NW PLANNING AND DESIGN
37849 INTERCHANGE DRIVE
FARMINGTON HILLS, MI 48335
(248)-427-2987
BILL HENDRIXSON
ZONING
2600 EVERGREEN
SOUTHFIELD, MICHIGAN 48076
1-248-796-4150
WATER/SEWER
DWP
2600 EVERGREEN
SOUTHFIELD, MICHIGAN 48076
1-248-796-4860

ZONING INFORMATION
ZONED- B-3 (GENERAL BUSINESS DISTRICT)
SETBACKS-
FRONT- 75'
REAR- 30'
SIDE- 75' ALONG RESIDENTIAL DISTRICT
MAX BUILDING HEIGHT- 2 STORIES OR MAX HEIGHT OF 30'

FLOODPLAIN INFORMATION
CITY OF TROY
OAKLAND COUNTY, MICHIGAN
MAP NUMBER: PANEL NOT PRINTED
EFFECTIVE DATE: JANUARY 16, 2009
ZONE: X
AREAS OF 0.2% ANNUAL CHANCE FLOOD: AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREA LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BENCHMARKS
B.M. #1 - NLY BOLT ON HYD AT NORTH SIDE OF MAPLE SOUTH OF SITE
ELEV. 670.29
B.M. #2 - NLY BOLT ON TOP OF FLANGE ON HYD AT NORTH SIDE OF MAPLE SW COR. OF SITE
ELEV. 671.31



LEGEND

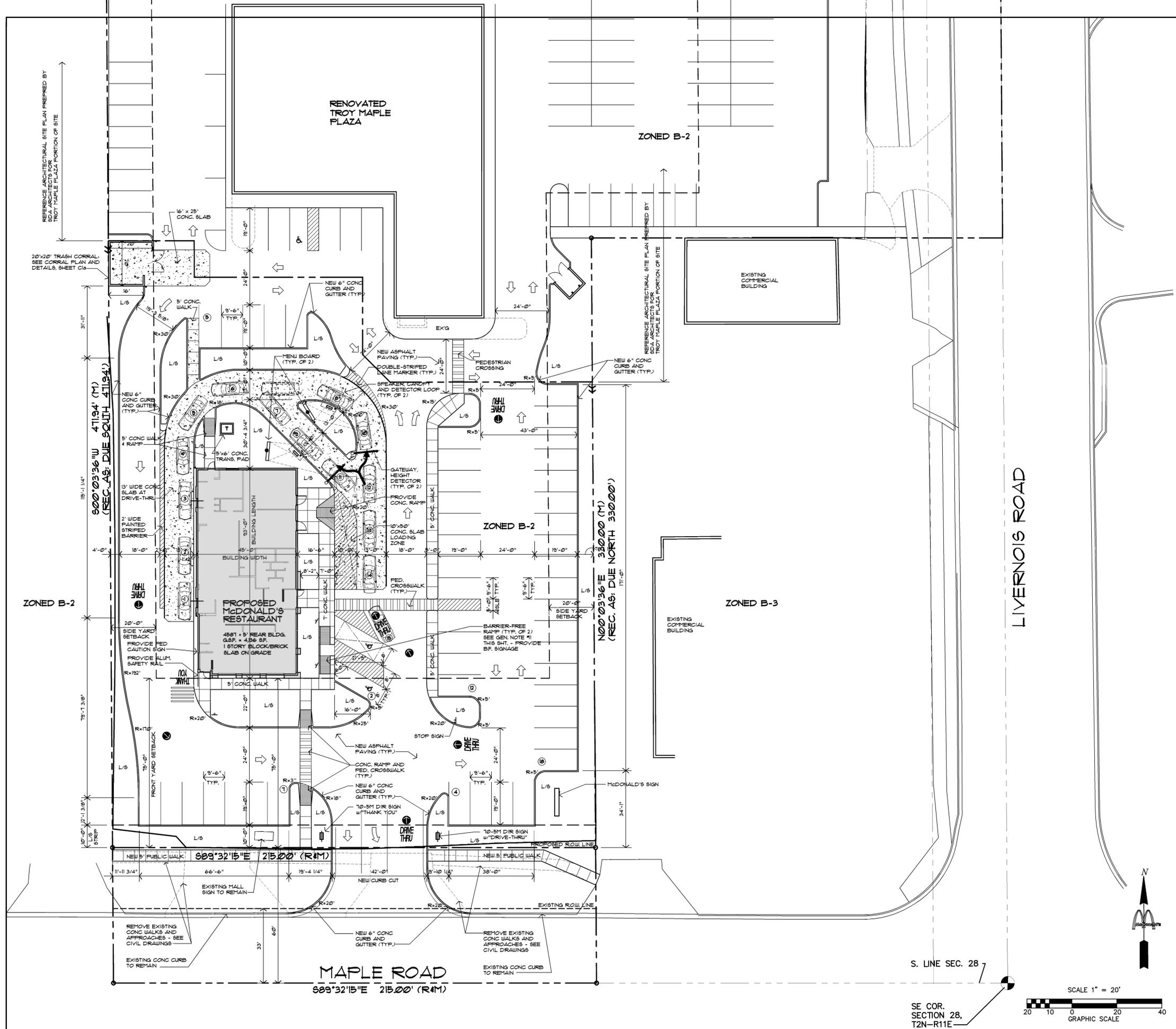
○	MONUMENT / SECTION CORNER
○	FOUND PROPERTY IRON
○	SET PROPERTY IRON
○	EXISTING CATCHBASIN
○	EXISTING MANHOLE/CATCHBASIN
○	EXISTING MANHOLE
○	EXISTING HYDRANT
○	EXISTING VALVE
○	EXISTING SANITARY SEWER
○	EXISTING STORM SEWER
○	EXISTING WATERMAIN
○	EXISTING FENCE LINE
○	EXISTING UNDERGROUND ELECTRIC LINE
○	EXISTING UNDERGROUND GAS LINE
○	EXISTING UNDERGROUND TELEPHONE LINE
○	EXISTING CENTERLINE
○	EXISTING OVERHEAD ELECTRICAL WIRES
○	EXISTING MAILBOX / NEWSPAPER BOX
○	EXISTING SIGN
○	EXISTING DECIDUOUS TREES
○	EXISTING CONIFEROUS TREES
○	EXISTING UTILITY POWER POLE
○	EXISTING TELEPHONE RISER
○	EXISTING LIGHT POLE

FURNISHED LEGAL DESCRIPTION
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. NCS-459068-MICH
DATED: OCTOBER 1, 2010 @ 8:00 A.M.
ALL THAT PART OF THE SOUTHEAST QUARTER OF SECTION 28, TOWN 2 NORTH, RANGE 12 EAST, CITY OF TROY, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT IN THE SOUTH LINE OF SECTION 28, WHICH POINT IS DISTANT ALONG SAID LINE NORTH 89 DEGREES 32 MINUTES 15 SECONDS WEST 183.00 FEET FROM THE SOUTHWEST CORNER OF SECTION 28; THENCE DUE NORTH 330.00 FEET; THENCE SOUTH 89 DEGREES 32 MINUTES 15 SECONDS EAST 183.00 FEET; THENCE ALONG THE EAST LINE OF SECTION 28 DUE NORTH 147.00 FEET; THENCE ALONG THE SOUTH LINE OF CLOVER RIDGE SUBDIVISION (LIBER 12 OF PLATS, PAGE 38), SOUTH 89 DEGREES 44 MINUTES 07 SECONDS WEST 397.99 FEET; THENCE DUE SOUTH 471.94 FEET; THENCE ALONG THE SOUTH LINE OF SECTION 28, SOUTH 89 DEGREES 32 MINUTES 15 SECONDS EAST 215.00 FEET TO THE POINT OF BEGINNING.

SCHEDULE B EXCEPTIONS
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. NCS-459068-MICH
DATED: OCTOBER 1, 2010 @ 8:00 A.M.
⑥ EASEMENT IN FAVOR OF OAKLAND COUNTY DEPARTMENT OF PUBLIC WORKS, A MICHIGAN STATUTORY CORPORATION AND COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 4496, PAGE 641. (AS SHOWN)
⑦ RIGHT OF WAY IN FAVOR OF HALPENNEY DRAINAGE DISTRICT AND COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 5425, PAGE 463. (AS SHOWN)
⑧ GRANT EASEMENT IN FAVOR OF C & W PROPERTIES, L.L.C., A MICHIGAN LIMITED LIABILITY COMPANY AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 14293, PAGE 65. (AS SHOWN)
⑨ ANY RIGHTS, TITLE INTEREST OR CLAIM THEREOF TO THAT PORTION OF THE LAND TAKEN, USED OR GRANTED FOR STREETS, ROADS OR HIGHWAYS. (AS SHOWN)

CERTIFICATE
I CERTIFY TO: McDONALD'S USA, LLC A DELAWARE LIMITED LIABILITY COMPANY, A DELAWARE REAL ESTATE COMPANY, A DELAWARE CORPORATION, McDONALD'S CORPORATION, A DELAWARE CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY, THAT THIS PRINT OF SURVEY IS BASED ON A SURVEY MADE BY CRAIG J. PULLEN, MICHIGAN PROFESSIONAL SURVEYOR NO. 39095, ON OCTOBER 28, 2010. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS IN 2005, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(A), 7(B), 7(C), 8, 9, 10, 11(A), 11(B), 12, 13, 14 AND 16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. AS A LAND SURVEYOR REGISTERED IN THE STATE OF MICHIGAN THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.
CRAIG J. PULLEN, PS #39095
WILCOX PROFESSIONAL SERVICES
2559 SHERMAN RD
SAGINAW, MICHIGAN 48604
PHONE (989) 752-6500 FAX (989) 752-6600
DATE 3-18-11

PREPARED UNDER THE SUPERVISION OF:
CRAIG J. PULLEN
MICHIGAN PROFESSIONAL SURVEYOR
NO. 39095
LICENSED PROFESSIONAL SURVEYOR
PROJECT LOG
PROJECT START: 11/2/10
PROJECT END: 12/13/10
REVISED DATES: 02/01/11, 02/09/11, 02/14/11
REVISED POINTS TO MATCH RECORD: 02/01/11, 02/09/11, 02/14/11
REVISED ZONING AND RECORDS: 02/01/11, 02/09/11, 02/14/11
FILE: 22973.00034-SF
PROJECT MGR: JDM
DESIGNED BY: ZAA
DRAWN BY: ZAA
CHECKED BY:
SCALE: 1"=30'
SHEET: 1 OF 1
McDONALD'S USA, LLC
A DELAWARE LIMITED LIABILITY CORP.
1021 KARL GREIMEL DR. SUITE 200
BRIGHTON, MI 48116
(734) 335-9061
72 W. MAPLE ROAD
McDONALD'S CORPORATION
SECTION 28, T2N-R11E
CITY OF TROY
OAKLAND COUNTY, MICHIGAN
ALTA/ACSM LAND TITLE SURVEY
Professional Services
AN ISO 9001:2000
CERTIFIED COMPANY
WWW.WILCOX.US
8800 SHERMAN RD SAGINAW, MICHIGAN 48604
PHONE (989) 752-6500 FAX (989) 752-6600
TOLL FREE (888) 752-6500
V-SP
22973.00034.01



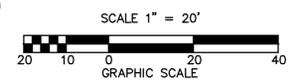
GENERAL NOTES		ISSUE REF
1. N/A		
2. BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.		
3. ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.		
4. N/A		
5. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.		
6. GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.		
7. REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS.		
8. REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS.		
9. NEW TRASH CORRAL TO MATCH BUILDING MATERIALS. SEE SHEET C10 AND REFER TO "MCDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.		
10. ALL RADII NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"		
11. BARRIER FREE RAMP TO BE 8'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.		
12. ALL PAINTED LINES, DIRECTIONAL ARROWS AND SYMBOLS TO BE WHITE AND TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND MCDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS.		
13. "NO PARKING FIRE-LANE" SIGNS TO BE LOCATED PER FIRE MARSHAL'S DIRECTION.		
14. PROVIDE "DO NOT ENTER" SIGN PER MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES CODE #95-1, WHEN SIGNS ARE REQUIRED, AS NOTED ON SITE PLAN.		
15. FRONT (SOUTH) OF BUILDING TO BE PARALLEL TO FRONT (SOUTH) PROPERTY LINE.		
LAND/BUILDING/PARKING DATA AND NOTES		DATE
LAND AREA: GROSS OVERALL PARCEL AREA:	128,446 S.F. OR 2.94 ACRES	3-9-11
ZONING CLASSIFICATION:	B2 COMMUNITY BUSINESS	3-25-11
ADJACENT ZONING:	O-1 OFFICE BUILDING B2 COMMUNITY BUSINESS B3 GENERAL BUSINESS R2 SINGLE FAMILY RESIDENTIAL	
GROSS BUILDING AREA:	4,136 S.F.	
DINING FLOOR AREA:	705 S.F.	
BUILDING SETBACKS REQUIRED:		
FRONT YARD SETBACK:	75 FEET	
SIDE YARD SETBACK:	20 FEET	
REAR YARD SETBACK:	30 FEET	
BUILDING SETBACKS PROVIDED:		
FRONT YARD SETBACK (MAPLE RD):	75 FEET	
SIDE YARD SETBACK (WEST):	38 FEET 2 INCHES	
SIDE YARD SETBACK (EAST):	130 FEET 10 INCHES	
PARKING REQUIRED (FOR DRIVE-IN, DRIVE-THRU, FASTFOOD):		
1 SPACE / 2-SEATS + (1) EMPL./10-SEATS OR (1)SPACE/35 S.F. DINING AREA 60 SEATS/2 + 60/10 = 36 SPACES OR- 705 S.F./35 = 20 SPACES		
TOTAL PARKING PROVIDED:	36 SPACES	
NUMBER OF H.C. SPACES REQUIRED = 2 SPACES		
PARKING PROVIDED:		
SEE SDA COVER SHEET CS		
STACKING REQUIRED:	9 SPACES	
STACKING PROVIDED:	15 SPACES	
LOADING / UNLOADING AREA REQUIRED:		
(1) 10' x 50'		
TOTAL LOADING / UNLOADING AREA REQUIRED:	500 S.F.	
LOADING / UNLOADING AREA PROVIDED:		
(1) 10' x 50'		
TOTAL LOADING / UNLOADING AREA PROVIDED:	500 S.F.	
LANDSCAPE REQUIRED:		
SEE LANDSCAPE PLAN	- S.F.	
LANDSCAPE PROVIDED:		
SEE LANDSCAPE PLAN	- S.F.	
ARCHITECT/PLANNER		DATE
	29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231 e-mail: dmo@dorchenmartin.com www.dorchenmartin.com	
SURVEYOR	CIVIL ENGINEER	
WILCOX PROF. SERVICES 5859 SHERMAN RD. SAGINAW, MICHIGAN 48604 (989) 752-6500 11-30-10	HH ENGINEERING, LTD. 220 BAGLEY, STE. 500 DETROIT, MI 48226 (313) 963-6560 JOB NO.	
SITE LOCATION		STATUS
PROJECT STREET ADDRESS		DATE
LIVERNOIS & MAPLE (NW CORNER)		DATE DRAWN -- 10 DMA
CITY	STATE	PLAN CHECKED
TROY	MICHIGAN	AS-BUILT
COUNTY		
OAKLAND		
REGIONAL DWG. NO	SITE LOCATION CODE NO.	
DET-00	021-1893	
		C1

McDonald's[®]

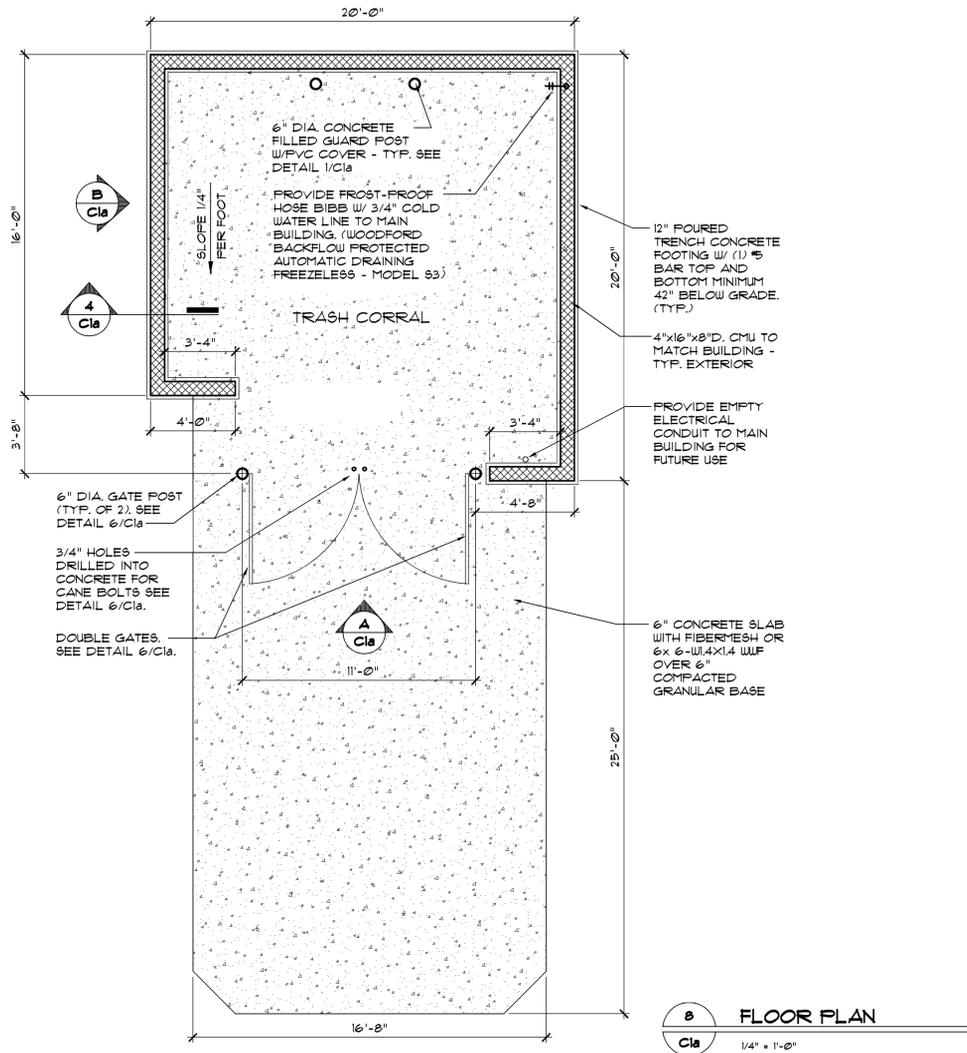
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE MICHIGAN
ADDRESS 1021 KARL GREIMEL DR, BRIGHTON, MI 48116
PH: (734) 335-9000

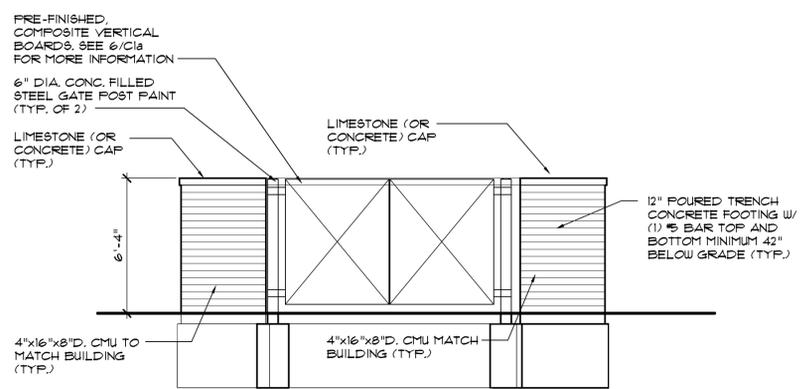
LIVERNOIS ROAD



S. LINE SEC. 28
SE COR. SECTION 28, T2N-R11E



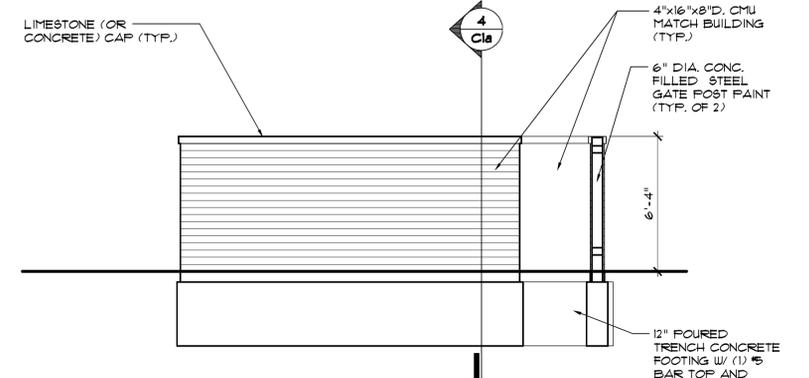
8 FLOOR PLAN
Cla 1/4" = 1'-0"



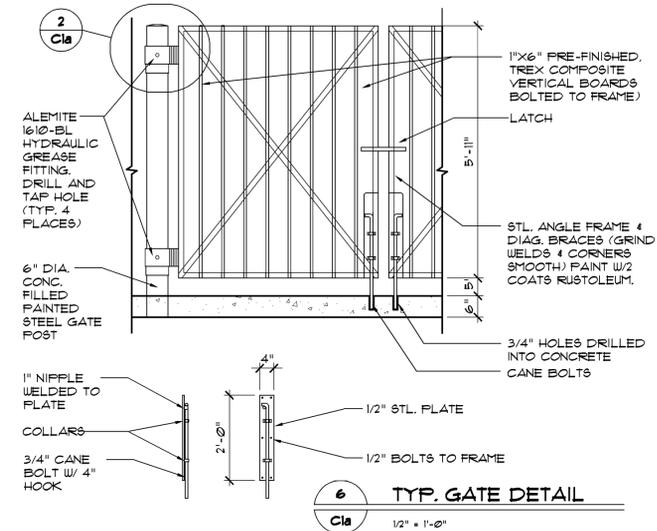
A FRONT ELEVATION
Cla 1/4" = 1'-0"

CORRAL NOTES

- CORRAL TO BE 8' HIGH BLOCK TO MATCH BLDG. W/FOOTINGS TO EXTEND BELOW FROSTLINE (42" MIN). CORRAL TO HAVE (1) SET OF PRE-FINISHED, TREX 1"x5.5" SQUARE EDGED COMPOSITE VERTICAL BOARDS (COLOR TO BE "BRASILIA CAYENNE" UNWEATHERED) HINGED TO CONC. FILLED 6" DIA. PAINTED STEEL GUARD POSTS. REFER TO "MC DONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
- ANY RECYCLING ACTIVITY TO BE WITHIN THE TRASH CORRAL.

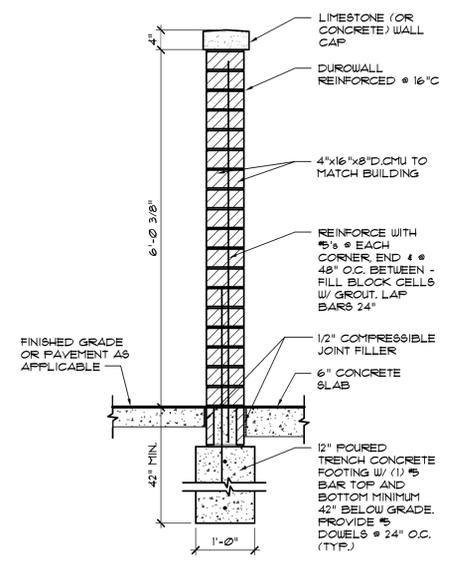


B SIDE ELEVATION
Cla 1/4" = 1'-0"

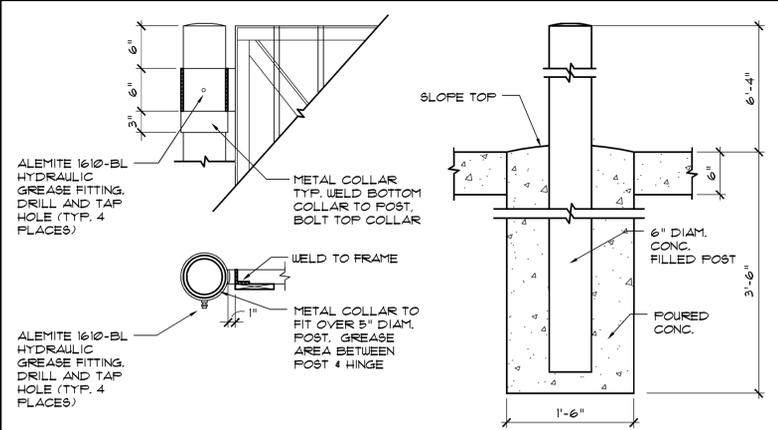


6 TYP. GATE DETAIL
Cla 1/2" = 1'-0"

5 NOT USED
Cla 3/4" = 1'-0"

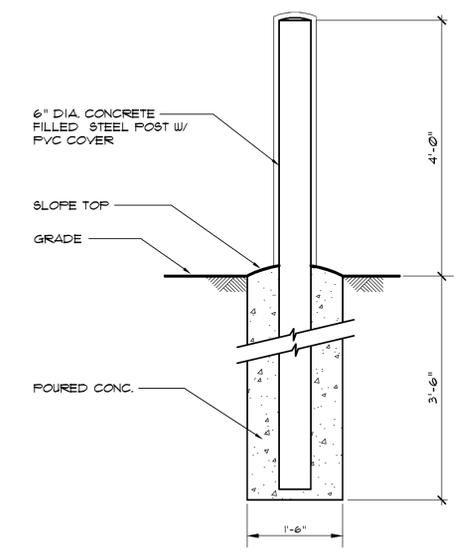


4 TYPICAL WALL SECTION
Cla 3/4" = 1'-0"



2 TYP. GATE POST DETAIL
Cla 1" = 1'-0"

3 NOT USED
Cla 3/4" = 1'-0"



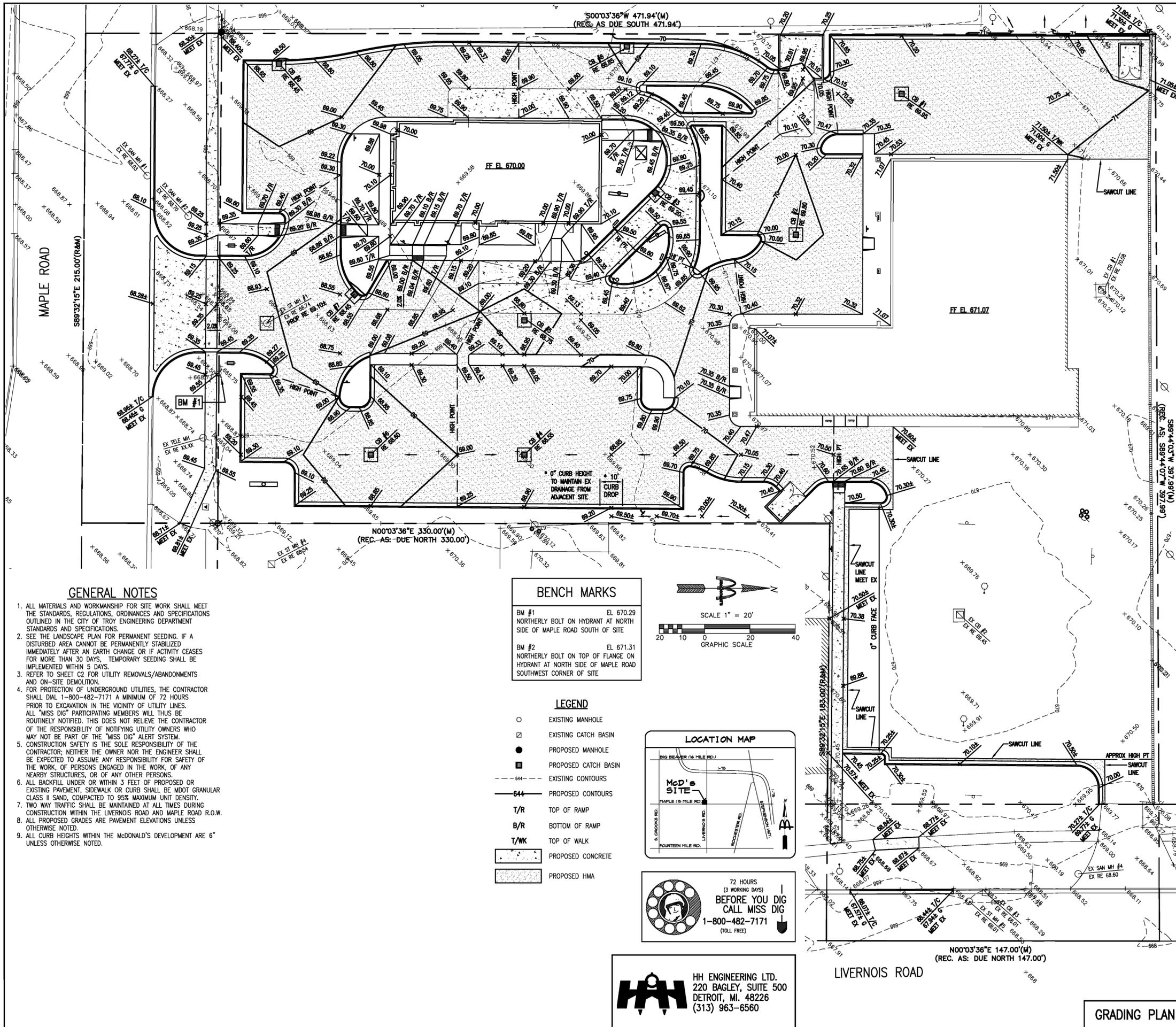
1 TYP. GUARD POST DETAIL
Cla 3/4" = 1'-0"

PREPARED BY:	McDonald's USA, LLC
DESIGNED BY:	DorhamMartin Associates, Inc.
CHECKED BY:	2011-03-25-11
DATE:	021-1843
REV:	DESCRIPTION
BY:	

TITLE:	4587+5 R STANDARD BUILDING
STP ISSUE DATE:	MAR 2011
REVIEWED BY:	
DATE ISSUED:	
DESCRIPTION:	CMU BEARING WALLS
	STEEL TRUSS ROOF FRAMING
SITE ADDRESS:	021-1843
	HARLE & LIVERNOIS (NN CORNER)
TRCY:	M1

McDonald's USA, LLC
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. In the contract documents we prepared for you, the drawings and specifications are the contract documents. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. Use of these drawings for any other purpose without the contract documents for reuse on another project is not authorized.

2011-03-25-11
 2895 Greenfield Rd., Suite 107
 Durham, NC 27704
 (919) 487-4676
 www.dorhammartin.com



GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP FOR SITE WORK SHALL MEET THE STANDARDS, REGULATIONS, ORDINANCES AND SPECIFICATIONS OUTLINED IN THE CITY OF TROY ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
- SEE THE LANDSCAPE PLAN FOR PERMANENT SEEDING. IF A DISTURBED AREA CANNOT BE PERMANENTLY STABILIZED IMMEDIATELY AFTER AN EARTH CHANGE OR IF ACTIVITY CEASES FOR MORE THAN 30 DAYS, TEMPORARY SEEDING SHALL BE IMPLEMENTED WITHIN 5 DAYS.
- REFER TO SHEET C2 FOR UTILITY REMOVALS/ABANDONMENTS AND ON-SITE DEMOLITION.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
- CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
- ALL BACKFILL UNDER OR WITHIN 3 FEET OF PROPOSED OR EXISTING PAVEMENT, SIDEWALK OR CURB SHALL BE MDOT GRANULAR CLASS II SAND, COMPACTED TO 95% MAXIMUM UNIT DENSITY.
- TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION WITHIN THE LIVERNOIS ROAD AND MAPLE ROAD R.O.W.
- ALL PROPOSED GRADES ARE PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL CURB HEIGHTS WITHIN THE McDONALD'S DEVELOPMENT ARE 6" UNLESS OTHERWISE NOTED.

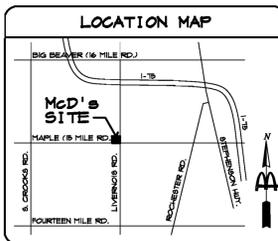
BENCH MARKS

BM #1 EL 670.29
NORTHERLY BOLT ON HYDRANT AT NORTH SIDE OF MAPLE ROAD SOUTH OF SITE

BM #2 EL 671.31
NORTHERLY BOLT ON TOP OF FLANGE ON HYDRANT AT NORTH SIDE OF MAPLE ROAD SOUTHWEST CORNER OF SITE

LEGEND

- EXISTING MANHOLE
- ◻ EXISTING CATCH BASIN
- PROPOSED MANHOLE
- ◻ PROPOSED CATCH BASIN
- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- T/R TOP OF RAMP
- B/R BOTTOM OF RAMP
- T/WK TOP OF WALK
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED HMA



HH ENGINEERING LTD.
220 BAGLEY, SUITE 500
DETROIT, MI. 48226
(313) 963-6560

GRADING PLAN

GENERAL NOTES

- McDONALD'S ROAD SIGN: SEE DETAILS AND NOTES, THIS SHEET, IF APPLICABLE.
- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.
- N/A
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS.
- REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS.
- NEW TRASH CORRAL TO MATCH BUILDING MATERIALS. SEE SHEET C1a AND REFER TO "McDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
- ALL RADI NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- BARRIER FREE RAMP TO BE 8'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL
- ALL PAINTED LINES, DIRECTIONAL ARROWS AND SYMBOLS TO BE WHITE AND TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND McDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS
- "NO PARKING FIRE-LANE" SIGNS TO BE LOCATED PER FIRE MARSHAL'S DIRECTION.
- PROVIDE "DO NOT ENTER" SIGN PER MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES CODE #85-1, WHEN SIGNS ARE REQUIRED, AS NOTED ON SITE PLAN.

LAND/BUILDING/PARKING DATA AND NOTES

LAND AREA:
GROSS OVERALL PARCEL AREA: 123,557 S.F. OR 2.83 ACRES

ZONING CLASSIFICATION: B2 COMMUNITY BUSINESS

ADJACENT ZONING:
B2 COMMUNITY BUSINESS
B3 GENERAL BUSINESS
B2 SINGLE FAMILY RESIDENTIAL

GROSS BUILDING AREA: 4,138 S.F.
DINING FLOOR AREA: 705 S.F.

BUILDING SETBACKS REQUIRED:
FRONT YARD SETBACK: 75 FEET
SIDE YARD SETBACK: 20 FEET
SIDE YARD SETBACK: 20 FEET
REAR YARD SETBACK: 40 FEET

BUILDING SETBACKS PROVIDED:
FRONT YARD SETBACK (MAPLE RD): 75 FEET
SIDE YARD SETBACK (WEST): 38 FEET 2 INCHES
SIDE YARD SETBACK (EAST): 130 FEET 10 INCHES

PARKING REQUIRED (FOR DRIVE-IN, DRIVE-THRU, FASTFOOD):
1 SPACE / 2-SEATS + (1) EMPL/10-SEATS
OR (1)SPACE/35 S.F. DINING AREA
70 SEATS/2 + 70/10 = 42 SPACES
OR - 705 S.F./35 = 20 SPACES

TOTAL PARKING REQUIRED = 2 SPACES 42 SPACES

PARKING PROVIDED:
STANDARD SPACES PROVIDED 46 SPACES
NUMBER OF H.C. SPACES PROVIDED 2 SPACES
TOTAL SPACES PROVIDED 48 SPACES

STACKING REQUIRED: 9 SPACES
STACKING PROVIDED: 15 SPACES

LOADING / UNLOADING AREA REQUIRED:
(1) 10' x 50'
TOTAL LOADING / UNLOADING AREA REQUIRED: 500 S.F.

LOADING / UNLOADING AREA PROVIDED:
(1) 10' x 50'
TOTAL LOADING / UNLOADING AREA PROVIDED: 500 S.F.

LANDSCAPE REQUIRED:
SEE LANDSCAPE PLAN - S.F.

LANDSCAPE PROVIDED:
SEE LANDSCAPE PLAN - S.F.

SIGNAGE PERMITTED:
SEE LANDSCAPE PLAN

SIGNAGE PROVIDED:
SEE LANDSCAPE PLAN

PARKING INFORMATION

TOTAL SPACES	0	SPACES	1' x 1' x 1' @ 60'
48 (42 REQ'D)	2 B.F.	SPACES	20' x 8' @ 60'
	46	SPACES	19' x 9'-6" @ 90'
	-	SPACES	1' x 1' x 1' @ 0'

ARCHITECT/PLANNER

Dorchen/Martin Associates, Inc.
Architects/Planners
29895 Greenfield Rd., Suite 107
Southfield, Michigan 48076
(248) 557-1062
Fax: (248) 557-1231
e-mail: dma@dorchenmartin.com
www.dorchenmartin.com

SURVEYOR CIVIL ENGINEER
WILCOX PROF. SERVICES 5859 SHERMAN RD. SAGINAW, MICHIGAN 48604 (989) 752-6500 11-30-10 22973.00036
HH ENGINEERING, LTD. 220 BAGLEY, STE. 500 DETROIT, MI 48226 (313) 963-6560 JOB NO.

SITE LOCATION

PROJECT STREET ADDRESS: LIVERNOIS & MAPLE (NW CORNER)

CITY: TROY STATE: MICHIGAN COUNTY: OAKLAND

REGIONAL DWG. NO: DET-00 SITE LOCATION CODE NO: 021-1893

ISSUE REF	BY	DATE	DESCRIPTION
	HMH	03/25/11	Preliminary Special Use Approval

DATE	SIGNATURE (2 REQUIRED)	DATE	SIGNATURE

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

STATUS	DATE	BY
DATE DRAWN	03/22/11	ELERT
PLAN CHECKED	03/25/11	HMH
AS-BUILT		

C2a



McDonald's

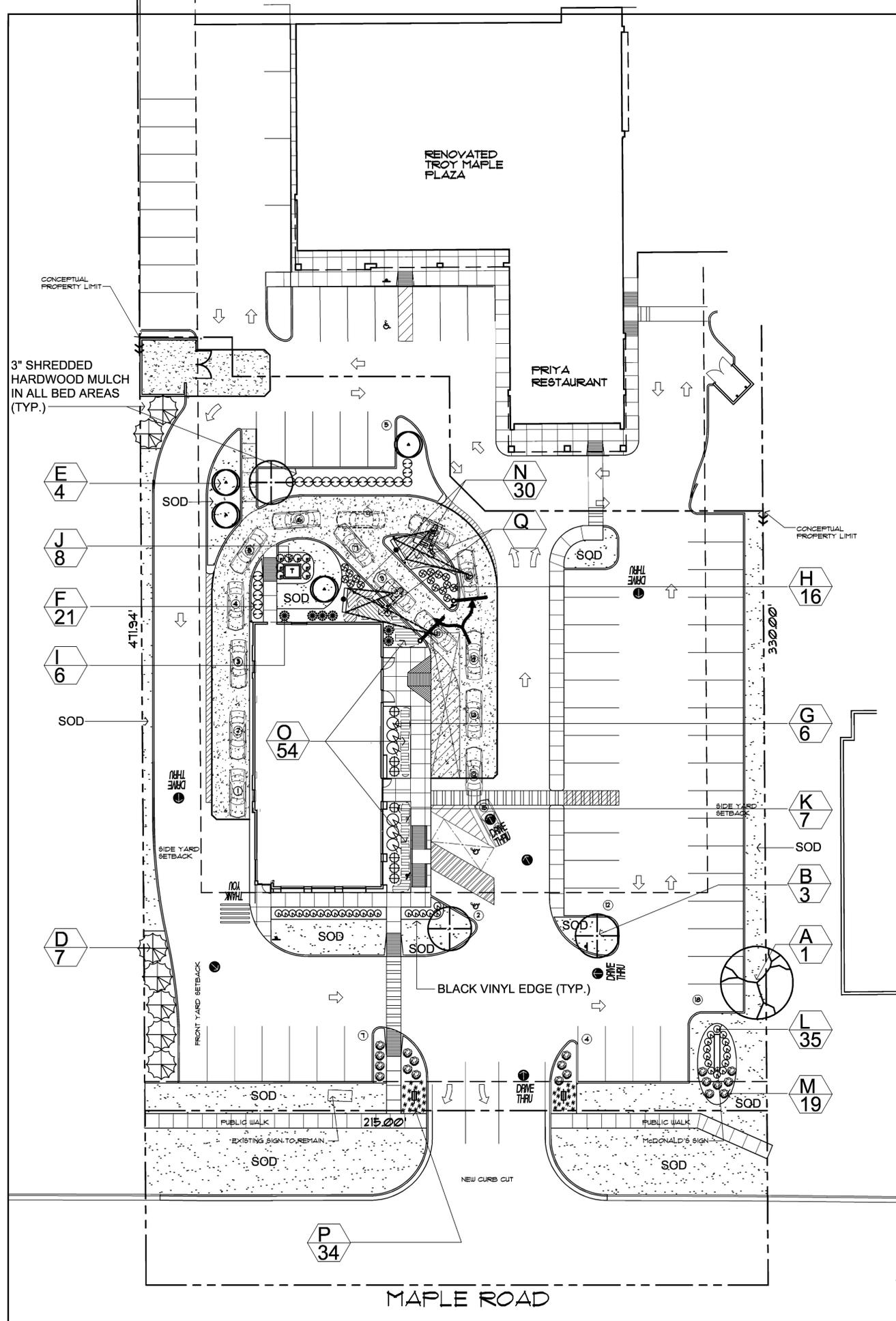
PH: (734) 333-9000

MICHIGAN OFFICE ADDRESS: 1021 KARL GREIMEL DR., BRIGHTON, MI 48116

DATE: 03/25/11

CONTRACTOR: C1101

DMA #08065



LANDSCAPE PLANT & MATERIALS LIST

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
A	2	SKYLINE HONEYLOCUST (GLEDISIA T. INERMIS 'SKYLINE')	2.5" CAL.	B&B	5' BRANCH HT.
B	8	ARMSTRONG MAPLE (ACER x L. 'ARMSTRONG')	2.5" CAL.	B&B	5' BRANCH HT.
D	12	AUSTRIAN PINE (PINUS NIGRA)	5-6' HT.	B&B	FULL
E	6	CORALBURST CRABAPPLE (MALUS 'CORALBURST')	2" CAL.	B&B	FULL
F	21	KELSEY DWARF DOGWOOD (CORNUS SERICEA 'KELSEY')	5 GAL.	POT	FULL
G	6	DWARF KOREAN LILAC (SYRINGA MEYERI)	5 GAL.	POT	FULL
H	16	DWARF EUROPEAN VIBURNUM (VIBURNUM OPULUS 'NANUM')	3 GAL.	POT	FULL
I	6	EMERALD GREEN ARBORVITAE (THUJA OCC. 'SMARAGD')	4-5' HT.	B&B	FULL
J	8	HICK'S YEW (TAXUS x m. 'HICKSII')	24-30' HT.	B&B	FULL
K	7	HETZ MIDGET ARBORVITAE (THUJA OCC. 'HETZ MIDGET')	5 GAL.	POT	FULL
L	35	GREEN GEM BOXWOOD (BUXUS 'GREEN GEM')	15-18" HT.	B&B	FULL
M	19	RED CARPET ROSE (ROSA SPP.)	2 GAL.	POT	FULL
N	30	PATRIOT HOSTA (HOSTA 'PATRIOT')	1 GAL.	POT	FULL
O	54	STORMY SEAS HEUCHERA (HEUCHERA 'STORMY SEAS')	1 GAL.	POT	FULL
Q	10 FLATS	ANNUAL FLOWERS/ 48 PER FLAT			
	1480 S.Y.	SOD ON 2" TOPSOIL (QUAN. INCLUDED BELOW)			
	450 L.F.	BLACK VINYL EDGE			
	36 C.Y.	SHREDDED HARDWOOD MULCH			
	130 C.Y.	TOPSOIL			
	8 C.Y.	PLANT MIX			
	2 C.Y.	EGGROCK			
	150 S.F.	WEED BARRIER			
		IRRIGATION			

LANDSCAPE NOTES

GREENBELT REQUIREMENT:
 REQUIRED ALONG MAPLE ROAD:
 A 10' WIDE GREENBELT, WITH 1 TREE PER 30 L.F. OF FRONTAGE.
 215 L.F. / 30 = 7.1, OR 8 TREES REQUIRED.
 PROVIDED:
 A 10' GREENBELT, AND 2 MAPLES, 1 HONEYLOCUST, AND 5 AUSTRIAN PINES.

REQUIRED ALONG LIVERNOIS:
 A 10' WIDE GREENBELT, WITH 1 TREE PER 30 L.F. OF FRONTAGE.
 147 L.F. / 30 = 4.9, OR 5 TREES REQUIRED.
 PROVIDED:
 A 10' GREENBELT, AND 5 MAPLES.

SITE LANDSCAPING REQUIREMENT:
 REQUIRED:
 10% OF SITE MINIMUM TO BE LANDSCAPED.
 106,749 S.F. SITE AREA (MINUS R.O.W.) x 10% = 10,675 S.F. MINIMUM LANDSCAPE AREA REQUIRED.
 PROVIDED:
 10,842 S.F. (CURRENT SITE HAS 383 S.F. LANDSCAPING).

IRRIGATION
 ALL LANDSCAPED AREAS OF THE SITE WILL BE PROVIDED WITH AN UNDERGROUND IRRIGATION SYSTEM.

PLEASE SEE SHEET C4a FOR SPECIFICATIONS AND PLANTING DETAILS.

LANDSCAPE ARCHITECT SEAL

STATE OF MICHIGAN
 MARK GAC
 Landscape Architect
 NO. 1209

McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
 OFFICE MICHIGAN 1021 KARL GREIMEL DR., BRIGHTON, MI 48116 PH: (734) 335-9000
 ADDRESS WESTLAND, MI 48185 (734) 721-6610

ARTMAN'S NURSERY
 32593 CHERRY HILL WESTLAND, MI 48185
 (734) 721-6610

M. J. Gac & Associates
 Landscape Architecture
 7815 Freda
 Dearborn, MI 48126
 (313) 834-3149

WILCOX PROF. SERVICES
 5859 SHERMAN RD.
 SAGINAW, MICHIGAN 48604
 (989) 752-6500
 11-30-10

Dorchen/Martin Associates, Inc.
 Architects/Planners
 29895 Greenfield Rd., Suite 107
 Southfield, Michigan 48076
 (248) 557-1062
 Fax: (248) 557-1231
 e-mail: dmga@dotchenmartin.com
 www.dotchenmartin.com

SURVEYOR ARCHITECT/PLANNER

SITE LOCATION

PROJECT STREET ADDRESS: LIVERNOIS & MAPLE (NW CORNER)
 CITY: TROY STATE: MICHIGAN COUNTY: OAKLAND

REGIONAL DWG. NO: DET-00 SITE LOCATION CODE NO: 021-1893

PLAN APPROVALS

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURES

DATE	DATE	DATE

STATUS DATE BY
 DATE DRAWN -- 10 M/JG
 PLAN CHECKED
 AS-BUILT

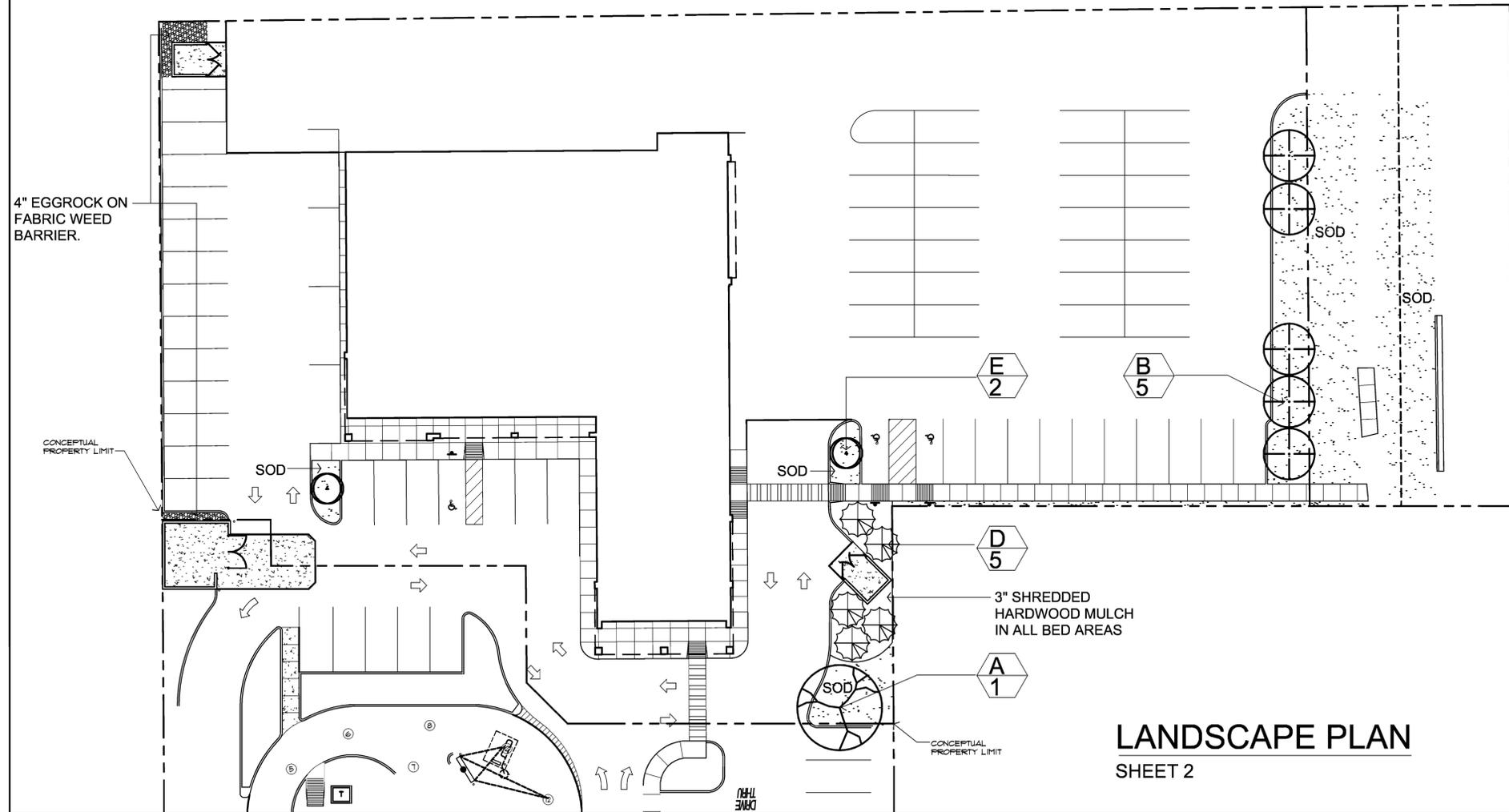
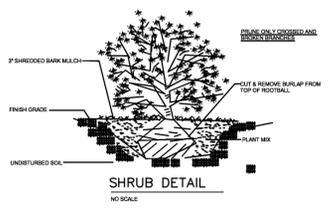
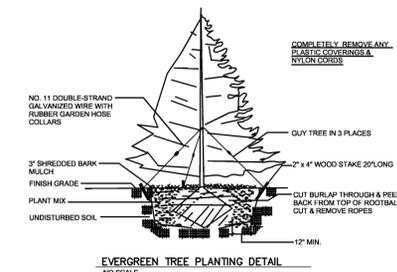
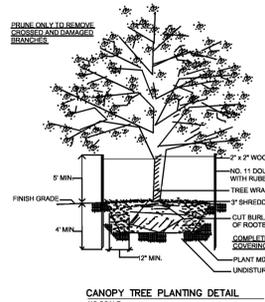
C4

SCALE 1" = 20'
 GRAPHIC SCALE

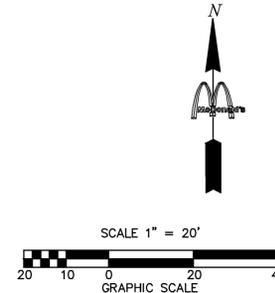
LANDSCAPE PLAN
 SHEET 1

LANDSCAPE SPECIFICATIONS

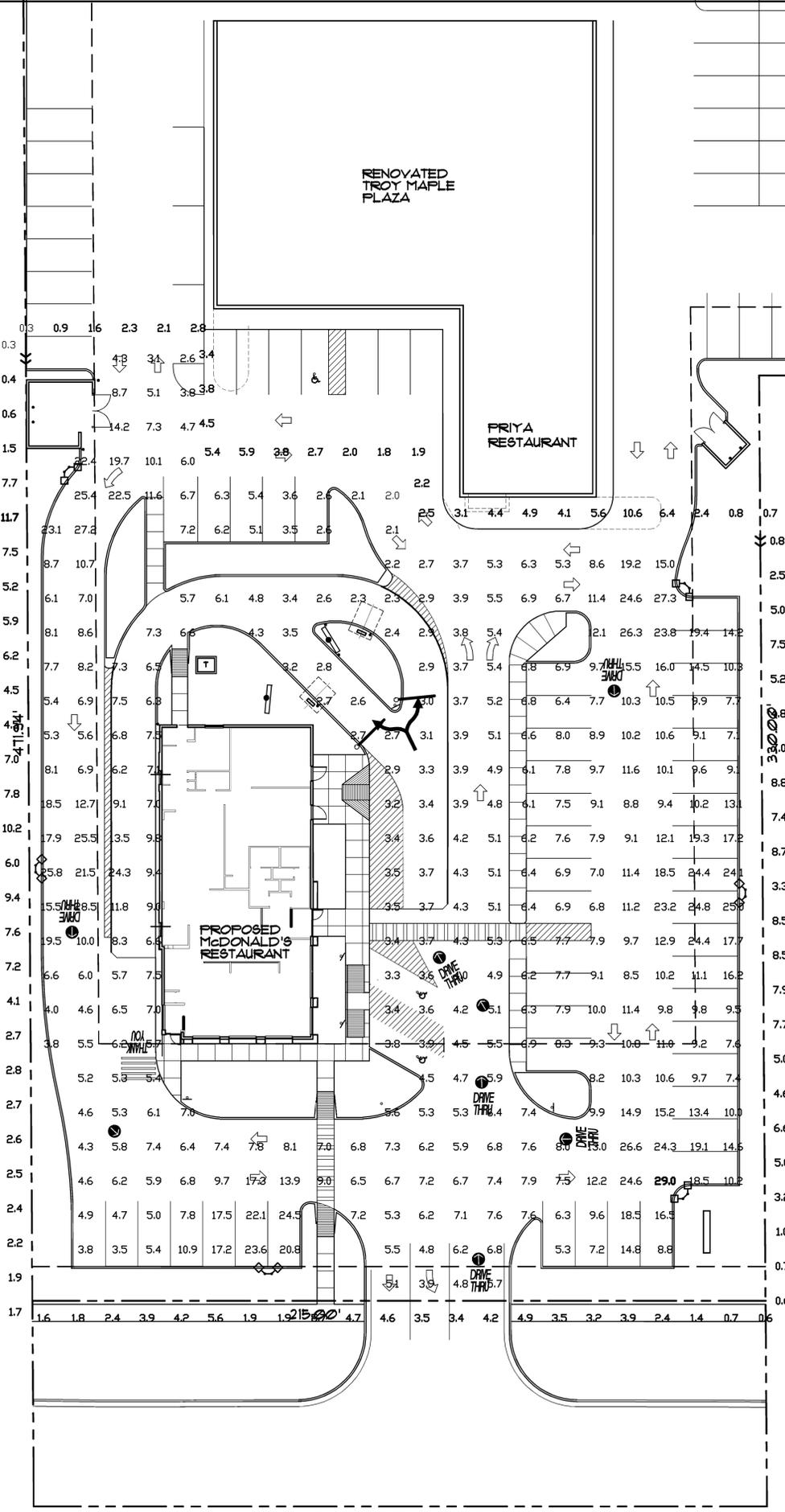
- The work shall consist of providing all necessary materials, labor, equipment, tools and supervision required for the completion as shown on the drawings.
- The plant materials shall conform to type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "A.A.N. Standards for nursery stock."
- The plant material shall be nursery grown and inspected by the owner's representative before planting. The owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B & B" shall be balled and burlapped with firm balls of earth.
- The contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented as to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with a topsoil mixture, gradually filling, patting and settling with water.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured twigs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over 3" shall be painted with tree paint.
- The contractor agrees to guarantee all plant materials for the period of one year. At that time the owner's representative reserves the right for a final inspection. Plant material with 25% die back, as determined by the owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor and materials. These new plants shall also be guaranteed for the period of one year.
- Topsoil shall be friable, fertile topsoil of clay loam character containing at least 5% but not more than 20% by weight of organic matter with a PH range from 6.0 to 7.0. Soil shall be free from clay lumps, coarse sand, plant roots, sticks and other foreign materials.
- Grass seed variety prop. by Weight Purity Germination:
Kentucky Blend 40% 97% 80%
Creeping Red Fescue 20% 97% 80%
Perennial Rye 40% 97% 90%
Maximum weed content shall be 0.3%
- Seed mixture of sod shall be approved by Owner's Representative or Landscape Architect prior to delivery on site.
- The Contractor shall verify all rights of way, easements, property lines and limits of work, etc. prior to commencing work.
- The Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make himself familiar with all underground utilities, pipes and structures. The Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- The Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall be immediately brought to the attention of the owner's representative and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's representative and Landscape Architect. Failure to make such discrepancies known will result in Contractor's responsibility and liability for any changes and associated cost.



LANDSCAPE PLAN
SHEET 2



LANDSCAPE NOTES		ISSUE REF
LANDSCAPING REQUIREMENTS		
PLEASE SEE SHEET C-4 FOR LANDSCAPE REQUIREMENTS AND PLANT SCHEDULE.		
REV	DATE	DESCRIPTION
1	3-3-11	McDONALD'S/DEVELOPMENT REVIEW
4	3-25-11	PRELIMINARY SPECIAL USE APPROVAL
LANDSCAPE ARCHITECT SEAL		
ARTMAN'S NURSERY 32593 CHERRY HILL WESTLAND, MI 48185 (734) 721-6610		
LANDSCAPE ARCHITECT M. J. Gac & Associates Landscape Architecture 7815 Freda Dearborn, MI 48126 (313) 834-3149		DATE
SURVEYOR WILCOX PROF. SERVICES 5859 SHERMAN RD. SAGINAW, MICHIGAN 48604 (989) 752-6500 11-30-10		PLAN APPROVALS
ARCHITECT/PLANNER Dorchen/Martin Associates, Inc. Architects/Planners 29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231 e-mail: dmga@dotchenmartin.com www.dotchenmartin.com		SIGNATURE (2 REQUIRED) REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.
SITE LOCATION		
PROJECT STREET ADDRESS		STATUS
LIVEROIS & MAPLE (NW CORNER)		DATE
CITY	STATE	DATE DRAWN
TROY	MICHIGAN	-- 10
COUNTY	AS-BUILT	BY
OAKLAND		M/JG
REGIONAL DWG. NO	SITE LOCATION CODE NO.	CONTRACTOR
DET-00	021-1893	OWNER
C4a		



PAVED SURFACE READINGS

Average	8.9
Maximum	29.0
Minimum	2.0
Avg/Min	4.43
Max/Min	14.50

PROPERTY LINE READINGS

Average	4.1
Maximum	11.7
Minimum	0.3
Avg/Min	13.73
Max/Min	39.00

* POLES SPECIFIED ON THIS DRAWING ARE RATED FOR AN 80 MPH WIND LOAD. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS 80 MPH, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.

NOTE: ALL ASB FIXTURES TO BE INSTALLED TILTED AT A 30 DEGREE ANGLE, UNLESS OTHERWISE SPECIFIED.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA, TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

*** - SPECIFY COLOR

FIXTURE TYPE:	SYMBOL	QUANTITY	TENSION BRACKETS	QUANTITY	MOUNTING HEIGHT	LUMENS	POLE TYPE: *	QUANTITY
ASB-1000MH-***-MT	□	12	TT-2A	6	24'	110,000	SSP-22-***-TT (5')	6

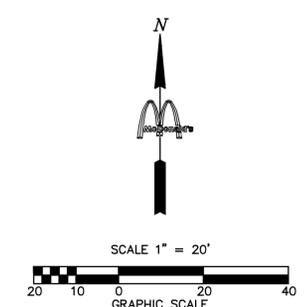
- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
 3. DISTANCE BETWEEN READINGS 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 5. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS 0.75

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

NOTED:	
SCALE: 1" = 20' 0"	DATE: 3/14/11
DRAWN BY: MW	NEXT ASSEMBLY:
CHECKED BY:	REF. DRWS:
APPROVED BY:	
APPROVED BY:	FINISH:
APPROVED BY:	
SHEP ORDER:	MATERIAL:
PROJECT NO.:	

POINT-BY-POINT FOOTCANDLE PLOT FOR
- McDONALD'S -
LIVERNOS & MAPLE
TROY, MI

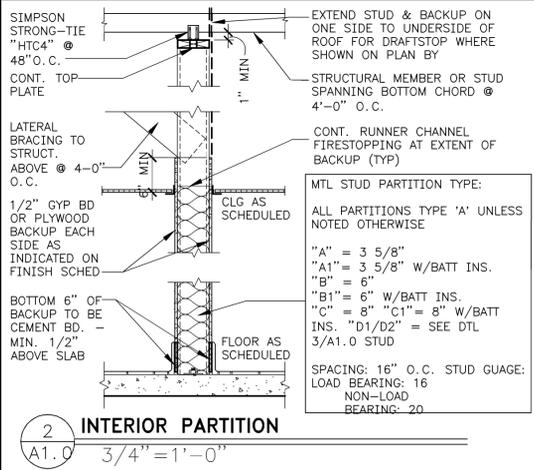
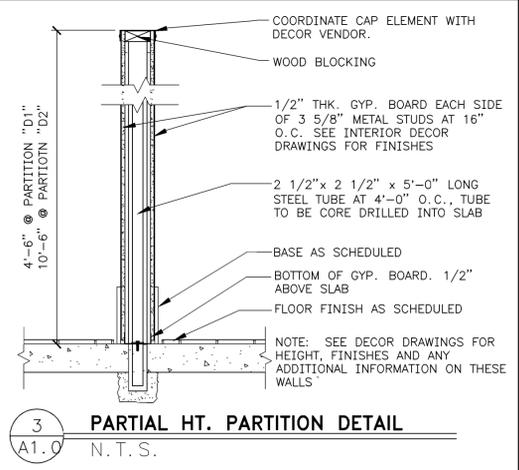
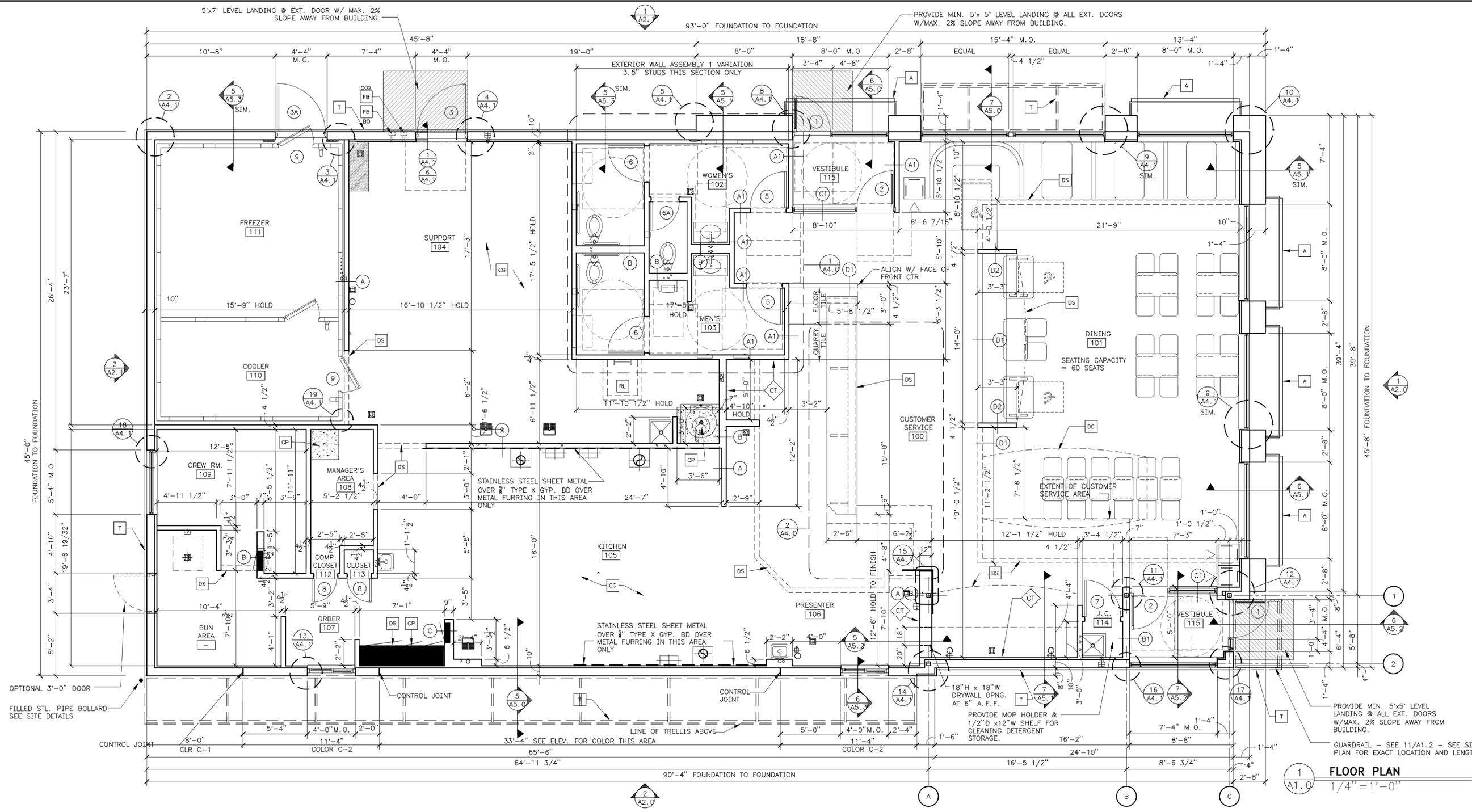
DRAWING NUMBER: 1PCP23516



SITE LIGHTING DESIGNER	
 Performance Designed Lighting Products 1085 Johnson Dr., Buffalo Grove, Illinois 60089 1-800-544-4848	
SURVEYOR	ARCHITECT/PLANNER
	DORCHEN/MARTIN ASSOCIATES, INC. 29895 GREENFIELD RD., #107 SOUTHFIELD, MI 48076 248.557.1062
LIGHTING PLAN	
PROJECT STREET ADDRESS	
LIVERNOS & MAPLE (NW CORNER)	
CITY	STATE COUNTY
TROY	MICHIGAN OAKLAND
REGIONAL DWG. NO	SITE LOCATION CODE NO.
DET-00	021-1893

ISSUE REF	BY	DATE	DESCRIPTION
A	D	03-29-11	PRELIMINARY SPECIAL USE APPROVAL
B			
C			
D			
SEAL			
<small>THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.</small>			
OFFICE	MICHIGAN	ADDRESS	2000 TOWN CENTER, STE 700, SOUTHFIELD, MI 48075
PH	(248)354-9390		
DATE		REGIONAL MGR.	
DATE		CONST. MGR.	
DATE		OPERATIONS DEPT.	
DATE		REAL ESTATE DEPT.	
DATE		CONTRACTOR	
DATE		OWNER	
DATE		STATUS	DATE
DATE		DATE DRAWN	14MAR11
DATE		PLAN CHECKED	DMA
DATE		AS-BUILT	
C5			

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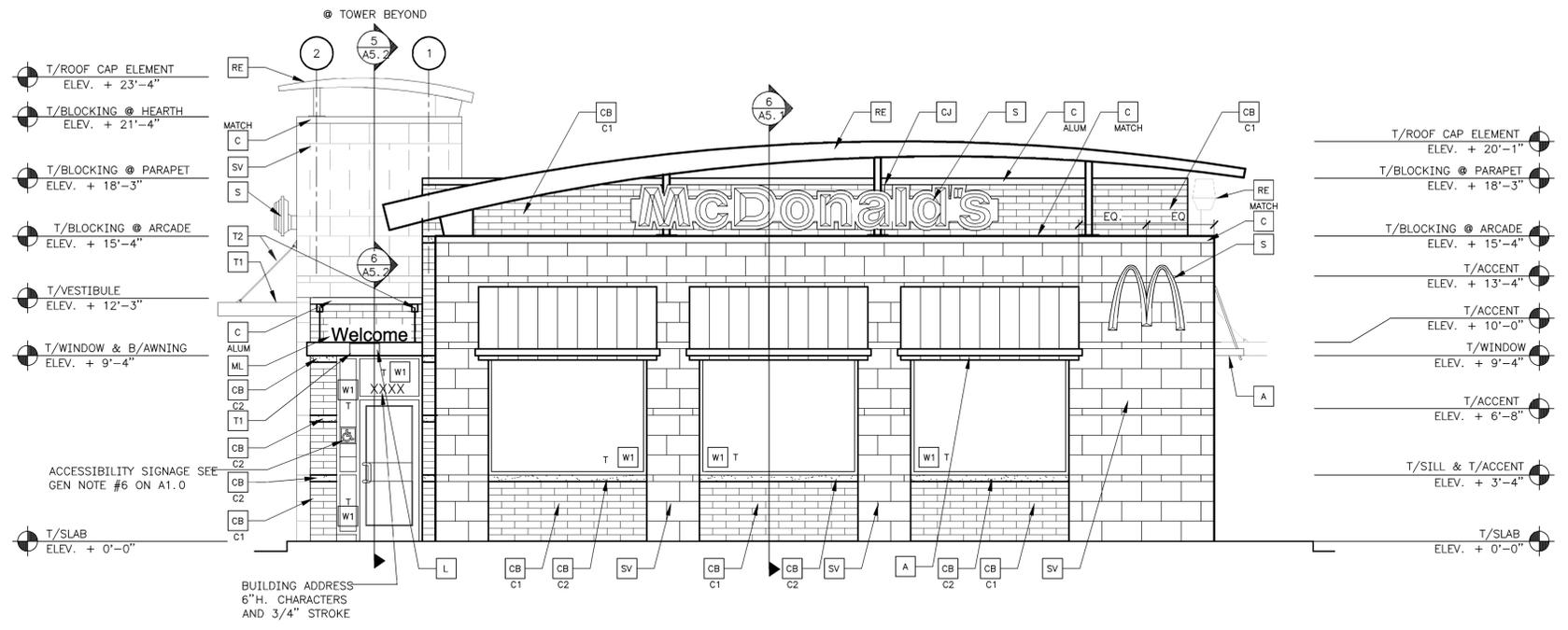


- ### KEY NOTES
- A AWNING ABOVE - BY OTHERS
 - CG C.G. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA. CORNER GUARDS TO START AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING BULLNOSE COVE BASE WHERE TILE MEETS STAINLESS STEEL CORNER
 - CP CONCRETE EQMT PAD - SEE STRUCTURAL
 - DC SUSPENDED DECORATIVE CEILING TREATMENT - SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION.
 - DS DROPPED SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
 - FB CO2 FILL BOX (EQUIPMENT SCHEDULE ITEM 49.00) CO2
 - FB OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) CONFIRM USE WITH MCDONALD'S PROJECT MANAGER
 - BO ROOF ACCESS LADDER W/HATCH ABOVE SEE STRUCTURAL FRAMING PLAN FOR LOCATING DIMENSIONS
 - RL TRELLIS SYSTEM ABOVE SEE 4/A5.0 FOR NOTES SEE ROOF PLAN FOR DIMENSIONS

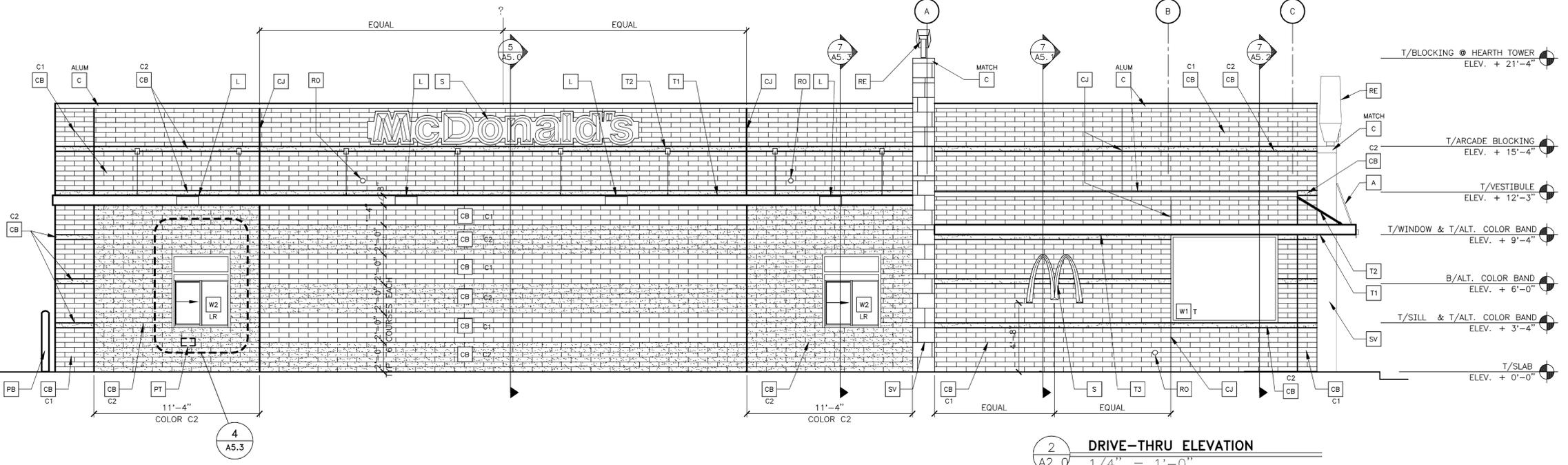
- ### GENERAL NOTES
1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF FINISH.
 2. SEE 4/A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
 3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
 4. SEE SHEET A6.0 FOR DOOR AND ROOM FINISH SCHEDULES
 5. SEE SITE PLAN FOR SIDEWALKS, RAMP, ETC.
 6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 www.forrestpermasigns.com NEW ROCHELLE, NY 10802
 7. MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
 8. ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.

- ### SYMBOL LEGEND
- A PARTITION TYPE TAG SEE 2/A1.0
 - DRAFT STOPPING - SEE 2/A1.0
 - 7 DOOR TAG - SEE DOOR SCHEDULE ON A6.0
 - CT CERAMIC WALL TILE @ CUSTOMER SERVICE AND KITCHEN SERVING AREAS - TO BE COORDINATED W/FINAL DINING DECOR SCHEME & MCDONALD'S PROJECT MANAGER
 - X KEY NOTE

DRAWN BY: [Blank]		DATE: [Blank]	
REVISED BY: [Blank]		DATE: [Blank]	
DATE ISSUED: [Blank]		DATE: [Blank]	
TITLE: 4587+5'R STANDARD BUILDING		DESCRIPTION: CHU BEARING WALLS	
4587 - M/S BLDG.		SITE ADDRESS: 021-1887 HARLE & LIVERNOIS (NN CORNER)	
SHEET NO. A1		FLR_PLAN	
PROJECT NO. 021-1887		DATE: 02-15-11	
PREPARED BY: [Blank]		DATE: [Blank]	
McDonald's USA, LLC		PREPARED BY: [Blank]	
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2005 Greenfield Rd., Suite 107 Ann Arbor, MI 48106 (734) 552-1922 www.dorlandmarch.com		PREPARED BY: [Blank]	



1 FRONT ELEVATION
 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION
 1/4" = 1'-0"

- T/BLOCKING PARAPET
ELEV. + 18'-3"
- B/ALTERNATE COLOR BAND
ELEV. + 15'-0"
- T/TRELLIS &
B/ALTERNATE COLOR BAND
ELEV. + 12'-0"
- T/ALTERNATE COLOR BAND
ELEV. + 9'-4"
- T/WINDOW
ELEV. + 8'-0"
- B/ALTERNATE COLOR BAND
ELEV. + 6'-0"
- T/SILL &
B/ALTERNATE COLOR BAND
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"

- T/BLOCKING @ HEARTH TOWER
ELEV. + 21'-4"
- T/ARCADE BLOCKING
ELEV. + 15'-4"
- T/VESTIBULE
ELEV. + 12'-3"
- T/WINDOW & T/ALT. COLOR BAND
ELEV. + 9'-4"
- B/ALT. COLOR BAND
ELEV. + 6'-0"
- T/SILL & T/ALT. COLOR BAND
ELEV. + 3'-4"
- T/SLAB
ELEV. + 0'-0"

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT, COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- CB CONCRETE BRICK, TYPE- BELLA BRK CONTACT: CONSUMERS CONCRETE PRODUCTS (616-243-3651)
COLOR:
C1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE
C2 = MIDLAND, SMOOTH FACE
- C METAL COPING - COLOR = ALUMINUM ALUM
- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- C CONTROL JOINT, SEE DETAIL 7/A4.1

- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- FB CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00) CO2
- FB OPTIONAL BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL

- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL

- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- SV STONE VENEER - TYPE: ROCKCAST ST003, COLOR: BUFFSTONE, TEXTURE: SMOOTH, SIZE: 4"x12"x24" NOM. ACCENT STRIPE - TYPE: ROCKCAST ST204, COLOR: BUFFSTONE, TEXTURE: CHISELED, SIZE: 4"x4"x24" NOM.
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK

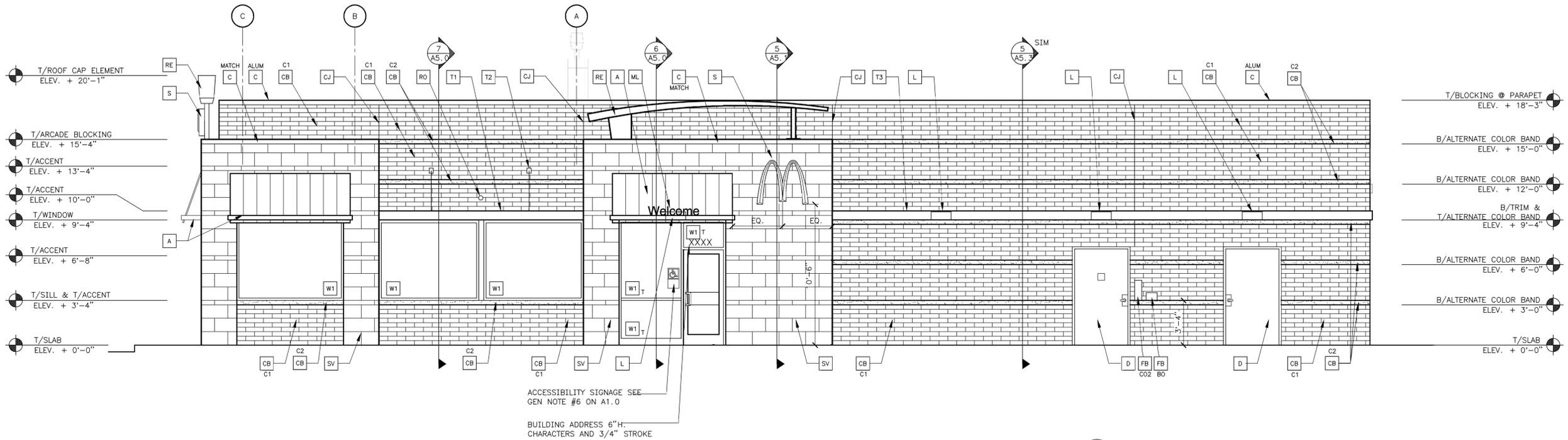
- T3 2X8 WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET A5.1
- W1 EXTERIOR WINDOW ASSEMBLY - SEE A5.0 T = TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER OPTIONS INCLUDE: TRANSOM (SHOWN), AIR CURTAIN, FLYFAN/TRANSOM & 432 SQ IN MAX SERVICE OPENING (WHERE REQD BY CODE)
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

SIGNAGE SUPPORT NOTE:
 UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

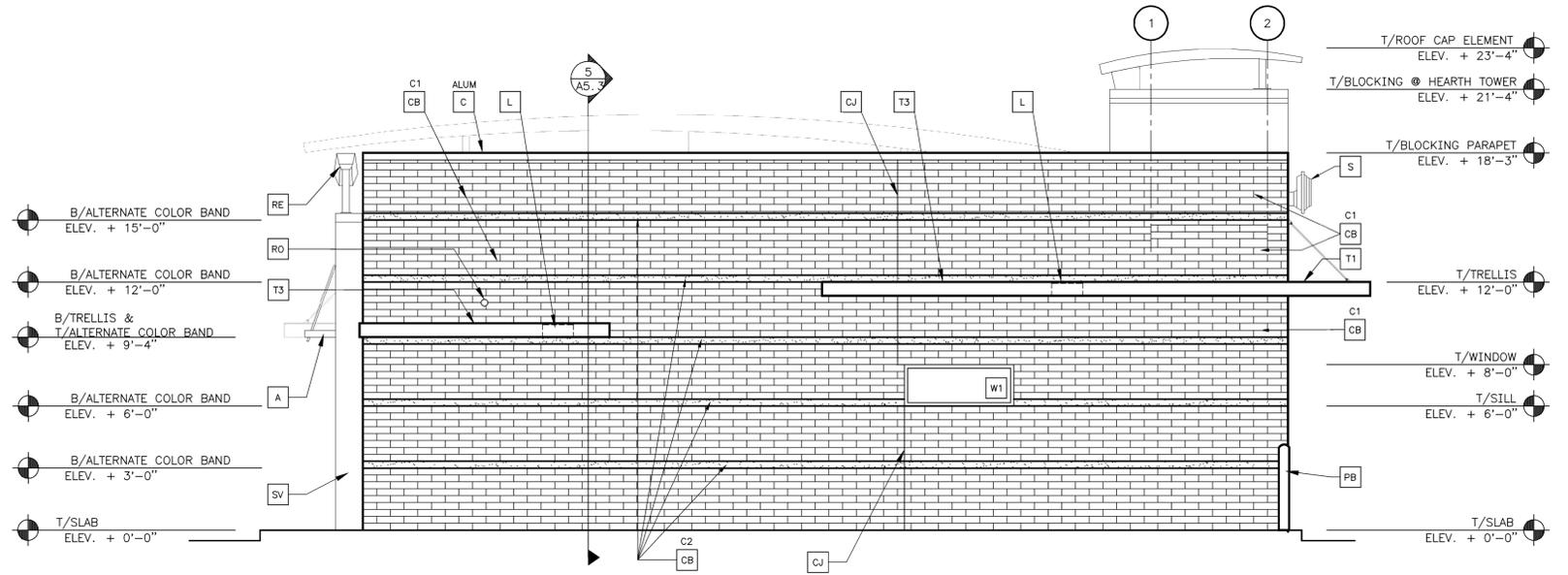
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<p>PREPARED BY: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. In the contract documents we prepared for you, we have indicated which drawings are preliminary. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. Use of these drawings on any other project without the contract documents for reuse on another project is not authorized.</p>							
<p>PREPARED FOR: McDonald's USA, LLC</p>							
<p>DRAWN BY: _____</p> <p>DATE: _____</p> <p>REVIEWED BY: _____</p> <p>DATE ISSUED: _____</p> <p>TROY, MI</p>							
<p>TITLE: 4587+51R STANDARD BUILDING</p> <p>4587 - M/S BLDG.</p> <p>DESCRIPTION: CHU BEARING WALLS</p> <p>STEEL TRUSS ROOF FRAMING</p> <p>SITE ADDRESS: 021-1893 HARLE & LIVERNOIS (NN CORNER)</p>							
<p>SHEET NO. A2.0</p> <p>ELEVATION</p>							
<p>DMA #08065</p>							

C:\DOCUMENTS AND SETTINGS\MCD0752\MY DOCUMENTS\2005 PRORDRDY\F\4587\4587_A2_0_A2-1.DWG 11-06-2005 06:48



1
A2.1 1/4" = 1'-0" NON-DRIVE-THRU ELEVATION



2
A2.1 1/4" = 1'-0" REAR ELEVATION

KEY NOTES:

- A METAL AWNING - UNDER SEPARATE PERMIT, COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- CB CONCRETE BRICK, TYPE- BELLA BRIK CONTACT: CONSUMERS CONCRETE PRODUCTS (616-243-3651)
- C1 COLOR: C1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE C2 = MIDLAND, SMOOTH FACE
- C METAL COPING - COLOR = ALUMINUM
- ALUM METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- CJ CONTROL JOINT, SEE DETAIL 7/44.1
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- FB CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- FB CO2 OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- FB BO
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW
- PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- SV STONE VENEER - TYPE: ROCKCAST ST003, COLOR: BUFFSTONE, TEXTURE: SMOOTH, SIZE: 4"x12"x24" NOM. ACCENT STRIPE- TYPE: ROCKCAST ST204, COLOR: BUFFSTONE, TEXTURE: CHISELED, SIZE: 4"x4"x24" NOM.
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- T3 2X8 WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- W1 EXTERIOR WINDOW ASSEMBLY - SEE AS.0 T = TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY READY ACCESS CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD PROJECT MANAGER OPTIONS INCLUDE: TRANSOM (SHOWN); AIR CURTAIN; FLYER/TRANSOM & 432 SQ IN MAX SERVICE OPENING (WHERE REQD BY CODE)
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

SIGNAGE SUPPORT NOTE:
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

PREPARED BY: **McDonald's USA, LLC**
 2011 McDonald's USA, LLC
 2895 Greenfield Rd, Suite 107
 Architects/Planners
 (248) 557-1922
 (248) 557-1923
 www.dorlandmarch.com

REV	DATE	DESCRIPTION
2	03-25-11	PRELIMINARY SPECIAL USE APPROVAL
1		

TITLE: 4587+5/R STANDARD BUILDING
 4587 - M/S BLDG.
 DESCRIPTION: CHU BEARING WALLS
 STEEL TRUSS ROOF FRAMING
 SITE ID: 021-1893
 SITE ADDRESS: HARLE & LIVERNOIS (NN CORNER)
 TRCY, MI

SHEET NO. **A2.1**
 ELEVATIONS

DMA #08065

DATE: May 5, 2011

TO: The Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: POTENTIAL REZONING AND DEVELOPMENT PROJECT – East side of Stephenson, north of Fourteen Mile (466 Stephenson), Section 35, Currently Zoned RC (Research Center) District

The owner of the above referenced property is interested in seeking a rezoning to OM Office Mixed Use District. The property is presently zoned RC Research Center District. A vacant building presently sits on the property. The owner is considering developing a hotel on the site; hotels are not permitted in the RC zoning district. The owner intends to rezone to OM, which permits hotels by Special Use Approval. The property abuts OM to the north and east, RC to the south and IB Integrated Industrial Business District and O Office District to the west.

The Master Plan classifies this area as 21st Century Industrial. A description of this classification is attached.

City Management seeks Planning Commission input on this item. Please be prepared to discuss this item at the May 10, 2011 Planning Commission Regular meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)

G:\REZONING REQUESTS\Study Items\466 Stephenson\PC Memo 466 Stephenson 05 10 11.doc



CORE
PARTNERS

consultants of real estate

www.corepartners.net

May 4, 2011

Mr. Brent Savidant
Acting Planning Director
500 W. Big Beaver Rd.
Troy, MI 48084

RE: 466 Stephenson Highway Potential Rezoning

Dear Mr. Savidant

Core Partners has a client that has put 466 Stephenson Hwy. under contract that is conditioned on rezoning the property to accommodate a four story limited service hotel. Would you please discuss with the Planning Commission the possibility of rezoning the property from R-C to O-M which is what the neighboring property is zoned. I believe such zoning permits a hotel to be built with a special use permit.

If you would like me to attend the meeting, I will be glad to do so. If not, I will look forward to hearing the reactions of the Planning Commission as soon as possible.

Respectfully,

Ted Wilson
Vice President/Partner



Legend

-  I-75
-  Road Centerline
 -  Major Road
 -  Industrial Road
 -  Local Road
-  Ponds and Basins
-  Streams and Creeks
-  Parcels
- Aerial Photos - 2010**
 -  Red:Band_1
 -  Green:Band_2
 -  Blue:Band_3

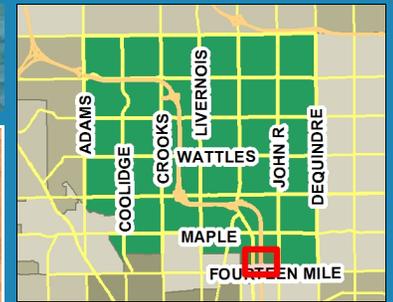
692 0 346 692Feet

Scale 1: 4,150



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 5/4/2011



Legend

- Consent Judgment
- Form Based Zoning 2**
- (PUD) Planned Unit Development
- (CF) Community Facilities District
- (EP) Environmental Protection Dist
- (BB) Big Beaver Road
- (MRR) Maple Road
- (NN) Neighborhood Nodes (A-U)
- (CB) Community Business
- (GB) General Business
- (IB) Integrated Industrial Business I
- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential Dist
- (R-1B) One Family Residential Dist
- (R-1C) One Family Residential Dist
- (R-1D) One Family Residential Dist
- (R-1E) One Family Residential Dist
- (RT) One Family Attached Residen
- (MR) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales
- 2010**
- Red: Band_1
- Green: Band_2

Notes

466 Stephenson

1,045.5 0 522.73 1,045.5 Feet

NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Intl

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

DATE: May 5, 2011

TO: The Planning Commission

FROM: R. Brent Savidant, Planning Director

SUBJECT: POTENTIAL DEVELOPMENT PROJECT – Potential Tim Horton’s Restaurant, Northwest corner of Square Lake and Dequindre (43003 Dequindre), Section 1, Currently Zoned NN (Neighborhood Node) District

The owner of the above referenced property is interested in seeking a developing a Tim Horton’s restaurant with a drive-through on the site. The property is presently zoned NN Neighborhood Node (node N). The property is presently vacant.

The property abuts NN to the north and south, R-1D One Family Residential to the west and C-1 Local Convenience Business across Dequindre to the east (City of Sterling Heights).

Drive-through facilities are not permitted within this node. The owner is interested in discussing the concept of a drive-through at this location, and the steps that would be necessary to accomplish this.

The Master Plan classifies this area as Neighborhood Node “N”, and describes the intent of this particular node. A description of this classification is attached.

City Management seeks Planning Commission input on this item. Please be prepared to discuss this item at the May 10, 2011 Planning Commission Regular meeting.

Attachments:

1. Maps
2. City of Troy Master Plan (excerpt)



Legend

- Road Centerline
 - Major Road
 - Industrial Road
 - Local Road
- Ponds and Basins
- Streams and Creeks
- Parcels
- Aerial Photos - 2010
 - Red:Band_1
 - Green:Band_2
 - Blue:Band_3

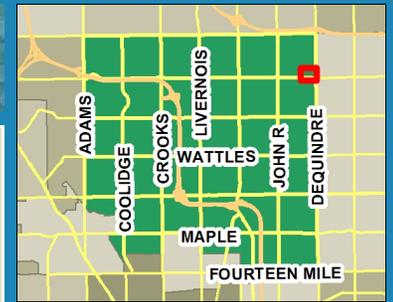
346 0 173 346Feet

Scale 1: 2,075



Note: The information provided by this application has been compiled from recorded deeds, plats, tax maps, surveys, and other public records and data. It is not a legally recorded map survey. Users of this data are hereby notified that the source information represented should be consulted for verification.

Printed: 5/4/2011



Legend

- Consent Judgment
- Form Based Zoning 2**
- (PUD) Planned Unit Development
- (CF) Community Facilities District
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- (CB) Community Business
- (GB) General Business
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- (O) Office Building District
- (OM) Office Mixed Use
- (P) Vehicular Parking District
- (R-1A) One Family Residential Dist
- (R-1B) One Family Residential Dist
- (R-1C) One Family Residential Dist
- (R-1D) One Family Residential Dist
- (R-1E) One Family Residential Dist
- (RT) One Family Attached Residen
- (MR) Multi-Family Residential
- (MHP) Manufactured Housing
- (UR) Urban Residential
- (RC) Research Center District
- (PV) Planned Vehicle Sales
- 2010**
- Red: Band_1
- Green: Band_2

Notes

43003 Dequindre

522.7 0 261.37 522.7 Feet

NAD_1983_StatePlane_Michigan_South_FIPS_2113_Feet_Intl

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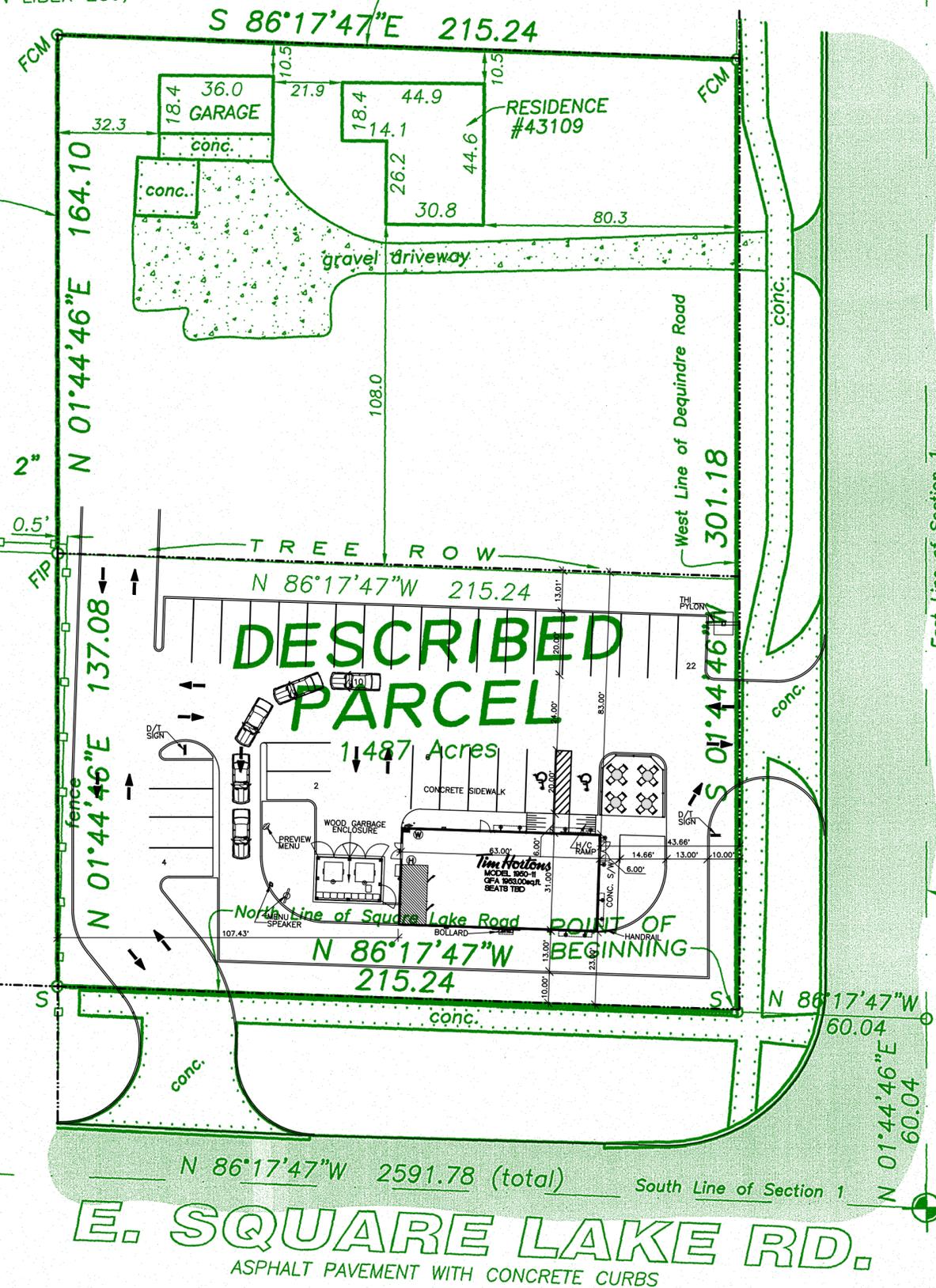
KEY PLAN



BEARINGS RELATE TO:
"Briarwood Manor Sub. No. 2"

WOOD MANOR SUB. NO. 2
RECORDED IN LIBER 259, PAGES 3,4,5 & 6)

Nail w/tag NW face Util. Pole N20°E 166.66
Nail w/tag N face Util. Pole N90°E 42.19
Nail w/tag W face Util. Pole S10°E 180.82
Top of Hydrant N25°W 95.02



T.2N., R.11E.

DETAILS OF DEVELOPMENT

DATA	REQUIRED	PROVIDED	
SETBACKS	ZONING	ZONING NOT PROVIDED	
	FY	n/a	
	RY	n/a	
	INT.SY	n/a	
BUILDING COVERAGE		0.0%	
		8.6%	
BUILDING HEIGHT		n/a	
		16.60'	
GROSS FLOOR AREA		1953.00sq.ft.	
	No. of UNITS		1
DT STACKING	n/a	10	
LOADING SPACES	n/a	1	
PARKING:	Total Spaces	n/a	34
	Handicap Spaces	n/a	2
	Stall Length	n/a	20.00'
	Stall Width	n/a	9.00'
	Aisle Width	n/a	24.00'
OTHER:			

ZONING NOT PROVIDED

centerline of DEQUINDRE RD.
 ASPHALT PAVEMENT WITH CONCRETE CURBS

S ¼ CORNER
OF SECTION 1,
T.2N., R.11E.

SE CORNER
OF SECTION 1,
T.2N., R.11E.

LEGEND

1	ADD ACCESS TO NORTH	FEB.25/11	8
2			9
3			10
4			11
5			12
6			13
7			14

THE TDL GROUP CORPORATION

HEAD OFFICE 874 SINCLAIR ROAD OAKVILLE, ON L6K 2Y1 Ph (905) 845-6511 Fax (905) 845-5551	WESTERN OFFICE 7460 - 51st STREET SE CALGARY, AB T2C 4B4 Ph (403) 203-7400 Fax (403) 203-7430	QUEBEC OFFICE 10590 CHEMIN COTE DE LIESSE LACHINE, QC H8T 1A4 Ph (514) 636-2233 Fax (514) 636-5313	ATLANTIC OFFICE 476 MacELMON ROAD, BOX280 DEBERT, NS B0M 1G0 Ph (902) 662-2522 Fax (902) 662-2501	US OFFICE 4150 TULLER ROAD DUBLIN, OH 43017 Ph (614) 791-4200 Fax (614) 791-4234
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PROJECT
TROY, MI
43109 DEQUINDRE ROAD
E. SQUARE LAKE ROAD

DRAWING TITLE: SKETCH	DRAWING NO. SK-7
DRAWN BY: JJ	
SCALE: 1"=30'-0"	





FRONT ELEVATION



SIDE ELEVATION

MODEL 1950-11

EXTERIOR ELEVATIONS





REAR ELEVATION



DRIVE THRU ELEVATION

MODEL 1950-11

EXTERIOR ELEVATIONS

